



**U.S. Department of Housing and Urban
Development**

451 Seventh Street, SW
Washington, DC 20410
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Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Information

Project Name: Northeast Pointe II

Project Location: 219 Harrill Road, Lumberton, Robeson County, NC 28358

Federal Agency: U.S. Department of Housing & Urban Development (HUD)

Responsible Entity: North Carolina Office of Recovery and Resiliency (NCORR)

Project Administrator: North Carolina Housing Finance Agency (NCHFA)

Grant Recipient: Northeast Pointe II, LLC

State/Local Identifier: B-19-DV-37-0001 and B-19-DV-37-0002

Preparer: Andrea Gievers, Environmental SME, NCORR

Certifying Officer Name and Title: Laura Hogshead, Director, NCORR

Consultant (if applicable): Brett Higgins & Tamara Cagle, Pyramid Environmental & Engineering, P.C.

Direct Comments to:

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Project Location:

The proposed project site consists of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358. The proposed project site includes two parcels with a total of 6.39 acres. The 4-acre northeast parcel is identified as Robeson County Parcel ID #10140100304. The 2.39 acre southwest parcel is identified as Robeson County Parcel ID #101401003.

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

Northeast Pointe II (proposed project) involves new construction of a 72-unit affordable, multifamily apartment complex in seven two-story residential buildings (12 one-bedroom units, 44 two-bedroom units, 16 three-bedroom units) and a 2,092 square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, resident computer center, playground and tot lot, covered picnic area with tables, a grill, and gazebo.

The proposed Northeast Pointe II apartments will be compatible with the surrounding land use and fulfill the need for quality, affordable multifamily housing. The proposed project site is conveniently located within three miles of downtown Lumberton and within one to two miles of many of the necessary services required by individuals and families, including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The purpose of the proposed project is to provide affordable housing for individuals and families in the Lumberton, NC area. The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. The City is seeking affordable housing to address the shortage in such inventory exacerbated by the effects of Hurricane Florence.

Northeast Pointe II, as proposed, will allocate 40% of the units to serve residents earning less than 50% of the Area Median Income (AMI) for Robeson County. Ultimately, 100% of the units would be affordable for those earning 60% or less of the AMI. The community will include eight fully-accessible units for the mobility impaired and eight units targeted to persons with disabilities or homeless populations. The developer of the Northeast Pointe II proposed apartments is applying for funding using a combination of Low-Income Housing Tax Credits (LIHTC), Community Development Block Grant (CDBG) Disaster Recovery funds, and USDA Rural Development loan for the construction of the proposed project. The site is located adjacent to two City of Lumberton designated Opportunity Zones (Census Tracts: 9606 and 9608.01) and has been identified as an area underserved with affordable rental housing. The proposed project will help fulfill the housing needs of the community.

Based on a Market Feasibility Study dated March 15, 2021, there is a real and quantifiable need for affordable housing by individuals and families in Robeson County. The proposed project will be in an area that will attract tenants due to the growth of the population and lack of affordable multifamily housing options. The analysis conducted by Novogradac indicated that between 2010 and 2020 the Primary Market Area (PMA) experienced a 0.7 percent annual population growth. Additionally, the vacancy of similar properties nearby was 0.9 percent when considering market rate and LIHTC comparables combined, and between zero and 1.3 percent when only considering LIHTC comparables. Many of the comparable properties maintain waiting lists for occupancy of their units. Therefore, once completed, 72 units of the proposed development are projected to be at least at a 93-percent occupancy level after the initial lease-up phase is completed, with a probable waiting list for future occupancy. Novogradac also stated that “[t]he low vacancy rates among the LIHTC comparables coupled with the presence of waiting lists indicates strong demand for affordable housing in the local market.” The development of this proposed project would alleviate the affordable housing demand for individuals and families in the project area. The preliminary site plans for the proposed Northeast Pointe II apartments and Novogradac’s “A Market Feasibility Study of: Northeast Pointe II” report are included in Additional Studies.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The proposed project site consists of vacant land that is situated just east of downtown Lumberton. At the time of the site inspection, the proposed project site was undeveloped and being used for agricultural purposes. The Northeast Pointe Apartments are located south adjacent to the proposed project site, allowing for increased management and security while creating a greater sense of community in the neighborhood. Lone Oak Mobile Home Park, a mobile home community, is located to the north of the proposed project site. Heaven Bound New Vision Church is located to the east of the proposed project site, and vacant farmland to the west. Northeast Pointe II will be compatible with the surrounding land use and will help alleviate the need for quality, affordable housing for families of Lumberton and Robeson County.

The proposed project site is conveniently located with frontage on Harrill Road and within one mile of Elizabethtown Road, a main corridor through Lumberton, NC. The Elizabethtown Road area contains a Food Lion, Dollar General, and several restaurants. There are several churches within walking distance, and Northeast Park and Roland Elementary School are within two miles. The proposed project site is conveniently located within three miles of downtown Lumberton and within one-half to one-mile of many of the necessary services required by individuals and families including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers.

The proposed project site is located in a rapidly developing area of Lumberton. Thus, it is likely that, in the absence of the development of the proposed project, the site would ultimately be developed. Based on the surrounding area, it would likely be developed for commercial, residential, or institutional purposes, or a combination thereof.

Funding Information

Grant Number	HUD Program	Funding Amount
B-19-DV-37-0001 and B-19-DV-37-0002	HUD CDBG-DR	\$3,454,000.00

Estimated Total HUD Funded Amount: \$3,454,000.00

Non-HUD Funding Source: RPP Loan NHTF

Non-HUD Funding Amount: \$800,000.00

Non-HUD Funding Source: Churchill Conventional Perm Loan

Non-HUD Funding Amount: \$2,050,185.00

Non-HUD Funding Source: WHLP-CV

Non-HUD Funding Amount: \$2,025,300.00

Non-HUD Funding Source: Federal LIHTC

Non-HUD Funding Amount: \$6,464,585.00

Non-HUD Funding Source: Deferred Developer Fee

Non-HUD Funding Amount: \$235,715.00

Estimated Total Non-HUD Funded Amount: \$11,575,785.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:
\$15,029,785.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The proposed project site is not located within 2,500 feet of a civilian, commercial service airport or 15,000 feet of a military airfield. The proposed project is in compliance with this section. See Attachment A for airport hazard documentation.
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	This proposed project is not located in or in proximity to a Coastal Barrier Resource System (CBRS) Unit. Therefore, this proposed project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act. See Attachment B for CBRA documentation.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	Based on the FEMA Flood Insurance Rate Map (FIRM) Panel Number 3720030100K (eff. 12/6/2019), the proposed project site and surrounding area are located in Zone X, outside of the Special Flood Hazard Area (SFHA). The proposed project site does not include any areas of regulatory floodway. There are no Preliminary FIRMs available at the FEMA Flood Map Service Center for the proposed project site. No structure, portions of structures, or insurable property of the proposed project will be located in a FEMA-designated SFHA. Thus, flood insurance will not be required for the proposed project because all insurable structures will be located in Zone X. While flood insurance may not be mandatory in

		<p>this instance, HUD recommends that all insurable structures maintain flood insurance under the NFIP. The proposed project is in compliance with flood insurance requirements.</p> <p>See Attachment C for Flood Insurance documentation.</p>
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STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5

<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the EPA Greenbook, the proposed project site is not located in a county in nonattainment or maintenance status for any criteria pollutants. The construction and operation of the facility is exempted from NC State air quality permit requirements under 15A NCAC 02Q.0102(d) since emissions will be below the established thresholds. Thus, the proposed project's emissions are automatically considered de minimis (40 CFR § 93.153(c)(2)) and the proposed project is considered compliant with the State Implementation Plan. The proposed project would not exceed de minimis emissions levels for federal general conformity purposes (40 CFR § 93.153(c)(2)).</p> <p>The proposed project constructs a multifamily residential structure with amenities. The proposed project will not generate significant levels of vehicular traffic. Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. The contractor will use Best Management Practices (BMPs) to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck to stabilize potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and construction vehicles and machinery will operate at reduced speeds to</p>
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		<p>reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed.</p> <p>Based on the EPA’s Radon Zone Map, the proposed project site is located within Zone 3 with predicted average indoor radon screening levels less than 2 pCi/L (Low Potential) (see Attachment). Due to the low potential for elevated indoor radon levels, no additional steps are required for radon mitigation.</p> <p>Therefore, there will be no significant impact to air quality from the proposed project. The operation of the proposed project following the completion of construction activities will not increase emissions. Any air quality impacts would be short-term and localized during construction, and no significant adverse impacts to air quality are anticipated. Thus, the proposed project is in compliance with this section.</p> <p>See Attachment D for Air Quality documentation. <i>Also, Recent Updates: Federal Register Notices Published or Effective After September 30, 2022 Green Book US EPA online.</i></p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Robeson County is not listed as one of the 20 counties in North Carolina covered by the North Carolina Coastal Management Program. Therefore, the proposed project is not anticipated to impact coastal resources. The proposed project is in compliance with the Coastal Zone Management Act, sections 307(c) & (d).</p> <p>See Attachment E for CZMA documentation.</p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A Phase I Environmental Site Assessment (ESA) was conducted for the proposed project site. The Phase I ESA was completed on September 20, 2021. A site inspection, regulatory records review, correspondence with local Fire Department, and ASTM Vapor Encroachment Screen (VES) were completed for the Phase I</p>

ESA investigation. No RECs were identified during the Phase I ESA investigation. The Phase I ESA including the regulatory EDR Radius Report and Vapor Encroachment Screen are included in **Attachment F** Phase I ESA and VES.

The proposed project site is not listed on an EPA Superfund National Priorities or Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) list or equivalent State list and is not located within 3,000 feet of a toxic or solid waste landfill site, in accordance with HUD policy as described in 24 CFR 58.5(i)(2). According to the NC DEQ Division of Waste Management (DWM), there is one Superfund site located within one-mile of the proposed project site, Cardinal Chemical Warehouse Fire, an inactive hazardous waste site (See **Attachment F** NC DWM and NEPAAssist Results). This site is located approximately 0.815-mile south-southwest from the proposed project site. It is scored as 33.96 with each site ranked on a 0.01 to 100-point scale according to the ranking system described in 15A NCAC 13C .0200. Higher scores indicate higher risk to human health and the environment. The site is where a fire started in a pesticide warehouse and was determined in 1994 to be a No Further Remedial Action Planned (NFRAP) status. Due to the type of contamination, regulatory status, and distance, this Superfund site has been determined to not pose a hazard that could affect the health and safety of occupants or conflict with the intended utilization of the subject property. In addition, the NC DEQ DWM Underground Storage Tank Division noted that the “UST Section, Fayetteville Regional Office, does not have record of a petroleum release in the general area of concern for this project number, nor are there any records of registered USTs” (See **Attachment F** NC DWM and NEPAAssist Results). However, the NC DEQ DWM asks for notification to the Fayetteville Regional Office if “orphan” USTs are discovered during any excavation (See **Attachment F** NC DWM and NEPAAssist Results).

Based on the results of the site inspection, reviews and interviews, no contamination or toxic

		<p>substances were observed or discovered in connection with the proposed project site. No onsite or nearby (off-site) toxic, hazardous, or radioactive substances were identified that could affect the health and safety of project occupants or conflict with the intended utilization of the property.</p> <p>See Attachment F Phase I ESA and VES and Attachment F NC DWM and NEPA Assist Results.</p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the U.S. Fish and Wildlife Service’s (USFWS) Information for Planning and Consultation (IPaC) Official Species List, there are a total of five threatened, endangered, or candidate species identified for the proposed project area. However, the report indicates that there are no critical habitats within the project area. Robeson County is not identified as a Northern Long-eared Bat known-presence county.</p> <p>In addition, the NC Natural Heritage Program (NC NHP) database query documented element occurrences within a one-mile radius of the proposed project site. A NC NHP Database Query Report identified no federally-listed species, but rather two dragonflies/damselflies, the Coppery Emerald and Phantom Darner, and a vascular plant, the Florida Yellow-eyed Grass present within one mile of the proposed project site. According to the NC NHP database, there are no records for rare species, important natural communities, natural areas, and/ or conservation/ managed areas within the proposed project boundary.</p> <p>None of the above-listed species were observed during the site visit. In addition, the proposed project site does not contain suitable habitat for these species since the land has been used for agricultural purposes. Therefore, a No Effect determination has been made for all of the above-listed species. A Self-certification Letter and 10-step Project Review Package were prepared and submitted to the USFWS Raleigh Ecological Services Field Office on October 26, 2022 as an Annual Update. A formal request for determination of effects of the proposed project on the listed species was sent to the Raleigh U.S.</p>

		<p>Fish and Wildlife Service on October 8, 2021. Mr. John Ellis for Mr. Pete Benjamin, Field Supervisor of the U.S. Fish and Wildlife Service Raleigh Field Office, responded on November 8, 2021 and indicated the following:</p> <p>“Based on the information provided and other information available, it appears that the proposed action is not likely to adversely affect any federally-listed endangered or threatened species, their formally designated critical habitat, or species currently proposed for listing under the Act at these sites. We believe that the requirements of section 7(a)(2) of the Act have been satisfied for your project. Please remember that obligations under section 7 consultation must be reconsidered if: (1) new information reveals impacts of this identified action that may affect listed species or critical habitat in a manner not previously considered; (2) this action is subsequently modified in a manner that was not considered in this review; or, (3) a new species is listed or critical habitat determined that may be affected by the identified action.” USFWS has not contacted NCORR for additional information. The Grant Recipient will update this determination annually for multi-year activities.</p> <p>See Attachment G for Endangered Species documentation including the Annual Update of the Self-certification Letter and 10-step Project Review Package sent to USFWS on October 26, 2022 and the original USFWS responses and submission from October 8, 2021.</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the Phase I ESA and the site inspection, no current or planned stationary aboveground storage containers were discovered that are covered by 24 CFR 51C within one mile of the proposed project site. As indicated in the Phase I ESA, the proposed project site is currently undeveloped and located in an area of Lumberton that is predominantly used for residential purposes. The nearest gas station (Casson’s Quick Check) is located on a non-adjacent property to the southwest of the proposed project site, over 1,900 feet away, and all the tanks are USTs. Two approximately 120-150-gallon LPG tanks were visible from the proposed project site on adjacent</p>

		<p>properties; however, these tanks were found to be within the acceptable separation distances as defined by HUD. The NC DWM Site Locator Tool was used for an updated AST one-mile review in October 2022, and the results remain unchanged. NCORR contacted the Lumberton Fire Department regarding planned/ future ASTs within one mile of the proposed project site, but has not received a response. A completed Thermal and Explosives Hazards Worksheet indicates that there are no such hazards associated with the site or surrounding properties. The proposed project is in compliance with explosive and flammable hazard requirements.</p> <p>See Attachment H for Explosive and Flammable Hazards documentation, including site maps, Phase I ESA Executive Summary, NC DWM Site Locator review with one-mile radius, signed Thermal & Explosive Hazards Checklist, and Lumberton Fire Department correspondence.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project includes activities that could potentially convert agricultural land to a non-agricultural use, but an exemption applies. According to 7 CFR Part 658.2(a) “[f]armland does not include land already committed to urban development.” Based on the presence of prime farmland soils on the site, Pyramid contacted the USDA NRCS Raleigh Service Center for review and comment on the impact of the proposed project on prime farmlands. On January 13, 2022, Ms. Laurie F. Muzzy, Resource Soil Scientist with the USDA NRCS Raleigh office, responded that the proposed project site <i>“is not considered Prime Farmland, as the site is located within an Urban Cluster”</i> and is not subject to the FPPA. Ms. Muzzy completed Part II of the Farmland Conversion Impact Rating (AD-1006) Form in accordance with the Code of Federal Regulations 7CFR 658, Farmland Protection Policy Act, and indicated that there is no need to continue the completion of the form. Copies of the correspondence and AD-1006 Form, with portions completed by the USDA NRCS Raleigh Service Center, are attached.</p> <p>The USDA NRCS Web Soil Survey Report indicated that the 6.39-acre proposed project site</p>

		<p>includes Goldsboro loamy sand, 0 to 2 percent slopes (GoA), which is considered “all areas are prime farmland,” and Lynchburg sandy loam, 0 to 2 percent slopes (Ly) and Rains sandy loam, 0 to 2 percent slopes (Ra), which are considered “prime farmland if drained.” Using the EPA’s NEPAassist online mapping application, it was discovered that the site is located just outside of the “Urbanized Areas” of Lumberton, which is already committed to urban development. Based on the response from the USDA-NRCS Raleigh Office, the site is not considered prime farmland and is located in an Urban Cluster. Thus, the proposed project is exempt from the Farmlands Protection Act and is in compliance with this section.</p> <p>See Attachment I for Farmlands Protection documentation.</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the FEMA FIRM Panel Number 3720030100K (eff. 12/6/2019), the proposed project site and surrounding area are located in Zone X, outside of the SFHA. The proposed project site does not include any areas of regulatory floodway. There are no Preliminary FIRMs available at the FEMA Flood Map Service Center for the proposed project site. The map indicates that all portions of the proposed project area will be within Zone X (Areas of Minimal Flood Hazard). Thus, the proposed project is in compliance with this section.</p> <p>A copy of the FEMA National Flood Hazard Layer FIRMette Map, Panel 3720030100K (eff. 12/6/2019), is attached for reference. See Attachment J for Floodplain Management documentation.</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>On November 3, 2021, NCORR submitted the proposed project to the North Carolina State Historic Preservation Office (NC SHPO) for review and concurrence of a preliminary finding of “No Historic Properties Affected” pursuant to 36 CFR 800.4(d)(1). On December 10, 2021, Ms. Renee Gledhill-Earley, Environmental Review Coordinator with the State Historic Preservation Office, responded that the SHPO’s review of the proposed project revealed no historic resources</p>

		<p>which would be affected by the construction of the project as proposed. Copies of the SHPO response and NCORR submission package are attached.</p> <p>According to the HUD Tribal Directory Assessment Tool (TDAT), the Catawba Indian Nation is the only federally-recognized tribe with interests in Robeson County, North Carolina. On November 3, 2021, NCORR consulted with the Catawba Indian Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. The letters were sent to Chief Bill Harris and Dr. Wenonah G. Haire, Tribal Historic Preservation Officer (THPO). On December 8, 2021, Ms. Caitlin Rogers responded for THPO Dr. Haire that “[t]he Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.” The proposed project is in compliance with Section 106.</p> <p>On January 28, 2022, NCORR Director Ms. Laura Hogshead sent a notification letter for the proposed project to the Lumbee Tribe of North Carolina Chairman John Lowery, and no response was received.</p> <p>The NC SHPO response and NCORR submission package, Catawba Indian Nation response and NCORR submission packages, and Lumbee Tribe of NC notification letter are included in Attachment K Historic Preservation documentation.</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the screening of the surrounding area of the proposed project site, noise generators (roads and airports) were discovered within the prescribed searched distances set forth by HUD regulations.</p> <p>According to NEPAssist, there are two airports located within 15 miles of the proposed project site. Both are public airports and include the Lumberton Regional Airport (LBT), which is 4.5</p>

miles to the west of the proposed project site, and the Bladenboro Airport (3W6), which is 11.7 miles southeast of the proposed project site.

A map showing all five airports within 15 miles of the proposed project site is attached. Three are considered private airports with no jet activity. One of the airports (McKee Airport) is closed indefinitely. The other two report one to two single-engine aircraft based in the field with no significant daily operations. According to the operations data from the Federal Aviation Administration (FAA) 5010 airport records, none of these airports are considered noise sources with the potential to affect the proposed project. As also shown on the National Transportation Noise Map, the proposed project site is well outside of the radius of noise exposure from airports. The FAA 5010 airport records and Airport Noise Worksheets are included in **Attachment L**.

The noise generator screening revealed that there are no railroads located within 3,000 feet of the proposed project site.

According to NEPAssist and the NC DOT Annual Average Daily Traffic (AADT) Mapping Application, there are two roads (Hardin Road and Harrill Road) with NC DOT AADT data available within 1,000 feet of the proposed project site. A noise assessment was completed for the site using Noise Assessment Locations (NALs) for the closest residential buildings (Buildings 4 and 8 using a 6.5 foot setback) and quiet outdoor spaces (gazebo, playground, and picnic area) to these road(s) using current and 2035 NC DOT AADT data. The 2035 projections were calculated using historical traffic data and the NC DOT AADT Workbook. Mr. Keith Dixon, NC DOT State Traffic Forecast Engineer, was also consulted. Using the HUD Day/Night Noise Level (DNL) Calculator, the highest noise level for all NALs was 65 decibels (dB) at the Harrill Road to Building 8 NAL projected for 2035. According to HUD regulation 24 CFR 51.103(c), a DNL equal to or less than 65 dB is within the **Acceptable** range. In addition, a row of trees will be planted along Harrill Road and in front of Buildings 2 and 8, see attached landscaping plan. The attached OSBM NC counties' projected population change 2030-2040 fact sheet indicates

		<p>Robeson County will decrease by 9,822 people from July 2030 to July 2040. Thus, the proposed project is Acceptable and in compliance with HUD regulation 24 CFR 51 Subpart B.</p> <p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours, Monday through Friday, except in emergency situations. Construction equipment will be required to meet local sound control requirements.</p> <p>Therefore, the proposed project site is in compliance with HUD noise standards. See Attachment L for Noise Abatement and Control documentation.</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are no sole source aquifers in North Carolina. A Sole Source Aquifer Map, generated from the EPA's interactive Sole Source Aquifer Locations Map online, is attached showing the proposed project site in relation to the nearest sole source aquifer.</p> <p>See Attachment M for Sole Source Aquifers documentation.</p>
<p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the USFWS National Wetlands Inventory (NWI) Map, only a Riverine (R2UBHx) is located along the northeastern boundary of the proposed project site. This riverine is a portion of an unnamed tributary that flows approximately 0.5 mile northwest before joining Meadow Branch.</p> <p>The proposed project site was reviewed for wetlands. The site is being used for corn agriculture production. The portions of the site to be developed are located in an upland area and no standing water, streams, or ponds were observed which could sustain wetland conditions at the site. Two manmade drainage ditches were identified on the proposed project site. A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The retention pond overflow drains toward these drainage ditches that run along the southwestern and northwestern boundaries of the proposed project site. The ditches convey stormwater</p>

overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property. A new, onsite stormwater retention pond is part of the proposed project development on the northwestern boundary.

An U.S. Army Corps of Engineers (USACE) jurisdictional determination (JD) application has been submitted, and the JD received. According to the USACE JD, *“[t]here are no waters of the U.S., to include wetlands, present on the above described property which are subject to the permit requirements of Section 404 of the Clean Water Act (33 USC 1344).”* Further, the USACE JD noted that *“[t]his site does not exhibit wetland criteria as described in the 1987 Corps Wetland Delineation Manual or Coastal Regional Supplement.”* A wetland delineation report was completed for jurisdictional waters and isolated wetlands/ surface waters that are not subject to USACE Clean Water Act (CWA) Section 404 regulations, but potentially subject to NC DEQ Division of Water Resources (DWR) regulations. No wetlands were observed during the site visit, as confirmed by USACE.

The NC DEQ DWR was contacted to ensure compliance with any CWA 401 Surface Water requirements and standards. CWA Section 401 regulates discharge of fill into 4 basic types of jurisdictional waters: wetlands; other special aquatic sites; open waters; and streams and rivers. According to Mr. Trent Allen, NC DEQ DWR, *“[s]ince the Corps Jurisdictional Determination says there are no wetlands or streams present on the site and the Lumber River Basin does not have riparian buffers, DWR would not require buffering on this site.”* In a December 2021 email, Mr. Robert Armstrong, the Director of Public Works for the City of Lumberton, indicated that the site is subject to the City’s standard stormwater ordinance and only needs a USACE permit if impacting a jurisdictional stream.

Erosion control and drainage features will be incorporated into the construction design, and copies of the preliminary Sedimentation and Erosion Control Plans are in **Attachment 1**.

		<p>According to NC DEQ, the Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An Erosion and Sedimentation Control Plan will be required if one or more acres are to be disturbed and must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements.</p> <p>The proposed project activities will be completed in accordance with all applicable federal, State, and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the environmental review record when received from the permitting agencies. The proposed project is in compliance with this section.</p> <p>See Attachment N for Wetlands Protection documentation, including NWI map, USACE JD, Wetland Delineation Report, and City of Lumberton emails.</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the attached U.S. National Park Service (NPS) Nationwide Rivers Inventory (NRI) Map and National Wild and Scenic River System Map, the proposed project site is not located within one mile of wild and scenic rivers. A map generated using the NPS Wild and Scenic Rivers Program Interactive Map (https://www.nps.gov/orgs/1912/plan-your-visit.htm) indicates that the proposed project site is located approximately 1.75 miles to the northeast of the Lumber River. Based on distance from the proposed project site, no Wild and Scenic Rivers, Study Rivers, or Nationwide Rivers Inventory Rivers are anticipated to be impacted by the proposed project. The proposed project is in compliance with this section.</p> <p>See Attachment O for Wild and Scenic Rivers documentation (NEPAssist Maps showing both NRI and National Wild and Scenic River System Rivers, NPS NRI Maps, National Wild and Scenic</p>

		River System Map, Wild and Scenic Rivers List, and Lumber River Data).
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>According to the NC DEQ Community Mapping System, the proposed project site is located within NC DEQ's Potentially Underserved Block Groups 2019. Demographic indicators from the EPA EJScreen Report show that the minority population in the proposed project area is approximately 63%, which is higher than the state average of 37% and regional average of 39%. Additionally, the area is reported to have 64% low-income population, which is higher than the state and regional averages of 36%. The population with less than high school education in the project area (26%) is higher than the state and regional averages (13%). Other demographic indicators, such as linguistic isolation, population under 5 years of age, and population over 64 years of age are fairly consistent with state and regional averages. Copies of the reports generated using the EJScreen Environmental Justice Screening and Mapping Tool are attached for reference.</p> <p>No adverse environmental impacts were identified in any other compliance review portion of this proposed project's total environmental review. The proposed project does not facilitate development which would result in disproportionate adverse environmental impacts on low-income or minority populations. Rather, the proposed project will benefit low-income residents through the construction of 72 units of affordable residential rental housing. See Attachment P for Environmental Justice documentation.</p>

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	<p>The proposed project will be a multifamily apartment complex that is in conformance with the current zoning designation. The Lumberton City Council Meeting Minutes dated February 17, 2021, shows the approved rezoning request to change the site from R-7 residential single family to B-2 business community for construction of the proposed project. According to the City of Lumberton Planning and Neighborhood Services Department, the proposed project site is currently zoned “B-2” for Community Business land use. In a letter dated April 19, 2021, Ar’Triel A. Kirchner, Director of Planning with the City of Lumberton Planning & Neighborhood Services, verified that the proposed multifamily development of the site “is an allowed use within the B-2 zoning district.” Copies of the current Robeson County Zoning Map and City of Lumberton zoning letter, Notice of Conditional Site Plan Approval, and Lumberton City Council Meeting Minutes dated February 17, 2021 are included as Attachment Q.</p> <p>The Lumberton Tomorrow Land Use Plan (September 2015), provided on the City of Lumberton Planning & Neighborhood Services website, indicates that Lumberton’s vision will “direct growth and investment toward areas within the city to energize and strengthen its neighborhoods, businesses, and overall quality of life.” The development of the proposed project site will align with the goals of the Land Use Plan by helping to strengthen neighborhoods, as the adjacent site to the south, Northeast Pointe Apartments, is a completed sister development, and helping provide quality, affordable housing to aid in overall quality of life for its residents. Therefore, the proposed project is consistent with local zoning and the Lumberton Tomorrow Land Use Plan.</p>
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The soils and existing slopes of the site are suitable for the proposed project. The mapped soil units for portions of the site that will be graded for the buildings include Goldsboro loamy sand, 0 to 2 percent slopes (GoA) and Lynchburg sandy loam, 0 to 2 percent slopes (Ly), which are moderately to somewhat

		<p>poorly-drained, and are not considered hydric soils (see attached USDA NRCS Web Soil Survey Report with descriptions and ratings in Attachment I). The elevation at the site is approximately 145 feet above mean sea level.</p> <p>Surface water runoff from the proposed project site is generally directed north toward an unnamed tributary of Meadow Branch, which runs along the northeastern boundary of the proposed project site. The unnamed tributary flows approximately 0.5 miles northwest before joining Meadow Branch. A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The retention pond overflow drains toward drainage ditches that run along the southwestern and northwestern boundaries of the proposed project site. The ditches direct the overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property. A new, onsite stormwater retention pond is part of the proposed project development on the northwestern boundary.</p> <p>Erosion control and drainage features will be incorporated into the construction design, and copies of the preliminary Sedimentation and Erosion Control Plans are in Attachment 1. According to NC DEQ, the Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An Erosion and Sedimentation Control Plan will be required if one or more acres are to be disturbed and must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES permit is required to discharge into surface water and/or operate and construct wastewater facilities discharging into state surface waters. A NPDES Construction Stormwater permit (NCG010000) should be obtained if design features meet minimum requirements.</p> <p>The developer indicated that this will be a fill site with only a few areas of cut: one being around the stormwater pond with an anticipated cut of 10' and the other being a small area around building #7 with an approximately 1' of cut. Grading activities will relocate some soil on the site in accordance with the grading plan. Any externally-sourced fill material will come from an approved source, and applicable NC regulations on erosion control permit will be complied with. The soils will be confirmed to be "clean" fill and that it meets project requirements prior to importing the material.</p>
Hazards and Nuisances including Site Safety and Noise	2	Based upon the site inspection, NEPAassist and NC DWM search results, and the Phase I ESA, there were no hazards identified that could affect the health and safety of occupants or conflict with the intended utilization of the subject property (see

Contamination and Toxics Section's attachments in **Attachment F** and **Attachment R**).

Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. The contractor will use BMPs to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck to stabilize potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and construction vehicles and machinery operating at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed. (See Clean Air Act section.)

Temporary noise increases will occur due to construction of the proposed project. Construction is short-term and will be limited to the project area. Short-term impacts due to construction activities would result in intermittent and varying levels of construction noise. Average noise levels associated with various construction phases where all pertinent equipment is present and operating at a reference distance of 15 meters (50 feet) are:

Ground Clearing:	84±6 dBA
Excavations:	89±6 dBA
Foundations:	78±3 dBA
Erection of Structures:	85±5 dBA
Finishing (i.e., Paving):	89±6 dBA

(Ref.: Bolt, et al. for the Environmental Protection Agency, 1971)

Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours, Monday through Friday, except in emergency situations. Construction equipment will be required to meet local sound control requirements.

According to the Noise Assessment in **Attachment L**, the highest noise level for all NALs was 65 decibels (dB) at the Harrill Road to Building 8 NAL projected for 2035. According to HUD regulation 24 CFR 51.103(c), a DNL equal to or less than 65 dB is within the Acceptable range. In addition, a row of

		trees will be planted along Harrill Road and in front of Buildings 2 and 8, see attached landscaping plan. The attached NC OSBM counties' projected population change 2030-2040 fact sheet indicates Robeson County will decrease by 9,822 people from July 2030 to July 2040. Thus, the proposed project is Acceptable and in compliance with HUD regulation 24 CFR 51 Subpart B.
Energy Consumption	2	The proposed development will achieve Energy Star Multi-Family New Construction certification and will include Energy Star appliances and low-flow fixtures to minimize energy consumption. The proposed project will cause an increase in energy use as compared to the current vacant use. However, the proposed project will be connected into an existing grid and will not require additional infrastructure. The existing City of Lumberton power infrastructure can support the proposed project. Therefore, the proposed project is anticipated to have minimal impact to energy consumption.

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	2	The current employment and income patterns of the Lumberton area are adequate to support the proposed project. Several commercial businesses and shopping centers are located near the proposed project site that would provide employment opportunities to residents (see attached Figures 1-4 in Attachment 1). The CDC Report for Robeson County (Attachment P) indicates that the average household income is \$35,407, which is lower than the NC average of \$53,922. Based on the rather low income rate for the project area, the proposed development will allocate 40% of the units to serve residents earning less than 50% of the Area Median Income (AMI) for Robeson County. Ultimately, 100% of the units would be affordable for those earning 60% or less of the AMI. The community will also include eight fully-accessible units for the mobility impaired and eight units targeted to persons with disabilities or homeless populations. According to a Market Study dated March 15, 2021, employment in the Primary Market Area (PMA) is concentrated in the manufacturing, healthcare/ social assistance, and retail industries, which total approximately 46 percent of local employment. Major employers for the project area include Mountaire Farms, the public school system of Robeson County, SE Regional Medical Center, Wal-Mart, and UNC at Pembroke. As a result of the proposed development, temporary jobs may be created during construction of the project and permanent jobs will be created to manage the property and serve its residents. The proposed project is not anticipated to adversely impact traffic during construction or operation.
Demographic Character Changes, Displacement	2	The site is located in an area of Lumberton that is predominately used for residential, commercial, agricultural, and institutional purposes. The proposed project site is vacant and the proposed

		project would not cause the displacement of individuals or families; destroy jobs, local businesses or public community facilities; or disproportionately affect particular populations. The proposed site development is compatible with the surrounding area and no demographic character changes or displacement should occur in connection with the development. Additionally, residents are expected to come from the area and surrounding communities and should not contribute to demographic character changes. Therefore, the proposed project will have no anticipated impact on the demographic character or displacement of people in the surrounding area.
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Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	<p>Adequate educational and cultural facilities are located within one mile of the proposed project site (see Figure 4 in Attachment 1). The proposed project site is located within three miles of downtown Lumberton, and, therefore, within the proximity of many schools and museums including Rowland Norment, W.H. Knuckles, and Tanglewood Elementary Schools; Lumberton Junior High School; and Lumberton High School. Nearby museums include the African Cultural Center, the Robeson County History Museum, and Exploration Station. The proposed project is relatively small and the existing infrastructure for educational and cultural facilities is equipped to handle the minor increase to the local population. Since many of the proposed project’s residents are expected to come from within the community, there might be less impacts if students are already enrolled in the school/district. In addition, according to the Lumberton City Manager, the “proposed development will provide needed housing, <i>replacing housing lost through the two major recent hurricanes.</i>” Thus, the relatively small number of new affordable housing units is not anticipated to have an adverse impact on the local education or cultural facilities.</p> <p>See Attachment 1 and Attachment T City Manager and Mayor Correspondence</p>
Commercial Facilities	2	<p>Adequate commercial facilities are located within one mile of the proposed project site including shopping centers, restaurants, and pharmacies (see Figure 4 in Attachment 1). Specifically, Dollar General, Food Lion, Family Dollar, and Walmart Neighborhood Market stores are located within 1 to 1.5 miles of the proposed project site to serve the families of the proposed development. Based on a review of the above resources, the completion of this proposed project would help increase the available workforce and consumers within the surrounding area. Thus, the proposed project is not anticipated to have an adverse impact on commercial facilities.</p>

Health Care and Social Services	2	<p>Adequate health care and social services are located within three miles of the proposed project site (see Figure 4 in Attachment 1). Lumberton Family & Urgent Care is located less than one mile south of the proposed project site. UNC Health Southeastern is also located approximately three miles to the northwest. Several pharmacies are also within 1 to 1.5 miles of the proposed project site. Many social services are located nearby, due to the site's proximity to downtown Lumberton. The Robeson County Health Department is approximately six miles to the west. Additionally, the development should increase the workforce availability to the local area. It is anticipated that many residents of the proposed project will come from within the community and are potentially already served by these health care and social services. Therefore, there should only be a negligible increase in demand for services.</p>
Solid Waste Disposal / Recycling	2	<p>The existing apartment complex to the south, Northeast Pointe Apartments, includes dumpsters for solid waste disposal and recycling services, which are serviced by a private company. The proposed project site will similarly utilize dumpsters for the handling of residential waste. The Robeson County Landfill is located approximately 15 miles northeast of the site and a smaller Robeson County Solid Waste Collection site is located approximately six miles southwest. This site is a vacant site with no significant generation of construction or demolition debris. Grading activities will relocate some soil on the site in accordance with the grading plan.</p> <p>The NC DEQ DWM Solid Waste Section (Section) reviewed the proposed project and noted that “for any planned or proposed projects, it is recommended that during any land clearing, demolition and construction, the responsible party and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that the responsible party require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.” In addition, the NC DEQ notes that “[a]ny open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900.”</p> <p>See Attachment V State Environmental Clearinghouse Comments from NC DEQ</p>
Waste Water / Sanitary Sewers	2	<p>Public water and sewer utilities are available through the City of Lumberton Public Utilities Department. Sewer connections are available along Harrill Road as indicated in the attached</p>

		<p>utility plan (see Attachment 1). The developer plans to connect to the existing system, which is equipped to handle the proposed development according to the Lumberton City Manager (see Attachment T).</p> <p>According to the NC DEQ comment, a permit to construct and operate wastewater treatment facilities, non-standard sewer system extensions and sewer systems that do not discharge into state surface waters and a permit to construct and operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system might be required. Also, a NPDES permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters might be required.</p> <p>All applicable federal, State and local permits will be obtained for the proposed project prior to construction and activities will comply with their requirements and conditions. Therefore, the proposed project is not anticipated to have an adverse impact on wastewater/ sanitary sewers and capacity onsite and in the surrounding area.</p> <p>See Attachment V State Environmental Clearinghouse Comments from NC DEQ</p>
Water Supply	2	<p>Municipal water services are available through the City of Lumberton Public Utilities Department. Water connections are available along Harrill Road as indicated in the attached utility plan (see Attachment 1). The developer plans to connect to the existing system, which is equipped to handle the proposed development according to the Lumberton City Manager (see Attachment T).</p> <p>According to NC DEQ comment, plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq. In addition, all public water supply systems must comply with State and federal drinking water monitoring requirements. According to NC DEQ, if any wells are discovered on the proposed project site, then abandonment of any wells must be in accordance with Title 15A. Subchapter 2C.0100. Further, NC DEQ notes that any relocation of existing water lines/mains or water main extension will require plans to be submitted to the Division of Water Resources/Public Water Supply Section prior to construction. If water will be bought and resold, then the NC Utilities Commission will be contacted. All</p>

		<p>applicable federal, State and local permits will be obtained for the proposed project prior to construction and activities will comply with their requirements and conditions. Therefore, the proposed project is not anticipated to have an adverse impact on water supply onsite and in the surrounding area.</p> <p>See Attachment V State Environmental Clearinghouse Comments from NC DEQ</p>
Public Safety - Police, Fire and Emergency Medical	2	<p>Adequate Public Safety, Police, Fire and Emergency Services are available to the proposed project site through the City of Lumberton, some of which are shown on Figure 4 in Attachment 1. Lumberton Family & Urgent Care is located less than one mile south of the proposed project site. Lumberton Rescue EMS East Side is located 1.6 miles to the south of the proposed project site. The Lumberton Police Department is located 1.5 miles to the west of the site. The nearest fire station is Pine Terrace Fire Department, which is 3.6 miles to the southwest of the proposed project site. The proposed project meets the characteristics of the surrounding area and is relatively small. It is anticipated that many residents of the proposed project will come from within the community and there will be a negligible increased demand for services. Thus, the proposed project is not anticipated to have an adverse impact on local public safety services.</p>
Parks, Open Space and Recreation	2	<p>Many open spaces, parks, and recreation centers are located within two miles of the proposed project site (see Attachment S). Specifically, Northeast Park is located approximately 1.25 miles northeast of the site. Lumberton High School includes recreation facilities and is located approximately 1.7 miles northwest of the site. Luther Britt Park is located approximately 2.6 miles west of the site. Additionally, the proposed project includes a 2,092 square-foot community center building, 250 square-foot multi-purpose room, playground and tot lot, covered picnic area with tables, a grill, and gazebo.</p> <p>It is anticipated that many residents of the proposed project will come from within the community and there will be a negligible increased demand for resources. Thus, the proposed project is not anticipated to have an adverse impact on open spaces, parks, and recreation centers.</p>
Transportation and Accessibility	2	<p>Preliminary outreach was completed with NC DOT to discuss the proposed project. No traffic analysis was required by the City. Relevant NC DOT permits will be applied for following initial feedback on the draft civil plans by the Lumberton Planning Department.</p> <p>There are no fixed public transportation services that serve the City of Lumberton or Robeson County. The South East Area</p>

	<p>Transit System (SEATS) is a pre-scheduled, demand-response transportation system that includes transportation for employment, education, non-emergency medical transportation, and quality of life trips. All of SEATS' vehicles are accessible to passengers with disabilities. Users must schedule their ride with the SEATS call center by noon on the day before the service is needed and is limited to a first come-first served priority. Public transportation costs \$2.00 per ride, one way. Agency-sponsored passengers are not charged a fare. SEATS operates Monday through Friday from 5:30 a.m. to 5:30 p.m. and also provides Saturday service from 5 a.m. to 2 p.m. more information on the SEATS system is included in Attachment U.</p> <p>The NC DOT had no comment during the State Environmental Clearinghouse review. Thus, based on the above review, the proposed project is not anticipated to have an adverse impact on transportation in the area and traffic, other than a minor impact during short-term construction.</p> <p>See Attachment U and Attachment V State Environmental Clearinghouse Comments from NC DOT</p>
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Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	<p>According to the NC NHP Database, no designated Natural Areas are located within one mile of the proposed project site. The City of Lumberton - Godwin Heights Park is a Managed Area located within one mile of the proposed project site. Due to the distance from this Managed Area to the proposed project site and development type, there are no impacts anticipated from the proposed project. According to the NC NHP database, there are no records for rare species, important natural communities, natural areas, and/ or conservation/ managed areas within the proposed project boundary.</p> <p>The USACE, NC DEQ DWR and City have responded that the proposed project site does not contain wetlands, and CWA Section 404 and 401 permits and buffer areas are not required (See Wetlands Protection section and Attachment N). An unnamed tributary of Meadow Branch, runs along the northeastern boundary of the proposed project site. The unnamed tributary flows approximately 0.5 miles northwest before joining Meadow Branch. A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The retention pond overflow drains toward drainage ditches that run</p>

		<p>along the southwestern and northwestern boundaries of the proposed project site. The ditches direct the overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property. A new, onsite constructed stormwater retention pond is part of the proposed project development on the northwestern boundary.</p> <p>Erosion control and drainage features will be incorporated into the construction design, and copies of the preliminary Sedimentation and Erosion Control Plans are in Attachment 1. According to NC DEQ, the Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An Erosion and Sedimentation Control Plan will be required and a NPDES Construction Stormwater permit (NCG010000) should design features meet minimum requirements.</p> <p>The proposed project activities will be completed in accordance with all applicable federal, State, and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the environmental review record when received from the permitting agencies. The proposed project is in compliance with this section.</p> <p>See Attachment V State Environmental Clearinghouse Comments from NC DEQ and Attachment 1 Preliminary Sedimentation and Erosion Control Plans</p>
Vegetation, Wildlife	2	<p>The site was undeveloped and used for agricultural purposes at the time of the site inspection. Based on the results of the USFWS IPaC report, there are a total of five threatened, endangered, or candidate species identified and no critical habitats within the proposed project area. A NC NHP Database Query Report identified no federally-listed species. None of the listed species were observed during the site visit. In addition, the proposed project site does not contain suitable habitat for these species since the land has been historically used for agricultural purposes. Therefore, a No Effect determination has been made for all of the above-listed species. A Self-certification Letter and 10-step Project Review Package were prepared and submitted to the USFWS Raleigh Ecological Services Field Office on October 26, 2022 as an Annual Update. A formal request for determination of effects of the proposed project on the listed species was sent to the Raleigh U.S. Fish and Wildlife Service on October 8, 2021. Mr. John Ellis for Mr. Pete Benjamin, Field Supervisor of the U.S. Fish and Wildlife Service Raleigh Field Office, responded on November 8, 2021 and indicated the following:</p> <p>“Based on the information provided and other information available, it appears that the proposed action is not likely to adversely affect any federally-listed endangered or threatened</p>

		<p>species, their formally designated critical habitat, or species currently proposed for listing under the Act at these sites. We believe that the requirements of section 7(a)(2) of the Act have been satisfied for your project. Please remember that obligations under section 7 consultation must be reconsidered if: (1) new information reveals impacts of this identified action that may affect listed species or critical habitat in a manner not previously considered; (2) this action is subsequently modified in a manner that was not considered in this review; or, (3) a new species is listed or critical habitat determined that may be affected by the identified action.” USFWS has not contacted NCORR for additional information. The Grant Recipient will update this determination annually for multi-year activities.</p> <p>Based on consultation with the USFWS and NC NHP, the project is not anticipated to impact any threatened, endangered, or candidate species. No other vegetation or wildlife are anticipated to be impacted by this development. Since the site has consistently been used for agricultural purposes, there will be no tree clearing activities or disturbance to native plants. However, it is recommended that native plants be used for landscaping at the proposed development.</p> <p>See Attachment G for Endangered Species documentation</p>
Environmental Justice EA Factor	2	<p>According to the NC DEQ Community Mapping System, the proposed project site is located within NC DEQ's Potentially Underserved Block Groups 2019. According to the American Community Survey, this census block group has a total population of 1,044 with approximately 63.98% of the population is a minority, and approximately 52.53% is classified as low-income. According to the EJSscreen Report within a 1-mile radius of the proposed project site, the minority population is 63%, and low-income population is 64%. According to the EJSscreen Report, the proposed project site area is generally consistent with or lower than most of the State of North Carolina and EPA regional (Region 4) averages in the selected environmental indicators.</p> <p>Several of the indicators are slightly higher than the state and/or EPA regional averages and include ozone, traffic proximity and volume, lead paint indicator, and risk management plan (RMP) proximity. The ozone indicator (40.4 parts per billion (ppb)) only shows a slightly higher variance than the EPA regional average (38 ppb), but well below the state average (42.9 ppb). Air quality reports indicate that Robeson County is not listed for Non-Attainment or Maintenance status in any of the targeted National Ambient Air Quality Standard (NAAQS) monitoring parameters, which include ozone. Therefore, the slightly higher average will not have a negative effect on the proposed development.</p>

The average value for the lead paint indicator in the proposed project area (0.29%) was higher than the state average (0.16%) and the regional average (0.15%). This data point indicates that many of the homes in the area were built before 1960, illustrating a need for safe and quality housing in the area.

The indicator for traffic proximity and volume (260 daily count/distance) is only slightly higher than the state average (230 daily count/distance) but is well below the regional average (350 daily count/distance). The higher average could be due to the fact that NC-211 (N. Roberts Avenue) with an AADT of 17,500, is approximately 1,530 feet to the southwest, and 7th Street with an AADT of 5,100, is approximately 1,025 feet to the south. However, the road nearest the site, Harrill Road, is a locally traveled road with an AADT of less than 3,000. The noise assessment in **Attachment L** indicated that the DNL levels for the proposed project area is within Acceptable HUD limits (65dB) and traffic proximity and volume is not a concern in the proposed project location.

Indicators for risk management plan (RMP) proximity (1.3 facilities/kilometer) was also higher than the State (0.39 facilities/kilometer) and EPA regional averages (0.6 facilities/kilometer). Due to the growing urban location near the proposed project area, the presence of commercial and industrial properties is more likely, and could account for the higher average. Pyramid completed a Phase I ESA for the proposed project site and reviewed the regulatory databases and the proposed project site's location relative to potentially hazardous sites. One hazardous substance disposal site (Cardinal Chemical Warehouse) and four leaking underground storage tank sites were located within one mile of the proposed project site. Based on the review, Pyramid concluded that most of these sites are located over ¼ mile from the proposed project site and, due to distance, location, and elevation, the sites are not expected to have an impact on the proposed project site. A full copy of the Phase I ESA has been provided under separate cover in **Attachment F**.

The proposed project will not subject the community to environmental conditions that could have disproportional effects on low-income or minority populations. Rather, this proposed project will provide much needed safe, affordable housing options within the community following a decrease in housing inventory after Hurricanes Matthew and Florence. Thus, the proposed project does not contribute to or promote environmental injustice.

See **Attachment P** Environmental Justice documentation

Air Quality EA Factor	2	<p>According to the EJScreen Report for the proposed project in Attachment P, the site is: 33% in US for Particulate Matter 2.5 (ug/m3), 31% for Ozone (ppb), under 50% for NATA Diesel Particulate Matter (ug/m3), 60-70% for NATA Cancer Risk (lifetime risk per million), and 50-60% for NATA Respiratory Hazard Index. Air quality is not a concern at the site even with exacerbation of effects from Climate Change. According to the EPA, "Climate change can impact air quality and, conversely, air quality can impact climate change. Changes in climate can result in impacts to local air quality. Atmospheric warming associated with climate change has the potential to increase ground-level ozone in many regions, which may present challenges for compliance with the ozone standards in the future. The impact of climate change on other air pollutants, such as particulate matter, is less certain, but research is underway to address these uncertainties. Emissions of pollutants into the air can result in changes to the climate. Ozone in the atmosphere warms the climate, while different components of particulate matter (PM) can have either warming or cooling effects on the climate. For example, black carbon, a particulate pollutant from combustion, contributes to the warming of the Earth, while particulate sulfates cool the earth's atmosphere." (See https://www.epa.gov/air-research/air-quality-and-climate-change-research.) There will be no significant impact to air quality from the proposed project. The operation of the proposed project following the completion of construction activities will not increase emissions. Any air quality impacts would be short-term and localized during construction, and no significant adverse impacts to air quality are anticipated.</p>
Climate Change	2	<p>According to NOAA, climate change is likely increasing the intensity of tropical cyclones. The proposed project building site is not located within a Special Flood Hazard Area or a coastal area. According to the EJScreen website's Climate Change Data, the proposed project site has a 0.67 average change in drought (5-year SPEI), no projected coastal flood hazards, no projected 100-year floodplain, no projected sea level rise, the census block group contains 86% properties at wildfire risk in 2022 and 81% properties at wildfire risk in 2052, and the census block group contains 87% properties at flood risk in 2022 and 86% properties at flood risk in 2052. The data from the EJScreen is representative for the area, and lower risk percentiles than some portions of the surrounding area in Lumberton. Thus, the data does not pose any additional site concerns. The proposed development will provide much needed affordable housing options within the community. Due to the increased frequency of high intensity storms and the resultant housing inventory shortage, the proposed project site was determined to be most suitable and necessary for providing the community with new, safe, affordable housing. See https://www.climate.gov/news-features/understanding-climate/climatechange-probably-increasing-intensity-tropical-cyclones and EJScreen at https://ejscreen.epa.gov/mapper/</p>

Other Factors	2	No other factors were identified which would be impacted by the proposed project.
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Additional Studies Performed:

- ASTM 1527-13 Phase I Environmental Site Assessment performed by Pyramid Environmental & Engineering, P.C., dated September 20, 2021.
- A Market Feasibility Study of: Northeast Pointe II performed by Novogradac Consulting, LLP, dated March 15, 2021.

Field Inspection (Date and completed by):

- September 14, 2021 by Tamara Cagle, Project Manager, with Pyramid Environmental & Engineering, P.C.

List of Sources, Agencies, and Persons Consulted [40 CFR 1508.9(b)]:

Agencies & Persons Consulted:

- Catawba Indian Nation – Ms. Caitlin Rogers, THPO Office
- City of Lumberton Fire Department – Mr. Chris West, Interim Fire Chief
- NC Housing Finance Agency – Ms. Claudia Young, Quality Assurance Specialist
- NC Office of Recovery and Resiliency – Ms. Andrea Gievers, Environmental Subject Matter Expert
- NC State Historic Preservation Office – Ms. Renee Gledhill-Earley, Environmental Review Coordinator
- USDA NRCS – Raleigh Service Center – Ms. Laurie F. Muzzy, Resource Soil Scientist
- U.S. Fish & Wildlife Service – Mr. John Ellis, Fish and Wildlife Biologist
- NC DOT – Mr. Keith Dixon, State Traffic Forecast Engineer

List of Figures & Attachments:

Figures (*Attachment 1 in HEROS*)

- Figure 1 - USGS Topographic Map
- Figure 2 - Tax Map
- Figure 3 - 2017 Aerial Photograph
- Figure 4 - Surrounding Area Amenities and Services
- Preliminary Site Plans with Sedimentation/Erosion Control and Utility Plans

Attachments

- A. Airport Hazards Documentation
- B. Coastal Barrier Resources Act (CBRA) Documentation
- C. Flood Insurance Documentation (FEMA FIRM)
- D. Air Quality Documentation
- E. Coastal Zone Management Act (CZMA) Documentation

- F. Contamination and Toxic Substances Documentation (NC DWM & NEPAAssist Results & Phase I ESA)
- G. Endangered Species Act Documentation
- H. Explosive and Flammable Hazards Documentation
- I. Farmlands Protection Documentation
- J. Floodplain Management Documentation (FEMA FIRM)
- K. Historic Preservation Documentation
- L. Noise Abatement and Control Documentation
- M. Sole Source Aquifers Documentation
- N. Wetlands Protection Documentation
- O. Wild & Scenic Rivers Act Documentation
- P. Environmental Justice Documentation
- Q. Zoning Documentation
- R. Hazards and Nuisances Documentation
- S. Parks, Open Space and Recreation Documentation
- T. City Manager and Mayor Correspondence
- U. Transportation and Accessibility Documentation
- V. State Environmental Clearinghouse Comments (2/14/22 – 3/16/22)
- W. State Environmental Clearinghouse Comments – FONSI/NOI-RROF (to be added)

Sources:

- AirNav Aviation Information online, <https://www.AirNav.com>
- American Geosciences Institute National Pipeline Mapping System Interactive Map online, <https://pvnpm.phmsa.dot.gov/PublicViewer/>
- CBRS Mapper Interactive Map online, <https://www.fws.gov/cbra/maps/Mapper.html>
- Center for Disease Control and Prevention National Environmental Public Health Tracking Network online, <http://ephtracking.cdc.gov/showHome.action>
- City of Lumberton Designated Opportunity Zones map, accessed online at <https://opportunitydb.com/cities/lumberton-north-carolina/>
- City of Lumberton Tomorrow Land Use Plan (2015) at https://www.benchmarkplanning.com/images/project-files/Lumberton/Lumberton_LUP_Adopted_09142015_web_version.pdf
- EPA Environmental Justice Screen Mapper online, <https://ejscreen.epa.gov/mapper/>
- EPA Green Book National Ambient Air Quality Standards online, <https://www.epa.gov/green-book>
- EPA Map of Radon Zones in North Carolina, accessed online at <https://www.epa.gov/radon/state-maps-radon-zones>
- EPA NEPAAssist Tool online, <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>

- EPA Sole Source Aquifer Map online, <https://epa.maps.arcgis.com/apps/webappviewer/index.html>
- FEMA Flood Map Service Center online, <http://msc.fema.gov/portal/home>
- HUD Tribal Directory Assessment Tool online, <https://egis.hud.gov/tdat/>
- National Park Service – National Register of Historic Places Interactive Map online, <https://www.nps.gov/maps/full.html>
- National Park Service - Nationwide Rivers Inventory online, <https://www.nps.gov/subjects/rivers/north-carolina.htm>
- National Park Service - Wild and Scenic Rivers Program Interactive Map online, <https://www.nps.gov/orgs/1912/plan-your-visit.htm>
- National Transportation Noise Map online, <https://maps.dot.gov/BTS/NationalTransportationNoiseMap/>
- National Wetland Inventory Wetlands Mapper online, curated by the U.S. Fish and Wildlife Service, <http://www.fws.gov/wetlands/Data/Mapper.html>
- North Carolina Department of Environmental Quality – Division of Coastal Management Interactive Map Viewer online,
 - <https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html>
- North Carolina DOT Annual Average Daily Traffic (AADT) Mapping Applications online, <https://www.arcgis.com/apps/webappviewer/index.html> and <https://connect.ncdot.gov/resources/State-Mapping/Pages/Traffic-Survey-GIS-Data.aspx>
- North Carolina State Environmental Clearinghouse Comments, <https://clearinghouse.nc.gov/SCH/EnvironmentalReview>
- North Carolina Historic Preservation Office (NCHPO) web mapping service, <https://nc.maps.arcgis.com/apps/webappviewer/index.html>
- North Carolina Oil and Gas Wells Map, obtained from the NC DEQ Oil and Gas Program website, <https://deq.nc.gov/about/divisions/energy-mineral-land-resources/energy-group/oil-gas-program>
- Robeson County GIS Rokmaps Interactive Map, https://maps.roktech.net/ROKMAPS_Robeson/
- Robeson County Public Works website, <https://www.co.robeson.nc.us/robeson-county-public-works>
- Robeson County South East Area Transit System (SEATS) online, <http://www.co.robeson.nc.us/seats>
- USDA Web Soil Survey online, <https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>

- U.S. Fish & Wildlife Service Information for Planning and Consultation (IPaC) Tool online, <https://ecos.fws.gov/ipac/>
- USGS Topographic Maps, Northeast Lumberton and Southeast Lumberton, NC Quadrangles, dated 2019

List of Permits To Be Obtained (later identified permits will be added to the ERR):

All applicable federal, State and local permits will be identified and obtained prior to starting construction. Permits that might be required include, but are not limited, to:

- City of Lumberton Building Permit
- City of Lumberton Site Plan Approval
- NC DOT Driveway Permit
- NC DOT Third-party Encroachment Permit
- NC DEQ Sedimentation and Erosion Control Permit and Plan Approval
- NC DEQ NPDES Construction Stormwater Permit (NCG010000)
- PWS and DWR State water and sewer permits

Public Outreach [24 CFR 50.23 & 58.43]:

- Lumberton City Council, February 17, 2021 (zoning approved)
- State Environmental Clearinghouse Review of Project Scoping Package, February 14, 2022 through March 16, 2022. The FONSI/NOI-RROF will also be submitted to the NC State Environmental Clearinghouse for agency review and comment.
- The FONSI/NOI-RROF will be published in The Robesonian and distributed to Interested Agencies, Groups and Individuals.

Cumulative Impact Analysis [24 CFR 58.32]:

This environmental review has determined that the proposed project in its entirety would not have significant adverse impacts associated with cumulative effects caused by the aggregate of past, present, and reasonably foreseeable future actions. No negative significant cumulative impacts to the environment were discovered as part of this Environmental Assessment. The proposed project will be a multifamily housing complex for low-income individuals and families that will provide affordable, safe housing that is needed in the area. The proposed project site was found to be a very suitable site for the proposed project with no onsite or nearby recognized environmental conditions that would adversely affect the project. This site was found to be appropriate for much needed multifamily affordable housing with minimal adverse environmental impacts and close proximity to community services. The benefits of this proposed project to the local economy and lower income community in the City of Lumberton cannot be understated.

The purpose of the project is to provide affordable housing for individuals and families in the Lumberton, NC area. Northeast Pointe II, as proposed, will allocate 40% of the units to serve residents earning less than 50% of the Area Median Income (AMI) for Robeson County. Ultimately, 100% of the units would be affordable for those earning 60% or less of the AMI. The proposed development will include eight fully-accessible units for the mobility impaired and eight units targeted to persons with disabilities or homeless

populations. The impact of the proposed project should be positive for the residents of the Lumberton community. The project will fulfill the housing needs and provide affordable options for the residents of Lumberton.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

Alternative sites in Lumberton and Robeson County were considered, but this site was ultimately chosen for its close proximity to local amenities and services in alignment with NCHFA site selection criteria, in addition, to its relative lack of site development challenges. The City of Lumberton was not involved with choosing this site; however, they did approve zoning to allow multifamily development prior to funding applications through NCHFA. Some alternative sites considered had a variety of other challenges including the potential for environmental obstacles making their suitability less clear, as well as, floodplain concerns. Additional alternative sites were removed from consideration due to price concerns. Alternative sites considered but ultimately rejected due to the factors discussed above were located on Dunn Road and Wintergreen Drive in Lumberton.

No Action Alternative [24 CFR 58.40(e)]:

Under the No Action Alternative, vitally needed affordable housing would not be built for low-income families in Robeson County. Given the acute housing needs of the community exacerbated by recent hurricanes, not taking action would not address the ongoing housing challenges of Eastern North Carolina. The proposed project site is located in a rapidly developing area of Lumberton. As such, it is likely that, in the absence of the proposed project, the site would ultimately be developed. Based on the surrounding area, it would likely be developed for commercial, residential, or institutional purposes, or a combination thereof. Additionally, there would be fewer options for affordable housing in the community and the “no action alternative” would ultimately affect the availability of housing in Lumberton, which is much needed.

Summary of Findings and Conclusions:

The preceding Statutory Checklist and Environmental Assessment Checklist, and the discussion below, document that the proposed project work will comply with regulations in 24 CFR part 58 and that there are no direct or cumulative adverse environmental impacts anticipated as a result of the proposed project.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]:

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Any change to the approved scope of work will require re-evaluation by the Certifying Officer for compliance with NEPA and other laws and Executive Orders.

This review does not address all federal, state, and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state, and local environmental permits and clearances may jeopardize federal funding. Guidelines, recommendations, and requirements identified during the State Environmental Clearinghouse inter-agency review shall be considered and required, where applicable.

Law, Authority, or Factor	Mitigation Measure
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. The contractor will use Best Management Practices (BMPs) to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck to stabilize potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and construction vehicles and machinery will operate at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed.</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p> <p>Hazards and Nuisances including Site Safety and Site-Generated Noise</p>	<p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours, Monday through Friday, except in emergency situations. Construction equipment will be required to meet local sound control requirements.</p> <p><i>See also the Clean Air Act section's mitigation measures.</i></p>
<p>Unique Natural Features /Water Resources</p> <p>Soil Suitability / Slope/ Erosion / Drainage and Storm Water Runoff</p>	<p>Erosion control and drainage features will be incorporated into the construction design, and copies of the preliminary Sedimentation and Erosion Control Plans are in Attachment 1. According to NC DEQ, the Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An Erosion and Sedimentation Control Plan will be required if one or more acres are to be disturbed and must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES permit is required to discharge into surface water and/or operate and</p>

	<p>construct wastewater facilities discharging into state surface waters. A NPDES Construction Stormwater permit (NCG010000) should be obtained if design features meet minimum requirements.</p> <p>The developer indicated that this will be a fill site with only a few areas of cut: one being around the stormwater pond with an anticipated cut of 10' and the other being a small area around building #7 with an approximately 1' of cut. Grading activities will relocate some soil on the site in accordance with the grading plan. Any externally-sourced fill material will come from an approved source, and applicable NC regulations on erosion control permit will be complied with. The soils will be confirmed to be "clean" fill and that it meets project requirements prior to importing the material.</p>
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Determination:

Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.27]
The project will not result in a significant impact on the quality of the human environment.

Finding of Significant Impact [24 CFR 58.40(g)(2); 40 CFR 1508.27]
The project may significantly affect the quality of the human environment.

Preparer Signature: Andrea Sievers Date: 11/11/22

Name/Title/Organization: Andrea Gievers, Environmental SME, NCORR

Certifying Officer Signature: DocuSigned by: Laura H. Hogshead Date: 11/11/2022
D8561D53476B499...

Name/Title: Laura H. Hogshead, Director, NCORR

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

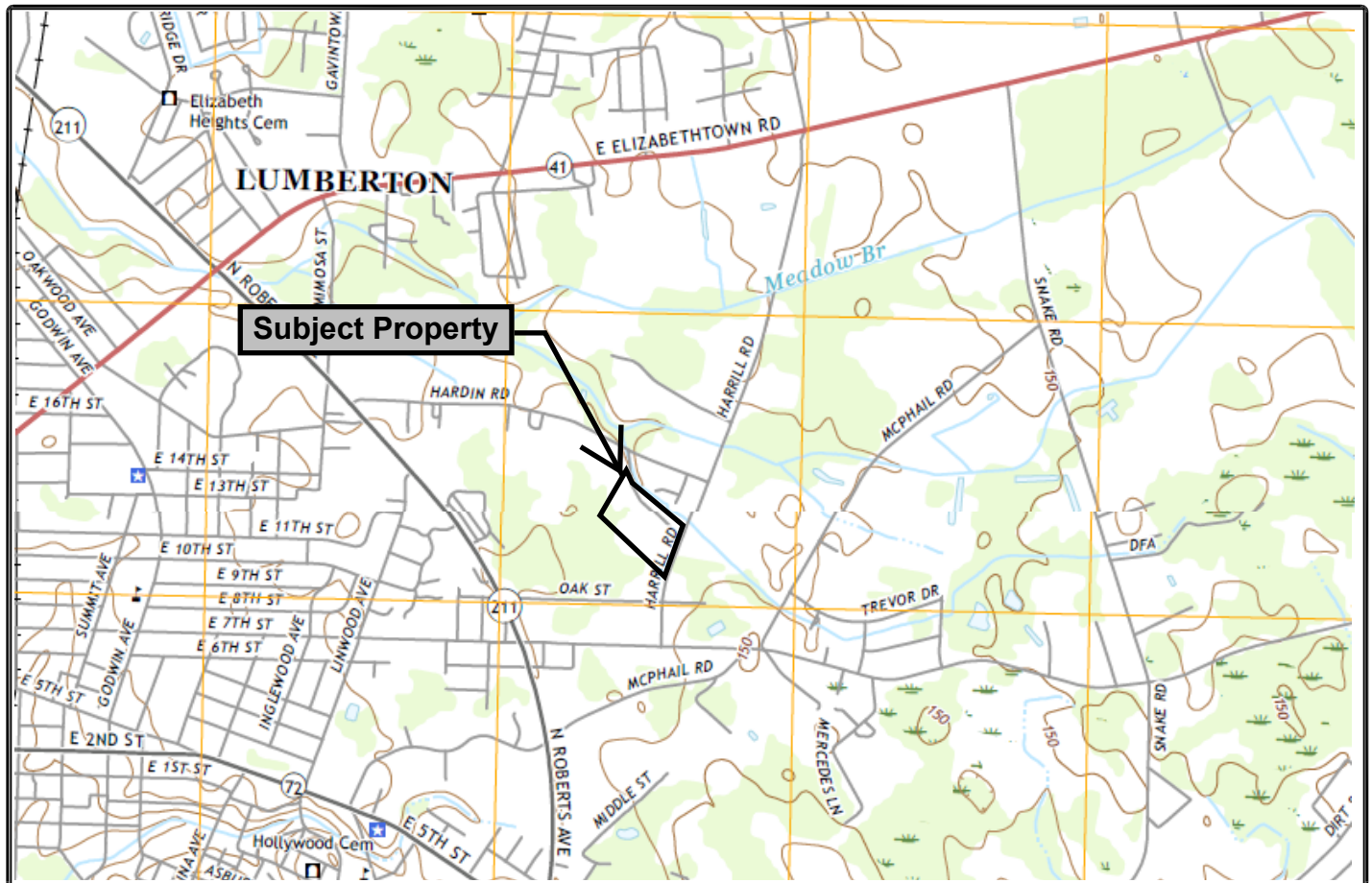
ATTACHMENT 1:

Proposed Project Location Maps and Site Plans

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina



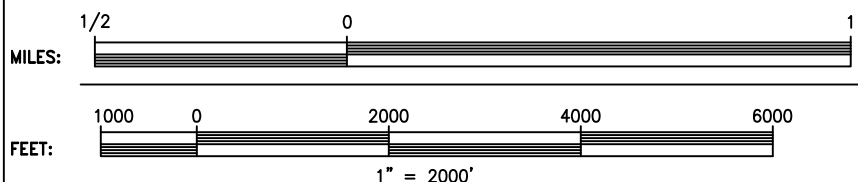
USGS IDENTIFICATION

USGS 7.5
MINUTE MAP
ORIGINAL DATE:
PHOTOREVISION
DATE:

Northeast & Southeast
Lumberton, NC
2019
N/A

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

SCALES

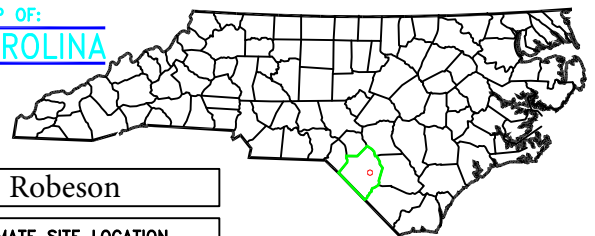


NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
► PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH



COUNTY MAP OF:
NORTH CAROLINA



COUNTY: Robeson

APPROXIMATE SITE LOCATION



CLIENT: Mills Construction Co., Inc.

PROPERTY NAME: 219 Harrill Road

CITY: Lumberton STATE: North Carolina

TITLE: Topographic Map

SCALE:
1" = 2,000'

DATE: 09/02/21

DRAWING NAME:
USGSTOPO

DRAWN BY: JRD

CHECK BY: BSH

JOB NO.: 2021-258

TYPE: PHASE I


FIGURE NUMBER:
1

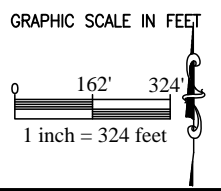
NOTES

TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3

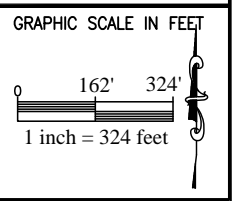
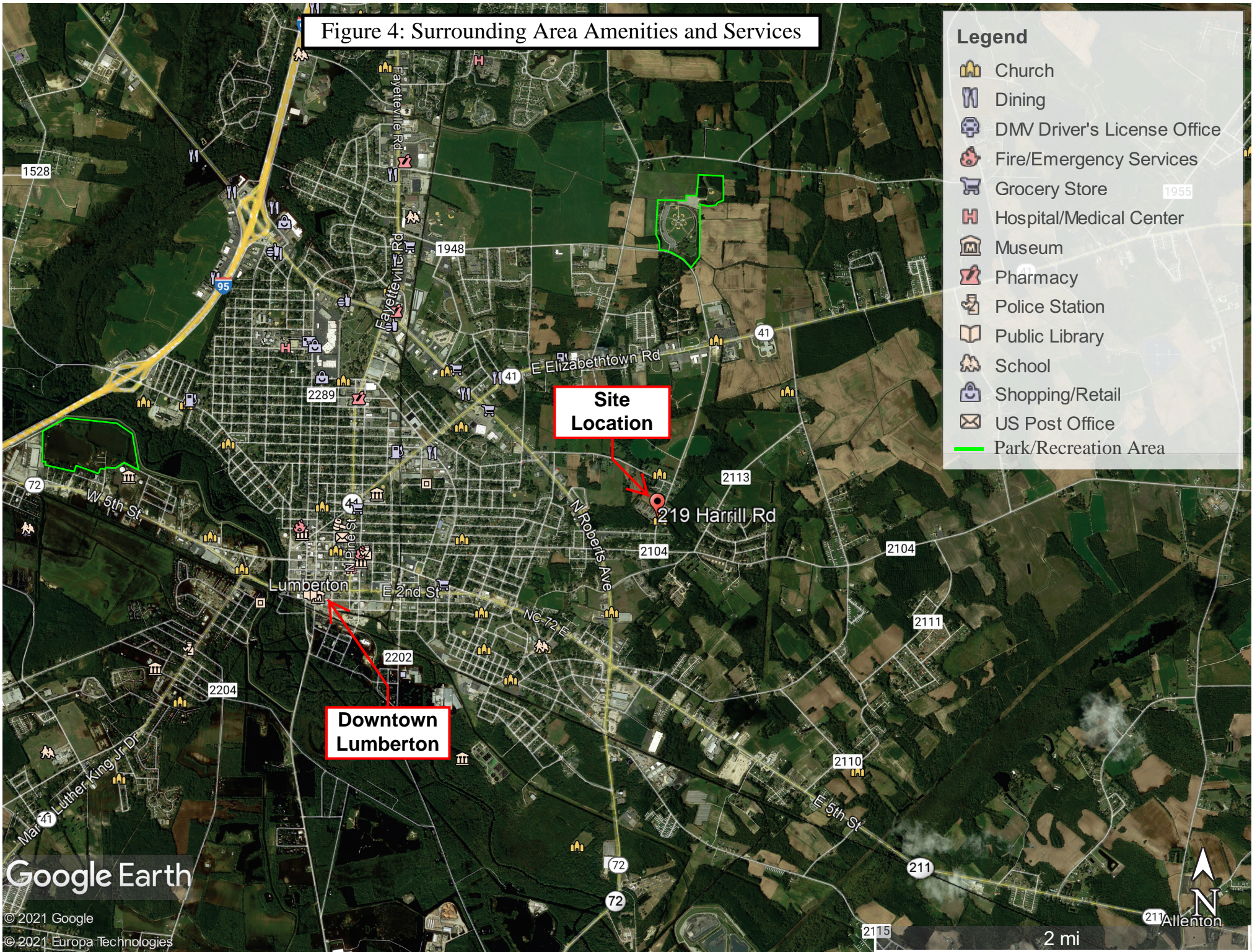


Figure 4: Surrounding Area Amenities and Services



**PRELIMINARY SITE PLANS
WITH SEDIMENTATION/EROSION
CONTROL AND UTILITY PLANS &
MARKET STUDY**

Northeast Pointe II

Robeson County
Lumberton, NC

Jones Architecture, PLLC
2005 E. Durham, Circle
Raleigh, NC 27607
Tel: (919) 302-0404

JA



DRAWING INDEX

Multifamily Apartments

- Cover
- A1.00 Architectural Preliminary Site Plan
- A1.01 Building Plans
- A1.02 Building Plans
- A1.03 Building Plans
- A2.01 1 Bedroom Unit Plans
- A2.02 2 Bedroom Unit Plans
- A2.03 3 Bedroom Unit Plans
- A5.01 Building Elevations
- A5.02 Building Elevations

Family - Required Site Amenities - 2021 Appendix B

X	Playground
X	Multi-Purpose Room (250 SF)
X	Covered Picnic Area (150 SF with 2 tables and grill)
	- plus minimum of 3 of the following:
	Covered drive-through or drop-off at entry
	Covered patio with seating
	Covered Picnic Area (150 SF with 2 tables and grills)
	Outdoor sitting areas with benches (minimum of 3 locations)
	Exercise room with equipment
	Raised bed garden plots (elderly only)
X	Gazebo
	High speed internet access
X	Resident computer center
	Sunroom with chairs
	Screened porch
X	Tot lot (family projects only)
	Walking trails

Project Data Summary

Project Data Summary		Northeast Pointe II		1/17/2021				
Building Summary								
Bldg. Number	Bldg. Type	1 BR	2 BR	3 BR	Total	Bldg Area	Net	Net / Bldg Area
1	Comm. Ctr.					3,157	2,092	0.66
2	1221-2	4	4		8	8,733	7,812	0.89
3	322223-2		8	4	12	15,255	13,900	0.91
4	322223-2		8	4	12	15,255	13,900	0.91
5	322223-2		8	4	12	15,255	13,900	0.91
6	322223-2		8	4	12	15,255	13,900	0.91
7	1221-2	4	4		8	8,733	7,812	0.89
8	1221-2	4	4		8	8,733	7,812	0.89
Total		12	44	16	72	90,376	81,128	0.90
Total number of residential units		72	17%	61%	22%			
Bldg. Type		Bldg Area / 1st Floor	Bldg Area / Upper Floor(s)		Bldg Area			
1221-2		4,502	4,231		8,733			
322223-2		7,810	7,445		15,255			
3223-2		5,297	5,077		10,374			
Community Center		3,157	0		3,157	2,092	0.66	
Residential Units SF		Net	# Units	Net Total	Heated		Heated Total	
1 Bedroom Apartment Unit		851	12	10,212	806		9,672	
2 Bedroom Apartment Unit		1,102	44	48,488	1,053		46,332	
3 Bedroom Apartment Unit		1,271	16	20,336	1,213		19,408	
Net Other (Community Building)				2,092	2,029		2,029	
Total Net SF			72	81,128			77,441	
Zoning Information								
Proposed Building Ht.		33 Feet						
Allowed Building Height - B-2		35 Feet						
Jurisdiction Height Definition - The height of a building shall be the vertical distance measured from the mean elevation of the finished grade at the front of the building to the highest point of the building.								
Lumberton Zone B-2		Property is currently zoned R-7 Residential, Owner will pursue B-2 rezoning.						
Parcel Area		278,348.4	SF	6.39	acres			
Max Allow. density by calcs (Table 35-181) 3,000 SF/Unit		93	units					
Minimum Lot Size		200,000	SF	4.59	acres			
Proposed Overall Density		11.3	units/acre					
Building setback from ROW Line		20	Feet					
Building and Sign setback from Lot Boundary Line		10	Feet					
Minimum Required Parking by Jurisdiction - Standard		134	Overrides					
1 1/2 spaces for each one- and two-bedroom unit, 2 spaces for each unit with three or more bedrooms, plus 1 additional space for every four units in the development.								
NCHFA Parking Standard (1.75 spaces per unit)		126						
Maximum number of stories in building		2						
Proposed number of residential buildings		7						
Project Includes								
Separate Community Building		2,092	SF (Floor Area)					
Community space within residential buildings		0	SF (Floor Area)					
Number of Elevators		0	SF (Floor Area)					
Gross Footage Information								
Gross Floor Square Footage		90,376						
Total Net Sq. Ft. (All Heated Areas)		81,128						
HC Units		1 BR	2 BR	3 BR				
Type A		1	2	1		5.6%		
Type A with Roll in Shower		1	2	1		5.6%		
		2	4	2	8	11.1% % of total units		8



NORTHEAST
POINTE II
LUMBERTON
NORTH CAROLINA
72 RESIDENTIAL UNITS

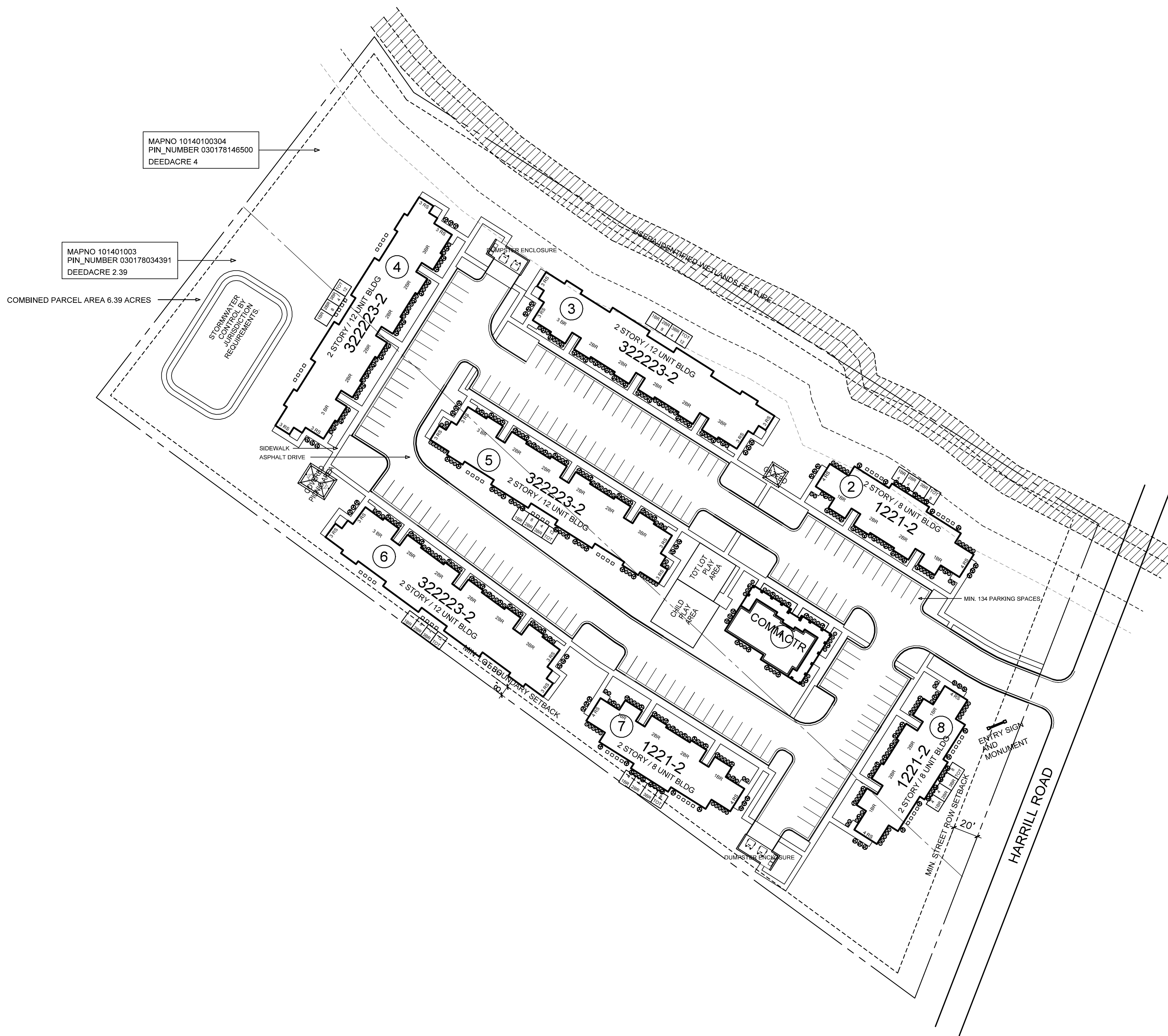
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JA JOB# 2001 12
DATE: 12-22-2020
FILE:
REV:
REV:
REV:

NCHFA FINAL APPLICATION
NOT FOR CONSTRUCTION

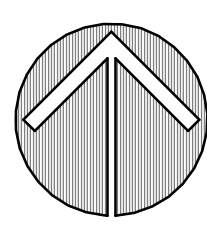
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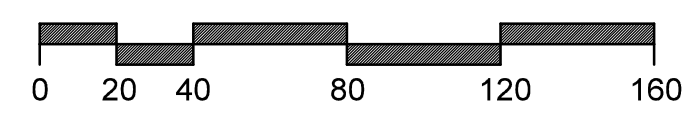
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COMBINED PARCEL AREA 6.39 ACRES



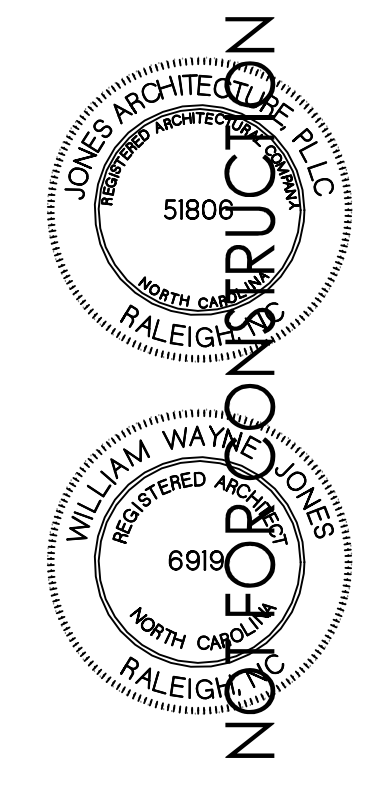
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A1.00

1/9/2018
PRELIMINARY SITE PLAN



NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS (DISTRIBUTION WITHIN PROJECT, BY UNIT CLASS, ETC.), ACCESSIBLE ROUTES, AND ADA, ETC. REQUIREMENTS ARE NOT ILLUSTRATED ON THIS PLAN. FINAL CONSTRUCTION DOCUMENTS WILL BE PREPARED TO BE IN COMPLIANCE WITH THOSE REQUIREMENTS.

NOTE THAT THIS IS A PRELIMINARY SITE PLAN, AND IS AN APPROXIMATION OF EXISTING CONDITIONS BASED ON LIMITED INFORMATION. THE PROPERTY BOUNDARY, AND OTHER EXISTING SITE INFORMATION, MAY HAVE BEEN APPROXIMATED FROM GIS OR SKETCH INFORMATION PROVIDED BY OTHERS. THE ACCURACY OF WHICH IS UNKNOWN. THIS DOCUMENT IS NOT INTENDED FOR THE CONVEYANCE OF PROPERTY RIGHTS. THIS IS A PRELIMINARY PLAN TO ILLUSTRATE A DESIGN CONCEPT ONLY. EXISTING BOUNDARY, RIGHTS OF WAY, EASEMENTS, ZONING CONDITIONS, SETBACKS, PARKING REQUIREMENTS, STORMWATER REQUIREMENTS, UTILITY ACCESS, SEWER ACCESS, WETLANDS, RETAINING WALLS, EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.



**NORTHEAST
POINTE II
LUMBERTON
NORTH CAROLINA
72 RESIDENTIAL UNITS**

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JA JOB# 2001 12
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**NCHFA FINAL APPLICATION
NOT FOR CONSTRUCTION**

**ARCHITECTURAL
SITE PLAN
A1.00**

- General Notes - Building Plans - NC
1. See unit plans for interior dimensions and equipment layout.
 2. Recess all roll-in shower locations, provide slab slope to all floor drains.
 3. All plan dimensions refer to face of framing unless otherwise noted.
 4. Field coordinate site/building utility entrances.
 5. All exterior exits and exit enclosures are to be protected by fire sprinkler system.
 6. Install any wall-mounted lights or other equipment to be above 80" to not intrude on the circulation path. Max. protrusion into path is 4" if under 80".
 7. Type B units are indicated for ground floor and upper floor conditions. All ground floor units must comply with ANS and Fair Housing Act defined "Type B" requirements. Upper floor units not served by an elevator are not required to meet "Type B" requirements.
- 7/24/2019

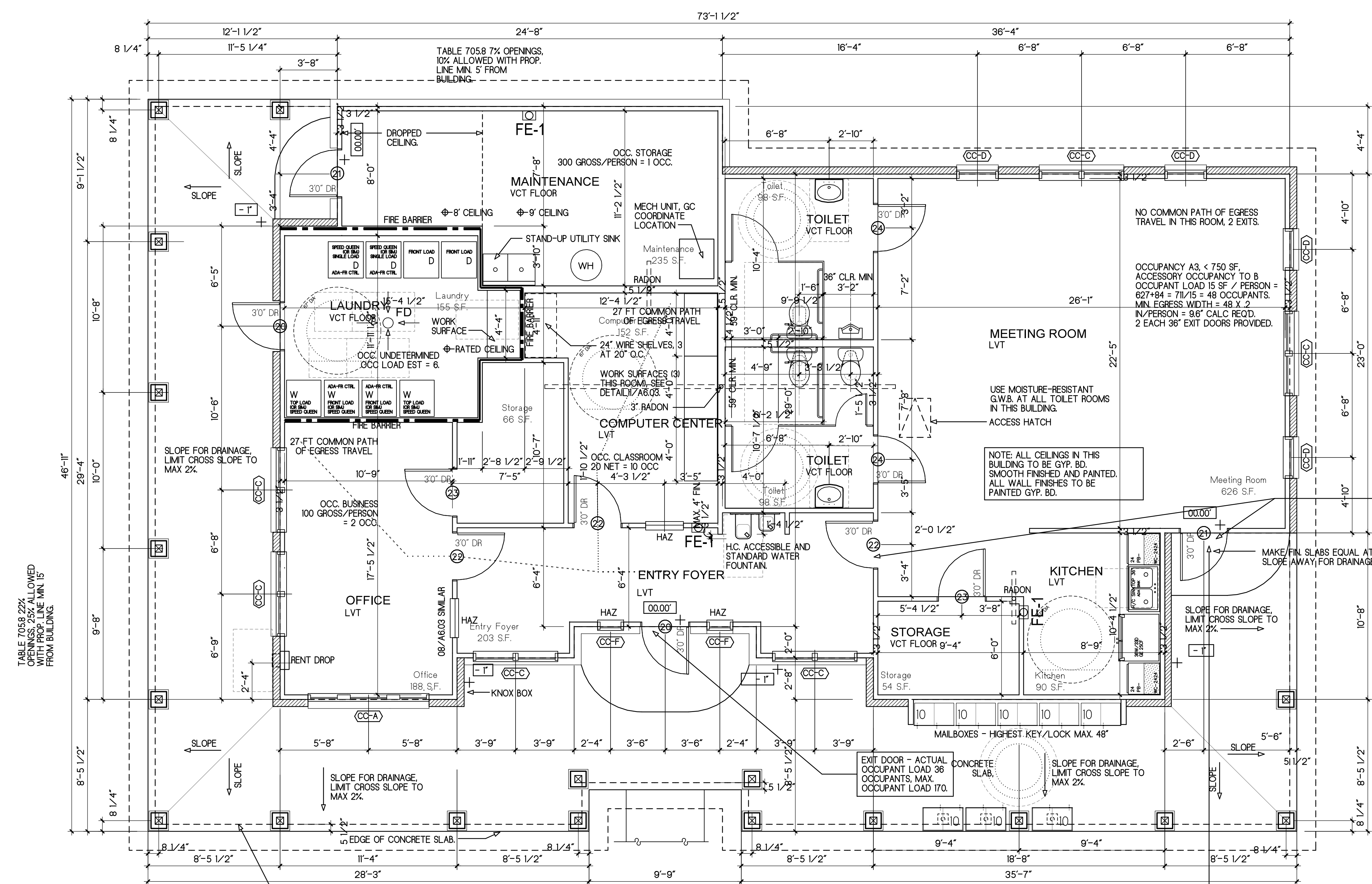


TABLE 7058 22%
 OPENINGS, 25% ALLOWED
 WITH PROP. LINE MIN. 15'
 FROM BUILDING.

EXIT DOOR - ACTUAL
 OCCUPANT LOAD 24
 OCCUPANTS, MAX.
 OCCUPANT LOAD 170.

TABLE 7058 BY OPENINGS
 15% ALLOWED WITH PROP.
 LINE MIN. 10' FROM
 BUILDING.

Net Area
 2092 S.F.

Gross Area
 3157 S.F.

Heated Area
 2029 S.F.

9' CEILING ALL ROOMS UNLESS OTHERWISE NOTED

COMMUNITY BUILDING
 SCALE: 1/4" = 1'-0"

NO FIRE PROTECTION (SPRINKLERS) THIS BUILDING
 SET WINDOW HEAD HEIGHTS
 SIMILAR TO THOSE FOR 8 FT.
 STUD LOCATIONS.

TABLE 7058 28%
 OPENINGS, 45% ALLOWED
 WITH PROP. LINE MIN. 20'
 FROM BUILDING.

ALL DOORS ARE 3'-0", 34" CLEAR
 WIDTH EACH DOOR. ALL
 HORIZONTAL EXIT COMPONENTS.
 EXIT CAPACITY 170 EACH DOOR.



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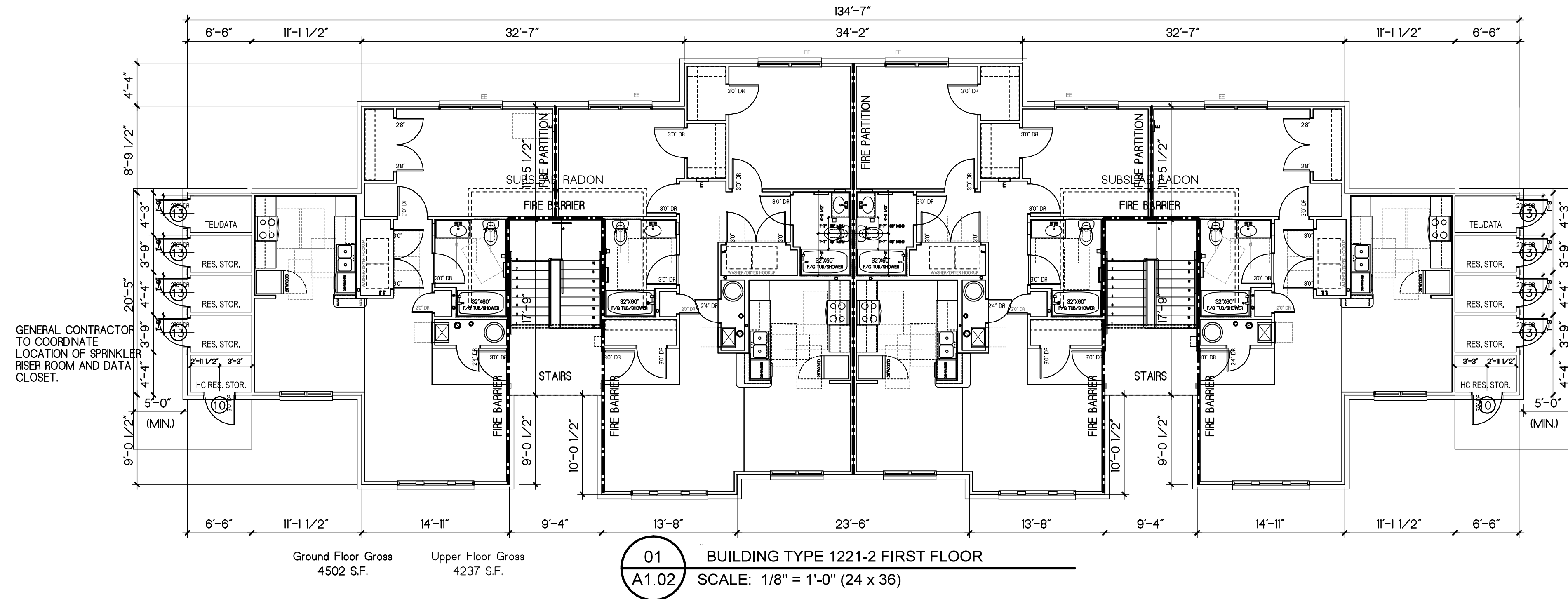
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AREA DEFINITIONS:
 HEATED SQUARE FEET: THE FLOOR AREA OF AN APARTMENT UNIT
 MEASURED INTERIOR WALL TO INTERIOR WALL, NOT INCLUDING
 EXTERIOR WALL FOOTAGE, INTERIOR WALLS NOT DEDUCTED,
 INTERIOR STAIRS COUNTED ONCE.
 NET SQUARE FEET: TOTAL AREA, INCLUDING EXTERIOR WALL
 SQUARE FOOTAGE, OF ALL CONDITIONED SPACE, INCLUDING
 HALLWAYS AND COMMON AREAS.
 GROSS AREA: NET AREA PLUS COVERED COMMON
 AREAS, SUCH AS BREEZEWAYS.

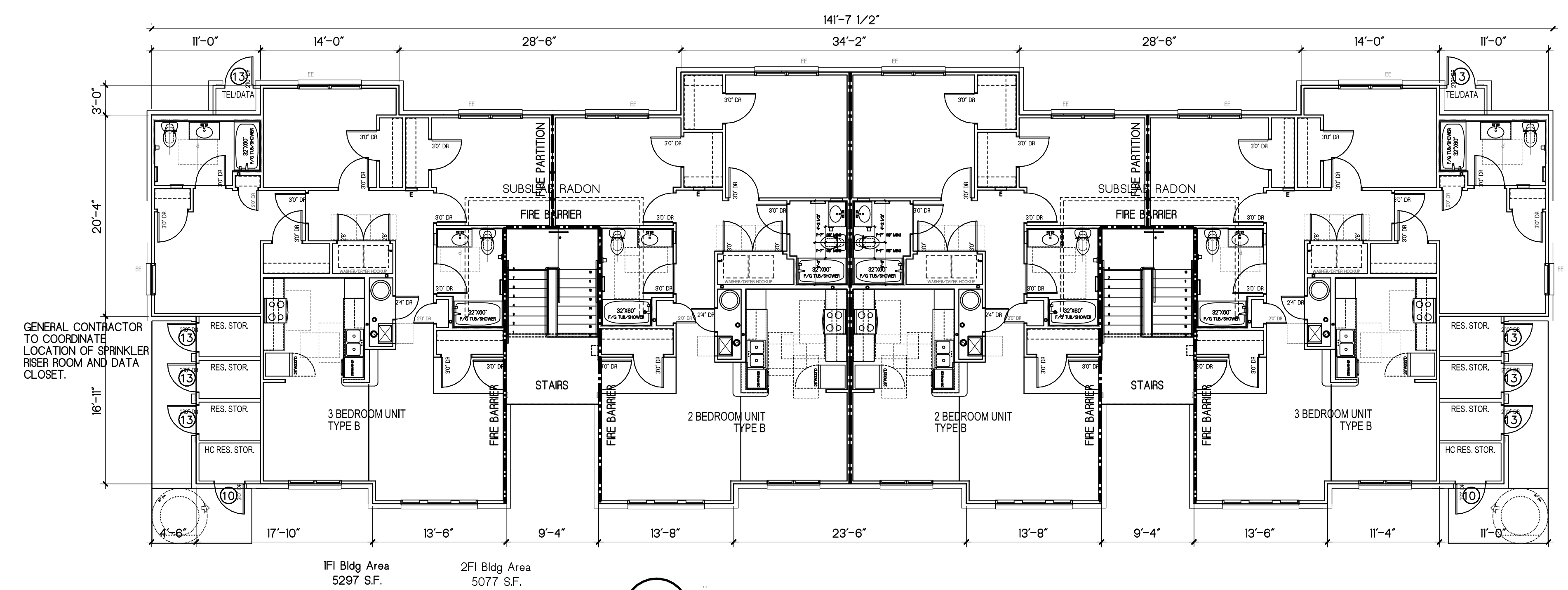
NCHFA FINAL APPLICATION
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COMMUNITY CENTER
 BUILDING PLAN
A1.01

- General Notes - Building Plans - NC
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- 7/24/2019

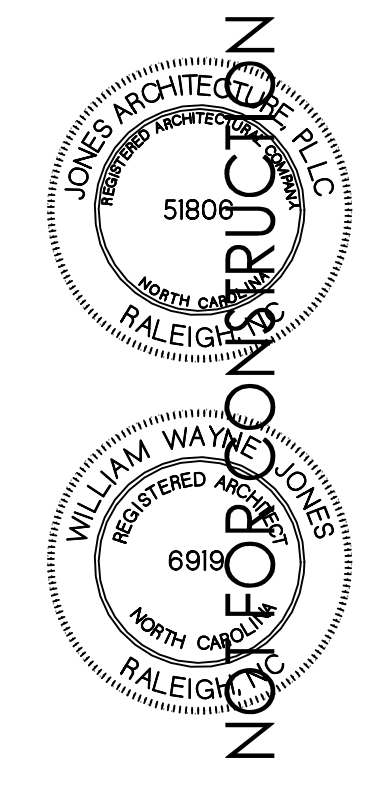


01 BUILDING TYPE 1221-2 FIRST FLOOR
A1.02 SCALE: 1/8" = 1'-0" (24 x 36)



02 BUILDING TYPE 3223-2 FIRST FLOOR
A1.02 SCALE: 1/8" = 1'-0"

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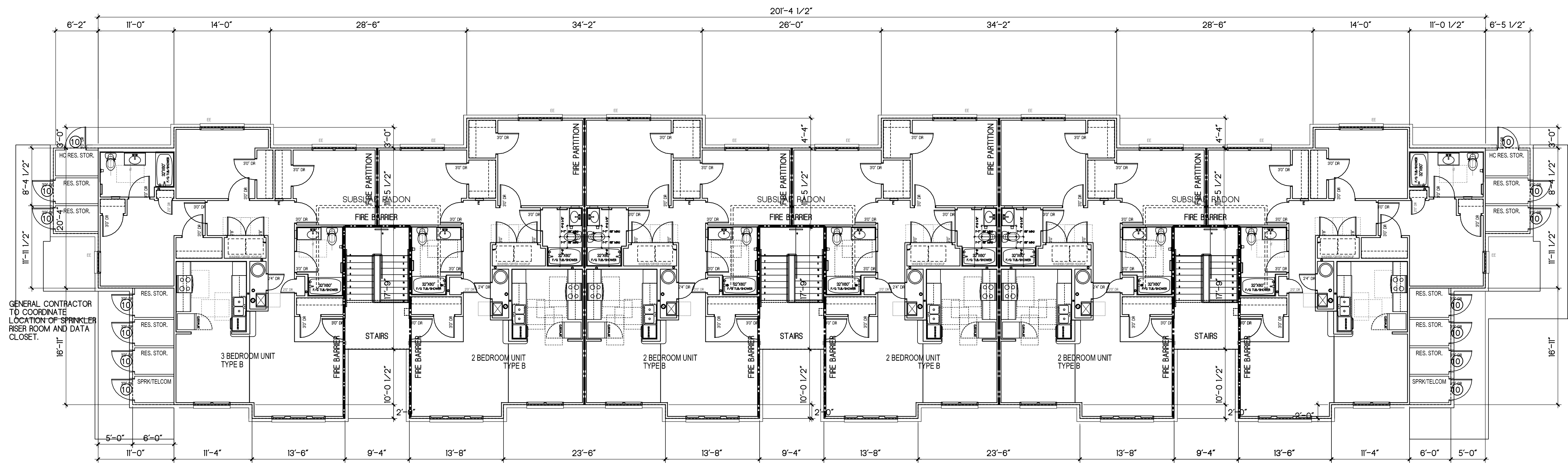
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BUILDING PLANS
RESIDENTIAL BUILDINGS

A1.02

- General Notes - Building Plans - NC
1. See unit plans for interior dimensions and equipment layout.
 2. Recess all roll-in shower locations, provide slab slope to all floor drains.
 3. All plan dimensions refer to face of framing unless otherwise noted.
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 5. All exterior exits and exit enclosures are to be protected by fire sprinkler system.
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- 7/24/2019

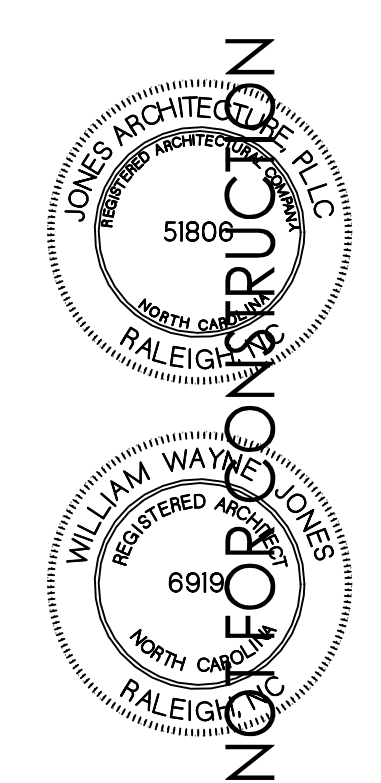
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 Raleigh, NC 27607
 Tel (919) 302-0404



Ground Floor Gross
7810 S.F.

Upper Floor Gross
7445 S.F.

01 BLDG TYPE 322223-2 FIRST FLOOR
 A1.03 SCALE: 1/8" = 1'-0"



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

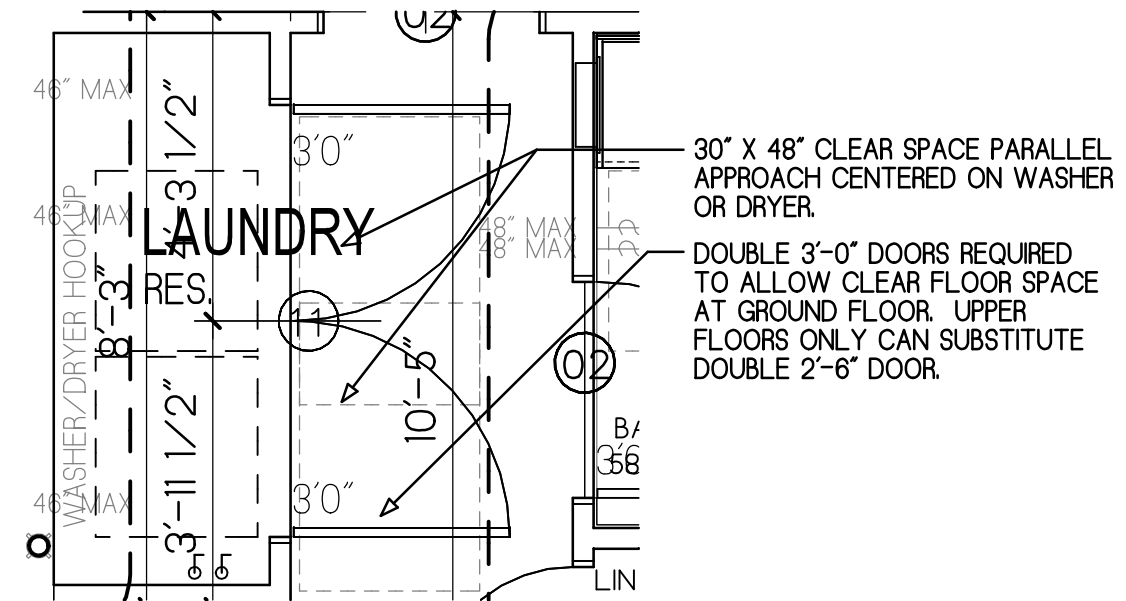
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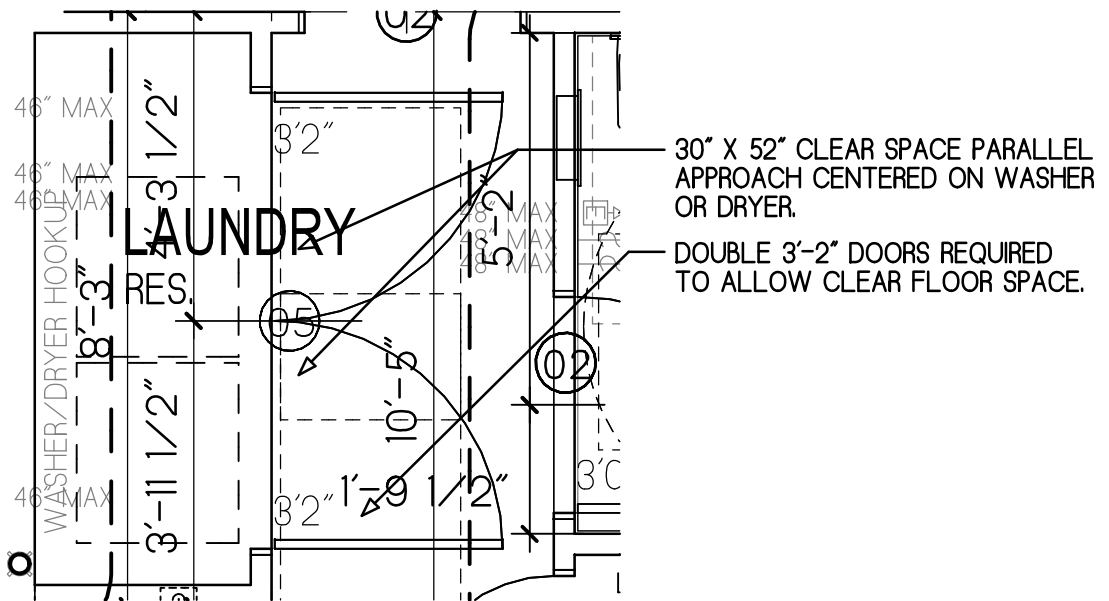
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BUILDING PLANS
 RESIDENTIAL BUILDINGS
A1.03

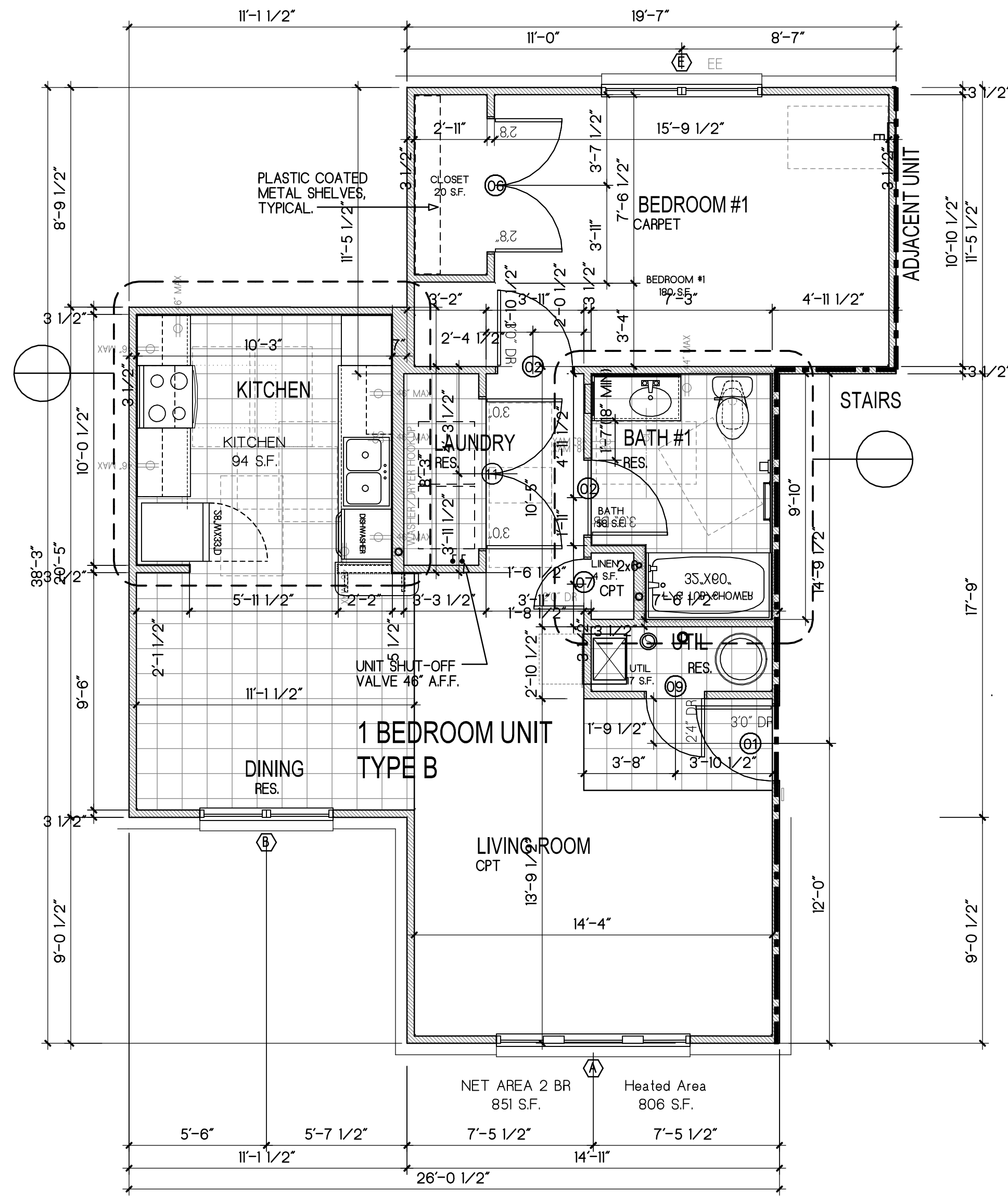
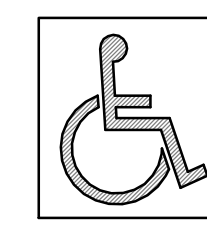


1 BR TYPE B ENLARGED LAUNDRY PLAN
SCALE: 3/8" = 1'-0"

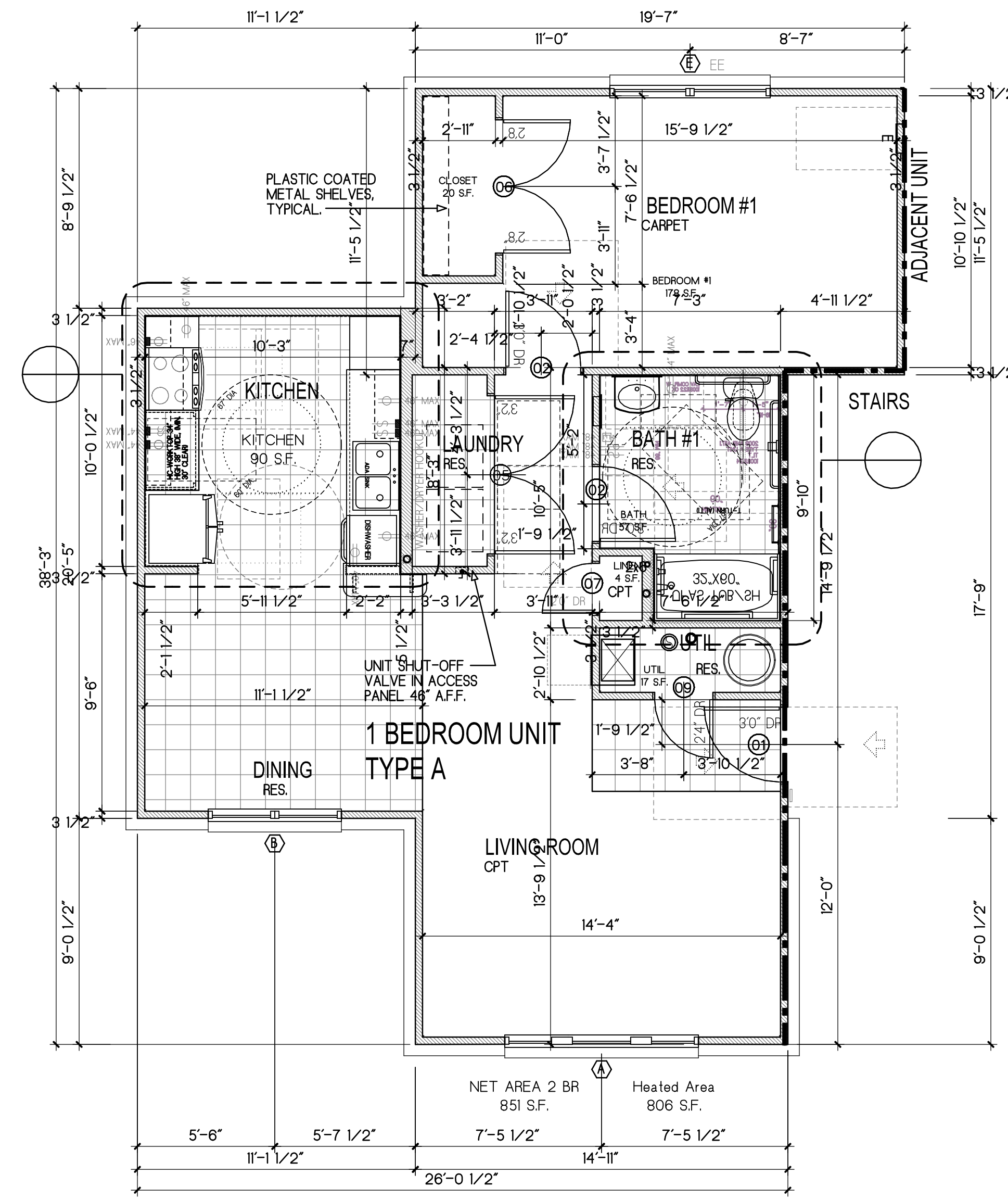


1 BR TYPE A ENLARGED LAUNDRY PLAN
SCALE: 3/8" = 1'-0"

ANSI TYPE A UNIT

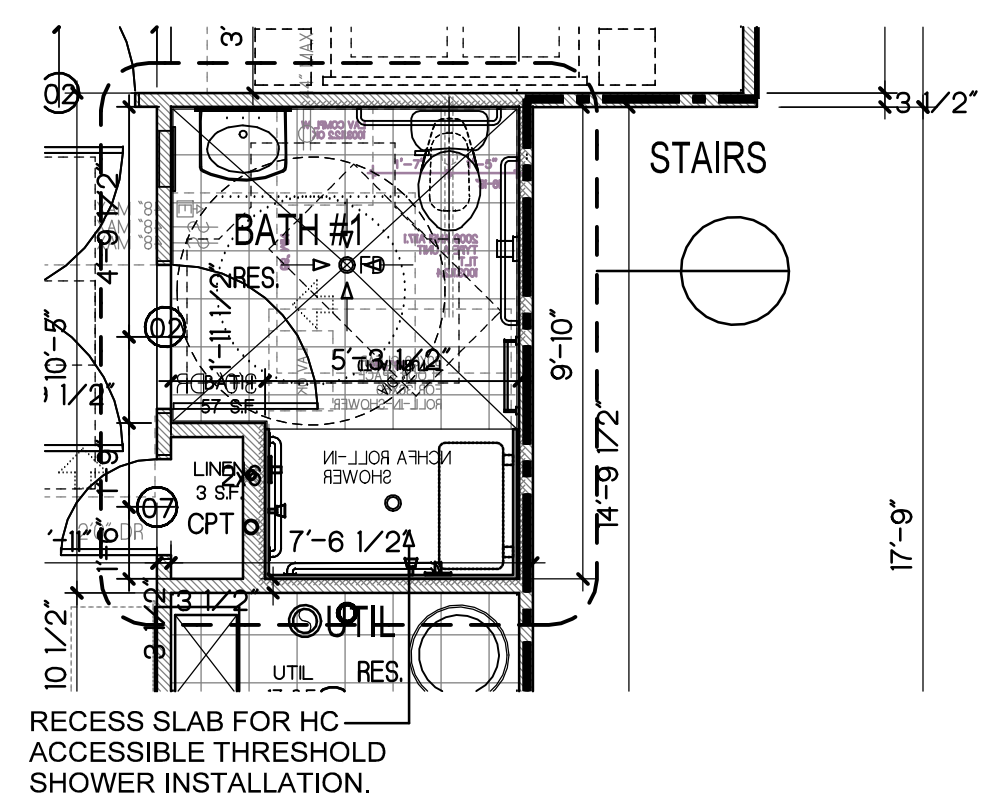


01 1 BEDROOM PLAN - TYPE B
A2.01 SCALE: 1/4" = 1'-0"



02 1 BEDROOM PLAN - TYPE A
A2.01 SCALE: 1/4" = 1'-0"

03 1 BR PLAN - TYPE A WITH ROLL-IN SHOWER
A2.01 SCALE: 1/4" = 1'-0"



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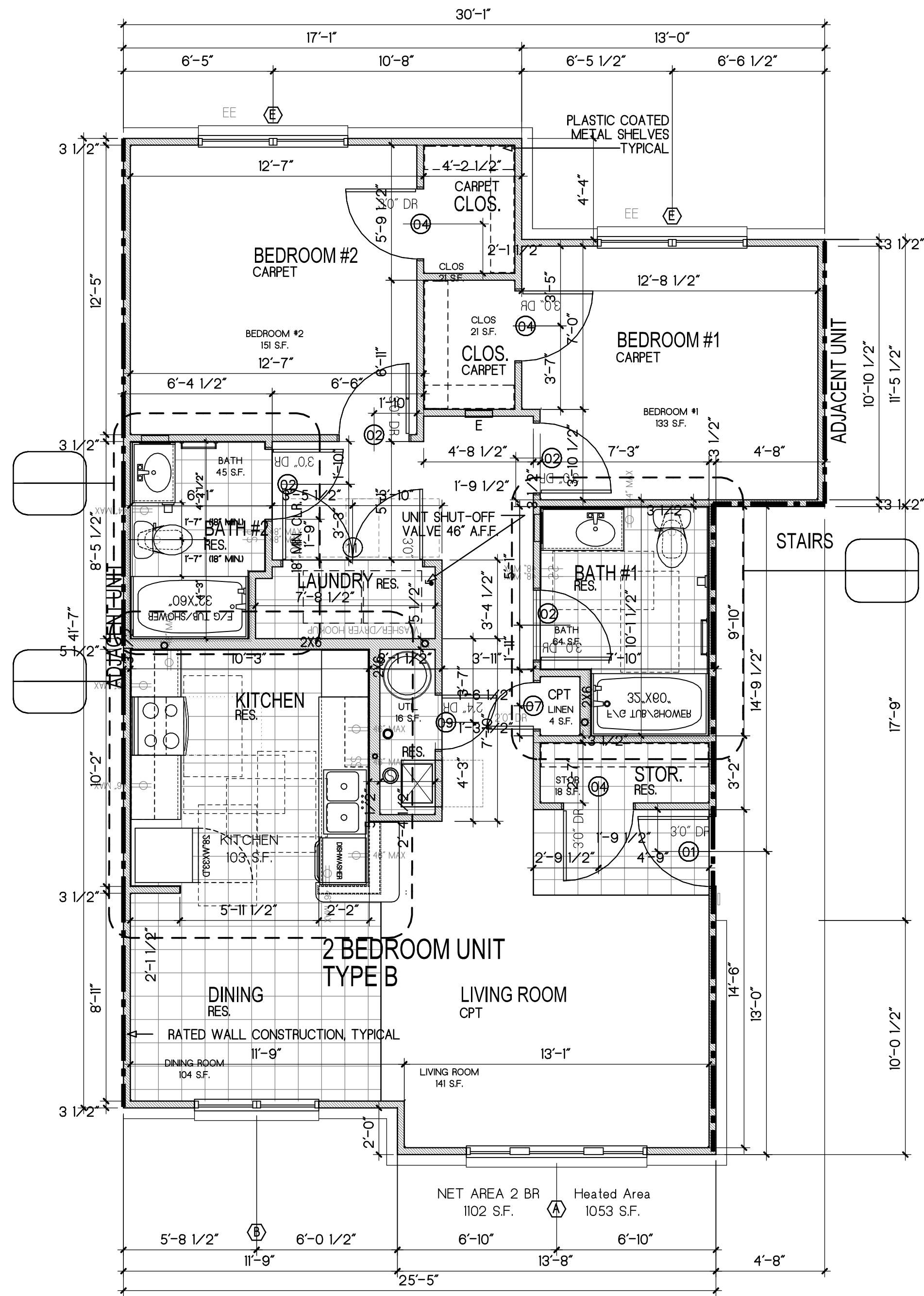
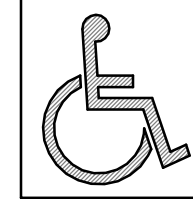
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UNIT PLANS
1 BEDROOM
A2.01

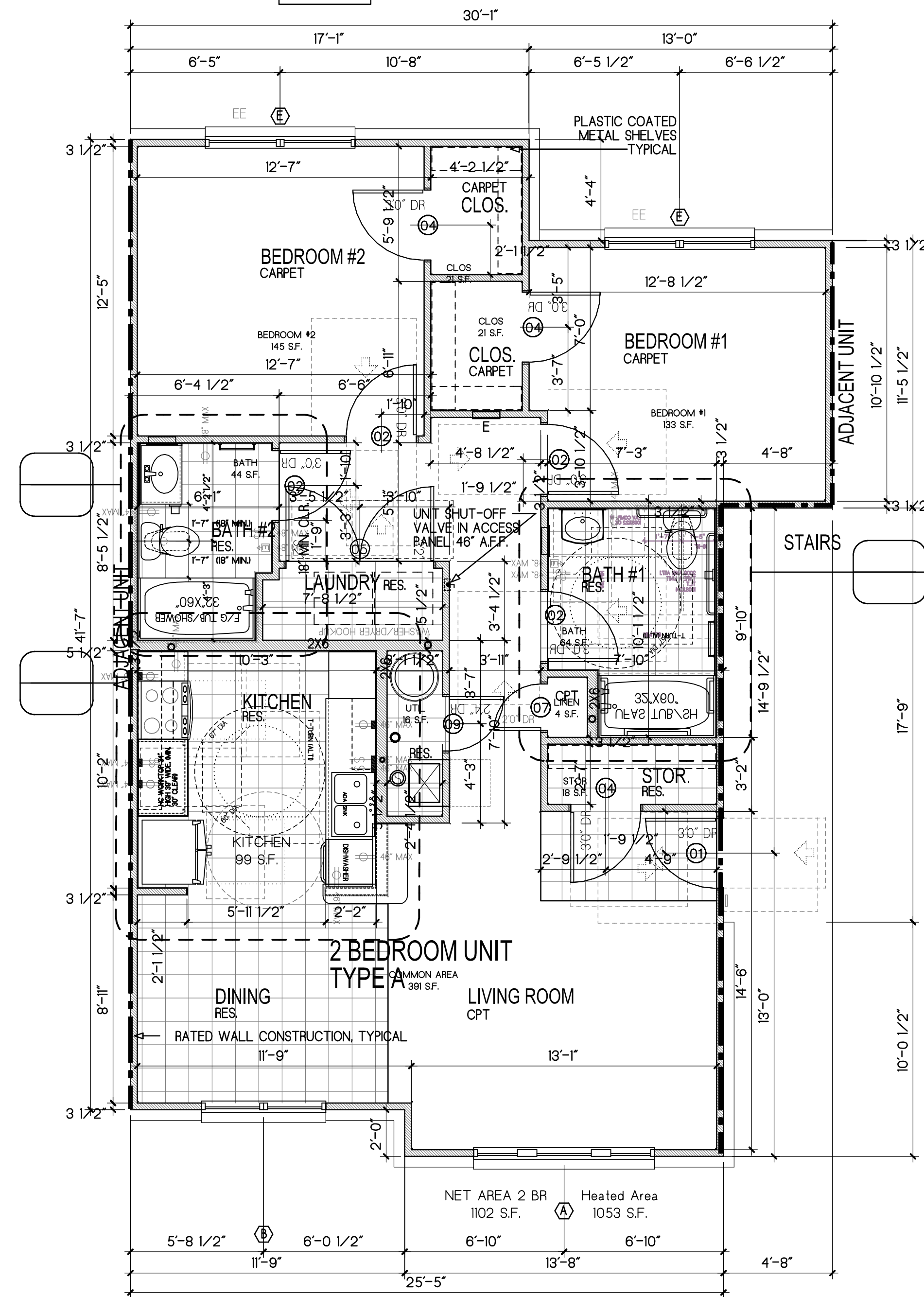
General Notes - Unit Plans - North Carolina

- Type B units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted (ANSI 308.2.1).
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed side reach requirement at max 25 1/2" deep and max 36" height base cabinets is 46" max. (Fair Housing Act allows 25" countertop plus 1/2" industry tolerance, when base cabinet depth is 24" or less). Min. 12" off of sidewall (or other obstruction) for backed-in side reach condition. See ANSI C308.3.1
 - Obstructed forward high reach is 44" max. ANSI 308.2.2
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 10" of obstruction (handle of dishwasher) for forward reach access.
- Type A units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted.
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed high side reach reqmnt at max 24" deep and max 34" height base cabinets is 46" max. No exception for countertop is found. Obstructed forward high reach is 44" max. ANSI 308.2.2 - Worktops and fully accessible sinks.
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 6" of obstruction (handle of dishwasher) for forward reach access.
- See building plans for rated wall locations.
- All ceilings in units to be 5/8" fire rated gypsum board, flat painted finish, see UL Details for other requirements.
- All partitions to have 5/8" UL Listed gypsum wall board to maintain continuity of rated ceiling membrane per 2012 IBC, 714.4.1.2 exception 7.
- GC to field coordinate the placement of trusses to accommodate other service requirements. i.e. plumbing, mechanical, electrical, fire protection.
- GC to field coordinate the location of hub drains, etc. for the installation of hot water drain pans, washer drain pans (if required) to provide required clearances.
- Provide positive slope at all floor drain areas. Rework concrete and reinstall drains if needed to provide correct slope prior to continuing construction.
- All plan dimensions refer to face of framing unless otherwise noted.
- Coordinate framed openings for all tub/shower and shower units.
- Refer to building plans for any alternate window dimensions which may differ from unit plan window dimensions.
- All residential buildings to be protected by 13R Fire Protection System. Coordinate with other ceiling-located components. FP shop drawings are to be submitted to local jurisdiction for approval prior to the start of any construction.
- Exceptions for reach-range requirements for controls in kitchens apply when more than one control is provided in an area, uninterrupted by appliance or sink.
- All reach conditions noted require a clear floor space complying with ANSI 305.
- Coordinate the installation of acoustical sound matting with gypsum concrete with all floor finishes to achieve a minimum STC and IIC rating of 50 in conjunction with the floor/ceiling assembly.
- Plumbing, HVAC, and Electrical trades to refer to architectural plans for any specific dimensions; refer to PMT plans for general guidance.
- See NCHFA QAP Appendix B and Construction Field Guide for other construction requirements that may apply.
- In all Type A and B residential units (ground floor for garden apartments and all floors for elevator buildings) prefab tub/showers and showers must have wood blocking (OSB or plywood) integrated into the prefab assembly.
- Sight and Hearing Impaired Units - See unit electrical plans for requirements. 2% of total units minimum, Type A units, one per class min. (1,2,3 BR, etc.) See Arch HC Unit Layout and Address Plan.
- RES notation refers to resilient flooring, VCT, sheet vinyl, or LVT. Refer to finish schedule. 10/10/2020

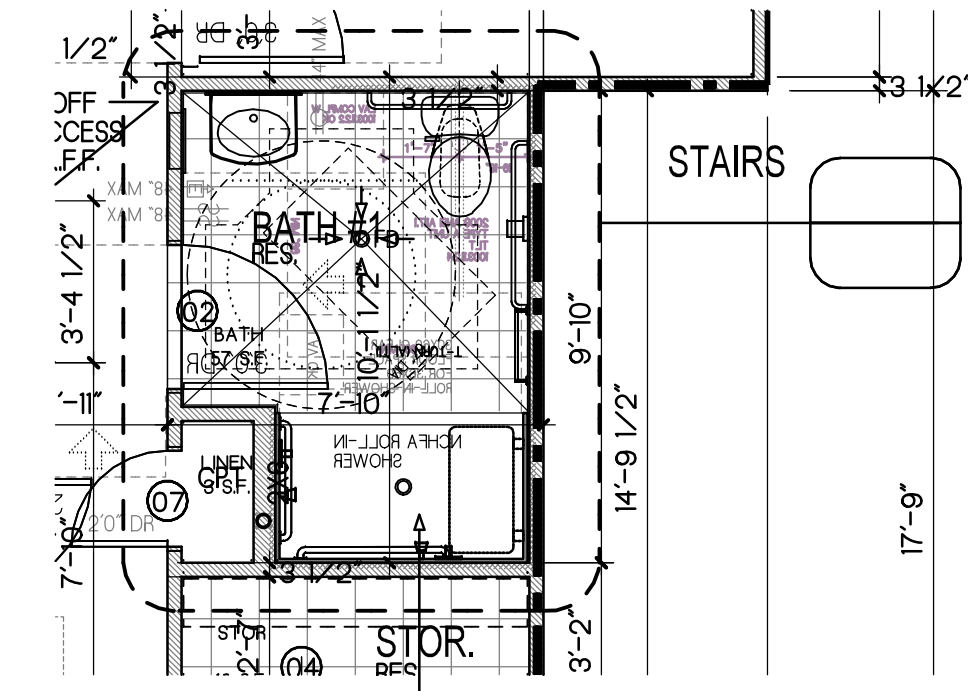
ANSI TYPE A UNIT



01 2 BEDROOM PLAN - TYPE B
A2.02



02 2 BEDROOM PLAN - TYPE A
A2.02

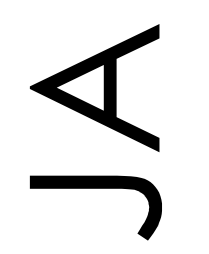


RECESS SLAB FOR HC ACCESSIBLE THRESHOLD SHOWER INSTALLATION.

NOTE: UNIT HAS A SINGLE ROLL-IN SHOWER BATHROOM. OTHERWISE UNIT IS SIMILAR TO 3 BR TYPE A UNIT.

03 2 BR PLAN - TYPE A WITH ROLL-IN SHOWER
A2.02 SCALE: 1/4" = 1'-0"

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NORTHEAST
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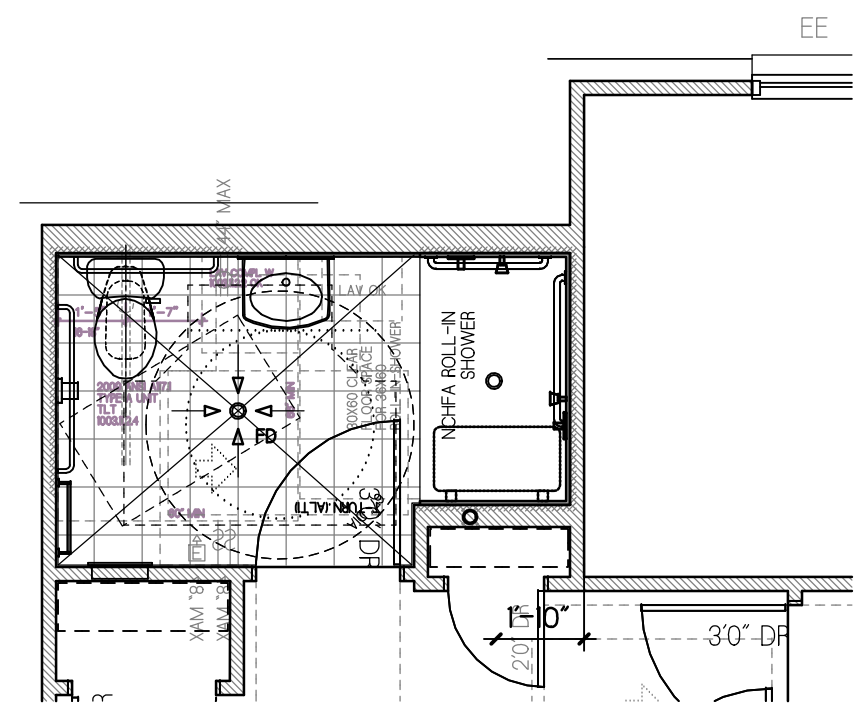
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UNIT PLANS
2 BR
A2.02

General Notes - Unit Plans - North Carolina

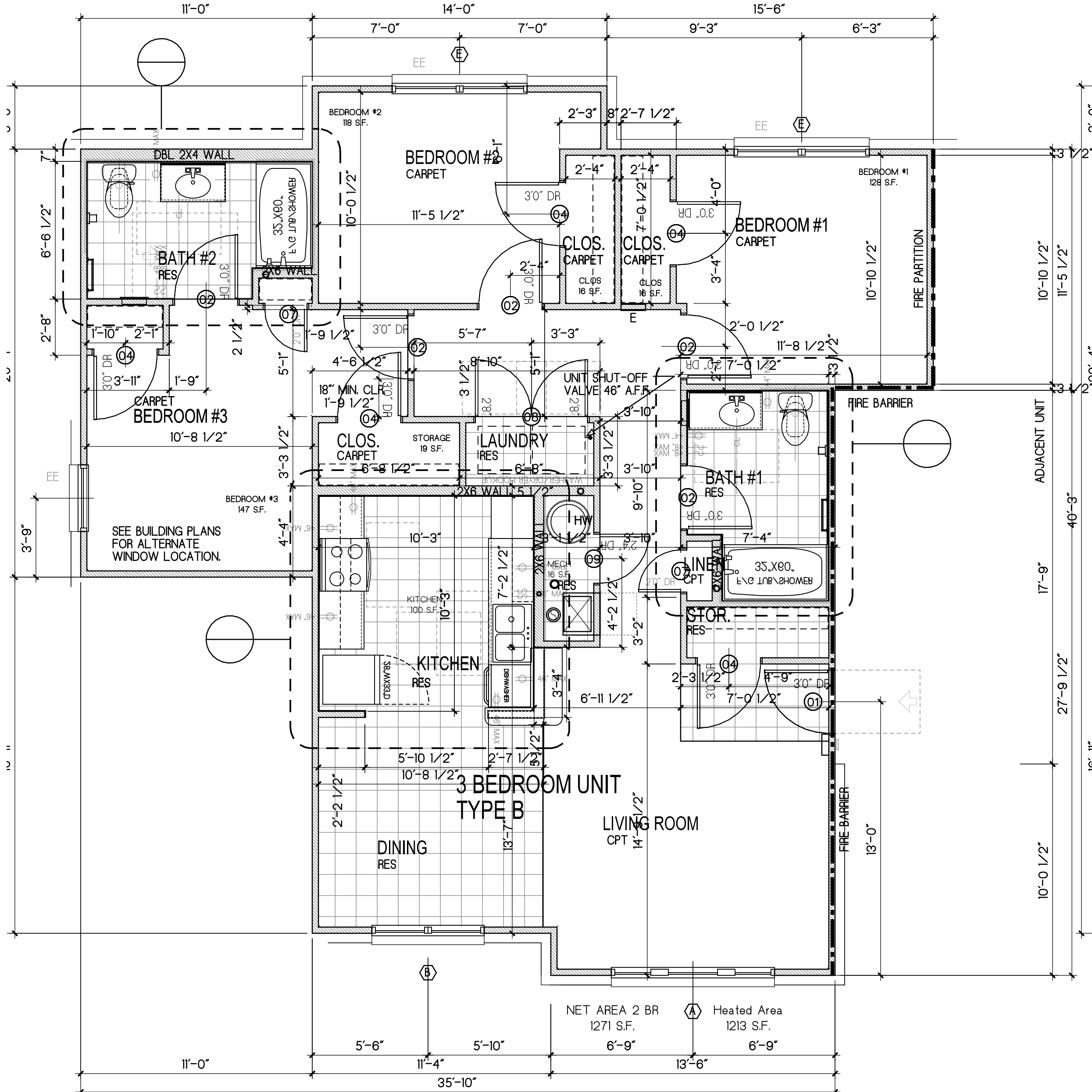
- Type B units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted (ANSI 308.2.1).
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed side reach requirement at max 25 1/2" deep and max 36" height base cabinets is 46" max. (Fair Housing Act allows 25" countertop plus 1/2" industry tolerance, when base cabinet depth is 24" or less). Min. 12" off of sidewall (or other obstruction) for backed-in side reach condition. See ANSI C308.3.1
 - Obstructed forward high reach is 44" max. ANSI 308.2.2
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 10" of obstruction (handle of dishwasher) for forward reach access.
- Type A units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted.
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed high side reach reqmnt at max 24" deep and max 34" height base cabinets is 46" max. No exception for countertop is found. Obstructed forward high reach is 44" max. ANSI 308.2.2 - Worktops and fully accessible sinks.
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 6" of obstruction (handle of dishwasher) for forward reach access.
- See building plans for rated wall locations.
- All ceilings in units to be 5/8" fire rated gypsum board, flat painted finish, see UL Details for other requirements.
- All partitions to have 5/8" UL Listed gypsum wall board to maintain continuity of rated ceiling membrane per 2012 IBC, 714.4.1.2 exception 7.
- GC to field coordinate the location of hub drains, etc. for the installation of hot water drain pans, washer drain pans (if required) to provide required clearances.
- Provide positive slope at all floor drain areas. Rework concrete and reinstall drains if needed to provide correct slope prior to continuing construction.
- All plan dimensions refer to face of framing unless otherwise noted.
- Coordinate framed openings for all tub/shower and shower units.
- Refer to building plans for any alternate window dimensions which may differ from unit plan window dimensions.
- All residential buildings to be protected by 13R Fire Protection System. Coordinate with other ceiling-located components. FP shop drawings are to be submitted to local jurisdiction for approval prior to the start of any construction.
- Exceptions for reach-range requirements for controls in kitchens apply when more than one control is provided in an area, uninterrupted by appliance or sink.
- All reach conditions noted require a clear floor space complying with ANSI 305.
- Coordinate the installation of acoustical sound matting with gypsum concrete with all floor finishes to achieve a minimum STC and IIC rating of 50 in conjunction with the floor/ceiling assembly.
- Plumbing, HVAC, and Electrical trades to refer to architectural plans for any specific dimensions; refer to PMG plans for general guidance.
- See NCHFA QAP Appendix B and Construction Field Guide for other construction requirements that may apply.
- In all Type A and B residential units (ground floor for garden apartments and all floors for elevator buildings) prefab tub/showers and showers must have wood blocking (OSB or plywood) integrated into the prefab assembly.
- Sight and Hearing Impaired Units - See unit electrical plans for requirements. 2% of total units minimum, Type A units, one per class min. (1,2,3 BR, etc.) See Arch HC Unit Layout and Address Plan
- RES notation refers to resilient flooring, VCT, sheet vinyl, or LVT. Refer to finish schedule. 10/10/2020



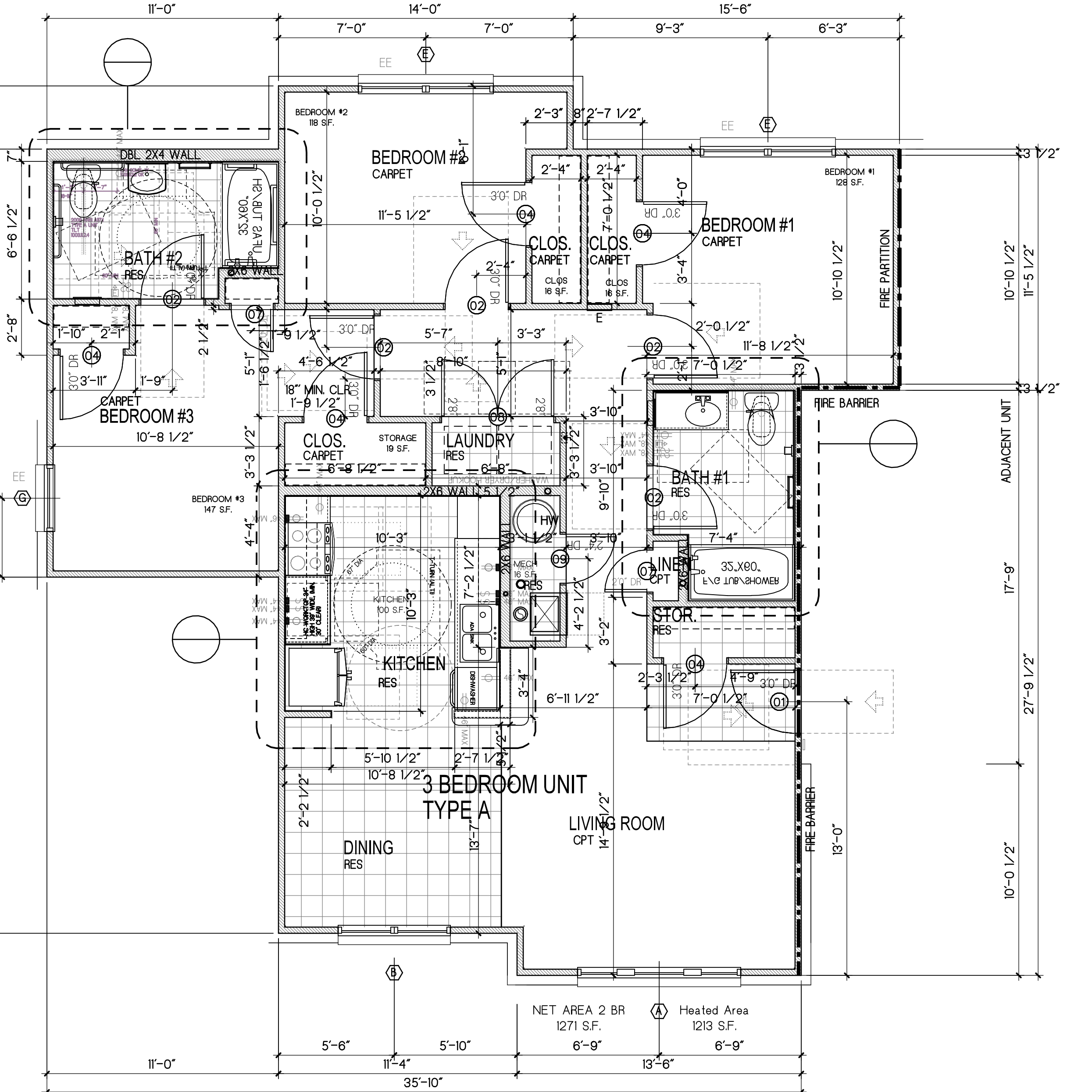
ANSI TYPE A UNIT



03 3 BR PLAN - TYPE A WITH ROLL-IN SHOWER
A2.03 SCALE: 1/4" = 1'-0"

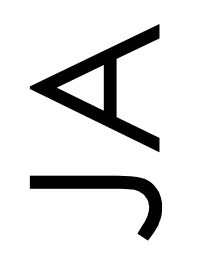


01 3 BEDROOM PLAN - TYPE B
A2.03



02 3 BEDROOM PLAN - TYPE A
A2.03

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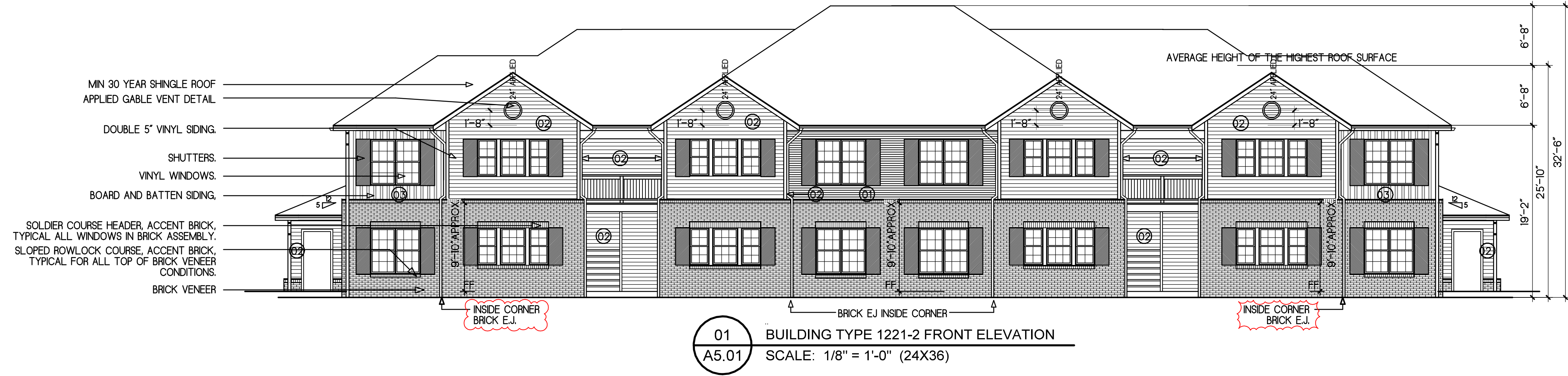
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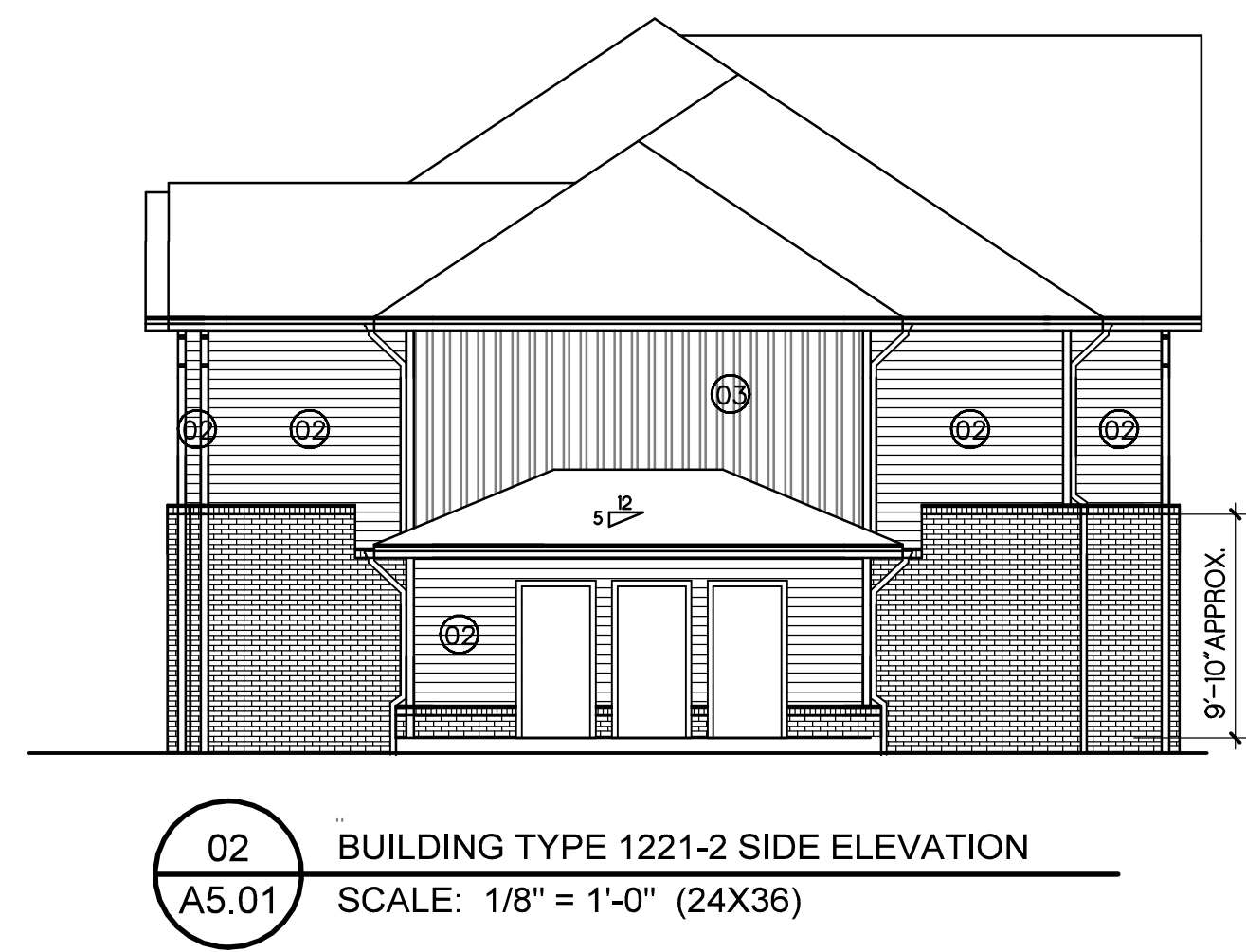
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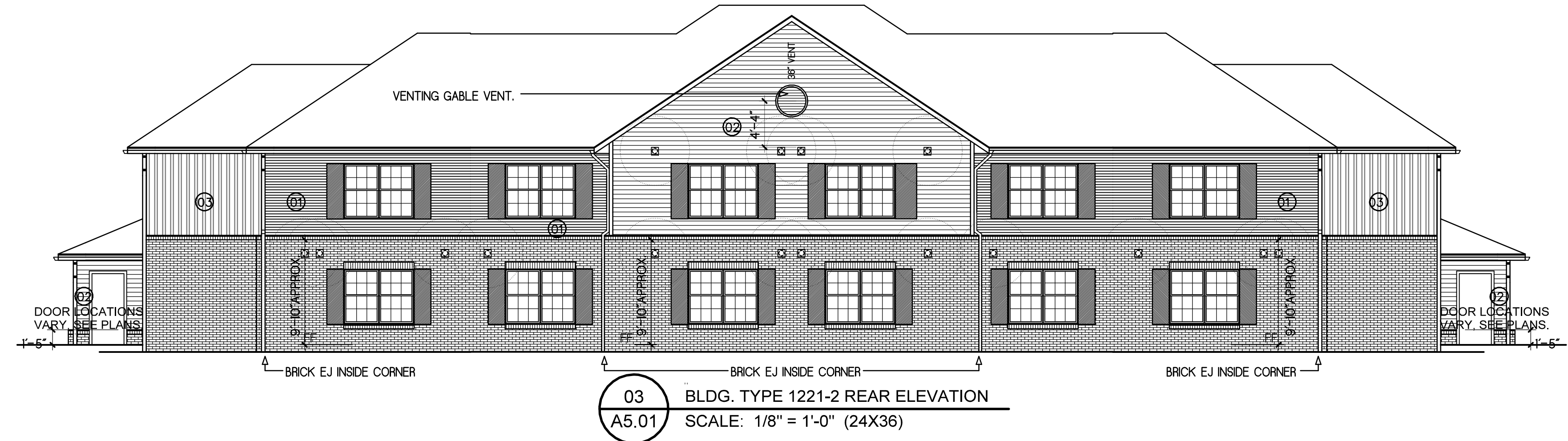
UNIT PLANS
3 BR
A2.03



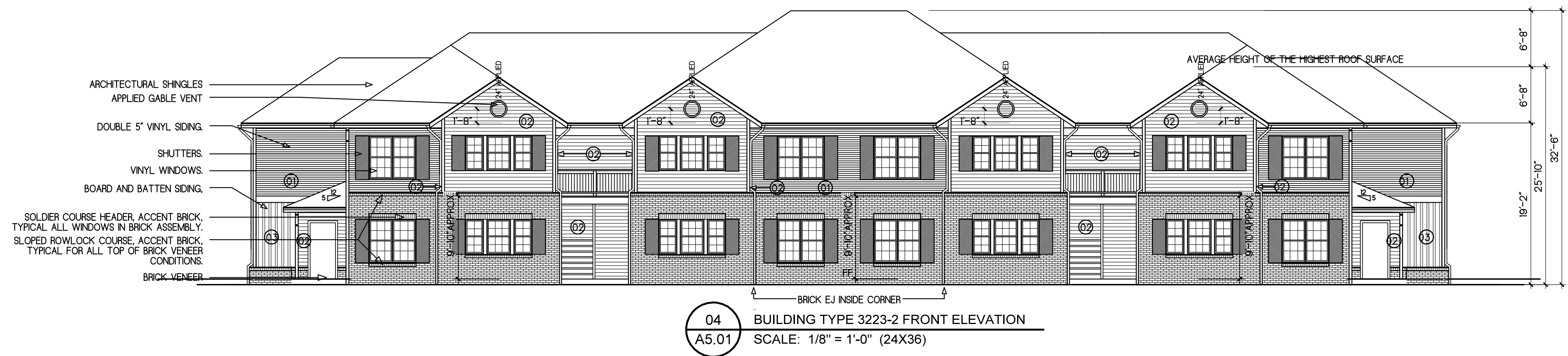
01 BUILDING TYPE 1221-2 FRONT ELEVATION
A5.01 SCALE: 1/8" = 1'-0" (24X36)



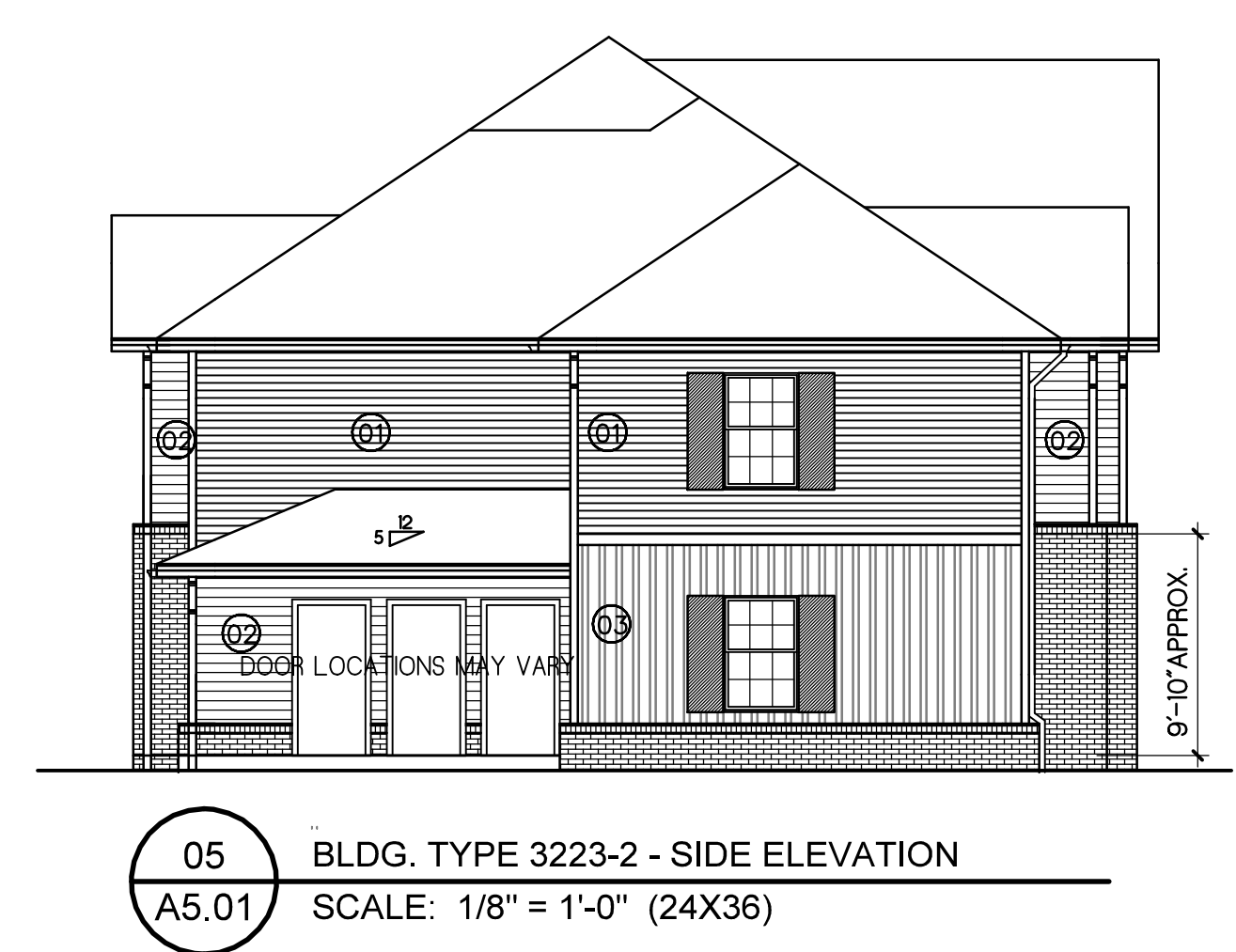
02 BUILDING TYPE 1221-2 SIDE ELEVATION
A5.01 SCALE: 1/8" = 1'-0" (24X36)



03 BLDG. TYPE 1221-2 REAR ELEVATION
A5.01 SCALE: 1/8" = 1'-0" (24X36)



04 BUILDING TYPE 3223-2 FRONT ELEVATION
A5.01 SCALE: 1/8" = 1'-0" (24X36)



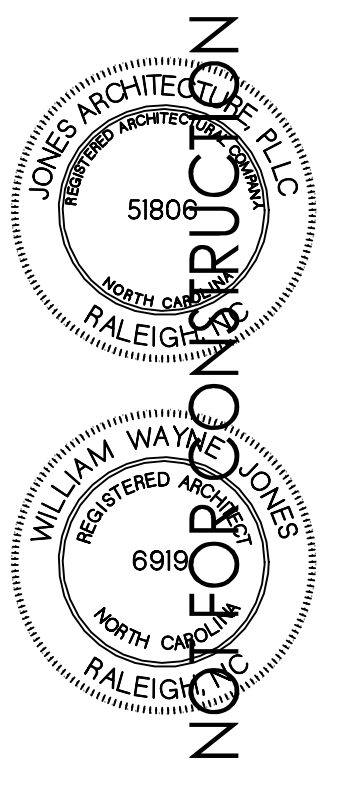
05 BLDG. TYPE 3223-2 - SIDE ELEVATION
A5.01 SCALE: 1/8" = 1'-0" (24X36)



06 BLDG. TYPE 3223-2 REAR ELEVATION
A5.01 SCALE: 1/8" = 1'-0" (24X36)

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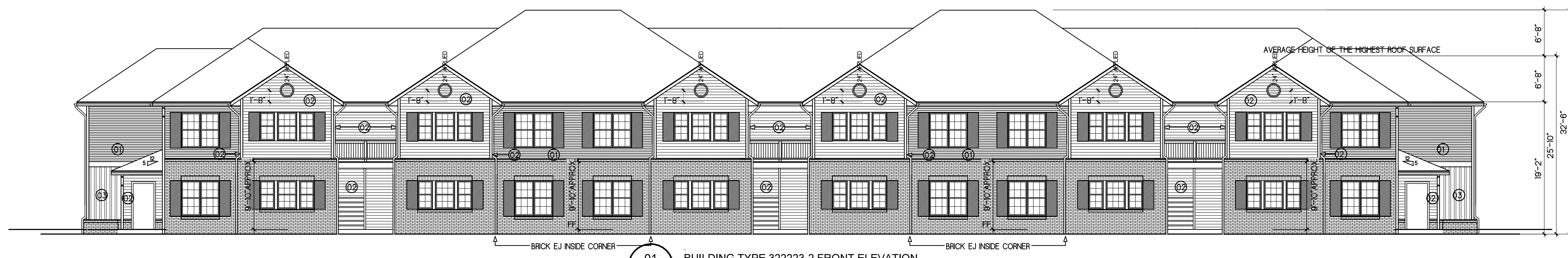
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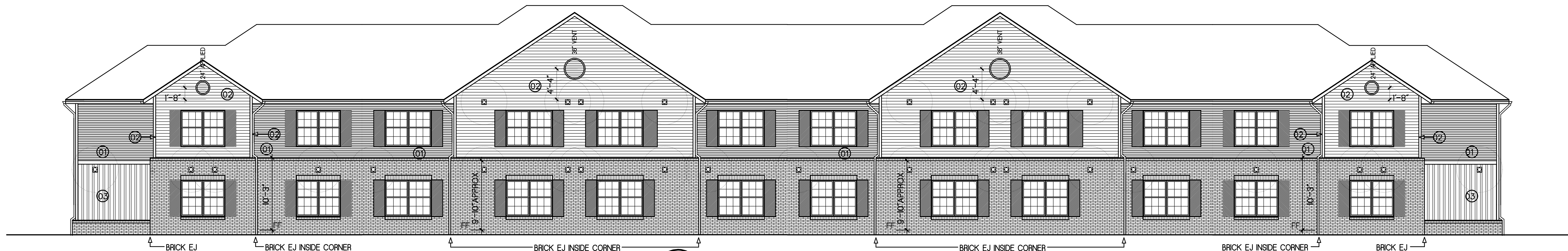
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BUILDING ELEVATIONS

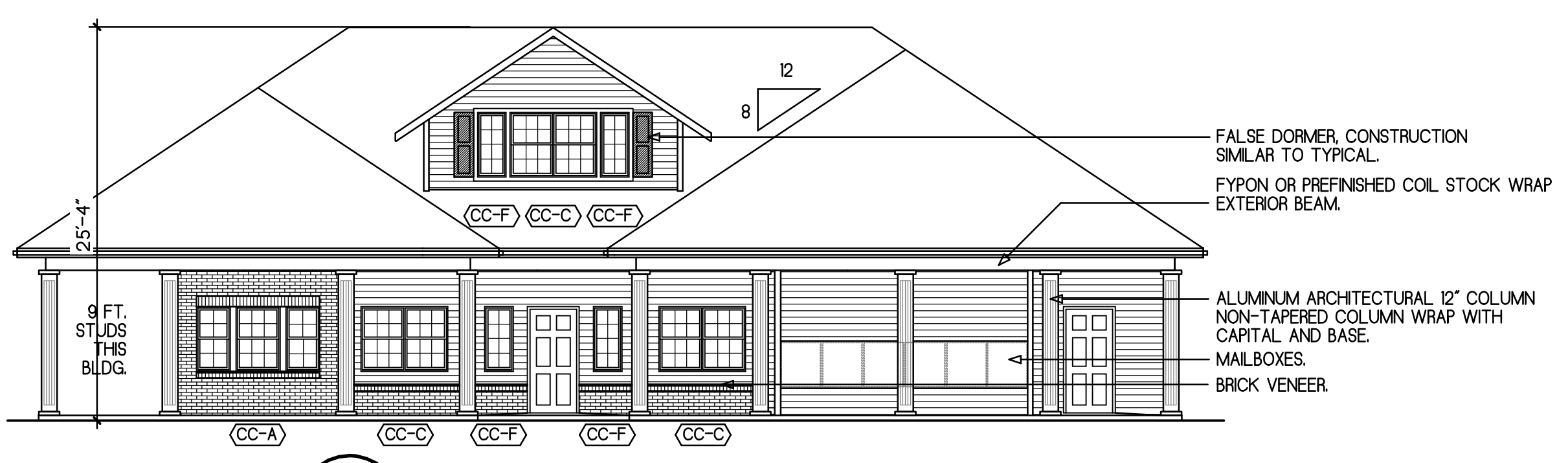
A5.01



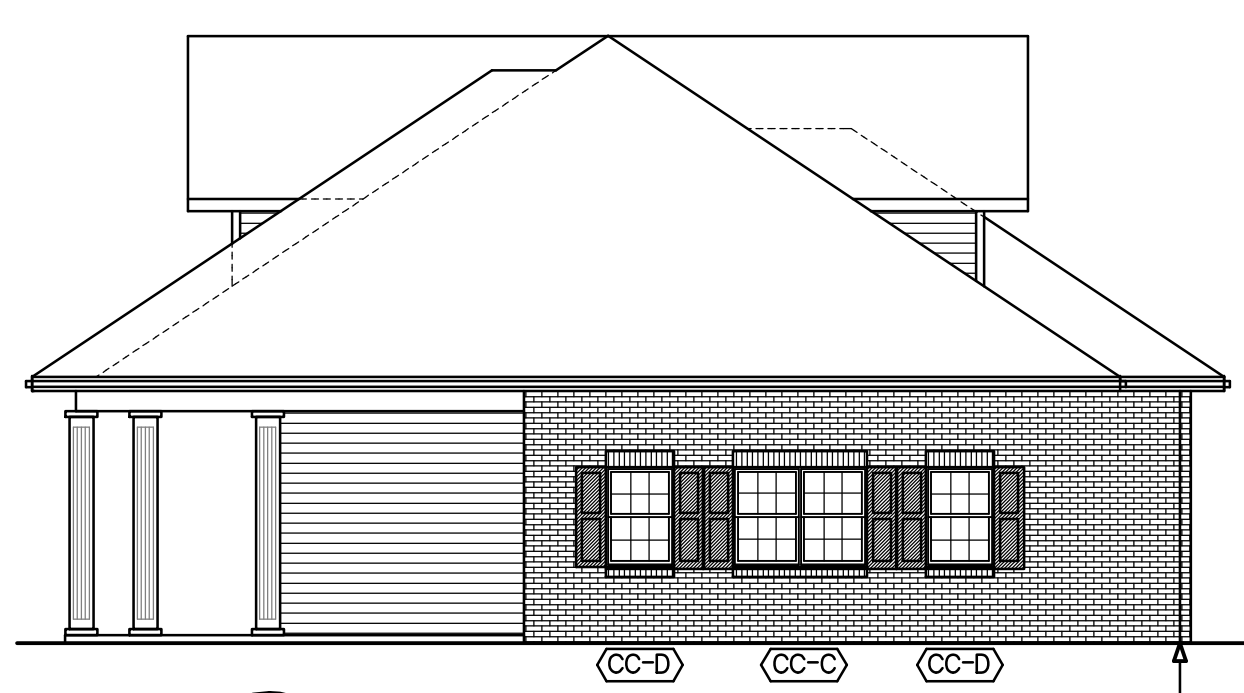
01 BUILDING TYPE 322223-2 FRONT ELEVATION
 A5.02 SCALE: 1/8" = 1'-0" (24X36)



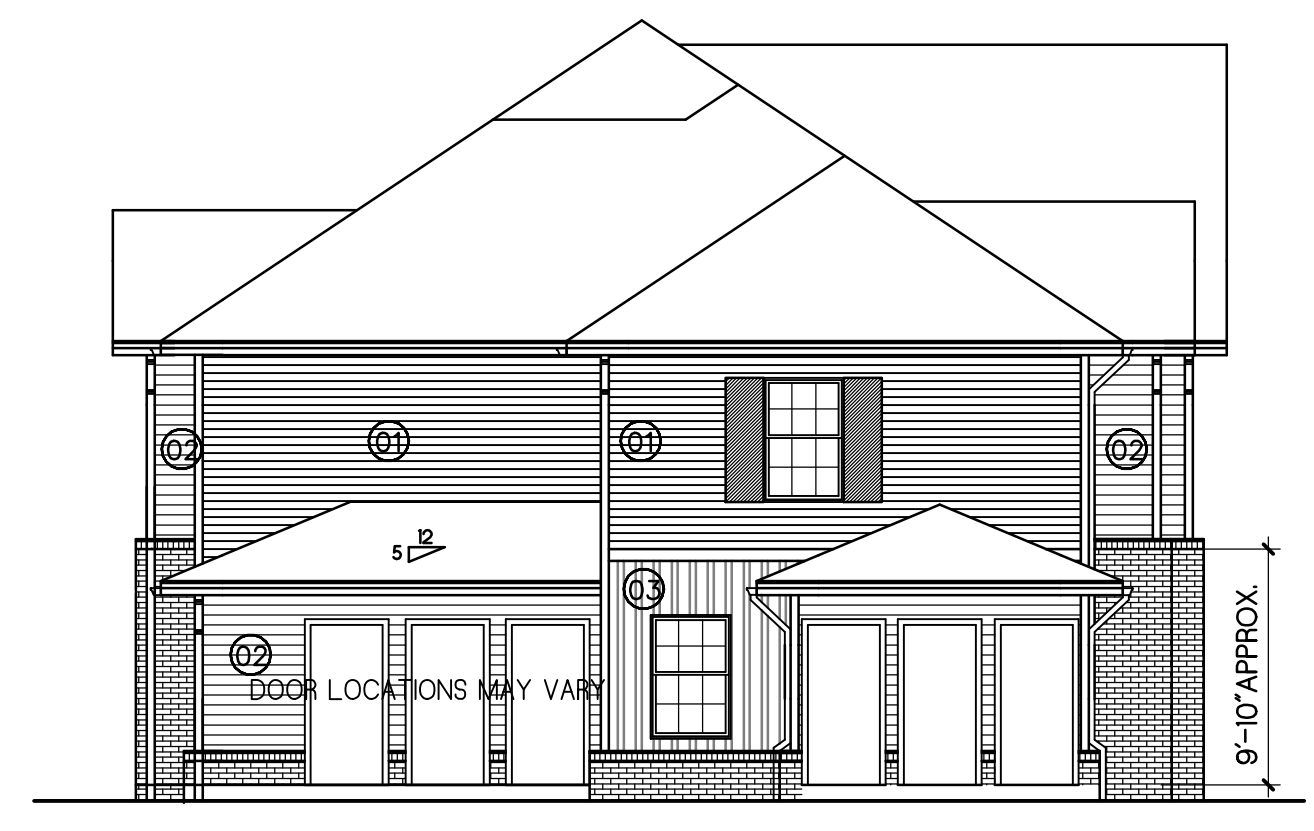
02 BUILDING TYPE 322223-2 REAR ELEVATION
 A5.02 SCALE: 1/8" = 1'-0" (24X36)



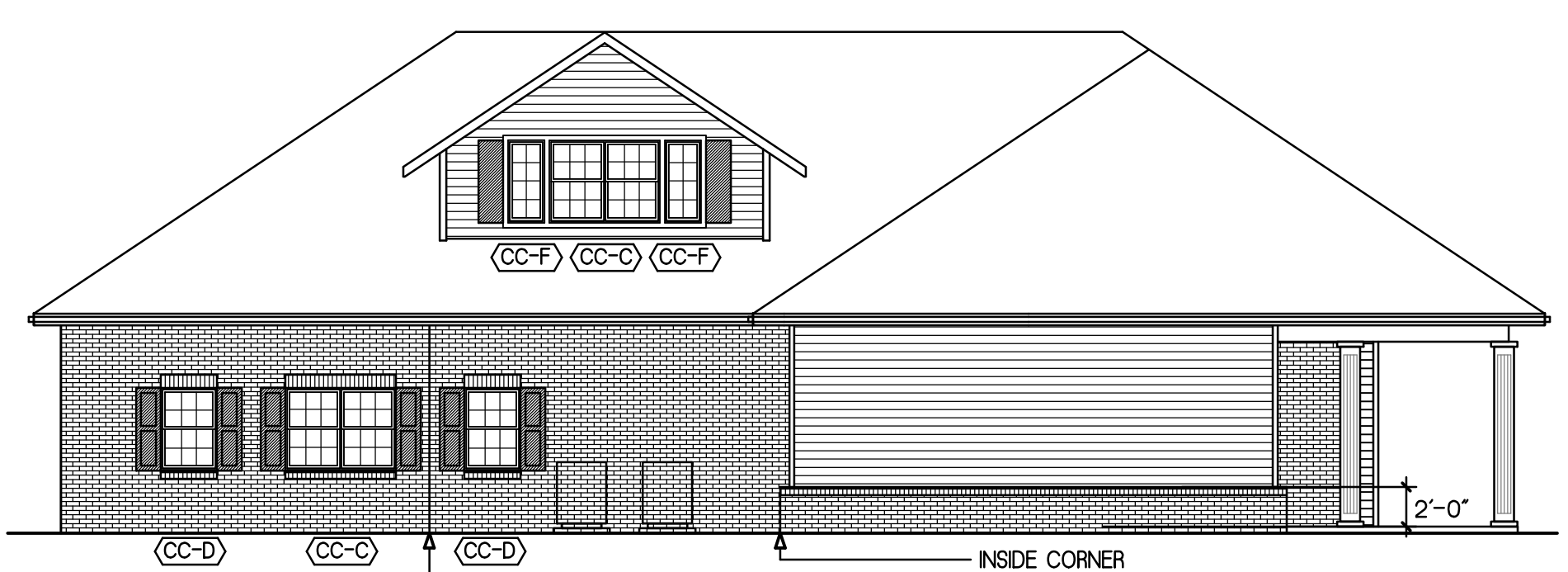
03 COMM. CENTER - FRONT ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"



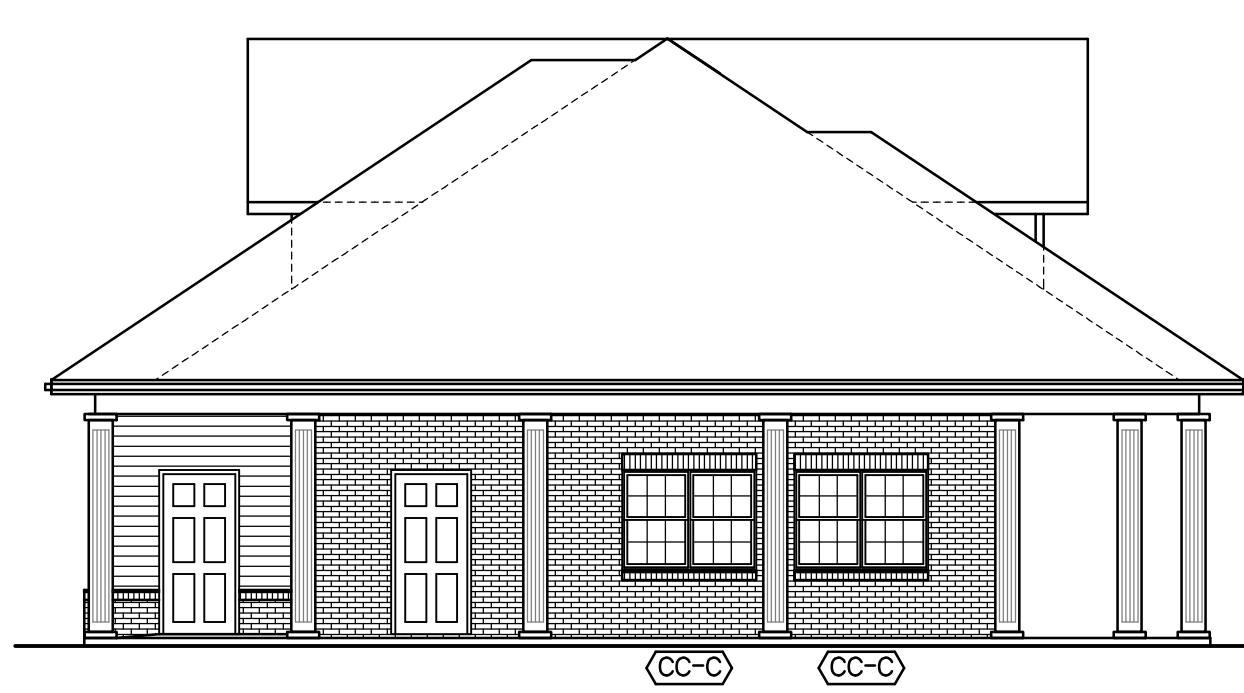
04 COMM. CENTER - RIGHT SIDE ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"



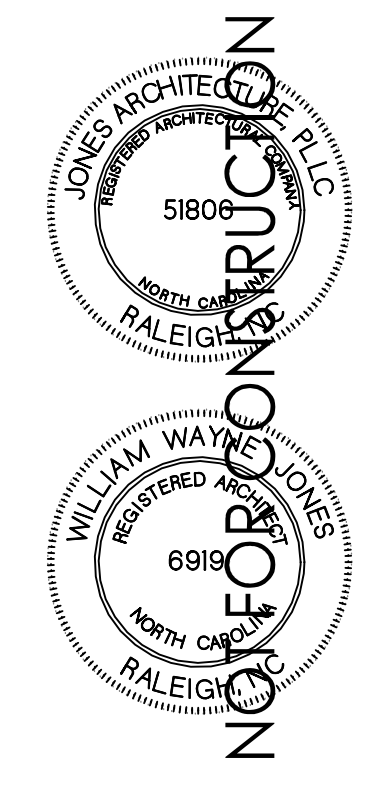
07 BLDG. TYPE 322223-2 - SIDE ELEVATION
 A5.02 SCALE: 1/8" = 1'-0" (24X36)



05 COMM. CENTER - REAR ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"



06 COMM. CENTER - LEFT SIDE ELEVATION
 A5.02 SCALE: 1/8" = 1'-0"



**NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS**

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 DATE: 12-22-2020
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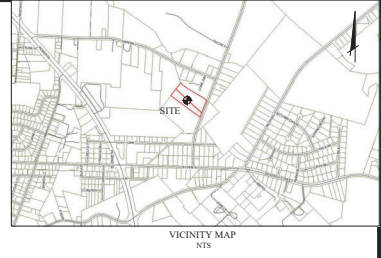
NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

BUILDING ELEVATIONS

A5.02

GENERAL NOTES

1. INSTALL WATERMANS WITH A COVER OF NO LESS THAN 4FT. INSTALL WATER SERVICES WITH NO LESS THAN 1/4IN OF COVER TO SURGRADE.
2. INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 4FT TO FINISHED GRADE UNLESS DUCTILE IRON PIPE IS USED. INSTALL SEWER SERVICES WITH NO LESS THAN 24IN OF COVER TO SURGRADE.
3. INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
4. WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 14FT.
5. WATER AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24-IN TO 51 TO FORM DRAINAGE PIPES.
6. COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADERS INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CABLE.
7. VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
8. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
9. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSCB AND OSHA REQUIREMENTS.
10. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
11. CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES.
12. SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.
14. ALL SANITARY SEWER SERVICES SHALL BE OF PVC (SCH 40) @ 1/4% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN.
15. SEWER IS TO BE OWNED AND MAINTAINED BY THE DEVELOPER.
16. CONTRACTOR TO PROVIDE TESTING FOR FILL ON SEWER LINE.
17. CONTRACTOR WILL NEED TO HAVE A PRE-CONSTRUCTION MEETING WITH TOWN OF LUMBERTON STAFF PRIOR TO RELEASE OF APPROVED PERMITTED PLANS.
18. TOWN OF LUMBERTON REPRESENTATIVE WILL NEED TO BE AT THE PRE-CON MEETING FOR THE UTILITIES.
20. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 36".



Bateman Civil Survey Company
Engineers • Surveyors • Planners
2205 Raleigh Avenue, Suite 200, Lumberton, NC 27956
Phone: 919.577.1000 Fax: 919.577.1961
NOBELS FRM INC. C4278

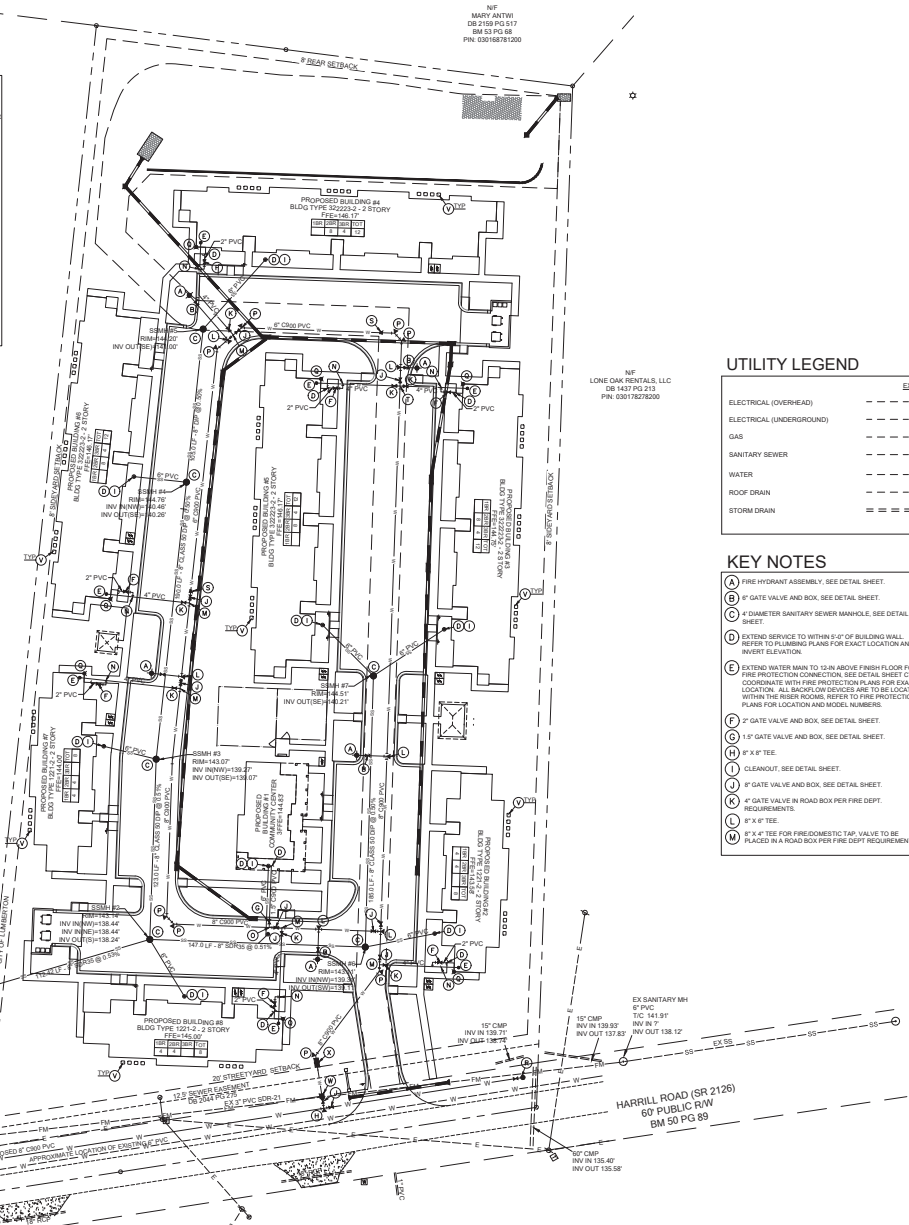


NORTHEAST POINTE PHASE II
SITE PLAN

SITE UTILITY PLAN

Project Engineer: SSL
Designed By: TSG
Scale: 1"=40'
Date: 01-21-2022
Project #: P210678

SHEET
C5.01



UTILITY LEGEND

	EXISTING	PROPOSED
ELECTRICAL (OVERHEAD)	---	---
ELECTRICAL (UNDERGROUND)	---	---
GAS	---	---
SANITARY SEWER	---	---
WATER	---	---
ROOF DRAIN	---	---
STORM DRAIN	---	---

EXISTING	PROPOSED
LP	LP
PP	PP
CO	CO
CS	CS
PH	PH
WF	WF
CB	CB
FS	FS
FW	FW
PI	PI
DB	DB
DC	DC
DF	DF
DI	DI
DD	DD
DE	DE
DF	DF
DG	DG
DH	DH
DI	DI
DJ	DJ
DK	DK
DL	DL
DM	DM

KEY NOTES

- (A) FIRE HYDRANT ASSEMBLY. SEE DETAIL SHEET.
- (B) 6" GATE VALVE AND BOX. SEE DETAIL SHEET.
- (C) 4" DIAMETER SANITARY SEWER MANHOLE. SEE DETAIL SHEET.
- (D) EXTEND SERVICE TO WITHIN 5'-0" OF BUILDING WALL. REFER TO PLUMBING PLANS FOR EXACT LOCATION AND INVERT ELEVATION.
- (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION CONNECTION. SEE DETAIL SHEET. COORDINATE WITH FIRE PROTECTION PLANS FOR EXACT LOCATION. ALL BACKFLOW DEVICES ARE TO BE LOCATED WITHIN THE RISER ROOMS. REFER TO ARCHITECTURAL PLANS FOR LOCATION AND MODEL NUMBERS.
- (F) 2" GATE VALVE AND BOX. SEE DETAIL SHEET.
- (G) 1.5" GATE VALVE AND BOX. SEE DETAIL SHEET.
- (H) 8" X 8" TEE.
- (I) CLEANOUT. SEE DETAIL SHEET.
- (J) 6" GATE VALVE IN ROAD BOX PER FIRE DEPT. REQUIREMENTS.
- (K) 8" X 8" TEE.
- (L) 6" X 6" TEE.
- (M) 8" X 8" TEE FOR FIRE DOMESTIC TAP. VALVE TO BE PLACED IN ROAD BOX PER FIRE DEPT. REQUIREMENTS.
- (N) 2" DOMESTIC WATER TAP. CONTRACTOR SHALL USE 2" PVC FROM THE TAP TO THE BUILDING.
- (O) 1.5" DOMESTIC WATER TAP. CONTRACTOR SHALL USE 1.5" PVC FROM THE TAP TO THE BUILDING.
- (P) 8" BEND WITH BLOW-OUT TYPICAL. SEE DETAIL SHEET.
- (Q) FIRE DEPARTMENT CONNECTION (FDC) WITH 3"-0" NATIONAL STANDARD TO BE LOCATED ON BUILDING WALL. REFER TO FIRE PROTECTION PLANS FOR EXACT LOCATION.
- (R) 2" BLOW OFF ASSEMBLY. SEE DETAIL SHEET.
- (S) 8" X 8" REDUCER.
- (T) 8" X 6" CROSSING FOR FIRE DOMESTIC TAP. VALVE TO BE PLACED IN A ROAD BOX PER FIRE DEPT. REQUIREMENTS.
- (U) LIGHT POLE. MAXIMUM POLE HEIGHT OF 25'-0". OWNER TO COORDINATE WITH MANUFACTURER AND LIGHTING SPECIFIC.
- (V) GROUND MOUNTED HVAC UNITS TO BE SCREENED FROM PUBLIC VIEW. REFER TO ARCHITECTURAL PLANS.
- (W) WATER METER. SEE DETAIL SHEET.
- (X) REDUCED PRESSURE ASSEMBLY IN HEATED ENCLOSURE. SEE DETAIL SHEET. ALL ASSEMBLIES MUST BE APPROVED BY THE TOWN OF GRANITE FALLS AND MUST BE USED ON ASSE APPROVED.

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

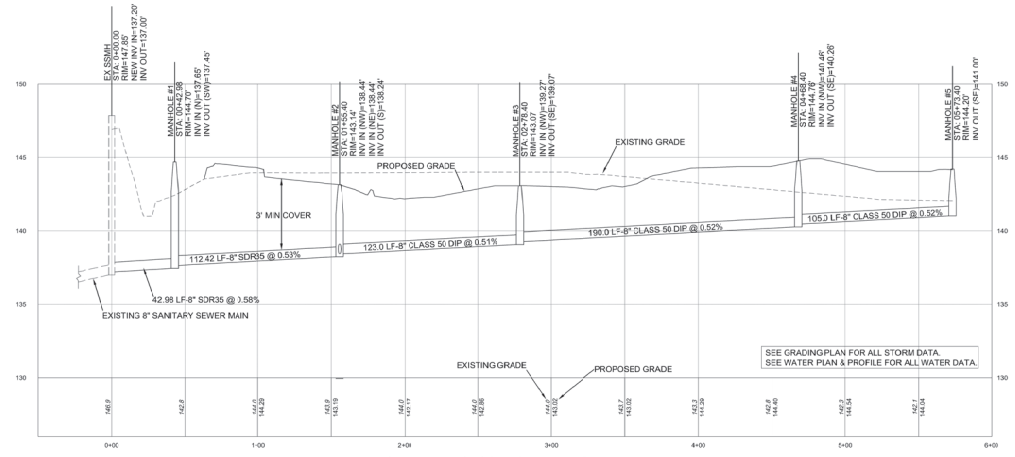
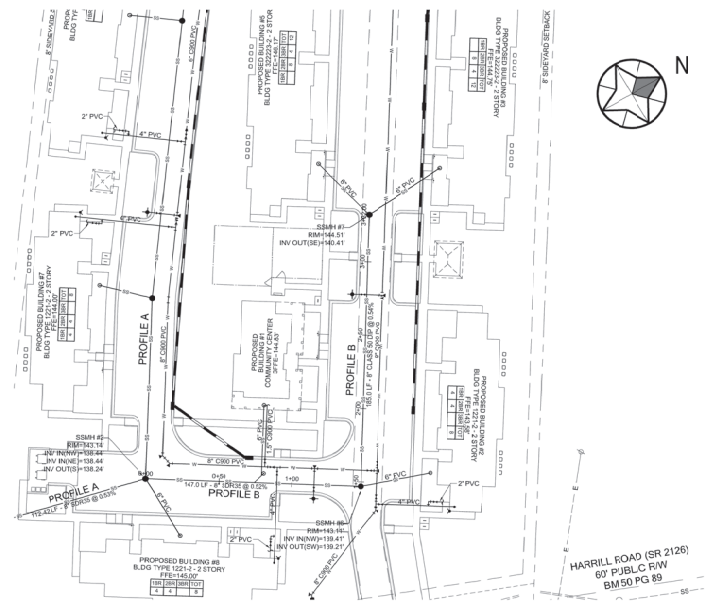
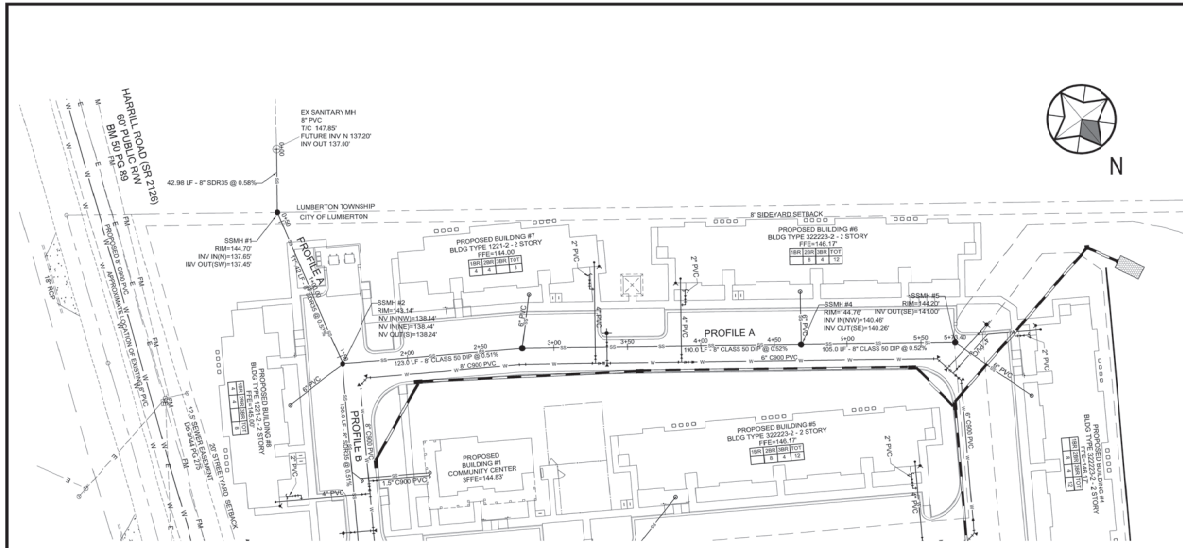
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

811
KNOW WHAT IS BELOW
CALL BEFORE YOU DIG

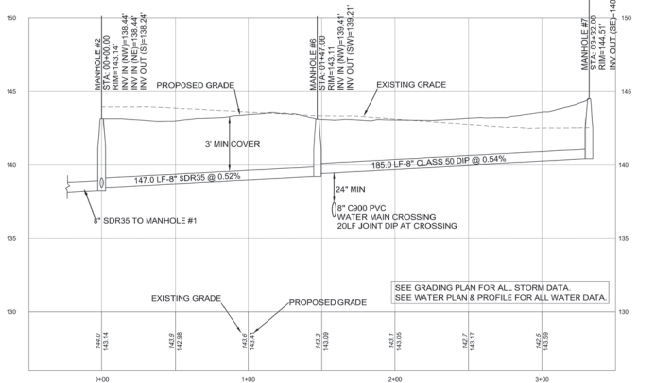
SCALE 1"=40'
0 40 80

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HEAVEN BOUND NEW
VISION CHURCH, INC.
A NORTH CAROLINA
CORPORATION
DB 1227 PG 294
PH 03017626700



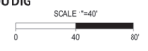
PROFILE A - PROPOSED SANITARY SEWER MAIN
HORIZ SCALE: 1"=40'
VERT SCALE: 1"=4'



PROFILE B - PROPOSED SANITARY SEWER MAIN
HORIZ SCALE: 1"=40'
VERT SCALE: 1"=4'

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



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Engineers & Surveyors & Planners
2305 Edwards Avenue, Asheville, North Carolina 28806
Phone: 919.277.1000 Fax: 919.277.1001
NCBELTS FRM No. C-2278



NORTHEAST POINTE PHASE II
SITE PLAN

HARRILL ROAD
LUMBERTON, NC 28056
ROBESON COUNTY

SANITARY SEWER PLAN PROFILE

Project Engineer: SSL
Designed By: TSG
Scale: 1"=40'
Date: 01-25-2022
Project#: P210678

SHEET
C5.02



Bateman Civil Survey Company
 Engineers & Surveyors & Planners
 2205 Edwards Avenue, Suite 100, North Carolina 27139
 Phone: 919.277.1000 Fax: 919.277.1001
 NCBELS Firm No. C-2378



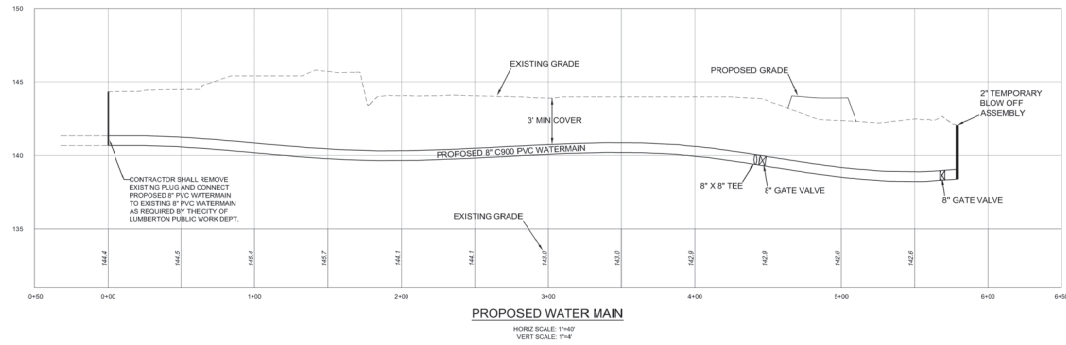
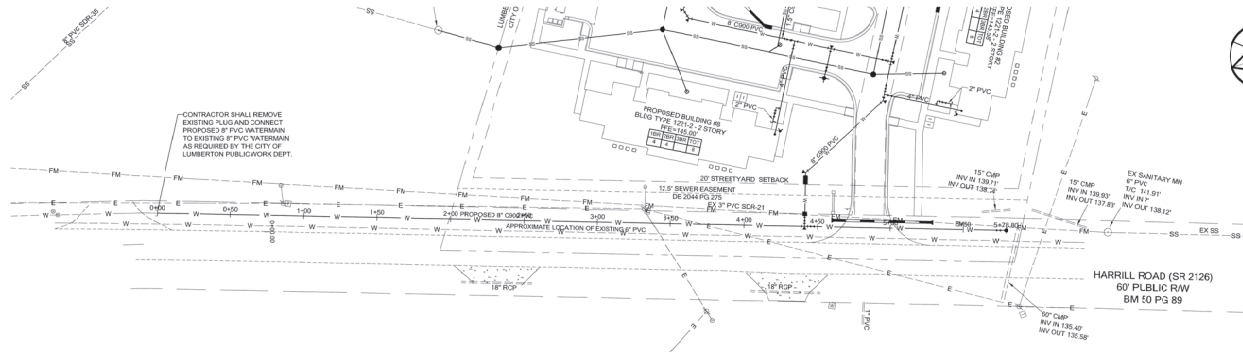
**NORTHEAST POINTE PHASE II
 SITE PLAN**

HARRILL ROAD
 LUMBERTON, NC 27356
 ROBESON COUNTY

WATERMAIN PLAN PROFILE

Project Engineer	SSL
Designed By	TSG
Scale	1"=40'
Date	01-25-2022
Project #	P210618

SHEET
C5.03

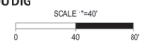


PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



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 2524 Reliance Avenue, Apex, North Carolina 27539
 Phone: 919.577.1080 Fax: 919.577.1081
 NGBELS FIRM No. C-2378

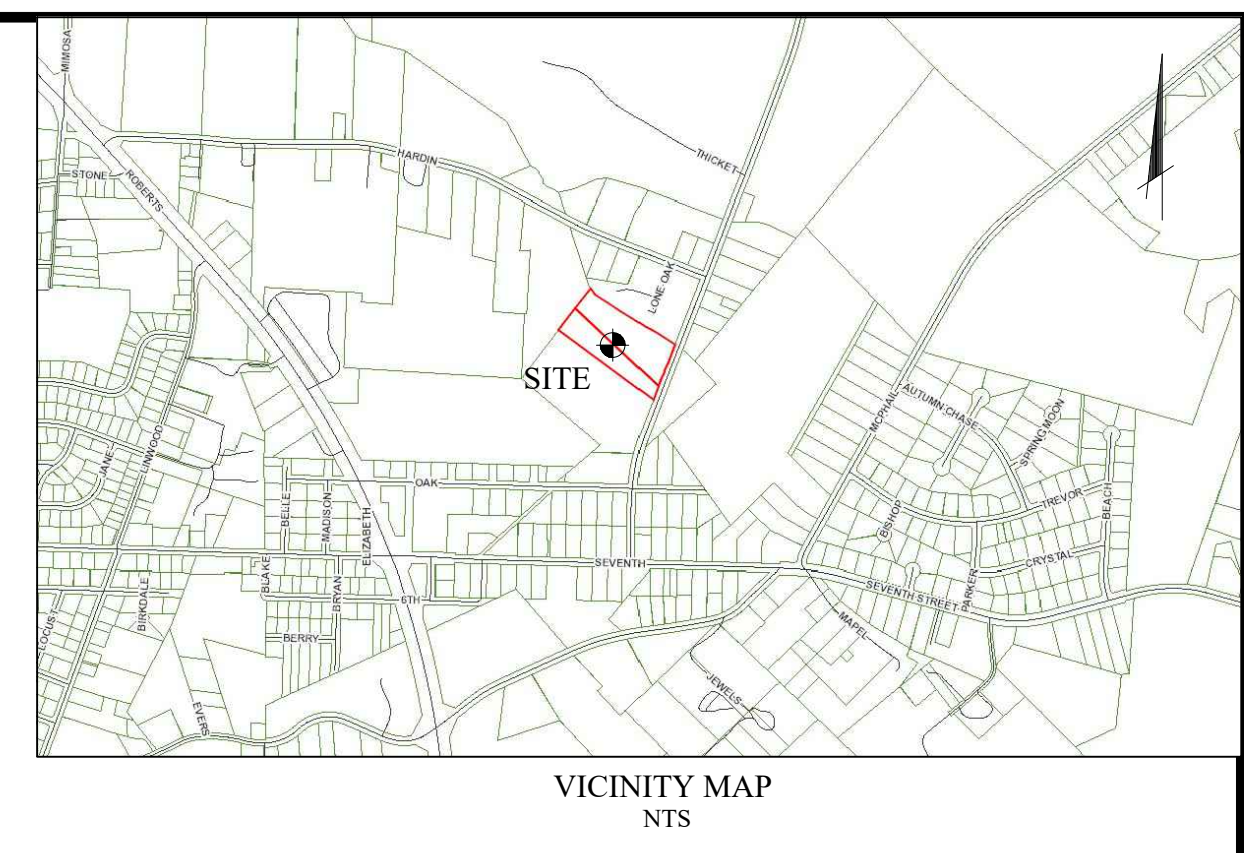


NORTHEAST POINTE PHASE II
SITE PLAN

SITE LAYOUT PLAN

Project Engineer: SSL
 Designed By: TSG
 Scale: 1"=40'
 Date: 04-01-2022
 Project #: P210678

SHEET
C2.01



VICINITY MAP
 NTS

SITE DATA

PROJECT:	NORTHEAST POINTE II
PLAN TYPE:	SITE PLAN
ENGINEER:	BATEMAN CIVIL SURVEY TIM GRISSINGER 2524 RELIANCE AVENUE APEX, NC 27539 PHONE: 919-577-1080 EMAIL: t.grissinger@tms.com
OWNER/DEVELOPER:	NORTHEAST POINTE II, LLC FRED G. MILLS JR. 1627 NAVANO DRIVE RALEIGH, NC 27609 PHONE: 919-621-9186 EMAIL: f.millsjr@millsconstructionco.com
ARCHITECT:	JONES ARCHITECTURE, PLLC WAYNE JONES 2005 BEECHAM CIRCLE RALEIGH, NC 27607 PHONE: 919-302-0404 EMAIL: wayne@jonesarchitecture.com
PROPERTY ADDRESS:	0 HARRILL ROAD
NC PIN:	030178034391 & 030178146500
ZONING:	B-2
PROPOSED USE:	RESIDENTIAL MULTIFAMILY
EXISTING TRACT AREA:	6.091 ACRES (COMBINED AREA TO CL) 5.822 ACRES (COMBINED AREA INSIDE RW)
CONSTRUCTION CLASSIFICATION:	WOOD FRAME
ROOF COVERING:	ASPHALT SHINGLES
PROPOSED # UNITS:	12 1-BEDROOM 44 2-BEDROOM 16 3-BEDROOM 72 TOTAL UNITS
BUILDING TYPE AREA:	BUILDING #1 COMM. CENTER = 3,157 GSF BUILDING #2 = 8,733 GSF BUILDING #3 - #6 = 15,255 GSF BUILDING #7 & #8 = 8,733 GSF
MIN. BUILDING SETBACKS:	90,376 TOTAL GSF STREET YARD: 20' FRONT: 10' REAR: 10' SIDE: 10'
MEAN BUILDING HEIGHT:	35'
RIVER BASIN:	LUMBER RIVER
WATERSHED CLASS:	NONE
DISTURBED AREA:	6.00 ACRES
IMPERVIOUS SURFACE AREAS:	EXISTING: 0.00 ACRES PROPOSED: 2.90 ACRES (49.81%)
PARKING REQUIREMENTS:	RESIDENTIAL BUILDINGS: 1.5 PER 1-2 BR UNIT, 2 PER 3-MORE UNIT PLUS 1 PER EVERY FOUR UNITS
PROPOSED:	56 / 1-2 BR UNITS: 84 16 / 3-MORE BR UNITS: 32 TOTAL # UNITS: 72 ADDITIONAL SPACES REQUIRED: 18 TOTAL PARKING PROVIDED: 134 ACCESSIBLE PARKING REQUIRED: 14 ACCESSIBLE PARKING PROVIDED: 14

KEY NOTES

- (A) ACCESSIBLE PARKING AND SIGNAGE, SEE DETAIL SHEET
 - (B) ACCESSIBLE WHEELCHAIR RAMP, SEE DETAIL SHEET
 - (C) DUMPSTER ENCLOSURE WITH GATES, SEE ARCHITECTURAL PLANS
 - (D) PROPOSED PROJECT SIGN, REFER TO ARCHITECTURAL PLANS
 - (E) CROSSWALK, SEE TRAFFIC CONTROL NOTES THIS SHEET
 - (F) GAZEBO, REFER TO ARCHITECTURAL PLANS
 - (G) PICNIC SHELTER, TABLES, GRILL, REFER TO ARCHITECTURAL PLANS
 - (H) 6" ORNAMENTAL ALUMINUM FENCE, COORDINATE SPECIFICS WITH OWNER
 - (I) 5' PEDESTRIAN ALUMINUM GATE, COORDINATE SPECIFICS WITH OWNER
 - (J) PERMANENTLY ANCHORED, WEATHER RESISTENT BENCH WITH A BACK, OWNER TO COORDINATE MANUFACTURER AND COLOR SPECIFICS
 - (K) 5-12 PLAY EQUIPMENT BY PALMETTO PLAYSETS, LLC (864-233-5867) MODEL J-1620 OR APPROVED EQUAL. EQUIPMENT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. OWNER TO COORDINATE FINAL SELECTION AND MANUFACTURER AND ENSURE REQUIREMENTS ARE MET. PLAYGROUND EQUIPMENT AND PLAYGROUND SURFACE MUST MEET ACCESSIBILITY CODE SECTION 1108
 - (L) 2-5 PLAY EQUIPMENT BY PALMETTO PLAYSETS, LLC (864-233-5867) MODEL J-1648 OR APPROVED EQUAL. EQUIPMENT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. OWNER TO COORDINATE FINAL SELECTION AND MANUFACTURER AND ENSURE REQUIREMENTS ARE MET. PLAYGROUND EQUIPMENT AND PLAYGROUND SURFACE MUST MEET ACCESSIBILITY CODE SECTION 1108
 - (M) STOP BAR WITH STOP SIGN, TRAFFIC CONTROL NOTES THIS SHEET
 - (N) LIGHT POLE, MAXIMUM POLE HEIGHT OF 25'-0". OWNER TO COORDINATE MANUFACTURER AND LIGHTING SPECIFICS
 - (O) END CURB AND GUTTER, SEE DETAIL SHEET
- CONCRETE SIDEWALK, SEE DETAIL SHEET
 - HEAVY-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - HEAVY-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET
 - LIGHT-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET

GENERAL NOTES

- ALL CURVE RADII ARE 5 FT AT FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL PARKING SPACES SHALL BE 9' WIDE X 19' DEEP MIN.
- VAC - VAN ACCESSIBLE PARKING SPACE.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO TOWN OF LUMBERTON STANDARDS AND SPECIFICATIONS.
- SOLID WASTE DUMPSTER AREAS WILL BE SCREENED WITH MATERIALS CONSISTENT WITH THE EXTERIOR MATERIALS OF THE PROPOSED STRUCTURES.
- ALL HVAC AND MECHANICAL EQUIPMENT WILL BE GROUND MOUNTED AND SHALL BE SCREENED FROM PUBLIC VIEW. REFER TO SHEET C6.01 AND ARCHITECTURAL PLANS.
- ALL CURBING SHALL BE 24" STANDARD CURB AND GUTTER. SEE DETAIL SHEET.
- ALL SIDEWALKS SHALL BE 5-FEET IN WIDTH, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, ALL SIDEWALK SHALL BE ADA COMPLIANT. (STEPS NOT APPLICABLE)
 - 5% MAX LONGITUDINAL SLOPE
 - 2% MAX CROSS SLOPE
 - 2% MAX SLOPE IN ANY DIRECTION AT LANDINGS AND TURNING AREAS.

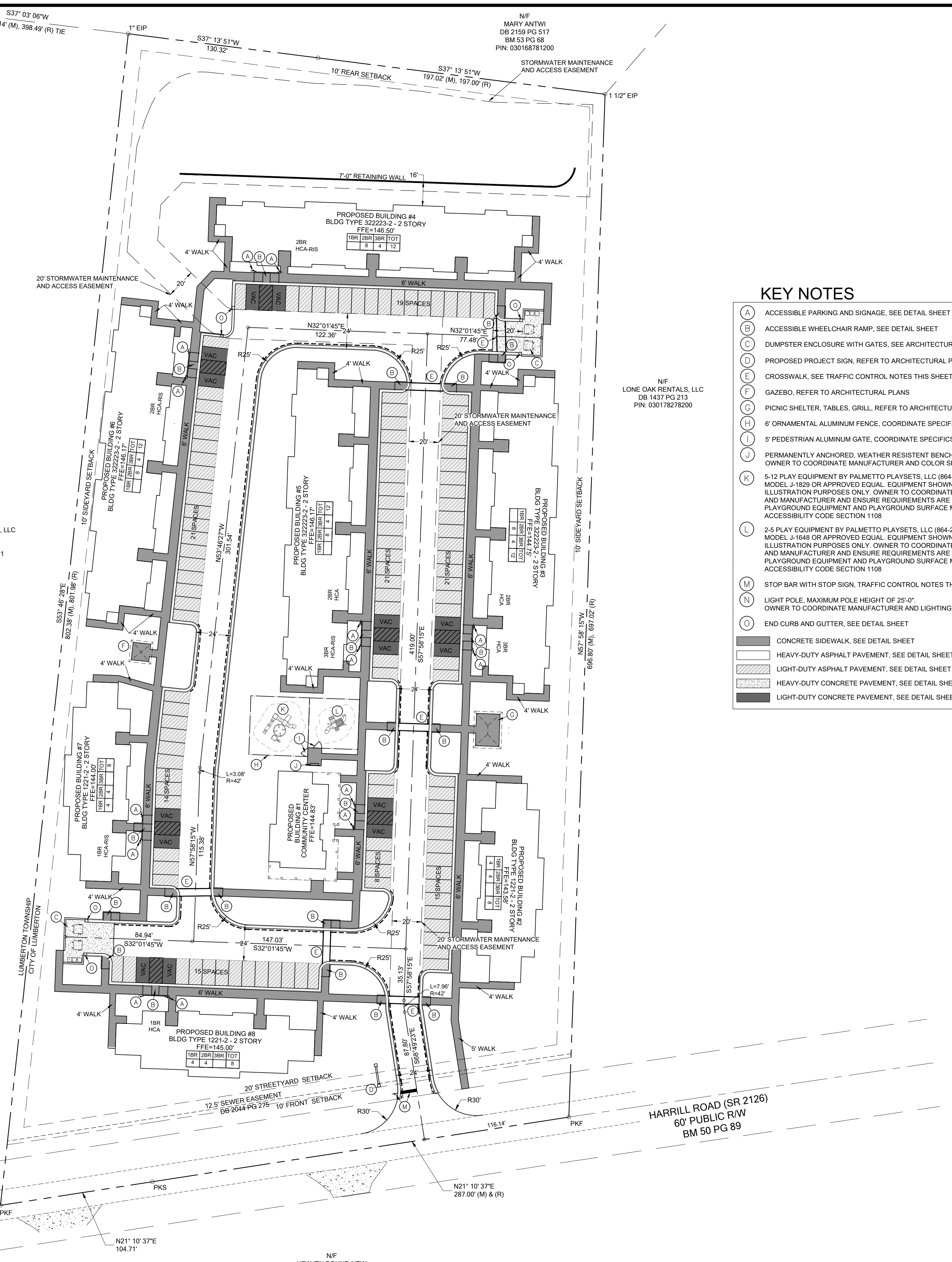
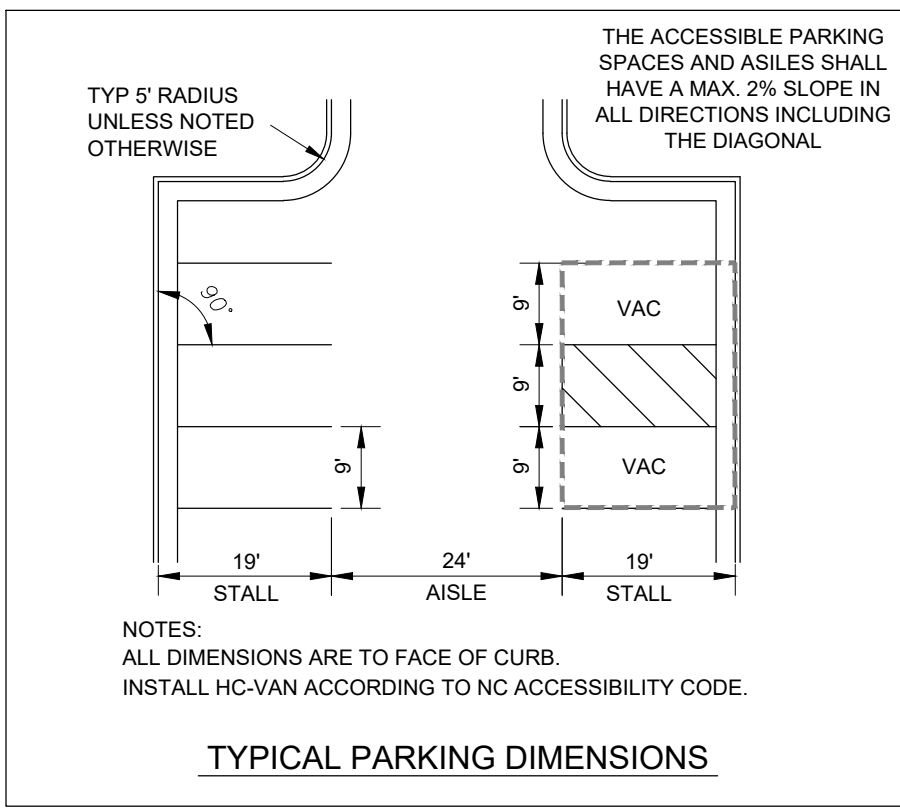
TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

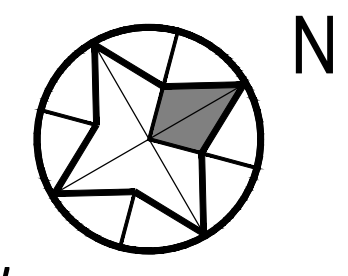
SIGN	MUTCD STD.	SIZE
VAN ACCESSIBLE	R7-8a	12"x6"
RESERVE PARKING	R7-8	12"x18"
STOP SIGN	R1-1	24"x24"
- ALL SIGNS SHALL BE MOUNTED WITH 5-FIT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB. GALV. STEEL U-CHANNEL POST SET IN 18-IN DEEP x 8-IN DIA. CONCRETE FOOTING. SIGNS MOUNTED ADJACENT TO SIDEWALKS MUST BE MOUNTED WITH 7-FIT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF SIGN.

MARKING	NCDOT STD.	SIZE	COLOR
PARKING SPACE	-	4-IN	WHT.
NO PARKING - FIRE LANE *	-	4-IN	YEL.
CROSSWALK	1205.07	4-IN	WHT.
STOP BAR	1205.01	24-IN	WHT.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.

MARKING	NCDOT STD.	SIZE	COLOR
NO PARKING - FIRE LANE MARKINGS SHALL CONSIST OF 4" SOLID YELLOW STRIPE AND 8" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS.	-	-	-
STRIPING SHALL BE PLACED AS INDICATED BY THE FOLLOWING LINETYPE	-	-	-
- ALL PAVEMENT MARKINGS SHALL BE RESIN TYPE PAINT AS REQUIRED BY THE TOWN.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



SCALE 1"=40'
 0 40' 80'

1st REVISION	05/16/2022	NCDEQ COMMENTS
2nd REVISION	08/24/2022	REMOVED BIKE RACKS
3rd REVISION	09/14/2022	NCHFA COMMENTS

P:\2021 Projects\210678 Northeast Point Lumberton\ENGINEERING\210678 Northeast Point_Laying

MARKET STUDY

A MARKET FEASIBILITY STUDY OF:
NORTHEAST
POINTE II

A MARKET FEASIBILITY STUDY OF:

NORTHEAST POINTE II

219 Harrill Road
Lumberton, Robeson County, North Carolina 28358

Effective Date: February 11, 2021
Report Date: March 15, 2021

Prepared for:
North Carolina Housing Finance Agency
3508 Bush Street
Raleigh, NC 27609-7509

Application Code: APP21-0068

Prepared by:
Novogradac Consulting LLP
555 North Point Center East, Suite 600
Alpharetta, Georgia 30022
Brian.neukam@novoco.com
678-867-2333





March 15, 2021

Ms. Tara Hall
North Carolina Housing Finance Agency
3508 Bush Street
Raleigh, NC 27609-7509

Re: Application Market Study for Northeast Pointe II, located in Lumberton, Robeson County, North Carolina

Dear Ms. Hall:

At your request, Novogradac Consulting LLP has performed a study of the multifamily rental market in the Lumberton, Robeson County, North Carolina area relative to the above-referenced Low-Income Housing Tax Credit (LIHTC) project known as Northeast Pointe II (the Subject).

The purpose of this market study is to assess the viability of Northeast Pointe II, a proposed 72-unit family LIHTC project. The property will be a newly constructed affordable LIHTC project, with 72 revenue generating units, restricted to households earning 50 and 60 percent of the Area Median Income (AMI) or less. Of these, 11 units, restricted to the 50 percent of AMI level, will operate with HOME funding. Additionally, eight units will be set aside for the mobility-impaired and eight units will be set aside for persons with disabilities or who are homeless. The following report provides support for the findings of the study and outlines the sources of information and the methodologies used to arrive at these conclusions. The scope of this report meets the requirements of the North Carolina Housing Finance Agency (NCHFA), including the following:

- Inspecting the site of the proposed Subject and the general location.
- Analyzing appropriateness of the proposed Subject's unit mix, rent levels, available amenities and site.
- Estimating market rent, absorption and stabilized occupancy levels for the market area.
- Investigating the health and conditions of the multifamily housing market.
- Calculating income bands, given the proposed Subject rents.
- Estimating the number of income-eligible households.
- Reviewing relevant public records and contacting appropriate public agencies.
- Analyzing the economic and social conditions in the market area in relation to the proposed project.
- Establishing the Subject Primary and Secondary Market Area(s) if applicable.
- Surveying competing projects, both Low-Income Housing Tax Credit (LIHTC) and market rate.

This report contains, to the fullest extent possible and practical, explanations of the data, reasoning, and analyses that were used to develop the opinions contained herein. The report also includes a thorough analysis of the scope of the study, regional and local demographic and economic studies, and market analyses including conclusions. The depth of discussion contained in the report is specific to the needs of the client.

The COVID-19 coronavirus has caused an international pandemic and we have seen governments across the globe take dramatic efforts to slow the spread and flatten the infection curve in order to reduce the strain on our health care system. We are already seeing these efforts result in extensive impacts to economic activity. However, governments are also implementing significant economic stimulus packages to help with the economic disruption. At this point it is unclear how successful the stimulus packages will be in terms of blunting the impact from the emergency measures. Further, it is unclear as to how these measures will impact the local housing market, although some general trends are observed:

- 1) Clients and market participants throughout the country report April through February collections that were better than expected for all types of multifamily properties. According to a report from the National Multifamily Housing Council, February 2021 rent collections were down by 1.9 percentage points year-over-year from February 2020. Note that the apartments in this sample are market rate apartments in multifamily buildings and do not include affordable units. Through February 6, 2021, 9.2 percent of households made full or partial rent payments for February, according to the National Multifamily Housing Council. Although one-in-four renters did not pay their rent in the first week of the month, the majority of these missed payments are made up with late payments by the end of the month. A significant change in the market is not yet discernible and we continue to be relatively optimistic about the market's ability to weather the current economic storm.*
- 2) Based upon various conversations with market participants and published articles and webinars many believe that multifamily real estate will be impacted but significantly less so than other sectors. Further, the impact is expected to be shorter lived. Many view multifamily as a safer haven during this period of uncertainty. The Subject will not be completed until May 2023, at which point the market is expected to be stabilized or have less uncertainty.*
- 3) States are starting to plan the reopening over the next several weeks to months and the state of North Carolina has begun to re-open its restaurants, gyms, and other indoor venues as of December 2020, however, return to full economic potential is unlikely while the global health crisis continues. Additionally, North Carolina currently has a stay-at-home order requiring citizens to stay home and businesses to close from 10 p.m. to 5 a.m. A return to full economic potential is unlikely while the global health crisis continues. However, the Subject is scheduled to be complete in May 2023, which is considered outside the primary window of the pandemic.*
- 4) As of October 2020, unemployment is at 6.6 percent nationally. Historically, Robeson County has generally trailed the nation in terms of employment growth and the unemployment rate. The impacts of the COVID-19 pandemic and associated economic downturn appear to have impacted Robeson County as total employment contracted by 2.8 percent and the unemployment rate increased by 3.3 percentage points to 8.3 percent since October 2019, which is less than the nationwide employment contraction (5.4 percent) and similar to the increase in the unemployment rate (3.3 percent). Overall, the local economy has been impacted by the COVID-19 pandemic. However, nationwide, state, and city assistance programs both for employees and businesses have reportedly and are expected to continue to mitigate these impacts.*
- 5) The impact of COVID-19 broadly on apartment operations in this market does not appear to have been significant as of the date of this report. Seven of the ten comparables reported no significant impact to collections, occupancy, or traffic during the COVID-19 pandemic. Four of the comparables reported an increase in tenants making late payments due to the pandemic. However, the majority of these tenants*

are on payment plans or are up-to-date on rent. The long-term impacts of COVID-19 on this market are yet to be seen; however, in the short-term the impact has been minimal.

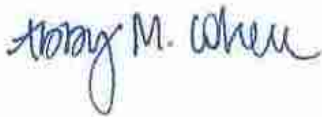
- 6) *In March 2020, Congress passed a \$2 trillion stimulus bill to respond to the COVID-19 pandemic, with cash and assistance for households and businesses impacted by the virus. In December 2020, Congress passed an additional \$900 billion stimulus bill in further response to the pandemic. Additionally, the Biden administration has proposed \$1.9 trillion in further stimulus initiatives.*

All of the comparable properties were interviewed in February 2021. The majority of property managers reported that market demand has not softened as a result of the COVID-19 pandemic and state and local stay-at-home orders. Overall, we did not experience significant barriers to local data collection as a result of the pandemic and we believe the quality of data collected in this report supports the credibility of our conclusions.


The Stated Purpose of this assignment is for tax credit application. You agree not to use the Report other than for the Stated Purpose, and you agree to indemnify us for any claims, damages or losses that we may incur as the result of your use of the Report for other than the Stated Purpose. Without limiting the general applicability of this paragraph, under no circumstances may the Report be used in advertisements, solicitations and/or any form of securities offering.

Please do not hesitate to contact us if there are any questions regarding the report or if Novogradac Consulting LLP can be of further assistance. It has been our pleasure to assist you with this project.

Respectfully submitted,
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Addendum A

Addendum B

Addendum C

Addendum D

Addendum E

Addendum F

Addendum G

A. EXECUTIVE SUMMARY

EXECUTIVE SUMMARY

1. Property Summary of Subject

The following section is a summary of the proposed Subject including the served population.

Subject Property Overview:

Northeast Pointe II, the Subject, is a proposed 72-unit apartment community restricted to households earning 50 and 60 percent of the AMI, or less. It should be noted that three, one-bedroom units, five, two-bedroom unit, and three, three-bedroom unit restricted to 50 percent AMI will operate with HOME funding. The Subject will be located at 219 Harrill Road and will offer one, two, and three-bedroom units. The Subject’s buildings will be brick veneer and vinyl siding. As proposed, the Subject will contain seven, two-story residential buildings in addition to one community building. All buildings will also have front gables.

Targeted Tenancy:

Family.

Income Averaging:

No, the Subject will not utilize Income Averaging.

Proposed Rents, Unit Mix and Utility Allowance:

The following table details the Subject’s proposed rents, utility allowances, and unit mix. It should be noted that the Subject’s location is considered a rural area as determined by USDA. Therefore, the Subject is eligible to use the national non-metropolitan rent and income limits, which are higher than the published rent and income limits for Robeson County. It should also be noted, the Subject’s Low HOME maximum allowable rents are below the 50 percent LIHTC maximum allowable rents. Low HOME rents are set at the lower of the two maximum allowable rents; thus, the Low HOME rents at the Subject are set at the Low HOME maximum allowable levels.

PROPOSED RENTS

Unit Type	Unit Size (SF)	Number of Units	Asking Rent	Utility Allowance (1)	Gross Rent	2020 National Non-Metropolitan LIHTC Maximum Allowable Gross Rent
@50%						
1BR / 1BA	806	4	\$502	\$81	\$583	\$583
2BR / 2BA	1,053	9	\$610	\$89	\$699	\$701
3BR / 2BA	1,213	5	\$675	\$105	\$780	\$810
@50% (HOME)						
1BR / 1BA	806	3	\$429	\$81	\$510	\$510
2BR / 2BA	1,053	5	\$564	\$89	\$653	\$653
3BR / 2BA	1,213	3	\$650	\$105	\$755	\$755
@60%						
1BR / 1BA	806	5	\$560	\$81	\$641	\$700
2BR / 2BA	1,053	30	\$675	\$89	\$764	\$841
3BR / 2BA	1,213	8	\$750	\$105	\$855	\$972
		72				

Notes (1) Source of Utility Allowance provided by the Developer.

2. Market Vacancy

The following tables summarize overall vacancy rates for the comparable properties.

VACANCY - ALL COMPARABLES

Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate
Carriage Hills	LIHTC	Family	72	2	2.8%
Chestnut Place	LIHTC	Family	48	0	0.0%
Griffin Park Apartments	LIHTC	Family	72	2	2.8%
Northeast Pointe Apartments	LIHTC	Family	64	0	0.0%
Sadie's Landing	LIHTC	Family	60	0	0.0%
Britt Lake Apartment Homes*	Market	Family	216	4	1.9%
Deacon's Ridge	Market	Family	10	0	0.0%
King's Quarters At Jack Britt*	Market	Family	252	0	0.0%
The North View (FKA Granada Terrace)	Market	Family	24	0	0.0%
Town Village Apartments	Market	Family	26	0	0.0%
Total in PMA			376	4	1.1%
Total			844	8	0.9%

*Located outside of the PMA

VACANCY - LIHTC COMPARABLES

Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate
Carriage Hills	LIHTC	Family	72	2	2.8%
Chestnut Place	LIHTC	Family	48	0	0.0%
Griffin Park Apartments	LIHTC	Family	72	2	2.8%
Northeast Pointe Apartments	LIHTC	Family	64	0	0.0%
Sadie's Landing	LIHTC	Family	60	0	0.0%
LIHTC Total in PMA			316	4	1.3%

VACANCY - MARKET RATE COMPARABLES

Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate
Britt Lake Apartment Homes*	Market	Family	216	4	1.9%
Deacon's Ridge	Market	Family	10	0	0.0%
King's Quarters At Jack Britt*	Market	Family	252	0	0.0%
The North View (FKA Granada Terrace)	Market	Family	24	0	0.0%
Town Village Apartments	Market	Family	26	0	0.0%
Market Total in PMA			60	0	0.0%
Market Total			528	4	0.8%

*Located outside of the PMA

Overall vacancy among the comparables is 0.9 percent. Further, overall vacancy among the comparables located within the PMA is 1.1 percent. The LIHTC comparables reported vacancy rates ranging from zero to 2.8 percent with a weighted average of 1.3 percent, which is considered low. Of the five LIHTC properties, only two have any vacancies. The remaining three LIHTC comparables report full occupancy. According to the contact at Carriage Hills, the two vacant units at the property are being processed from a waiting list of 60 households. Our contact at Griffin Park stated that the two vacant units are both currently down for carpet replacement, but will be processed from a waiting list of 494 households once they are complete. All five of the LIHTC comparables report maintaining waiting lists. The low vacancy rates among the LIHTC comparables coupled with the presence of waiting lists indicates strong demand for affordable housing in the local market.

Vacancy among the market rate comparables is low at 0.8 percent. Further, the market rate comparables in the PMA are all fully occupied. Only one market rate comparable reported any vacancies, Britt Lake Apartment Homes. However, Britt Lake Apartment Homes is currently occupied at a healthy 98.1 percent. Overall, the local rental market appears to be healthy, and we believe that the Subject will be able to maintain a stabilized vacancy rate of seven percent or less following stabilization per state guideline standards. We would also expect that after completion of absorption, the Subject will operate with a waiting list.

3. Capture Rates

The following table illustrates the capture rates for the Subject’s units.

CAPTURE RATE ANALYSIS CHART

Unit Type	Units Proposed	Total Demand	Supply	Net Demand	Capture Rate
1BR at 50% AMI	4	57	10	47	8.5%
1BR at 50% AMI (HOME)	3	63	10	53	5.7%
1BR at 60% AMI	5	75	10	65	7.7%
1BR Overall	12	99	20	79	15.1%
2BR at 50% AMI	9	280	28	252	3.6%
2BR at 50% AMI (HOME)	5	308	28	280	1.8%
2BR at 60% AMI	30	371	40	331	9.1%
2BR Overall	44	490	68	422	10.4%
3BR at 50% AMI	5	128	17	111	4.5%
3BR at 50% AMI (HOME)	3	141	17	124	2.4%
3BR at 60% AMI	8	170	18	152	5.3%
3BR Overall	16	225	35	190	8.4%
@50% Overall	18	465	55	410	4.4%
@50% (HOME) Overall	11	512	55	457	2.4%
@60% Overall	43	616	68	548	7.8%
Overall	72	814	123	691	10.4%

As the analysis illustrates, the Subject’s capture rates vary from 1.8 to 15.1 percent with an overall capture rate of 10.4 percent. Overall, capture rates are low and based on the capture rates alone, there appears to be demand for the Subject.

4. Projected Absorption Period

Two of the comparables was able to report absorption. We have also included absorption data from another recently constructed LIHTC property in Robeson County.

ABSORPTION

Property Name	Rent	Tenancy	Year	Total Units	Absorption (units/month)
Fairfield Park Apartments**	LIHTC	Family	2020	64	29
Griffin Park Apartments*	LIHTC	Family	2019	72	36
Northeast Pointe Apartments*	LIHTC	Family	2017	64	13

*Utilized as a comparable property

**In initial absorption phase

As illustrated in the table above, absorption rates at recently constructed properties in the area range from 13 to 36 units per month with an average of 26 units per month. It should be noted that the Subject’s sister property Northeast Pointe Apartments, was completed in 2017 and was reportedly stabilized within five

months of completion. Additionally, the most recent construction LIHTC property in Lumberton, Griffin Park Apartments, was completed in March 2019, and was fully leased within two months of completion. With the stable demographic base of low to moderate-income households in the PMA and the existing LIHTC properties reporting low vacancy rates and maintaining waiting lists, we believe the Subject should be able to experience an absorption rate similar to the average absorption rate reported by the above properties. As illustrated in the demand analysis, captures rates vary from 1.8 to 15.1 percent with an overall capture rate of 10.4 percent. These capture rates are low and indicate adequate demand for the Subject, even after removing the planned additions to supply. Further, all five of the comparable LIHTC properties maintain waiting lists and three report full occupancy. Therefore, based on the demand calculations presented within this report, which indicate good capture rates and an ample number of income-qualified households, we believe the Subject could absorb approximately 25 units per month upon completion. This equals an absorption period of two to three months. We expect the Subject to reach stabilized occupancy of 93 percent within two to three months. It should be noted that construction on the Subject is not anticipated to be completed until May 2023, which is considered outside of the primary window from the COVID-19 pandemic.

5. Market Conclusions

The average LIHTC vacancy rate is healthy at 1.3 percent overall, which is considered low. Of the five LIHTC properties, only two have any vacancies. The remaining three LIHTC comparables report full occupancy. According to the contact at Carriage Hills, the two vacant units at the property are being processed from a waiting list of 60 households. Our contact at Griffin Park stated that the two vacant units are both currently down for carpet replacement, but will be processed from a waiting list of 494 households once they are complete. All five of the LIHTC comparables report maintaining waiting lists. The low vacancy rates among the LIHTC comparables coupled with the presence of waiting lists indicates strong demand for affordable housing in the local market.

The Subject's proposed rents for all unit types and AMI levels are below the average rents being achieved by the market rate comparables. However, its proposed rents for its two-bedroom units at 50 percent AMI and its one, two, and three-bedroom units at 60 percent AMI are above the minimum rents being achieved by the market rate comparables. This is reasonable as much of the market rate housing stock in the immediate area is vastly inferior to the proposed Subject. Town Village Apartments has the lowest one, two, and three-bedroom rents in the conventional rental market. Town Village Apartments is located in Lumberton, approximately 1.9 miles from the Subject site, in a similar location relative to the Subject. Town Village Apartments was constructed in 1978 and exhibits fair condition, which is inferior to the anticipated excellent condition of the Subject upon completion. This property offers similar in-unit amenities when compared to the proposed Subject. Town Village Apartments offers inferior community amenities compared to the Subject as it lacks a business center, community room, and central laundry facilities, which the proposed Subject will offer. Town Village Apartments offers similar unit sizes compared to the proposed Subject. Overall, Town Village Apartments is inferior to the proposed Subject. Therefore, we believe the Subject's proposed rents are reasonable above the current rents at this property. The Subject offers one, two, and three-bedroom rents higher than the rents at Town Village Apartments. It should be noted that this property is reportedly fully occupied. The property's strong performance indicates that the current rents are achievable. Given the Subject's superior amenity package and condition to the majority of the comparable market rate properties in the PMA, we believe the Subject will offer value in the local market.

As a newly constructed property, the Subject will be most similar to King's Quarters at Jack Britt, which was constructed in 2014 and exhibits good condition, which is slightly inferior to the anticipated excellent condition of the proposed Subject upon completion. This property is achieving the highest two and three-bedroom rents in the market and is fully occupied. The strong performance indicates that the current rents are achievable. The Subject's proposed LIHTC rents will have a rent advantage ranging from 40 to 53 percent over the current rents at this property and will offer value in the local market.

If allocated, we believe that the Subject will be successful and will maintain a stabilized vacancy rate of seven percent or less, which is consistent with the LIHTC average. We do not anticipate that the addition of the Subject to the market will affect the existing or proposed LIHTC properties in the PMA.

6. Recommendations

The Subject is well conceived as currently proposed. We have no recommendations that would significantly alter the marketability or lease-up potential of the Subject.

7. Long Term Impact on Existing LIHTC Properties in the PMA

Capture rates for the Subject are considered low to moderate for all bedroom types and AMI levels. If allocated, the Subject will be similar to superior to the existing LIHTC housing stock. The average LIHTC vacancy rate is healthy at 1.3 percent overall, which is considered low. Of the five LIHTC properties, only two have any vacancies. The remaining three LIHTC comparables report full occupancy. According to the contact at Carriage Hills, the two vacant units at the property are being processed from a waiting list of 60 households. Our contact at Griffin Park stated that the two vacant units are both currently down for carpet replacement, but will be processed from a waiting list of 494 households once they are complete. All five of the LIHTC comparables report maintaining waiting lists. The low vacancy rates among the LIHTC comparables coupled with the presence of waiting lists indicates strong demand for affordable housing in the local market.

Five properties were allocated in the Subject's PMA since 2019.

- Meadow Branch Apartments was allocated in 2019 for the development of 72 LIHTC units targeting families. Construction is expected to be completed in April 2021. This development will be located approximately 1.2 miles west of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50 and 60 percent AMI levels. There will be 28 units restricted to households earning 50 percent of the AMI or less and 44 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.
- Roberts Landing was allocated in 2019 for the rehabilitation of an existing Rural Development property named Brierwood Apartments, which consists of 64 one and two-bedroom units targeting families. Renovations are expected to be completed in March 2022. This development is located approximately 0.5 miles west of the Subject site in Lumberton. Post renovation, 62 units will continue to operate with Rural Development subsidies, where residents pay 30 percent of their income towards rent. The remaining one, one-bedroom unit and one, two-bedroom unit will not have a subsidy and will be restricted to households earning 60 percent of AMI or less. As this property is the renovation of an existing property with rental assistance, we have not deducted these units in our demand analysis.
- Wind Crest Senior Living was allocated in 2019 for the development of 66 LIHTC units targeting seniors. Construction is expected to be completed in 2022. This development will be located approximately 0.9 miles southwest of the Subject site in Lumberton. The property will offer one and two-bedroom units restricted to the 60 percent AMI level. This property will target a different tenancy than the Subject and will not be considered directly competitive. As such, we have not deducted these units in our demand analysis.
- River Highlands was allocated in 2020 for the development of 64 LIHTC units targeting families. Construction is expected to be completed in fall 2022. This development will be located approximately 0.7 miles north of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50, 60, and 80 percent AMI levels. There will be 27 units restricted to households earning 50 percent of the AMI or less and 24 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.

- Williams Landing was allocated in 2020 for the rehabilitation of an existing Rural Development property named Oakwood Manor, which consists of 48 one and two-bedroom units targeting families. Renovations are expected to be completed in June 2022. This development is located approximately 0.5 miles west of the Subject site in Lumberton. Post renovation, 47 units will continue to operate with Rural Development subsidies, where residents pay 30 percent of their income towards rent. The remaining one, two-bedroom unit will not have a subsidy and will be restricted to households earning 60 percent of AMI or less. As this property is the renovation of an existing property with rental assistance, we have not deducted these units in our demand analysis.

We do not believe that the addition of the Subject to the market will impact the three new LIHTC properties or the existing LIHTC properties that are in overall average condition and currently performing well.

NORTHEAST POINTE II – LUMBERTON, NORTH CAROLINA – MARKET STUDY

Data Summary

Project Name Northeast Pointe II

Project Type Family

	Income Targeting	Total Demand	Supply	Net Demand	Units Proposed	Capture Rate
Efficiency	Up To 20%					
	Up To 30%					
	Up To 40%					
	Up To 50%					
	Up To 50% (HOME)					
	Up To 60%					
	Up To 70%					
	Up To 80%					
	Market Rate					
Overall						
1 Bedroom	Up To 20%					
	Up To 30%					
	Up To 40%					
	Up To 50%	57	10	47	4	8.5%
	Up To 50% (HOME)	63	10	53	3	5.7%
	Up To 60%	75	10	65	5	7.7%
	Up To 70%					
	Up To 80%					
	Market Rate					
Overall	99	20	79	12	15.1%	
2 Bedroom	Up To 20%					
	Up To 30%					
	Up To 40%					
	Up To 50%	280	28	252	9	3.6%
	Up To 50% (HOME)	308	28	280	5	1.8%
	Up To 60%	371	40	331	30	9.1%
	Up To 70%					
	Up To 80%					
	Market Rate					
Overall	490	68	422	44	10.4%	
3 Bedroom	Up To 20%					
	Up To 30%					
	Up To 40%					
	Up To 50%	128	17	111	5	4.5%
	Up To 50% (HOME)	141	17	124	3	2.4%
	Up To 60%	170	18	152	8	5.3%
	Up To 70%					
	Up To 80%					
	Market Rate					
Overall	225	35	190	16	8.4%	
4 Bedroom	Up To 20%					
	Up To 30%					
	Up To 40%					
	Up To 50%					
	Up To 50% (HOME)					
	Up To 60%					
	Up To 70%					
	Up To 80%					
	Market Rate					
Overall						
Total					72	

Overall Capture Rate - 20% LIHTC Units	_____
Overall Capture Rate - 30% LIHTC Units	_____
Overall Capture Rate - 40% LIHTC Units	_____
Overall Capture Rate - 50% LIHTC Units	4.4%
Overall Capture Rate - 50% HOME Units	2.4%
Overall Capture Rate - 60% LIHTC Units	7.8%
Overall Capture Rate - 70% LIHTC Units	_____
Overall Capture Rate - 80% LIHTC Units	_____
Entire Project Capture Rate Including Market Units	10.4%
Absorption Period in Months to 93%	2-3 months
Comparables Only Vacancy Rate in PMA	1.1%
LIHTC Vacancy Rate in PMA	1.3%
Long term effect on other LIHTC projects in PMA?	No

B. PROJECT DESCRIPTION

PROJECT DESCRIPTION

- 1. Project Location:** The Subject will be located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358.
- 2. Construction Type:** The Subject will be constructed in seven, two-story residential buildings, in addition to one community building. All buildings will be brick veneer, vinyl, and have front gables.
- 3. Occupancy Type:** Family.
- 4. Target Income Group:** The Subject will be restricted to households earning 50 and 60 percent of the AMI, or less. The minimum allowable household income for the Subject is \$17,486 based on affordability for the Subject's least expensive rent (one-bedroom unit at 50 percent (HOME) AMI) and the maximum allowable household income will be \$38,880 (the average of the maximum 60 percent AMI incomes for a four and five-person household).
- 5. Special Population Target:** According to data provided in the NCHFA application, eight units will be mobility impaired handicapped units, and eight units will be set aside for persons with disabilities or who are homeless.
- 6. Proposed Rents, Unit Mix, Square Footages, Utility Allowances and Design:** The Subject will be constructed in seven, two-story residential buildings, in addition to one community building. The following table details the Subject's proposed rents and utility allowances. It should be noted that the Subject's location is considered a rural area as determined by USDA. Therefore, the Subject is eligible to use the national non-metropolitan rent and income limits, which are higher than the published rent and income limits for Robeson County. It should also be noted, the Subject's Low HOME maximum allowable rents are below the 50 percent LIHTC maximum allowable rents. Low HOME rents are set at the lower of the two maximum allowable rents; thus, the Low HOME rents at the Subject are set at the Low HOME maximum allowable levels.


PROPOSED RENTS

Unit Type	Unit Size (SF)	Number of Units	Asking Rent	Utility Allowance (1)	Gross Rent	2020 National Non-Metropolitan LIHTC Maximum Allowable Gross Rent
@50%						
1BR / 1BA	806	4	\$502	\$81	\$583	\$583
2BR / 2BA	1,053	9	\$610	\$89	\$699	\$701
3BR / 2BA	1,213	5	\$675	\$105	\$780	\$810
@50% (HOME)						
1BR / 1BA	806	3	\$429	\$81	\$510	\$510
2BR / 2BA	1,053	5	\$564	\$89	\$653	\$653
3BR / 2BA	1,213	3	\$650	\$105	\$755	\$755
@60%						
1BR / 1BA	806	5	\$560	\$81	\$641	\$700
2BR / 2BA	1,053	30	\$675	\$89	\$764	\$841
3BR / 2BA	1,213	8	\$750	\$105	\$855	\$972
		72				

Notes (1) Source of Utility Allowance provided by the Developer.

- 7. **Floor Plans/Site Plans:** We reviewed the Subject’s site plan and floor plans and determined them to be market-oriented and functional.
- 8. **Existing or Proposed Project-Based Rental Assistance:** The Subject is proposed and will not operate with project-based rental assistance subsidy.
- 9. **Community Amenities** See following Subject Profile sheet.
- 10. **Unit Amenities** See following Subject Profile sheet.
- 11. **Scope of Renovation.** The Subject will be new construction.

NORTHEAST POINTE II – LUMBERTON, NORTH CAROLINA – MARKET STUDY

Northeast Pointe II													
Location	219 Harrill Road Lumberton, NC 28358 Robeson County												
Units	72												
Type	Garden (2 stories)												
Year Built / Renovated	2023 / n/a												
Market													
Program	@50%, @50% (HOME), @60%						Leasing Pace	N/A					
Annual Turnover Rate	N/A						Change in Rent (Past Year)	N/A					
Units/Month Absorbed	N/A						Concession						
Section 8 Tenants	N/A												
Utilities													
A/C	not included – central						Other Electric	not included					
Cooking	not included – electric						Water	included					
Water Heat	not included – electric						Sewer	included					
Heat	not included – electric						Trash Collection	included					
Unit Mix (face rent)													
Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max rent?		
1	1	Garden (2 stories)	4	806	\$502	\$0	@50%	N/A	N/A	N/A	yes		
1	1	Garden (2 stories)	3	806	\$429	\$0	@50% (HOME)	N/A	N/A	N/A	yes		
1	1	Garden (2 stories)	5	806	\$560	\$0	@60%	N/A	N/A	N/A	no		
2	2	Garden (2 stories)	9	1,053	\$610	\$0	@50%	N/A	N/A	N/A	no		
2	2	Garden (2 stories)	5	1,053	\$564	\$0	@50% (HOME)	N/A	N/A	N/A	yes		
2	2	Garden (2 stories)	30	1,053	\$675	\$0	@60%	N/A	N/A	N/A	no		
3	2	Garden (2 stories)	5	1,213	\$675	\$0	@50%	N/A	N/A	N/A	no		
3	2	Garden (2 stories)	3	1,213	\$650	\$0	@50% (HOME)	N/A	N/A	N/A	yes		
3	2	Garden (2 stories)	8	1,213	\$750	\$0	@60%	N/A	N/A	N/A	no		
Amenities													
In-Unit	Blinds Carpeting Central A/C Dishwasher Exterior Storage Ceiling Fan Oven Refrigerator Washer/Dryer hookup						Security	Video Surveillance					
Property	Business Center/Computer Lab Clubhouse/Meeting Room/Community Room Central Laundry Off-Street Parking On-Site Management Picnic Area Playground						Premium	none					
Services	none						Other	none					
Comments													
This project will include seven, two-story, garden style buildings constructed in brick and vinyl. The proposed utility allowances are \$81, \$89, and \$105 for one, two, and three-bedroom units, respectively. The project will include eight units for the mobility impaired and eight units for persons with disabilities or who are homeless.													

C. SITE EVALUATION

SITE EVALUATION

1. **Date of Site Visit:** February 11, 2021.
2. **Surrounding Land Uses:** The following narrative and pictures illustrate the surrounding land uses.

The Subject site is located in a mixed-use neighborhood consisting of multifamily, single-family residential developments, smaller retail and commercial uses, and houses of worship. To the north of the Subject is a mobile home community in average condition and single-family homes in average condition. Farther north is a house of worship in average condition and vacant land. To the east of the Subject is a house of worship in average condition and vacant wooded land. Farther east is vacant land and single-family homes in average to good condition. To the south of the Subject site is the Subject's sister property, Northeast Pointe Apartments, a LIHTC community in good condition. For the purpose of this report, Northeast Pointe Apartments was included as a comparable property in our analysis. Farther south is vacant wooded land and single-family homes in average to good condition. West of the Subject site is vacant land and single-family homes in average to good condition. Farther west is vacant land, single-family homes in average to good condition, and commercial uses in average condition. Overall retail occupancy in the vicinity of the Subject appeared to be approximately 90 percent. Downtown Lumberton is located approximately 1.8 miles west of the Subject site and offers retail and restaurants. Retail and fast food restaurants are located approximately 0.8 miles to the south of the site along North Roberts Avenue and 0.9 miles to the north along State Route 41.

Photographs of Subject Site and Surrounding Uses



View northeast along Harrill Road



View southwest along Harrill Road



House of worship east from the Subject site



Mobile home community north from the Subject site



Northeast Pointe Apartments south from the Subject site



Vacant land west from the Subject site



View of the Subject site



View of the Subject site



View of the Subject site



View of the Subject site



View of the Subject site



View of the Subject site

Visibility/Views:

The Subject has views of a mobile home community to the north. View to the east of the Subject include a house of worship in

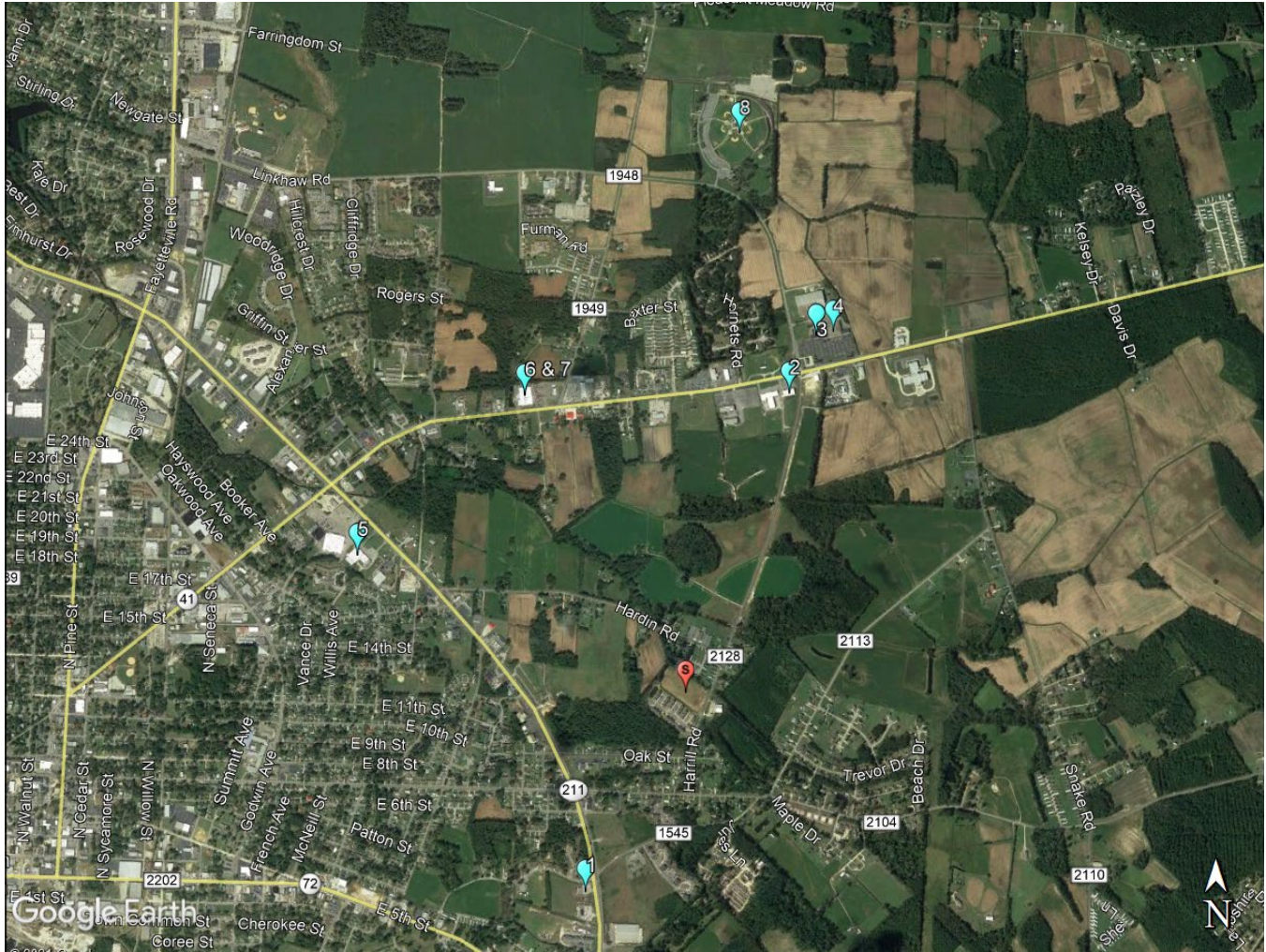
average condition. Views to the south of the Subject include Northeast Pointe Apartments, a LIHTC community in good condition, and vacant land. For the purpose of this report, Northeast Pointe Apartments was included as a comparable property in our analysis. Views to the west of the subject include vacant land. For the purpose of this report. Overall, visibility of the proposed two-story residential buildings at the Subject will be good. Views of the surrounding neighborhood are considered average.

Negative/Detrimental Influence:

Detrimental influences identified include the Subject site's proximity to a mobile home park located adjacent north of the Subject site. However, this does not appear to be a detriment in the neighborhood given the high occupancy rates of single-family homes in the area. Further, the Subject's sister property, Northeast Pointe Apartments, is located adjacent to the Subject site and is fully occupied with a waiting list of 17 households.

3. Proximity to Local Services:

The Subject is located in reasonable proximity to local services including medical services and retail. The following table details the Subject's distance from key locational amenities. A *Locational Amenities Map*, corresponding to the following table is below.



Source: Google Earth, February 2021

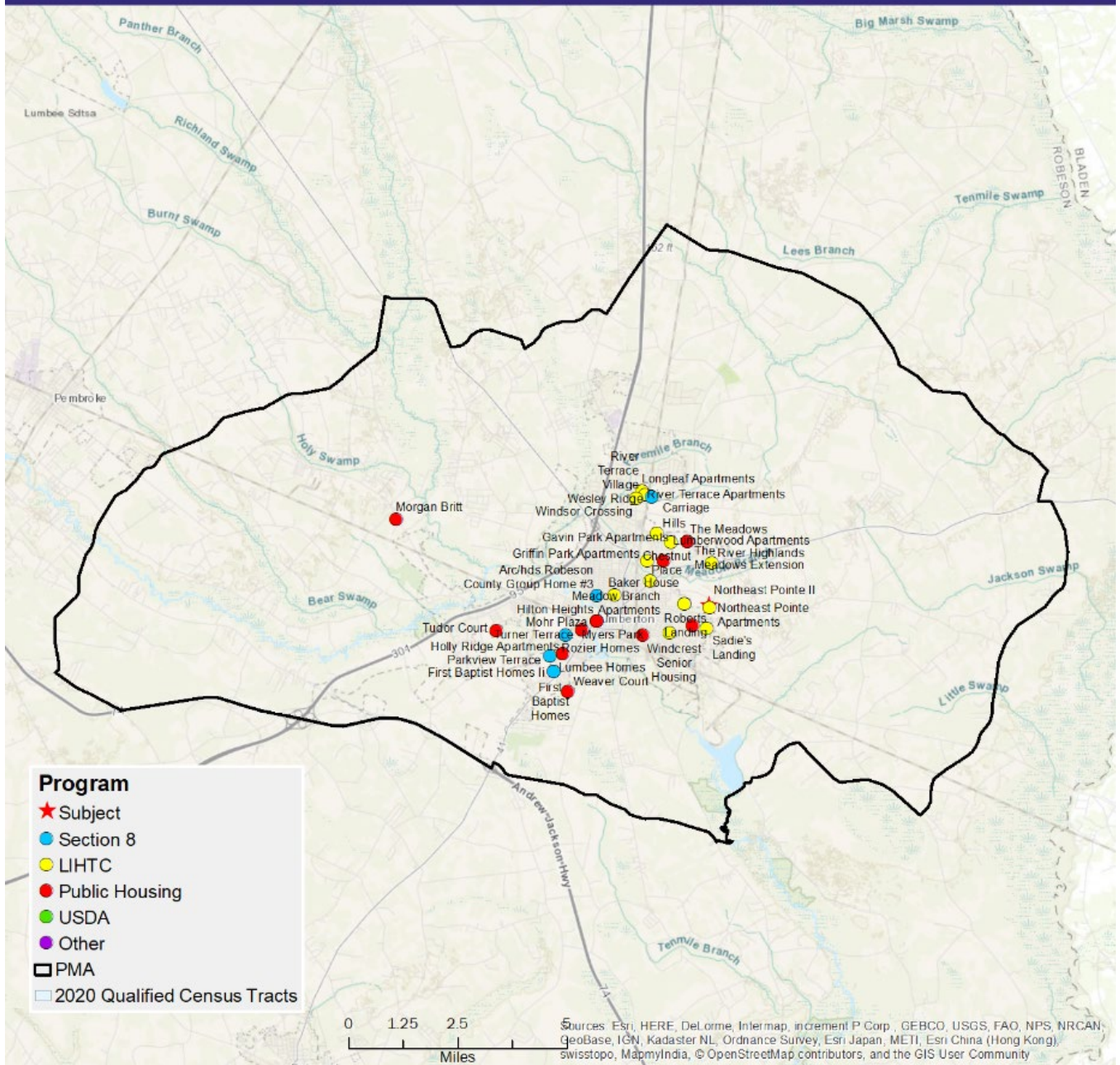
LOCATIONAL AMENITIES

Map #	Service or Amenity	Distance from Subject (Driving)
1	Lumberton Family & Urgent Care	0.8 mile
2	Dollar General	1.0 mile
3	Subway	1.0 mile
4	Food Lion	1.1 miles
5	Family Dollar	1.1 miles
6	Walmart Neighborhood Market	1.5 miles
7	Walmart Neighborhood Market - Pharmacy	1.5 miles
8	Northeast Park	1.7 miles

4. Subsidized Property Map:

The following map identifies all existing, proposed, or under construction subsidized low-income rental properties (LIHTC, Rural Development, Public Housing, HUD 202, or Section 8) within the PMA.

Affordable Properties in the PMA



AFFORDABLE PROPERTIES IN THE PMA

Property Name	Tenancy	Program	Distance from Subject	Status	Map Color	
Northeast Pointe II	Family	LIHTC	-	Proposed	Star	
Baker House	Senior	LIHTC	1.8 miles	Complete	Yellow	
Carriage Hills	Family	LIHTC	1.7 miles	Complete		
Chestnut Place	Family	LIHTC	1.4 miles	Complete		
Griffin Park Apartments	Family	LIHTC	1.4 miles	Complete		
Longleaf Apartments	Family	LIHTC	2.5 miles	Complete		
Meadow Branch Apartments	Family	LIHTC	1.2 miles	Under construction		
Northeast Pointe Apartments	Family	LIHTC	Adjacent	Complete		
River Highlands	Family	LIHTC	0.7 miles	Proposed		
River Terrace Village	Senior	LIHTC/Rural Development	2.4 miles	Complete		
Roberts Landing	Family	LIHTC/Rural Development	0.5 miles	Acq/Rehab		
Sadie's Landing	Family	LIHTC	0.4 miles	Complete		
Williams Landing	Family	LIHTC/Rural Development	0.5 miles	Acq/Rehab		
Wind Crest Senior Housing	Senior	LIHTC	0.9 miles	Proposed		
Windsor Crossing	Senior	LIHTC	2.5 miles	Complete		
Davis Heights	Family	Public Housing	1.2 miles	Complete		Red
Eastwood Terrace	Family	Public Housing	0.4 miles	Complete		
Hilton Heights	Family	Public Housing	2.2 miles	Complete		
Lumbee Homes	Family	Public Housing	2.9 miles	Complete		
Mohr Plaza	Senior	Public Housing	2.2 miles	Complete		
Morgan Britt	Family	Public Housing	6.0 miles	Complete		
Myers Park	Family	Public Housing	2.2 miles	Complete		
Rozier Homes	Family	Public Housing	1.4 miles	Complete		
The Meadows	Family	Public Housing	1.2 miles	Complete		
The Meadows Extension	Family	Public Housing	1.2 miles	Complete		
Tudor Court	Family	Public Housing	4.1 miles	Complete		
Turner Terrace	Family	Public Housing	2.5 miles	Complete		
Weaver Court	Family	Public Housing	3.1 miles	Complete		
Apartments At Lumberton	Family	Rural Development	0.3 miles	Complete	Green	
Gavin Park Apartments	Senior	Rural Development	1.4 miles	Complete		
Lumberwood Apartments	Family	Rural Development	1.5 miles	Complete		
River Terrace Apartments	Senior	Rural Development	2.4 miles	Complete	Blue	
Arc/hds Robeson County Group Home #3	Senior	Section 8	2.1 miles	Complete		
First Baptist Homes	Senior	Section 8	3.2 miles	Complete		
First Baptist Homes II	Senior	Section 8	3.2 miles	Complete		
Holly Ridge Apartments	Family	Section 8	2.8 miles	Complete		
Parkview Terrace	Family	Section 8	3.2 miles	Complete		
Wesley Ridge	Senior	Section 8	2.3 miles	Complete		

Conclusion:

Overall, the Subject site is considered a desirable location for a multifamily development.

D. PRIMARY MARKET AREA

PRIMARY MARKET AREA

For the purpose of this study, it is necessary to define the market area, or the area from which potential tenants for the project are likely to be drawn. In some areas, residents are very much “neighborhood oriented” and are generally very reluctant to move from the area where they have grown up. In other areas, residents are much more mobile and will relocate to a completely new area, especially if there is an attraction such as affordable housing at below market rents. Per NCHFA guidelines, we have not taken into account Secondary Market Areas or leakage in our demand estimates.

The Primary Market Area has been approved by NCHFA on February 17, 2021. The correspondence is in the addenda of the report.

The proposed Subject will be an 72-unit family development that is to be developed in Lumberton, North Carolina. The PMA is defined by Chicken Road and Howell Road to the north; Howell Road and Singletary Church Road to the east; Old Whiteville Road, Popes Crossing Road, and Interstate 74 to the south; and Chicken Road to the west.

The PMA includes all or part of the following census tracts:

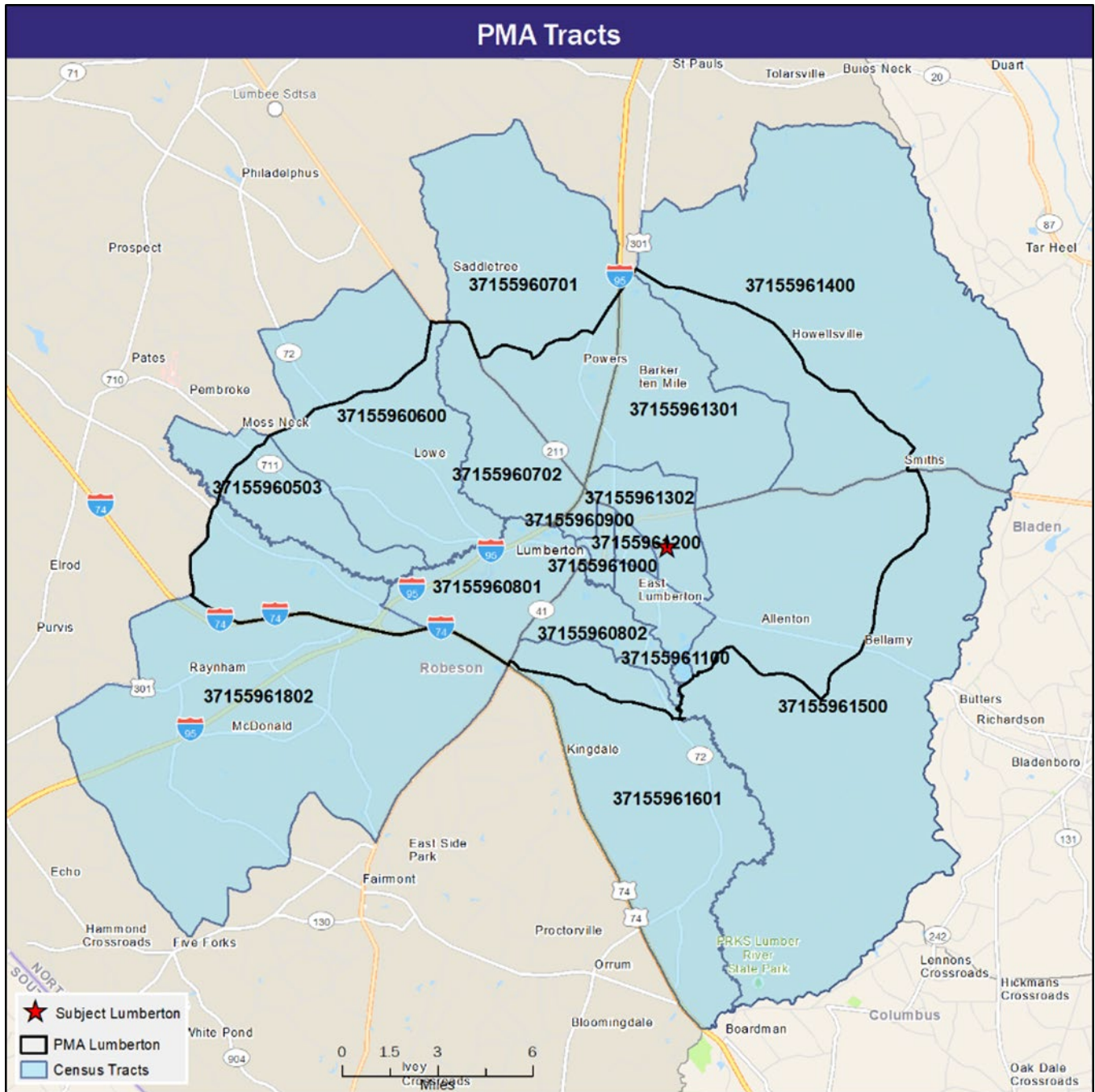
CENSUS TRACTS			
371559606.00	371559608.01	371559611.00	371559614.00
371559605.03	371559608.02	371559612.00	371559615.00
371559607.01	371559609.00	371559613.01	371559616.01
371559607.02	371559610.00	371559613.02	371559618.02

The primary market area has been identified based upon conversations with management at market-rate and LIHTC properties in the area as well as other market participants in addition to demographic characteristics of census tracts within the Lumberton area. Although we believe that neighborhood characteristics and geographic/infrastructure barriers are typically the best indicators of PMA boundaries, we have also examined demographic characteristics of census tracts in and around the Lumberton area in an effort to better identify the Subject’s PMA. It is important to note however that we may not base our PMA determinations on census tract information alone as these boundaries are rarely known to the average person.

The PMA was determined based on interviews with the Lumberton Housing Authority and local property managers. Steven Harrell, Chief Operations Officer with the Lumberton Housing Authority, indicated that there is high demand for affordable housing, as evidenced by the Housing Authority’s waiting list, which currently consists of over 1,000 households. Mr. Harrell reported that affordable properties typically remain at high occupancy levels. Mr. Harrell stated that most of the tenants are likely to come from Robeson County as well as Fayetteville, and a 10 to 45-minute drive time zone should successfully capture the large majority of the market-area for an affordable property.

Management at several of the LIHTC properties in Lumberton, such as Northeast Pointe Apartments and Sadie’s Landing, reported high occupancy rates and waiting lists. Additionally, they noted that the majority of their tenants are from Lumberton but it is not uncommon for families and individuals from other towns in Robeson County, as well as Fayetteville, to travel to Lumberton for an affordable living option. Our contacts at The North View and Town Village Apartments, market rate developments near the Subject, stated that many of their tenants are from greater Robeson County, inclusive of St. Pauls, Red Springs, and Fairmont. However, we have limited our PMA to include communities in the central Robeson County area so as to not overstate demand for the proposed Subject.

The following map outlines the PMA and identifies the census tracts included within these boundaries.



E. MARKET AREA EMPLOYMENT TRENDS

MARKET AREA ECONOMY

1. Employment by Industry

The following table illustrates employment by industry for the PMA as of 2021.

2020 EMPLOYMENT BY INDUSTRY

Industry	PMA		USA	
	Number Employed	Percent Employed	Number Employed	Percent Employed
Manufacturing	2,936	18.2%	15,550,554	10.6%
Healthcare/Social Assistance	2,713	16.9%	22,313,586	15.1%
Retail Trade	1,812	11.3%	14,356,334	9.7%
Educational Services	1,650	10.3%	14,320,448	9.7%
Construction	1,162	7.2%	10,829,187	7.4%
Public Administration	1,067	6.6%	7,071,492	4.8%
Accommodation/Food Services	840	5.2%	8,202,612	5.6%
Other Services	774	4.8%	6,772,309	4.6%
Transportation/Warehousing	573	3.6%	6,959,787	4.7%
Admin/Support/Waste Mgmt Svcs	540	3.4%	5,786,624	3.9%
Finance/Insurance	535	3.3%	7,169,665	4.9%
Agric/Forestry/Fishing/Hunting	359	2.2%	1,852,333	1.3%
Prof/Scientific/Tech Services	329	2.0%	12,049,828	8.2%
Wholesale Trade	325	2.0%	3,744,789	2.5%
Real Estate/Rental/Leasing	179	1.1%	3,082,197	2.1%
Utilities	132	0.8%	1,274,383	0.9%
Information	95	0.6%	2,723,217	1.8%
Arts/Entertainment/Recreation	57	0.4%	2,329,497	1.6%
Mining	10	0.1%	729,605	0.5%
Mgmt of Companies/Enterprises	0	0.0%	210,175	0.1%
Total Employment	16,088	100.0%	147,328,622	100.0%

Source: Esri Demographics 2020, Novogradac Consulting LLP, February 2021

Employment in the PMA is concentrated in the manufacturing, healthcare/social assistance, and retail trade industries, which collectively comprise 46.4 percent of local employment. The large share of PMA employment in manufacturing and retail trade is notable as both industries are historically volatile, and prone to contraction during recessionary periods. This has been evident during the COVID-19 pandemic. The manufacturing industry has experienced a negative impact to demand, production, and revenues over the past several months. Many manufacturing jobs are on-site and cannot be carried out remotely. Additionally, slowed economic activity as a result of the shutdown has reduced demand for industrial products in the United States and globally. Due to the COVID-19 pandemic, retail spending has decreased significantly and a majority of retailers are suffering as a result of the shutdown. However, the PMA also has a significant share of employment in the healthcare industry, which is historically known to exhibit greater stability during recessionary periods. Relative to the overall nation, the PMA features comparatively greater employment in the manufacturing, retail trade, and accommodation/food services industries. Conversely, the PMA is underrepresented in the construction, professional/scientific/technical services, and accommodation/food services industries.

Manufacturing Sector Trends

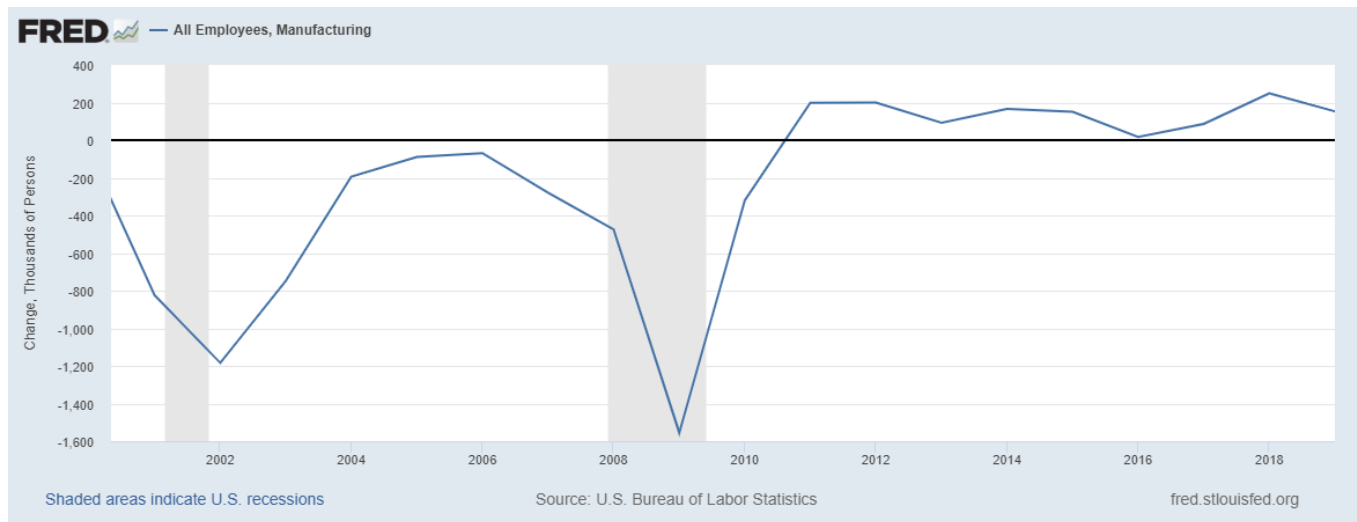
In recent years, manufacturing in the U.S. has grown at a faster rate than the overall economy, a rarity with respect to recent declines in national manufacturing. Unfortunately, U.S. manufacturing has struggled with the onset of globalization and increased foreign manufacturing. Prior to the rapid expansion and refinement of technological capabilities in the late 1990s and the accelerated pace of globalization that accompanied it,

foreign countries enjoyed a comparative advantage in manufacturing by leveraging their low labor costs. However, as global markets have become more integrated over time, the foreign labor cost advantage has minimized significantly. Furthermore, the U.S. enjoys relatively low costs of capital, raw materials, and transportation.

U.S. manufacturing output growth is expected to increase modestly through 2021. The Manufacturers Alliance for Productivity and Innovation (MAPI), a non-profit organization that produces research and projections for the manufacturing industry, publishes periodic economic forecasts. According to their March 2018 publication, U.S. manufacturing is expected to grow at an average of 2.8 percent through 2021.

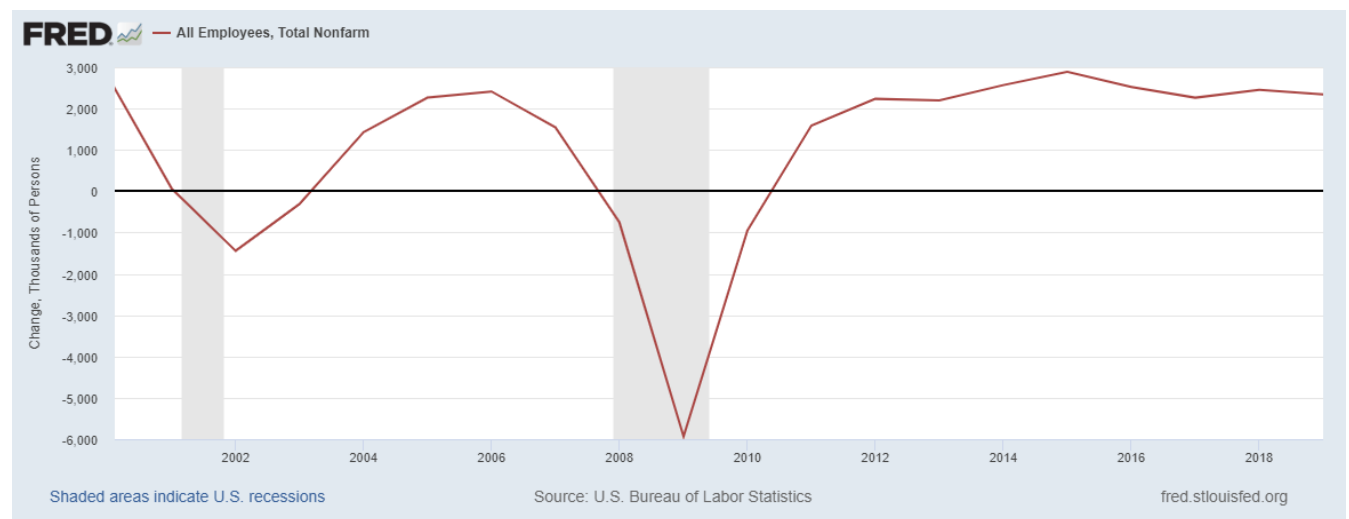
Although recent employment growth in the U.S. manufacturing sector bodes well for Robeson County, the manufacturing sector is still not quite as strong as in the past. With manufacturing accounting for close to 10 percent of the U.S. economy and as a major source of employment for Robeson County manufacturing employment should continue to be monitored closely.

The following graphs details total employment trends in both manufacturing and all industries (non-farm) in the nation since 2000.

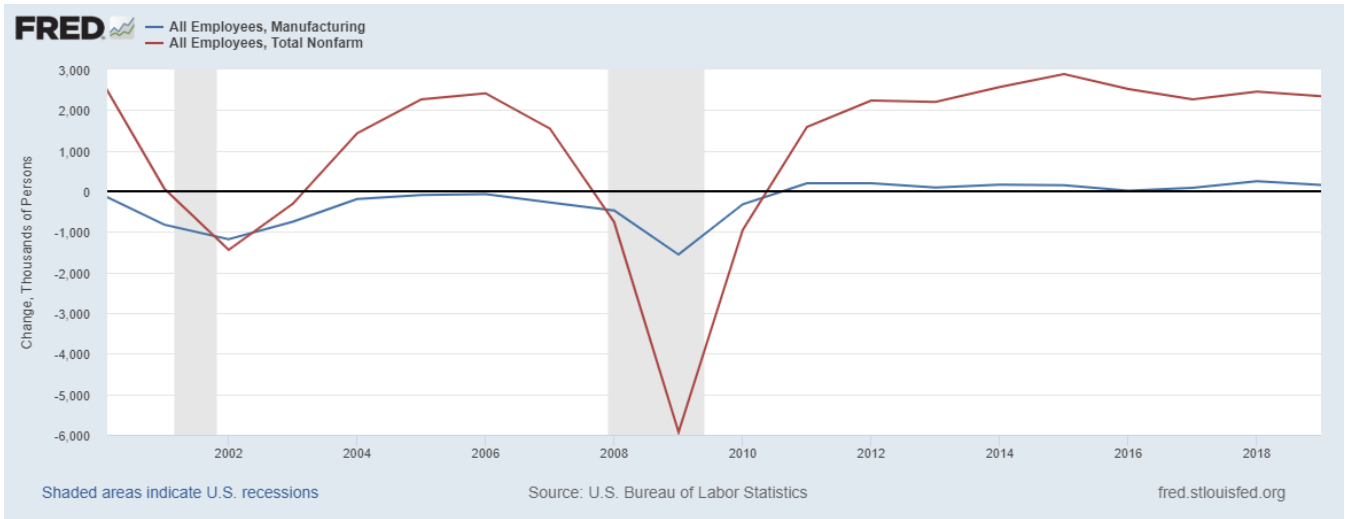


Source: Federal Reserve Bank of St. Louis, 1/2020.

Note: Shaded area indicates U.S. recessions. The employment data is seasonally adjusted.



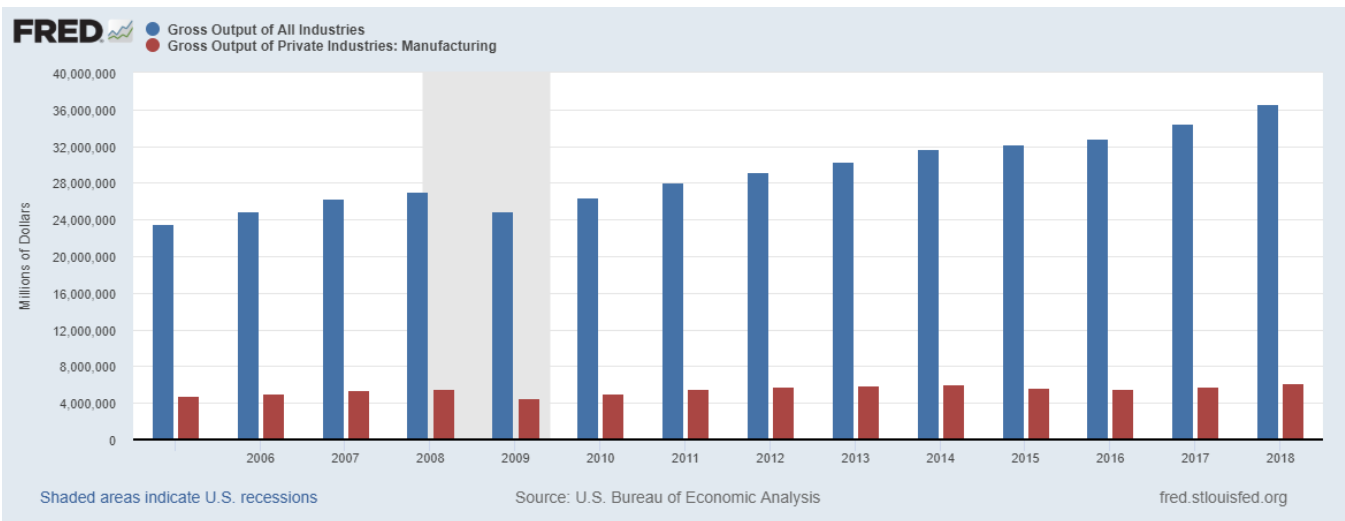
Source: Federal Reserve Bank of St. Louis, 1/2020.
 Note: Shaded area indicates U.S. recessions. The employment data is seasonally adjusted.



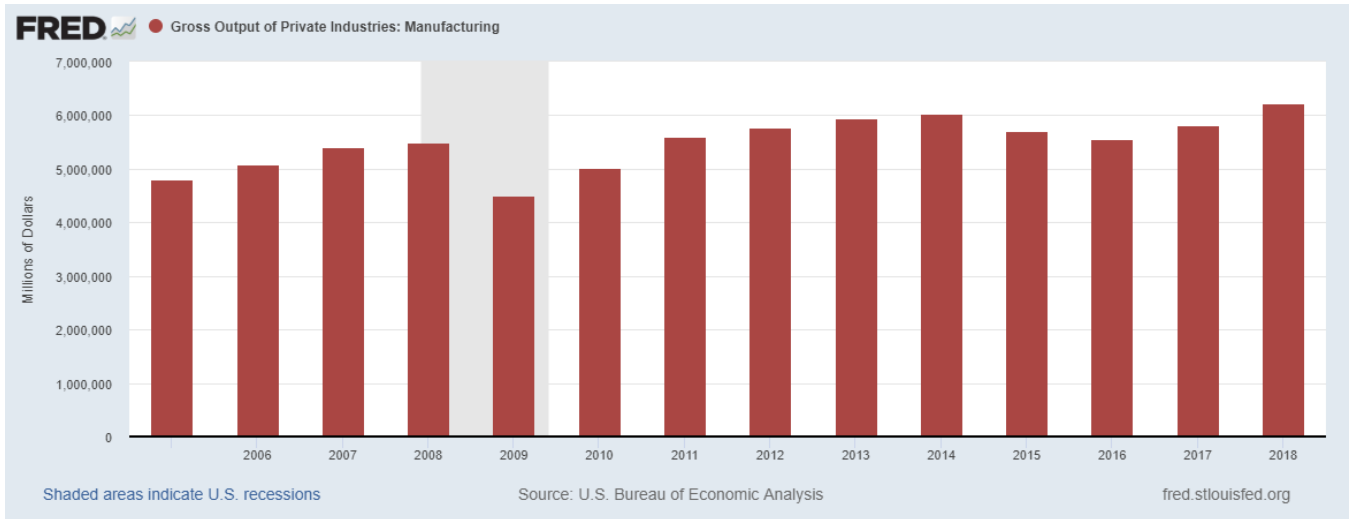
Source: Federal Reserve Bank of St. Louis, 1/2020.
 Note: Shaded area indicates U.S. recessions. The employment data is seasonally adjusted.

Total employment in the manufacturing sector, as well as the overall non-farm industry sector, declined from 2007 to 2009. Due to the most recent recession, all non-farm industries in the nation, including manufacturing, experienced significant loss. Since the most recent recession, total employment in non-farm industries has steadily increased, though the manufacturing sector has experienced a slower recovery than other non-farm industries.

The following charts illustrate U.S. manufacturing gross output compared to that across all industries since 2005.



Source: Federal Reserve Bank of St. Louis, 1/2020.
 Note: Shaded area indicates U.S. recessions.



Source: Federal Reserve Bank of St. Louis, 1/2020.
Note: Shaded area indicates U.S. recessions.

As illustrated by the previous graphs, manufacturing constitutes approximately 17 percent of the gross output of all private industries and experienced five years of consistent growth starting in 2009. Manufacturing output also surpassed pre-recessionary output levels in 2011, three years following the most recent national recession. However, manufacturing output decreased for both 2015 and 2016.

While the rebound in manufacturing output is noteworthy, this has not necessarily turned into job creation for the national economy. Since the most recent recession, job creation in the manufacturing sector continues to lag the overall economy. According to a November 18, 2016 article published by the *MIT Technology Review*, automation in the manufacturing sector has curtailed employment growth- a trend that is likely to continue through the coming years. As illustrated in the following graph, national employment in the manufacturing sector has been steadily declining since the 1980s, while production has increased. Overall, we believe it is reasonable to assume that the Lumberton area, similar to the rest of the nation, will continue to be negatively impacted by automation in the manufacturing sector, leading to a continued decline in manufacturing employment.

2. Major Employers

The table below shows the largest employers in Robeson County, NC.

MAJOR EMPLOYERS: ROBESON COUNTY, NC

Employer Name	Industry	# Of Employees
Mountaire Farms Of Nc Inc	Manufacturing	1,000+
Public Schools Of Robeson County	Educational Services	1,000+
Southeastern Regional Medical Center	Healthcare/Social Assistance	1,000+
Robeson County Finance Dept	Public Administration	1,000+
Wal-Mart Associates Inc	Retail Trade	1,000+
UNC At Pembroke	Educational Services	1,000+
Campbell Soup Supply Company LLC	Manufacturing	500-999
Two Hawk Employment Services LLC	Admin/Support/Waste Mgmt Svcs	500-999
BB&T	Finance/Insurance	500-999
Food Lion	Retail Trade	250-499
Primary Health Choice Inc	Healthcare/Social Assistance	250-499
McDonalds	Accommodation/Food Services	250-499
Prestage Foods	Manufacturing	250-499
Department of Public Safety	Public Administration	250-499
City of Lumberton	Public Administration	250-499
Robeson Community College	Educational Services	250-499
Spartan Nash Associates LLC	Wholesale Trade	250-499
Cynthia Quarles	Manufacturing	250-499
RHA Health Services	Healthcare/Social Assistance	250-499
Kayser-Roth Corporation	Manufacturing	250-499
Rubbermaid Cleaning Products	Manufacturing	250-499
The Staffing Alliance LLC	Admin/Support/Waste Mgmt Svcs	250-499
Pepsi Bottling Ventures LLC	Wholesale Trade	250-499
Graphic Packing International LLC	Manufacturing	250-499
Elkay Southern Corporation	Manufacturing	100-249

Source: North Carolina Department of Labor and Economic Analysis Division, February 2021

The major employers in Robeson County operate in a variety of industries ranging from those that are considered historically stable including healthcare, education, and public administration, to those that are more volatile such as manufacturing and retail. Many of these employers provide employment for a broad range of workers, including skilled, unskilled, and service occupations.

Expansions/Contractions

The following table illustrates the layoffs and closures of significance that have occurred or been announced since January 1, 2018 in Robeson County according to the North Carolina Department of Commerce.

WARN LISTINGS - ROBESON COUNTY, NC 2018 - 2021 YTD

Company	Industry	Employees Affected	Layoff Date
Walmart Superstore	Retail Trade	80	5/8/2020
BloominBrands, Inc.	Accommodation/Food Services	89	4/27/2020
Sams Club	Retail Trade	149	1/26/2018
Total		318	

Source: North Carolina Department of Commerce, February 2021

As illustrated in the above table, there have been 318 employees in the area impacted by layoffs or closures since 2018. Despite these job losses that have been reported, there has been some growth occurring in the area. It should be noted that almost all of Robeson County’s recent WARN Listings occurred since the start of

the COVID-19 pandemic. Beginning in March 2020, the international pandemic caused by the COVID-19 coronavirus resulted in governments across the globe taking dramatic efforts to slow the spread and flatten the infection curve in order to reduce the strain on our health care system. Consequently, over the past eleven months there has been a sharp and dramatic increase in layoffs due to the economic restrictions related to the emergency response. We attempted to contact the Robeson County Economic Development to inquire about recent business expansions or contractions. However, as of the date of this report, our calls have not been returned. Therefore, we conducted extensive internet research to determine the scope of business expansion and investment in the region. Despite these job losses that have been reported, there has been some growth occurring in the area.

EXPANSIONS/NEW ADDITIONS-ROBESON COUNTY, NC-2018-2021 YTD

Company	Industry	Jobs
City of Lumberton	Public Administration	839
Serioplast US LLC	Manufacturing	46
Rempac Foam LLC	Manufacturing	40
Active Energy Group PLC	Manufacturing	50
Ventura Coach Corporation	Manufacturing	61
Pepsi Bottling Ventures	Manufacturing	250
Prestage Foods	Manufacturing	8
Mueller Steam Specialty	Manufacturing	104
Sanderson Farms	Agric/Forestry/Fishing/Hunting	<u>1,300</u>
Total		2,698

Source: Robeson County Economic Development, February 2021

- The State of North Carolina Infrastructure Authority announced in December 2020 an award of more than \$3.7 million to the City of Lumberton and Robeson County for the development of an industrial park at interstates 74 and 95. The requests include commitments to create a total of 839 jobs, 464 of which were previously announced. The public investment in these projects will attract more than \$528 million in private investment.
- The North Carolina Rural Infrastructure Authority approved the \$3,745,640 grant through the Industrial Development Fund – Utility Account that will “provide water, sewer and industrial access” to the 215-acre site at the intersection of the two interstates
- In June 2020, Global packaging maker Serioplast US LLC announced a project that will create 46 new jobs in Robeson County. The company manufactures plastic packaging for a wide variety of consumer goods and plans to invest \$9.42 million in its local facility.
- December, 2019, Rempac Foam, LLC, manufacturer of plastic products plans to add 50,000 square feet to the existing facility in Lumberton, which will result in the creation 40 jobs and an investment of \$3.9 million.
- In April 2019, Active Energy Group PLC purchased an existing 415,000 square foot building in Robeson County for the biomass energy facility. The company will convert waste wood into energy at this \$50 million facility. An estimated 50 jobs will be created.
- In June 2017, Ventura Coach Corporation, a manufacturer of shuttle buses, invested \$2 million in an expansion of its Lumberton facility, adding 61 jobs.
- In late 2016, Pepsi Bottling Ventures committed to investing \$16.5 million into a consolidated distribution center in St. Pauls in north Robeson County. The investment and construction of the 300,000 square foot facility on a 47-acre site will retain the already existing 250 jobs, while adding an additional 50 permanent employees.
- Prestage Foods operates a turkey processing plant in St. Pauls. In 2016, they invested \$2.9 million in its expansion to create an additional eight permanent jobs while retaining 327 current employees.
- In 2016, Mueller Steam Specialty invested \$5 million in an expansion that created 70 jobs and allowed the company to retain an additional 104 jobs

- Beginning in 2015, Sanderson Farms invested over \$155 million into St. Pauls to build and staff their 180,000 square foot big bird deboning facility. The new facility opened in January 2017 and complements Sanderson Farm’s other 65,000 square foot hatchery located in Lumberton. The investment has led to over 1,300 permanent jobs in the area.

3. Employment and Unemployment Trends

The following table details employment and unemployment trends for Gaston County from 2004 to October 2020.

EMPLOYMENT TRENDS (NOT SEASONALLY ADJUSTED)

	Robeson County			USA		
	Total Employment	% Change	Differential from peak	Total Employment	% Change	Differential from peak
2004	48,112	-	-9.8%	139,252,000	-	-11.6%
2005	48,783	1.4%	-8.5%	141,730,000	1.8%	-10.0%
2006	50,559	3.6%	-5.2%	144,427,000	1.9%	-8.3%
2007	53,332	5.5%	0.0%	146,047,000	1.1%	-7.3%
2008	51,507	-3.4%	-3.4%	145,363,000	-0.5%	-7.7%
2009	49,221	-4.4%	-7.7%	139,878,000	-3.8%	-11.2%
2010	46,478	-5.6%	-12.9%	139,064,000	-0.6%	-11.7%
2011	45,863	-1.3%	-14.0%	139,869,000	0.6%	-11.2%
2012	45,822	-0.1%	-14.1%	142,469,000	1.9%	-9.6%
2013	45,939	0.3%	-13.9%	143,929,000	1.0%	-8.6%
2014	46,270	0.7%	-13.2%	146,305,000	1.7%	-7.1%
2015	46,751	1.0%	-12.3%	148,833,000	1.7%	-5.5%
2016	46,545	-0.4%	-12.7%	151,436,000	1.7%	-3.9%
2017	46,945	0.9%	-12.0%	153,337,000	1.3%	-2.7%
2018	46,772	-0.4%	-12.3%	155,761,000	1.6%	-1.1%
2019	47,748	2.1%	-10.5%	157,538,000	1.1%	0.0%
2020 YTD Average*	45,955	-3.8%	-	147,794,750	-6.2%	-
Oct-2019	47,906	-	-	159,067,000	-	-
Oct-2020	46,581	-2.8%	-	150,433,000	-5.4%	-

Source: U.S. Bureau of Labor Statistics, March 2021

UNEMPLOYMENT TRENDS (NOT SEASONALLY ADJUSTED)

	Robeson County			USA		
	Unemployment Rate	Change	Differential from peak	Unemployment Rate	Change	Differential from peak
2004	7.1%	-	1.7%	5.5%	-	1.9%
2005	6.8%	-0.3%	1.4%	5.1%	-0.5%	1.4%
2006	6.2%	-0.6%	0.8%	4.6%	-0.5%	1.0%
2007	6.2%	0.0%	0.8%	4.6%	0.0%	1.0%
2008	7.9%	1.7%	2.5%	5.8%	1.2%	2.1%
2009	11.9%	4.0%	6.5%	9.3%	3.5%	5.6%
2010	13.7%	1.8%	8.3%	9.6%	0.3%	6.0%
2011	14.2%	0.5%	8.8%	9.0%	-0.7%	5.3%
2012	13.3%	-1.0%	7.8%	8.1%	-0.9%	4.4%
2013	11.9%	-1.4%	6.5%	7.4%	-0.7%	3.7%
2014	9.5%	-2.4%	4.1%	6.2%	-1.2%	2.5%
2015	8.4%	-1.0%	3.0%	5.3%	-0.9%	1.6%
2016	7.9%	-0.5%	2.5%	4.9%	-0.4%	1.2%
2017	6.5%	-1.4%	1.1%	4.4%	-0.5%	0.7%
2018	5.9%	-0.5%	0.5%	3.9%	-0.4%	0.2%
2019	5.4%	-0.5%	0.0%	3.7%	-0.2%	0.0%
2020 YTD Average*	8.5%	3.1%	-	8.1%	4.4%	-
Oct-2019	5.0%	-	-	3.3%	-	-
Oct-2020	8.3%	3.3%	-	6.6%	3.3%	-

Source: U.S. Bureau of Labor Statistics, March 2021

Total employment in the county expanded in the years preceding the national recession, with annual job growth generally outpacing the overall nation between 2004 and 2006. The effects of the recession were particularly pronounced in the county, which experienced a 14.7 percent contraction in employment growth (2008-2012), well above the 4.9 percent contraction reported by the nation as a whole (2007-2010). Employment in the county has yet to recover and surpass pre-recessionary levels, which the nation achieved in 2014. More recently, employment growth in the county has lagged the nation in every year since 2012 with the exception of 2019. Due to the COVID-19 pandemic, employment totals in the 12-month period prior to October 2020 saw a decrease of 2.8 percent, compared to a decrease of 5.4 percent experienced by the nation over the same length of time. Employment growth is expected to be limited in the coming months as a result of the COVID-19 pandemic. North Carolina has begun to re-close its restaurants, gyms, and other indoor venues as of December 2020 due to a spike in confirmed cases, with stay at home orders from 10:00 p.m. to 5:00 a.m. in effect until February 28, 2021. A return to full economic potential is unlikely while the global health crisis continues.

The county experienced a higher average unemployment rate relative to the overall nation during the years preceding the recession. Unemployment in the county reached a historic low in 2006, similar to the overall nation. However, the local labor market demonstrated relative weakness during the recession, as the rate of unemployment increased by 8.0 percentage points, compared to a 5.0 percentage point increase across the overall nation. Since 2012, the county generally experienced a higher unemployment rate compared to the overall nation. According to the most recent labor statistics, the unemployment rate in the county is 8.3 percent, which is higher than the current national unemployment rate of 6.6 percent. As a result of the COVID-19 pandemic and stay-at-home orders, record national unemployment claims began in March 2020 and will likely continue in the near future. We anticipate the unemployment rate in the county will remain elevated in the coming months.

Conclusion

Employment in the PMA is concentrated in the manufacturing, healthcare/social assistance, and retail trade industries, which collectively comprise 46.4 percent of local employment. The large share of PMA employment in manufacturing and retail trade is notable as both industries are historically volatile, and prone to contraction during recessionary periods. This has been evident during the COVID-19 pandemic. The manufacturing industry has experienced a negative impact to demand, production, and revenues over the past several months. Many manufacturing jobs are on-site and cannot be carried out remotely. Additionally, slowed economic activity as a result of the shutdown has reduced demand for industrial products in the United States and globally. Due to the COVID-19 pandemic, retail spending has decreased significantly and a majority of retailers are suffering as a result of the shutdown. However, the PMA also has a significant share of employment in the healthcare industry, which is historically known to exhibit greater stability during recessionary periods. The effects of the recession were particularly pronounced in the county, which experienced a 14.7 percent contraction in employment growth (2008-2012), well above the 4.9 percent contraction reported by the nation as a whole (2007-2010). Employment in the county has yet to recover and surpassed pre-recessionary levels, which the nation achieved in 2014. More recently, employment growth in the county has lagged the nation in every year since 2012 with the exception of 2019. Due to the COVID-19 pandemic, employment totals in the 12-month period prior to October 2020 saw a decrease of 2.8 percent, compared to a decrease of 5.4 percent experienced by the nation over the same length of time. Employment growth is expected to be limited in the coming months as a result of the COVID-19 pandemic. North Carolina has begun to re-close its restaurants, gyms, and other indoor venues as of December 2020 due to a spike in confirmed cases, with stay at home orders from 10:00 p.m. to 5:00 a.m. in effect until February 28, 2021. A return to full economic potential is unlikely while the global health crisis continues.

F. COMMUNITY DEMOGRAPHIC DATA

COMMUNITY DEMOGRAPHIC DATA

The following sections will provide an analysis of the demographic characteristics within the market area. Data such as population, households and growth patterns will be studied to determine if the Primary Market Area (PMA) and Robeson County are areas of growth or contraction. The discussions will also describe typical household size and will provide a picture of the health of the community and the economy. The following demographic tables are specific to the populations of the PMA and Robeson County.

1. Population Trends

The following tables illustrate (a) Total Population and (b) Population by Age Group within the population in the PMA, Gaston County, and nationally from 2000 through 2025.

1a. Total Population

The following table illustrates the total population within the PMA, Robeson County, and nation from 2000 through 2025.

Year	PMA		Robeson County		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	40,980	-	122,326	-	280,304,282	-
2010	43,869	0.7%	134,168	1.0%	308,745,538	1.0%
2020	43,565	-0.1%	135,198	0.1%	333,793,107	0.8%
Projected Mkt Entry	43,424	-0.1%	134,872	-0.1%	340,722,406	0.7%
May 2023						
2025	43,316	-0.1%	134,622	-0.1%	346,021,282	0.7%

Source: Esri Demographics 2020, Novogradac Consulting LLP, March 2021

Between 2010 and 2020 there was approximately 0.7 percent annual growth in the PMA, which trailed Robeson County population growth and national population growth. Over the next five years, the population growth in the PMA is projected to decrease at a 0.1 percent annual rate, which will be below that of Robeson County and the nation. Despite the projected decline in population, there is ample demand for the Subject's proposed units as demonstrated through the low to moderate capture rates in the demand analysis.

1b. Total Population by Age Group

The following table illustrates the total population within the PMA, Robeson County and nation from 2000 to 2025.

POPULATION BY AGE GROUP

Age Cohort	PMA				
	2000	2010	2020	Projected Mkt Entry May 2023	2025
0-4	3,079	3,448	3,007	2,962	2,928
5-9	3,188	3,129	3,075	2,990	2,925
10-14	3,149	3,067	2,932	2,937	2,940
15-19	2,878	3,109	2,479	2,624	2,734
20-24	2,821	3,000	2,767	2,610	2,490
25-29	3,014	3,016	3,319	3,024	2,798
30-34	2,921	2,950	3,050	3,038	3,029
35-39	3,139	2,906	2,737	2,803	2,854
40-44	3,060	2,917	2,660	2,642	2,629
45-49	2,808	3,024	2,711	2,661	2,622
50-54	2,538	2,957	2,671	2,622	2,585
55-59	1,966	2,648	2,683	2,609	2,552
60-64	1,661	2,368	2,533	2,532	2,532
65-69	1,355	1,671	2,258	2,294	2,322
70-74	1,236	1,320	1,841	1,931	2,000
75-79	1,006	965	1,197	1,392	1,541
80-84	588	742	859	933	989
85+	572	632	788	820	845
Total	40,979	43,869	43,567	43,424	43,315

Source: Esri Demographics 2020, Novogradac Consulting LLP, March 2021

POPULATION BY AGE GROUP

Age Cohort	Robeson County				
	2000	2010	2020	Projected Mkt Entry May 2023	2025
0-4	9,648	10,222	9,167	8,966	8,813
5-9	10,051	9,664	9,510	9,188	8,941
10-14	9,843	9,959	9,136	9,229	9,300
15-19	9,413	11,044	8,844	9,302	9,653
20-24	9,047	9,943	9,151	8,570	8,126
25-29	9,097	8,547	10,491	9,330	8,442
30-34	8,509	8,742	9,085	9,007	8,948
35-39	9,161	8,839	8,343	8,480	8,585
40-44	8,943	8,467	8,286	8,190	8,117
45-49	8,337	8,988	8,526	8,378	8,265
50-54	7,576	9,051	8,033	8,210	8,345
55-59	5,620	8,235	8,259	8,065	7,916
60-64	4,632	7,389	8,169	8,065	7,986
65-69	3,745	5,119	7,236	7,443	7,601
70-74	3,320	3,822	5,675	6,046	6,329
75-79	2,653	2,691	3,367	4,126	4,706
80-84	1,509	1,902	2,125	2,387	2,587
85+	1,222	1,544	1,795	1,890	1,962
Total	122,326	134,168	135,198	134,872	134,622

Source: Esri Demographics 2020, Novogradac Consulting LLP, March 2021

The largest age cohorts in the PMA are between 5 and 9 and 25 and 29, which indicates the presence of families.

2. Household Trends

2a. Total Number of Households, Average Household Size, and Group Quarters

The following tables illustrate the total number of households, average household size and population in group quarters within the PMA, county, and nation from 2000 through 2025.

HOUSEHOLDS

Year	PMA		Robeson County		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	15,273	-	43,551	-	105,081,032	-
2010	16,022	0.5%	47,968	1.0%	116,716,293	1.1%
2020	15,986	0.0%	48,709	0.2%	126,083,847	0.8%
Projected Mkt Entry May 2023	15,946	-0.1%	48,699	0.0%	128,676,145	0.7%
2025	15,915	-0.1%	48,692	0.0%	130,658,491	0.7%

Source: Esri Demographics 2020, Novogradac Consulting LLP, March 2021

AVERAGE HOUSEHOLD SIZE

Year	PMA		Robeson County		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	2.59	-	2.73	-	2.59	-
2010	2.62	0.1%	2.71	-0.1%	2.57	-0.1%
2020	2.59	-0.1%	2.69	-0.1%	2.58	0.0%
Projected Mkt Entry May 2023	2.58	0.0%	2.68	-0.1%	2.58	0.0%
2025	2.58	0.0%	2.68	-0.1%	2.59	0.0%

Source: Esri Demographics 2020, Novogradac Consulting LLP, March 2021

POPULATION IN GROUP QUARTERS

Year	PMA		Robeson County		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	1,466	-	3,263	-	7,651,876	-
2010	1,838	2.5%	4,086	2.5%	8,273,003	0.8%
2020	2,213	2.0%	4,305	0.5%	8,091,273	-0.2%
Projected Mkt Entry May 2023	2,213	0.0%	4,305	0.0%	8,091,273	0.0%
2025	2,213	0.0%	4,305	0.0%	8,091,273	0.0%

Source: Esri Demographics 2020, Novogradac Consulting LLP, March 2021

Household growth in the PMA lagged Robeson County and the nation between 2010 and 2020. Over the next five years, the household growth in the PMA is expected to lag Robeson County and national household growth. The average household size in the PMA is generally similar to the national average at 2.59 persons in 2020. Over the next five years, the average household size is projected to remain relatively similar to the national average. The percentage of group quarters increased in the PMA and Robeson County between 2010 and 2020. Note that forecasted data for the population in group quarters is not available as growth in this population is more often a result of changes to local facilities than macro demographic trends.

2b. Households by Tenure

The table below depicts household growth by tenure from 2000 through 2025.

TENURE PATTERNS PMA

Year	Owner-Occupied Units	Percentage Owner-Occupied	Renter-Occupied Units	Percentage Renter-Occupied
2000	10,528	68.9%	4,745	31.1%
2020	9,192	57.5%	6,794	42.5%
Projected Mkt Entry May 2023	9,191	57.6%	6,755	42.4%
2025	9,190	57.7%	6,725	42.3%

Source: Esri Demographics 2020, Novogradac Consulting LLP, March 2021

As the table illustrates, households within the PMA reside in predominately owner-occupied residences. Nationally, approximately two-thirds of the population resides in owner-occupied housing units, and one-third resides in renter-occupied housing units. Therefore, there is a larger percentage of renters in the PMA than the nation. This percentage is projected to remain relatively stable over the next five years.

2c. Household Income by Tenure

The following table depicts renter household income in the PMA in 2020, market entry, and 2025.

RENTER HOUSEHOLD INCOME DISTRIBUTION - PMA

Income Cohort	2020		Projected Mkt Entry May 2023		2025	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	1,362	20.0%	1,269	18.8%	1,198	17.8%
\$10,000-19,999	1,271	18.7%	1,180	17.5%	1,110	16.5%
\$20,000-29,999	1,057	15.6%	1,011	15.0%	976	14.5%
\$30,000-39,999	776	11.4%	758	11.2%	745	11.1%
\$40,000-49,999	592	8.7%	615	9.1%	632	9.4%
\$50,000-59,999	437	6.4%	407	6.0%	384	5.7%
\$60,000-74,999	371	5.5%	393	5.8%	410	6.1%
\$75,000-99,999	261	3.8%	285	4.2%	304	4.5%
\$100,000-124,999	225	3.3%	261	3.9%	289	4.3%
\$125,000-149,999	160	2.4%	187	2.8%	208	3.1%
\$150,000-199,999	121	1.8%	178	2.6%	221	3.3%
\$200,000+	161	2.4%	210	3.1%	248	3.7%
Total	6,794	100.0%	6,755	100.0%	6,725	100.0%

Source: HISTA Data / Ribbon Demographics 2020, Novogradac Consulting LLP, March 2021

RENTER HOUSEHOLD INCOME DISTRIBUTION - Robeson County

Income Cohort	2020		Projected Mkt Entry May 2023		2025	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	4,080	23.3%	3,819	21.8%	3,619	20.7%
\$10,000-19,999	3,570	20.4%	3,338	19.1%	3,161	18.1%
\$20,000-29,999	2,935	16.7%	2,838	16.2%	2,764	15.8%
\$30,000-39,999	1,892	10.8%	1,882	10.7%	1,874	10.7%
\$40,000-49,999	1,416	8.1%	1,504	8.6%	1,571	9.0%
\$50,000-59,999	940	5.4%	947	5.4%	952	5.4%
\$60,000-74,999	769	4.4%	804	4.6%	831	4.7%
\$75,000-99,999	599	3.4%	652	3.7%	693	4.0%
\$100,000-124,999	452	2.6%	543	3.1%	612	3.5%
\$125,000-149,999	302	1.7%	385	2.2%	448	2.6%
\$150,000-199,999	230	1.3%	348	2.0%	438	2.5%
\$200,000+	338	1.9%	452	2.6%	540	3.1%
Total	17,523	100.0%	17,512	100.0%	17,503	100.0%

Source: HISTA Data / Ribbon Demographics 2020, Novogradac Consulting LLP, March 2021

The Subject will target tenants earning between \$17,486 and \$38,880. As the table above depicts, 45.7 percent of renter households in the PMA are earning incomes between \$10,000 and \$39,999, which is less than the 47.9 percent of renter households in the county in 2020. For the projected market entry date of May 2023, these percentages are projected to slightly decrease to 43.6 percent and 45.9 percent for the PMA and county, respectively.

2d. Renter Households by Number of Persons in the Household

The following table illustrates household size for all households in 2020, market entry and 2025. To determine the number of renter households by number of persons per household, the total number of households is adjusted by the percentage of renter households.

RENTER HOUSEHOLDS BY NUMBER OF PERSONS - PMA

Household Size	2020		Projected Mkt Entry May 2023		2025	
	Number	Percentage	Number	Percentage	Number	Percentage
1 Person	2,453	36.1%	2,454	36.3%	2,454	36.5%
2 Persons	1,701	25.0%	1,675	24.8%	1,655	24.6%
3 Persons	1,112	16.4%	1,105	16.4%	1,100	16.4%
4 Persons	699	10.3%	697	10.3%	696	10.3%
5+ Persons	829	12.2%	824	12.2%	820	12.2%
Total Households	6,794	100%	6,755	100%	6,725	100%

Source: HISTA Data / Ribbon Demographics 2020, Novogradac Consulting LLP, March 2021

The majority of renter households in the PMA are one to three-person households.

Conclusion

Between 2010 and 2020 there was approximately 0.7 percent annual growth in the PMA, which trailed Robeson County population growth and national population growth. Over the next five years, the population growth in the PMA is projected to decrease at a 0.1 percent annual rate, which will be below that of Robeson County and the nation. Despite the projected decline in population, there is ample demand for the Subject’s proposed units as demonstrated through the low to moderate capture rates in the demand analysis. Between 2010 and 2020, the PMA experienced household growth, though at lower rate than Robeson County and the nation. Over the next five years, the household growth in the PMA is projected to be less than Robeson County and the national household growth. Overall, population and household growth projections in the PMA and Robeson County indicate a relatively stable market area in terms of demographic trends. Despite the minimal growth projections, high occupancy rates amongst the comparable LIHTC properties, and low to moderate capture rates for the Subject’s units demonstrates that there is sufficient demand for the proposed Subject.

G. PROJECT-SPECIFIC DEMAND ANALYSIS

PROJECT SPECIFIC DEMAND ANALYSIS

The following demand analysis evaluates the potential amount of qualified households, which the Subject would have a fair chance at capturing. The structure of the analysis is based on the guidelines provided by NCHFA.

The analysts have used the most recent rent and income limits (2020) effective at the time market studies (or preliminary applications) were assigned. This information was obtained from the Novogradac & Company LLP website (<https://www.novoco.com/resource-centers/affordable-housing-tax-credits/rent-income-limit-calculator>).

1. Income Restrictions

LIHTC rents are based upon a percentage of the Area Median Gross Income (AMI), adjusted for household size and utilities. North Carolina Housing Finance Agency (NCHFA) will estimate the relevant income levels, with annual updates. The rents are calculated assuming that the maximum gross rent a family household will pay is 35 percent of its household income at the appropriate AMI level and the maximum gross rent a senior household will pay is 40 percent of its household income at the appropriate AMI level.

According to NCHFA, household size is assumed to be 1.5 persons per bedroom for LIHTC rent calculation purposes. For example, for one-bedroom units we assume the average income limits of a one- and two-person household and for three-bedroom units we assume the average income limits for a four- and five-person household. This applies to family projects. For elderly projects, we have used a maximum income based on two-person households.

To assess the likely number of tenants in the market area eligible to live in the Subject, we use Census information as provided by ESRI Business Information Solutions to estimate the number of potential tenants who would qualify to occupy the Subject as a LIHTC project.

The maximum income levels are based upon information obtained from the Rent and Income Limits Guidelines Table as accessed from Novogradac & Company LLP’s website.

2. Affordability

As discussed above, the maximum income is set by NCHFA while the minimum is based upon the minimum income needed to support affordability. This is based upon a standard of 35 percent. Lower and moderate-income families typically spend greater than 30 percent of their income on housing. These expenditure amounts can range higher than 50 percent depending upon market area. However, the 30 to 40 percent range is generally considered a reasonable range of affordability. NCHFA guidelines utilize 35 for families and 40 percent for senior households, which we will use to set the minimum income levels for the demand analysis. The following tables illustrate the minimum and maximum allowable incomes at the Subject.

FAMILY INCOME LIMITS

Unit Type	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income
	@50%		@50% (HOME)		@60%	
1BR	\$19,989	\$23,350	\$17,486	\$21,800	\$21,977	\$28,020
2BR	\$23,966	\$28,050	\$22,389	\$26,150	\$26,194	\$33,660
3BR	\$26,743	\$32,400	\$25,886	\$30,225	\$29,314	\$38,880

3. Demand

The demand for the Subject will be derived from two sources: existing households and new households. These calculations are illustrated on the attached table.

Proposed projects targeting elderly households ages 55 and older must pull data for age 55 and older. Proposed projects targeting elderly households age 62 and older or utilizing the RD/HUD elderly designation must pull data for age 65 and older.

In instances where a significant number (more than 20 percent) of the proposed units are comprised of three or four-bedroom units, we have refined the demand analysis for these units by factoring in the number of larger households (generally four-persons or more).

3a. Demand from New Renter Households

The number of new households entering the market is the first level of demand calculated. NCHFA has requested that we utilize 2020 as the base year for the analysis, with demographic projections to 2025. This is considered the gross potential demand for the Subject property. This number is adjusted for income eligibility and renter tenure.

3b. Demand from Existing Households

Demand for existing households is estimated by summing three sources of potential tenants. (a) The first source is tenants who are rent overburdened. These are households who are paying over 35 percent of their income in housing costs for general occupancy housing or over 40 percent of their income in housing costs for elderly housing. This number is estimated using American Community Survey (ACS) data. (b) The second source is households living in substandard housing. This number is also estimated using American Community Survey (ACS) data. (c) The third source is those seniors likely to move from their own homes into rental housing. This demand source must not exceed 20 percent of the total demand. Based on information provided by NCHFA, for senior properties expected to receive support from current homeowners, we will use the following factors to estimate demand: up to 5.0 percent for rural properties and up to 2.0 percent for urban properties. Data from the American Housing Survey and interviews with area senior apartment property managers regarding the number or share of current renters who originated from homeownership must be used to refine the analysis.

4. Method

4a. Demand

The two overall demand components together 3(a) and 3(b) above represent demand for the project.

4b. Supply

Additions to supply will lower the number of potential qualified households. We will deduct comparable units (vacant or occupied) funded, under construction or placed in service in 2020 as well as vacancies in projects placed in service prior to 2020 which have not reached stabilized occupancy (at least 93 percent).

COMPETITIVE SUPPLY

Property Name	Program	Location	Tenancy	Status	# of Competitive
Meadow Branch Apartments	LIHTC	Lumberton	Family	Under construction	72
Roberts Landing	LIHTC/Rural Development	Lumberton	Family	Acq/Rehab	0
Wind Crest Senior Living	LIHTC	Lumberton	Senior	Under construction	0
River Highlands	LIHTC	Lumberton	Family	Proposed	51
Williams Landing	LIHTC/Rural Development	Lumberton	Family	Acq/Rehab	0

- Meadow Branch Apartments was allocated in 2019 for the development of 72 LIHTC units targeting families. Construction is expected to be completed in April 2021. This development will be located approximately 1.2 miles west of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50 and 60 percent AMI levels. There will be 28 units restricted to households earning 50 percent of the AMI or less and 44 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.
- Roberts Landing was allocated in 2019 for the rehabilitation of an existing Rural Development property named Brierwood Apartments, which consists of 64 one and two-bedroom units targeting families. Renovations are expected to be completed in March 2022. This development is located approximately 0.5 miles west of the Subject site in Lumberton. Post renovation, 62 units will continue to operate with Rural Development subsidies, where residents pay 30 percent of their income towards rent. The remaining one, one-bedroom unit and one, two-bedroom unit will not have a subsidy and will be restricted to households earning 60 percent of AMI or less. As this property is the renovation of an existing property with rental assistance, we have not deducted these units in our demand analysis.
- Wind Crest Senior Living was allocated in 2019 for the development of 66 LIHTC units targeting seniors. Construction is expected to be completed in 2022. This development will be located approximately 0.9 miles southwest of the Subject site in Lumberton. The property will offer one and two-bedroom units restricted to the 60 percent AMI level. This property will target a different tenancy than the Subject and will not be considered directly competitive. As such, we have not deducted these units in our demand analysis.
- River Highlands was allocated in 2020 for the development of 64 LIHTC units targeting families. Construction is expected to be completed in fall 2022. This development will be located approximately 0.7 miles north of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50, 60, and 80 percent AMI levels. There will be 27 units restricted to households earning 50 percent of the AMI or less and 24 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.
- Williams Landing was allocated in 2020 for the rehabilitation of an existing Rural Development property named Oakwood Manor, which consists of 48 one and two-bedroom units targeting families. Renovations are expected to be completed in June 2022. This development is located approximately 0.5 miles west of the Subject site in Lumberton. Post renovation, 47 units will continue to operate with Rural Development subsidies, where residents pay 30 percent of their income towards rent. The remaining one, two-bedroom unit will not have a subsidy and will be restricted to households earning 60 percent of AMI or less. As this property is the renovation of an existing property with rental assistance, we have not deducted these units in our demand analysis.

The following table illustrates the total number of units removed based on existing properties as well as new properties to the market area that have been allocated, placed in service, or stabilizing between 2020 and present. Note that this table may illustrate non-competitive units and competitive properties that we have not deducted from our demand analysis.

ADDITIONS TO SUPPLY

Unit Type	30% AMI	40% AMI	50% AMI	60% AMI	Unrestricted	Overall
OBR						0
1BR			10	10		20
2BR			28	40		68
3BR			17	18		35
4BR						0
5BR						0
Total	0	0	55	68	0	123

Overall, a total of 123 units have been removed from our capture rate analyses.

4c. Capture Rate

The following tables illustrate the Capture Rates for the Subject.

5. Example of Method

The following tables illustrate the specific calculations used to determine the capture rates for the Subject’s units. Note that the demographic data used in the following tables, including tenure patterns, household size and income distribution through the projected market entry date of 2023 were illustrated in the previous section of this report.

RENTER HOUSEHOLD INCOME DISTRIBUTION - PMA

Income Cohort	2020		Projected Mkt Entry May 2023		2025	
	<i>Number</i>	<i>Percentage</i>	<i>Number</i>	<i>Percentage</i>	<i>Number</i>	<i>Percentage</i>
\$0-9,999	1,362	20.0%	1,269	18.8%	1,198	17.8%
\$10,000-19,999	1,271	18.7%	1,180	17.5%	1,110	16.5%
\$20,000-29,999	1,057	15.6%	1,011	15.0%	976	14.5%
\$30,000-39,999	776	11.4%	758	11.2%	745	11.1%
\$40,000-49,999	592	8.7%	615	9.1%	632	9.4%
\$50,000-59,999	437	6.4%	407	6.0%	384	5.7%
\$60,000-74,999	371	5.5%	393	5.8%	410	6.1%
\$75,000-99,999	261	3.8%	285	4.2%	304	4.5%
\$100,000-124,999	225	3.3%	261	3.9%	289	4.3%
\$125,000-149,999	160	2.4%	187	2.8%	208	3.1%
\$150,000-199,999	121	1.8%	178	2.6%	221	3.3%
\$200,000+	161	2.4%	210	3.1%	248	3.7%
Total	6,794	100.0%	6,755	100.0%	6,725	100.0%

Source: HISTA Data / Ribbon Demographics 2020, Novogradac Consulting LLP, March 2021

50% AMI

NEW RENTER HOUSEHOLD DEMAND BY INCOME COHORT - @50%

Minimum Income Limit		\$19,989	Maximum Income Limit		\$32,400
Income Category	New Renter Households - Total Change		Income Brackets	Percent within Cohort	Renter Households within Bracket
	in Households PMA 2020 to Prj Mrkt Entry May 2023				
\$0-9,999	-93	237.7%	\$0	0.0%	0
\$10,000-19,999	-91	233.3%	\$10	0.1%	0
\$20,000-29,999	-46	117.4%	\$9,383	93.8%	-43
\$30,000-39,999	-18	44.9%	\$2,400	24.0%	-4
\$40,000-49,999	23	-58.0%	\$0	0.0%	0
\$50,000-59,999	-30	76.8%	\$0	0.0%	0
\$60,000-74,999	22	-56.5%	\$0	0.0%	0
\$75,000-99,999	24	-62.3%	\$0	0.0%	0
\$100,000-124,999	36	-92.8%	\$0	0.0%	0
\$125,000-149,999	27	-69.6%	\$0	0.0%	0
\$150,000-199,999	57	-144.9%	\$0	0.0%	0
\$200,000+	49	-126.1%	\$0	0.0%	0
Total	-39	100.0%		121.2%	-47

POTENTIAL EXISTING HOUSEHOLD DEMAND BY INCOME COHORT - @50%

Minimum Income Limit		\$19,989	Maximum Income Limit		\$32,400
Income Category	Total Renter Households PMA 2020		Income Brackets	Percent within Cohort	Households within Bracket
\$0-9,999	1,362	20.0%	\$0	0.0%	0
\$10,000-19,999	1,271	18.7%	\$10	0.1%	1
\$20,000-29,999	1,057	15.6%	\$9,383	93.8%	992
\$30,000-39,999	776	11.4%	\$2,400	24.0%	186
\$40,000-49,999	592	8.7%	\$0	0.0%	0
\$50,000-59,999	437	6.4%	\$0	0.0%	0
\$60,000-74,999	371	5.5%	\$0	0.0%	0
\$75,000-99,999	261	3.8%	\$0	0.0%	0
\$100,000-124,999	225	3.3%	\$0	0.0%	0
\$125,000-149,999	160	2.4%	\$0	0.0%	0
\$150,000-199,999	121	1.8%	\$0	0.0%	0
\$200,000+	161	2.4%	\$0	0.0%	0
Total	6,794	100.0%		17.4%	1,179

ASSUMPTIONS - @50%

Tenancy		Family		% of Income towards Housing	
Rural/Urban		Rural		35%	
				Maximum # of Occupants	
				5	
Persons in Household	OBR	1BR	2BR	3BR	4BR+
1	0%	20%	80%	0%	0%
2	0%	20%	80%	0%	0%
3	0%	0%	50%	50%	0%
4	0%	0%	30%	70%	0%
5+	0%	0%	0%	100%	0%

Demand from New Renter Households 2020 to May 2023

Income Target Population	@50%
New Renter Households PMA	-39
Percent Income Qualified	121.2%
New Renter Income Qualified Households	-47

Demand from Existing Households 2020

Demand from Rent Overburdened Households

Income Target Population	@50%
Total Existing Demand	6,794
Income Qualified	17.4%
Income Qualified Renter Households	1,179
Percent Rent Overburdened Prj Mrkt Entry May 2023	43.2%
Rent Overburdened Households	510

Demand from Living in Substandard Housing

Income Qualified Renter Households	1,179
Percent Living in Substandard Housing	0.2%
Households Living in Substandard Housing	3

Senior Households Converting from Homeownership

Income Target Population	@50%
Total Senior Homeowners	0
Rural Versus Urban	5.0%
Senior Demand Converting from Homeownership	0

Total Demand

Total Demand from Existing Households	513
Total New Demand	-47
Total Demand (New Plus Existing Households)	465

Demand from Seniors Who Convert from Homeownership	0
Percent of Total Demand From Homeownership Conversion	0.0%
Is this Demand Over 20 percent of Total Demand?	No

By Bedroom Demand

One Person	36.3%	169
Two Persons	24.8%	115
Three Persons	16.4%	76
Four Persons	10.3%	48
Five Persons	12.2%	57
Total	100.0%	465

To place Person Demand into Bedroom Type Units

Of one-person households in studio units	0%	0
Of two-person households in studio units	0%	0
Of three-person households in studio units	0%	0
Of four-person households in studio units	0%	0
Of five-person households in studio units	0%	0
Of one-person households in 1BR units	20%	34
Of two-person households in 1BR units	20%	23
Of three-person households in 1BR units	0%	0
Of four-person households in 1BR units	0%	0
Of five-person households in 1BR units	0%	0
Of one-person households in 2BR units	80%	135
Of two-person households in 2BR units	80%	92
Of three-person households in 2BR units	50%	38
Of four-person households in 2BR units	30%	14
Of five-person households in 2BR units	0%	0
Of one-person households in 3BR units	0%	0
Of two-person households in 3BR units	0%	0
Of three-person households in 3BR units	50%	38
Of four-person households in 3BR units	70%	34
Of five-person households in 3BR units	100%	57
Of one-person households in 4BR units	0%	0
Of two-person households in 4BR units	0%	0
Of three-person households in 4BR units	0%	0
Of four-person households in 4BR units	0%	0
Of five-person households in 4BR units	0%	0
Of one-person households in 5BR units	0%	0
Of two-person households in 5BR units	0%	0
Of three-person households in 5BR units	0%	0
Of four-person households in 5BR units	0%	0
Of five-person households in 5BR units	0%	0
Total Demand		465

	Total Demand (Subject Unit Types)		Additions to Supply		Net Demand
0 BR	-	-	-	=	-
1 BR	57	-	10	=	47
2 BR	280	-	28	=	252
3 BR	128	-	17	=	111
4 BR	-	-	-	=	-
5 BR	-	-	-	=	-
Total	465		55		410

	Developer's Unit Mix		Net Demand	Capture Rate	
0 BR	-	/	-	=	-
1 BR	4	/	47	=	8.5%
2 BR	9	/	252	=	3.6%
3 BR	5	/	111	=	4.5%
4 BR	-	/	-	=	-
5 BR	-	/	-	=	-
Total	18		410		4.4%

50% AMI HOME

NEW RENTER HOUSEHOLD DEMAND BY INCOME COHORT - @50% (HOME)

Minimum Income Limit		\$17,486		Maximum Income Limit		\$30,225	
Income Category	New Renter Households - Total Change		Income Brackets	Percent within Cohort	Renter Households within Bracket		
	in Households PMA 2020 to Prj Mrkt Entry May 2023						
\$0-9,999	-93	237.7%	\$0	0.0%	0		
\$10,000-19,999	-91	233.3%	\$2,513	25.1%	-23		
\$20,000-29,999	-46	117.4%	\$9,410	94.1%	-43		
\$30,000-39,999	-18	44.9%	\$225	2.3%	0		
\$40,000-49,999	23	-58.0%	\$0	0.0%	0		
\$50,000-59,999	-30	76.8%	\$0	0.0%	0		
\$60,000-74,999	22	-56.5%	\$0	0.0%	0		
\$75,000-99,999	24	-62.3%	\$0	0.0%	0		
\$100,000-124,999	36	-92.8%	\$0	0.0%	0		
\$125,000-149,999	27	-69.6%	\$0	0.0%	0		
\$150,000-199,999	57	-144.9%	\$0	0.0%	0		
\$200,000+	49	-126.1%	\$0	0.0%	0		
Total	-39	100.0%		170.1%	-67		

POTENTIAL EXISTING HOUSEHOLD DEMAND BY INCOME COHORT - @50% (HOME)

Minimum Income Limit		\$17,486		Maximum Income Limit		\$30,225	
Income Category	Total Renter Households PMA 2020		Income Brackets	Percent within Cohort	Households within Bracket		
\$0-9,999	1,362	20.0%	\$0	0.0%	0		
\$10,000-19,999	1,271	18.7%	\$2,513	25.1%	319		
\$20,000-29,999	1,057	15.6%	\$9,410	94.1%	995		
\$30,000-39,999	776	11.4%	\$225	2.3%	17		
\$40,000-49,999	592	8.7%	\$0	0.0%	0		
\$50,000-59,999	437	6.4%	\$0	0.0%	0		
\$60,000-74,999	371	5.5%	\$0	0.0%	0		
\$75,000-99,999	261	3.8%	\$0	0.0%	0		
\$100,000-124,999	225	3.3%	\$0	0.0%	0		
\$125,000-149,999	160	2.4%	\$0	0.0%	0		
\$150,000-199,999	121	1.8%	\$0	0.0%	0		
\$200,000+	161	2.4%	\$0	0.0%	0		
Total	6,794	100.0%		19.6%	1,332		

ASSUMPTIONS - @50% (HOME)

Tenancy		Family		% of Income towards Housing		35%	
Rural/Urban		Rural		Maximum # of Occupants		5	
Persons in Household	OBR	1BR	2BR	3BR	4BR+		
1	0%	20%	80%	0%	0%		
2	0%	20%	80%	0%	0%		
3	0%	0%	50%	50%	0%		
4	0%	0%	30%	70%	0%		
5+	0%	0%	0%	100%	0%		

Demand from New Renter Households 2020 to May 2023

Income Target Population	@50% (HOME)
New Renter Households PMA	-39
Percent Income Qualified	170.1%
New Renter Income Qualified Households	-67

Demand from Existing Households 2020

Demand from Rent Overburdened Households

Income Target Population	@50% (HOME)
Total Existing Demand	6,794
Income Qualified	19.6%
Income Qualified Renter Households	1,332
Percent Rent Overburdened Prj Mrkt Entry May 2023	43.2%
Rent Overburdened Households	576

Demand from Living in Substandard Housing

Income Qualified Renter Households	1,332
Percent Living in Substandard Housing	0.2%
Households Living in Substandard Housing	3

Senior Households Converting from Homeownership

Income Target Population	@50% (HOME)
Total Senior Homeowners	0
Rural Versus Urban	5.0%
Senior Demand Converting from Homeownership	0

Total Demand

Total Demand from Existing Households	579
Total New Demand	-67
Total Demand (New Plus Existing Households)	512

Demand from Seniors Who Convert from Homeownership	0
Percent of Total Demand From Homeownership Conversion	0.0%
Is this Demand Over 20 percent of Total Demand?	No

By Bedroom Demand

One Person	36.3%	186
Two Persons	24.8%	127
Three Persons	16.4%	84
Four Persons	10.3%	53
Five Persons	12.2%	63
Total	100.0%	512

To place Person Demand into Bedroom Type Units

Of one-person households in studio units	0%	0
Of two-person households in studio units	0%	0
Of three-person households in studio units	0%	0
Of four-person households in studio units	0%	0
Of five-person households in studio units	0%	0
Of one-person households in 1BR units	20%	37
Of two-person households in 1BR units	20%	25
Of three-person households in 1BR units	0%	0
Of four-person households in 1BR units	0%	0
Of five-person households in 1BR units	0%	0
Of one-person households in 2BR units	80%	149
Of two-person households in 2BR units	80%	102
Of three-person households in 2BR units	50%	42
Of four-person households in 2BR units	30%	16
Of five-person households in 2BR units	0%	0
Of one-person households in 3BR units	0%	0
Of two-person households in 3BR units	0%	0
Of three-person households in 3BR units	50%	42
Of four-person households in 3BR units	70%	37
Of five-person households in 3BR units	100%	63
Of one-person households in 4BR units	0%	0
Of two-person households in 4BR units	0%	0
Of three-person households in 4BR units	0%	0
Of four-person households in 4BR units	0%	0
Of five-person households in 4BR units	0%	0
Of one-person households in 5BR units	0%	0
Of two-person households in 5BR units	0%	0
Of three-person households in 5BR units	0%	0
Of four-person households in 5BR units	0%	0
Of five-person households in 5BR units	0%	0
Total Demand		512

	Total Demand (Subject Unit Types)		Additions to Supply		Net Demand
0 BR	-	-	-	=	-
1 BR	63	-	10	=	53
2 BR	308	-	28	=	280
3 BR	141	-	17	=	124
4 BR	-	-	-	=	-
5 BR	-	-	-	=	-
Total	512		55		457

	Developer's Unit Mix		Net Demand	Capture Rate	
0 BR	-	/	-	=	-
1 BR	3	/	53	=	5.7%
2 BR	5	/	280	=	1.8%
3 BR	3	/	124	=	2.4%
4 BR	-	/	-	=	-
5 BR	-	/	-	=	-
Total	11		457		2.4%

60% AMI

NEW RENTER HOUSEHOLD DEMAND BY INCOME COHORT - @60%

Minimum Income Limit		\$21,977	Maximum Income Limit		\$38,880
Income Category	New Renter Households - Total Change in Households PMA 2020 to Prj Mrkt Entry May 2023		Income Brackets	Percent within Cohort	Renter Households within Bracket
\$0-9,999	-93	237.7%	\$0	0.0%	0
\$10,000-19,999	-91	233.3%	\$0	0.0%	0
\$20,000-29,999	-46	117.4%	\$8,022	80.2%	-37
\$30,000-39,999	-18	44.9%	\$8,880	88.8%	-16
\$40,000-49,999	23	-58.0%	\$0	0.0%	0
\$50,000-59,999	-30	76.8%	\$0	0.0%	0
\$60,000-74,999	22	-56.5%	\$0	0.0%	0
\$75,000-99,999	24	-62.3%	\$0	0.0%	0
\$100,000-124,999	36	-92.8%	\$0	0.0%	0
\$125,000-149,999	27	-69.6%	\$0	0.0%	0
\$150,000-199,999	57	-144.9%	\$0	0.0%	0
\$200,000+	49	-126.1%	\$0	0.0%	0
Total	-39	100.0%		134.1%	-52

POTENTIAL EXISTING HOUSEHOLD DEMAND BY INCOME COHORT - @60%

Minimum Income Limit		\$21,977	Maximum Income Limit		\$38,880
Income Category	Total Renter Households PMA 2020		Income Brackets	Percent within Cohort	Households within Bracket
\$0-9,999	1,362	20.0%	\$0	0.0%	0
\$10,000-19,999	1,271	18.7%	\$0	0.0%	0
\$20,000-29,999	1,057	15.6%	\$8,022	80.2%	848
\$30,000-39,999	776	11.4%	\$8,880	88.8%	689
\$40,000-49,999	592	8.7%	\$0	0.0%	0
\$50,000-59,999	437	6.4%	\$0	0.0%	0
\$60,000-74,999	371	5.5%	\$0	0.0%	0
\$75,000-99,999	261	3.8%	\$0	0.0%	0
\$100,000-124,999	225	3.3%	\$0	0.0%	0
\$125,000-149,999	160	2.4%	\$0	0.0%	0
\$150,000-199,999	121	1.8%	\$0	0.0%	0
\$200,000+	161	2.4%	\$0	0.0%	0
Total	6,794	100.0%		22.6%	1,537

ASSUMPTIONS - @60%

Tenancy	Family	% of Income towards Housing				35%
Rural/Urban	Rural	Maximum # of Occupants				5
Persons in Household	OBR	1BR	2BR	3BR	4BR+	
1	0%	20%	80%	0%	0%	
2	0%	20%	80%	0%	0%	
3	0%	0%	50%	50%	0%	
4	0%	0%	30%	70%	0%	
5+	0%	0%	0%	100%	0%	

Demand from New Renter Households 2020 to May 2023

Income Target Population	@60%
New Renter Households PMA	-39
Percent Income Qualified	134.1%
New Renter Income Qualified Households	-52

Demand from Existing Households 2020

Demand from Rent Overburdened Households

Income Target Population	@60%
Total Existing Demand	6,794
Income Qualified	22.6%
Income Qualified Renter Households	1,537
Percent Rent Overburdened Prj Mrkt Entry May 2023	43.2%
Rent Overburdened Households	665

Demand from Living in Substandard Housing

Income Qualified Renter Households	1,537
Percent Living in Substandard Housing	0.2%
Households Living in Substandard Housing	4

Senior Households Converting from Homeownership

Income Target Population	@60%
Total Senior Homeowners	0
Rural Versus Urban	5.0%
Senior Demand Converting from Homeownership	0

Total Demand

Total Demand from Existing Households	668
Total New Demand	-52
Total Demand (New Plus Existing Households)	616

Demand from Seniors Who Convert from Homeownership	0
Percent of Total Demand From Homeownership Conversion	0.0%
Is this Demand Over 20 percent of Total Demand?	No

By Bedroom Demand

One Person	36.3%	224
Two Persons	24.8%	153
Three Persons	16.4%	101
Four Persons	10.3%	64
Five Persons	12.2%	75
Total	100.0%	616

To place Person Demand into Bedroom Type Units

Of one-person households in studio units	0%	0
Of two-person households in studio units	0%	0
Of three-person households in studio units	0%	0
Of four-person households in studio units	0%	0
Of five-person households in studio units	0%	0
Of one-person households in 1BR units	20%	45
Of two-person households in 1BR units	20%	31
Of three-person households in 1BR units	0%	0
Of four-person households in 1BR units	0%	0
Of five-person households in 1BR units	0%	0
Of one-person households in 2BR units	80%	179
Of two-person households in 2BR units	80%	122
Of three-person households in 2BR units	50%	50
Of four-person households in 2BR units	30%	19
Of five-person households in 2BR units	0%	0
Of one-person households in 3BR units	0%	0
Of two-person households in 3BR units	0%	0
Of three-person households in 3BR units	50%	50
Of four-person households in 3BR units	70%	45
Of five-person households in 3BR units	100%	75
Of one-person households in 4BR units	0%	0
Of two-person households in 4BR units	0%	0
Of three-person households in 4BR units	0%	0
Of four-person households in 4BR units	0%	0
Of five-person households in 4BR units	0%	0
Of one-person households in 5BR units	0%	0
Of two-person households in 5BR units	0%	0
Of three-person households in 5BR units	0%	0
Of four-person households in 5BR units	0%	0
Of five-person households in 5BR units	0%	0
Total Demand		616

	Total Demand (Subject Unit Types)		Additions to Supply		Net Demand
0 BR	-	-	-	=	-
1 BR	75	-	10	=	65
2 BR	371	-	40	=	331
3 BR	170	-	18	=	152
4 BR	-	-	-	=	-
5 BR	-	-	-	=	-
Total	616		68		548

	Developer's Unit Mix		Net Demand	Capture Rate	
0 BR	-	/	-	=	-
1 BR	5	/	65	=	7.7%
2 BR	30	/	331	=	9.1%
3 BR	8	/	152	=	5.3%
4 BR	-	/	-	=	-
5 BR	-	/	-	=	-
Total	43		548		7.8%

Overall

NEW RENTER HOUSEHOLD DEMAND BY INCOME COHORT - Overall

Minimum Income Limit		\$17,486		Maximum Income Limit		\$38,880	
Income Category	New Renter Households - Total Change		Income Brackets	Percent within Cohort	Renter		
	in Households PMA 2020 to Prj Mrkt Entry May 2023				Households within Bracket		
\$0-9,999	-93	237.7%	\$0	0.0%	0		
\$10,000-19,999	-91	233.3%	\$2,513	25.1%	-23		
\$20,000-29,999	-46	117.4%	\$9,999	100.0%	-46		
\$30,000-39,999	-18	44.9%	\$8,880	88.8%	-16		
\$40,000-49,999	23	-58.0%	\$0	0.0%	0		
\$50,000-59,999	-30	76.8%	\$0	0.0%	0		
\$60,000-74,999	22	-56.5%	\$0	0.0%	0		
\$75,000-99,999	24	-62.3%	\$0	0.0%	0		
\$100,000-124,999	36	-92.8%	\$0	0.0%	0		
\$125,000-149,999	27	-69.6%	\$0	0.0%	0		
\$150,000-199,999	57	-144.9%	\$0	0.0%	0		
\$200,000+	49	-126.1%	\$0	0.0%	0		
Total	-39	100.0%		215.9%	-84		

POTENTIAL EXISTING HOUSEHOLD DEMAND BY INCOME COHORT - Overall

Minimum Income Limit		\$17,486		Maximum Income Limit		\$38,880	
Income Category	Total Renter Households PMA 2020		Income Brackets	Percent within Cohort	Households within Bracket		
	\$0-9,999	1,362			20.0%	\$0	0.0%
\$10,000-19,999	1,271	18.7%	\$2,513	25.1%	319		
\$20,000-29,999	1,057	15.6%	\$9,999	100.0%	1,057		
\$30,000-39,999	776	11.4%	\$8,880	88.8%	689		
\$40,000-49,999	592	8.7%	\$0	0.0%	0		
\$50,000-59,999	437	6.4%	\$0	0.0%	0		
\$60,000-74,999	371	5.5%	\$0	0.0%	0		
\$75,000-99,999	261	3.8%	\$0	0.0%	0		
\$100,000-124,999	225	3.3%	\$0	0.0%	0		
\$125,000-149,999	160	2.4%	\$0	0.0%	0		
\$150,000-199,999	121	1.8%	\$0	0.0%	0		
\$200,000+	161	2.4%	\$0	0.0%	0		
Total	6,794	100.0%		30.4%	2,066		

ASSUMPTIONS - Overall

Tenancy		Family		% of Income towards Housing		35%
Rural/Urban		Rural		Maximum # of Occupants		5
Persons in Household	OBR	1BR	2BR	3BR	4BR+	
1	0%	20%	80%	0%	0%	
2	0%	20%	80%	0%	0%	
3	0%	0%	50%	50%	0%	
4	0%	0%	30%	70%	0%	
5+	0%	0%	0%	100%	0%	

Demand from New Renter Households 2020 to May 2023

Income Target Population	Overall
New Renter Households PMA	-39
Percent Income Qualified	215.9%
New Renter Income Qualified Households	-84

Demand from Existing Households 2020

Demand from Rent Overburdened Households

Income Target Population	Overall
Total Existing Demand	6,794
Income Qualified	30.4%
Income Qualified Renter Households	2,066
Percent Rent Overburdened Prj Mrkt Entry May 2023	43.2%
Rent Overburdened Households	893

Demand from Living in Substandard Housing

Income Qualified Renter Households	2,066
Percent Living in Substandard Housing	0.2%
Households Living in Substandard Housing	5

Senior Households Converting from Homeownership

Income Target Population	Overall
Total Senior Homeowners	0
Rural Versus Urban	5.0%
Senior Demand Converting from Homeownership	0

Total Demand

Total Demand from Existing Households	898
Total New Demand	-84
Total Demand (New Plus Existing Households)	814

Demand from Seniors Who Convert from Homeownership	0
Percent of Total Demand From Homeownership Conversion	0.0%
Is this Demand Over 20 percent of Total Demand?	No

By Bedroom Demand

One Person	36.3%	296
Two Persons	24.8%	202
Three Persons	16.4%	133
Four Persons	10.3%	84
Five Persons	12.2%	99
Total	100.0%	814

To place Person Demand into Bedroom Type Units

Of one-person households in studio units	0%	0
Of two-person households in studio units	0%	0
Of three-person households in studio units	0%	0
Of four-person households in studio units	0%	0
Of five-person households in studio units	0%	0
Of one-person households in 1BR units	20%	59
Of two-person households in 1BR units	20%	40
Of three-person households in 1BR units	0%	0
Of four-person households in 1BR units	0%	0
Of five-person households in 1BR units	0%	0
Of one-person households in 2BR units	80%	236
Of two-person households in 2BR units	80%	161
Of three-person households in 2BR units	50%	67
Of four-person households in 2BR units	30%	25
Of five-person households in 2BR units	0%	0
Of one-person households in 3BR units	0%	0
Of two-person households in 3BR units	0%	0
Of three-person households in 3BR units	50%	67
Of four-person households in 3BR units	70%	59
Of five-person households in 3BR units	100%	99
Of one-person households in 4BR units	0%	0
Of two-person households in 4BR units	0%	0
Of three-person households in 4BR units	0%	0
Of four-person households in 4BR units	0%	0
Of five-person households in 4BR units	0%	0
Of one-person households in 5BR units	0%	0
Of two-person households in 5BR units	0%	0
Of three-person households in 5BR units	0%	0
Of four-person households in 5BR units	0%	0
Of five-person households in 5BR units	0%	0
Total Demand		814

	Total Demand (Subject Unit Types)		Additions to Supply		Net Demand
0 BR	-	-	-	=	-
1 BR	99	-	20	=	79
2 BR	490	-	68	=	422
3 BR	225	-	35	=	190
4 BR	-	-	-	=	-
5 BR	-	-	-	=	-
Total	814		123		691

	Developer's Unit Mix		Net Demand	Capture Rate	
0 BR	-	/	-	=	-
1 BR	12	/	79	=	15.1%
2 BR	44	/	422	=	10.4%
3 BR	16	/	190	=	8.4%
4 BR	-	/	-	=	-
5 BR	-	/	-	=	-
Total	72		691		10.4%

Conclusions

Several factors affect the indicated capture rates and are discussed following:

- This demand analysis does not measure the PMA’s or Subject’s ability to attract additional or latent demand into the market from elsewhere by offering an affordable option. Property managers at LIHTC developments throughout Lumberton indicated that approximately 85 to 90 percent of residents are from the Lumberton area. The remaining 10 to 15 percent of the residents relocated to Lumberton from other parts of Robeson County and Fayetteville. Therefore, we estimate that approximately 10 percent of the Subject’s residents will originate from areas outside of the PMA. Because the demand analysis does not account for tenants moving from outside the PMA, it is somewhat conservative.

The following table summarizes the capture rates for the Subject. Note this table is not adjusted for demand by bedroom type.

DEMAND AND NET DEMAND

	HH at @50% AMI (\$19,989 to \$32,400)	HH at @50% AMI (HOME) (\$17,486 to \$30,225)	HH at @60% AMI (\$21,977 to \$38,880)	Overall Demand
Demand from New Households (age and income appropriate)	-47	-67	-52	-84
PLUS	+	+	+	+
Demand from Existing Renter Housholds - Rent Overburdened Households	510	576	665	893
PLUS	+	+	+	+
Demand from Existing Renter Households - Substandard Housing	3	3	4	5
=	=	=	=	=
Sub Total	465	512	616	814
Demand from Existing Households - Elderly Homeowner Turnover (Limited to 20% where applicable)	0	0	0	0
Equals Total Demand	465	512	616	814
Less	-	-	-	-
New Supply	55	55	68	123
Equals Net Demand	410	457	548	691

The following table illustrates the capture rates for the Subject’s units.

CAPTURE RATE ANALYSIS CHART

Unit Type	Units Proposed	Total Demand	Supply	Net Demand	Capture Rate
1BR at 50% AMI	4	57	10	47	8.5%
1BR at 50% AMI (HOME)	3	63	10	53	5.7%
1BR at 60% AMI	5	75	10	65	7.7%
1BR Overall	12	99	20	79	15.1%
2BR at 50% AMI	9	280	28	252	3.6%
2BR at 50% AMI (HOME)	5	308	28	280	1.8%
2BR at 60% AMI	30	371	40	331	9.1%
2BR Overall	44	490	68	422	10.4%
3BR at 50% AMI	5	128	17	111	4.5%
3BR at 50% AMI (HOME)	3	141	17	124	2.4%
3BR at 60% AMI	8	170	18	152	5.3%
3BR Overall	16	225	35	190	8.4%
@50% Overall	18	465	55	410	4.4%
@50% (HOME) Overall	11	512	55	457	2.4%
@60% Overall	43	616	68	548	7.8%
Overall	72	814	123	691	10.4%

As the analysis illustrates, the Subject’s capture rates vary from 1.8 to 15.1 percent with an overall capture rate of 10.4 percent. Overall, capture rates are low and based on the capture rates alone, there appears to be demand for the Subject.

6. Absorption Rate

Two of the comparables was able to report absorption. We have also included absorption data from another recently constructed LIHTC property in Robeson County.

ABSORPTION

Property Name	Rent	Tenancy	Year	Total Units	Absorption (units/month)
Fairfield Park Apartments**	LIHTC	Family	2020	64	29
Griffin Park Apartments*	LIHTC	Family	2019	72	36
Northeast Pointe Apartments*	LIHTC	Family	2017	64	13

*Utilized as a comparable property

**In initial absorption phase

As illustrated in the table above, absorption rates at recently constructed properties in the area range from 13 to 36 units per month with an average of 26 units per month. It should be noted that the Subject’s sister property Northeast Pointe Apartments, was completed in 2017 and was reportedly stabilized within five months of completion. Additionally, the most recent construction LIHTC property in Lumberton, Griffin Park Apartments, was completed in March 2019, and was fully leased within two months of completion. With the stable demographic base of low to moderate-income households in the PMA and the existing LIHTC properties reporting low vacancy rates and maintaining waiting lists, we believe the Subject should be able to experience an absorption rate similar to the average absorption rate reported by the above properties. As illustrated in the demand analysis, captures rates vary from 1.8 to 15.1 percent with an overall capture rate of 10.4 percent. These capture rates are low and indicate adequate demand for the Subject, even after removing the planned additions to supply. Further, all five of the comparable LIHTC properties maintain waiting lists and three report full occupancy. Therefore, based on the demand calculations presented within

this report, which indicate good capture rates and an ample number of income-qualified households, we believe the Subject could absorb approximately 25 units per month upon completion. This equals an absorption period of two to three months. We expect the Subject to reach stabilized occupancy of 93 percent within two to three months. It should be noted that construction on the Subject is not anticipated to be completed until May 2023, which is considered outside of the primary window from the COVID-19 pandemic.

H. SUPPLY ANALYSIS

SUPPLY ANALYSIS

Survey of Comparable Projects

Comparable properties are examined on the basis of physical characteristics, i.e. building type, age/quality, level of common amenities, absorption, as well as similarity in rent. We attempted to compare the Subject to complexes from the competing market to provide a broader picture of the health and available supply in the market. We surveyed many properties that we chose not to use in the survey because they were not as comparable to the Subject as others that were selected.

1. Description of Property Types Surveyed/Determination of Number of Tax Credit Units

We interviewed numerous properties to determine which ones were considered “true” competition for the Subject. Several properties in the market area were interviewed and not included because of their dissimilarity or other factors. Fully subsidized properties were excluded due to differing rent structures from the Subject without a subsidy; however, it should be noted that subsidized properties in the market area were found to have stable occupancies. The following table illustrates the excluded properties.

EXCLUDED PROPERTIES

Property Name	Location	Rent Structure	Tenancy	Reason for Exclusion
Baker House	Lumberton	LIHTC	Senior	Dissimilar tenancy
Longleaf Apartments	Lumberton	LIHTC	Family	More comparable properties
Meadow Branch Apartments	Lumberton	LIHTC	Family	Under construction
River Highlands	Lumberton	LIHTC	Family	Proposed
River Terrace Village	Lumberton	LIHTC/Rural Development	Senior	Subsidized rents
Roberts Landing	Lumberton	LIHTC/Rural Development	Family	Subsidized rents
Williams Landing	Lumberton	LIHTC/Rural Development	Family	Subsidized rents
Wind Crest Senior Housing	Lumberton	LIHTC	Senior	Proposed
Windsor Crossing	Lumberton	LIHTC	Senior	Dissimilar tenancy
Davis Heights	Lumberton	Public Housing	Family	Subsidized rents
Eastwood Terrace	Lumberton	Public Housing	Family	Subsidized rents
Hilton Heights	Lumberton	Public Housing	Family	Subsidized rents
Lumbee Homes	Lumberton	Public Housing	Family	Subsidized rents
Mohr Plaza	Lumberton	Public Housing	Senior	Subsidized rents
Morgan Britt	Lumberton	Public Housing	Family	Subsidized rents
Myers Park	Lumberton	Public Housing	Family	Subsidized rents
Rozier Homes	Lumberton	Public Housing	Family	Subsidized rents
The Meadows	Lumberton	Public Housing	Family	Subsidized rents
The Meadows Extension	Lumberton	Public Housing	Family	Subsidized rents
Tudor Court	Lumberton	Public Housing	Family	Subsidized rents
Turner Terrace	Lumberton	Public Housing	Family	Subsidized rents
Weaver Court	Lumberton	Public Housing	Family	Subsidized rents
Gavin Park Apartments	Lumberton	Rural Development	Senior	Subsidized rents
Lumberwood Apartments	Lumberton	Rural Development	Family	Subsidized rents
River Terrace Apartments	Lumberton	Rural Development	Senior	Subsidized rents
Apartments At Lumberton	Lumberton	Rural Development	Family	Subsidized rents
Arc/hds Robeson County Group Home #3	Lumberton	Section 8	Senior	Subsidized rents
First Baptist Homes	Lumberton	Section 8	Senior	Subsidized rents
First Baptist Homes li	Lumberton	Section 8	Senior	Subsidized rents
Holly Ridge Apartments	Lumberton	Section 8	Family	Subsidized rents
Parkview Terrace	Lumberton	Section 8	Family	Subsidized rents
Wesley Ridge	Lumberton	Section 8	Senior	Subsidized rents
200-220 Manila St	Fairmont	Market	Family	Low unit count/inferior age/condition
308-312 E Broad St	Saint Pauls	Market	Family	Low unit count/inferior age/condition
3924 Alamac Rd	Lumberton	Market	Family	Manufactured homes
4508 Cricklewood St	Lumberton	Market	Family	Low unit count/inferior age/condition
4556 NC Highway 72 W	Lumberton	Market	Family	Manufactured homes
500 Marvin St	Fairmont	Market	Family	Low unit count/inferior age/condition
518 E 15th St	Lumberton	Market	Family	Low unit count/inferior age/condition
901 N Elm St	Lumberton	Market	Family	Low unit count/inferior age/condition
Carthage Square	Lumberton	Market	Family	Inferior age/condition
Godwin Avenue Apartments	Lumberton	Market	Family	Inferior age/condition
The Lofts at A.S. Thomas Center	Pembroke	Market	Family	Low unit count/unable to contact

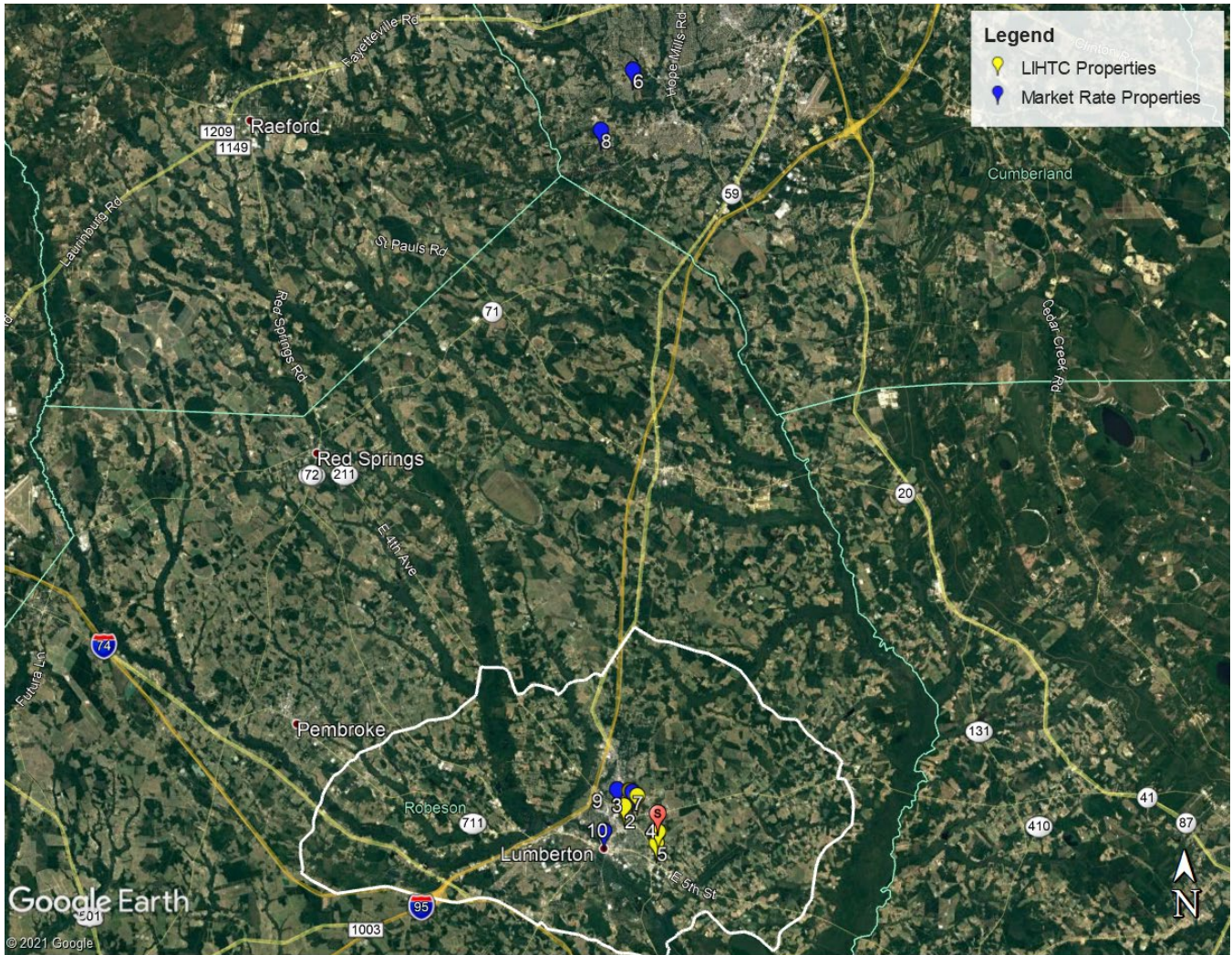
Comparable Properties

Property managers and realtors were interviewed for information on unit mix, size, absorption, unit features and project amenities, tenant profiles, and market trends in general. Our competitive survey includes ten “true” comparable properties containing 844 units. There are six family LIHTC properties in the Subject’s PMA. We have included five of the six properties as comparables in our analysis. We have also included five market rate properties in our analysis. Of these, three properties are within the Subject’s PMA. The remaining two properties are located in Fayetteville. These comparables are considered reasonable proxies for the Subject as they are among the most recent construction properties in the area in southwestern Fayetteville. Fayetteville is considered a superior location to the Subject in terms of median income, median rent, and median home value.

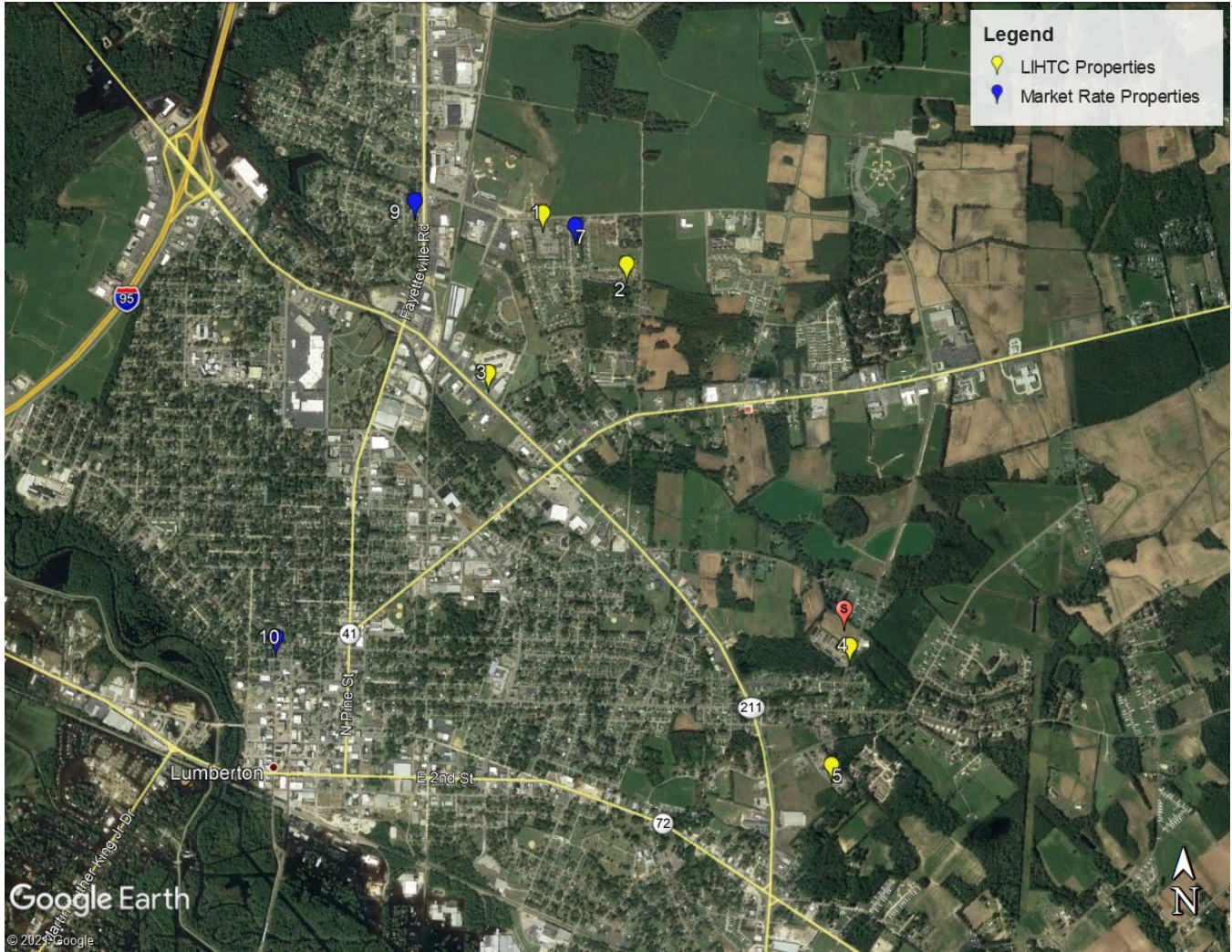
The impact of COVID-19 broadly on apartment operations in this market does not appear to have been significant as of the date of this report. Seven of the ten comparables reported no significant impact to collections, occupancy, or traffic during the COVID-19 pandemic. Four of the comparables reported an increase in tenants making late payments due to the pandemic. However, the majority of these tenants are on payment plans or are up-to-date on rent. The long-term impacts of COVID-19 on this market are yet to be seen; however, in the short-term the impact has been minimal.

A detailed matrix describing the individual competitive properties as well as the proposed Subject is provided on the following pages. A Comparable Properties Map, illustrating the location of the Subject in relation to comparable properties is also provided on the following page. The properties are further profiled in the write-ups following. The property descriptions include information on vacancy, turnover, absorption, age, competition, and the general health of the rental market, when available. Throughout the course of performing this analysis of the local rental market, many apartment managers, realtors, leasing agents, and owners were contacted in person, or through the telephone or email.

COMPARABLE RENTAL PROPERTY MAP



Source: Google Earth, March 2021.



Source: Google Earth, March 2021.

COMPARABLE PROPERTIES

#	Comparable Property	City	Rent Structure	Distance to Subject
S	Northeast Pointe II	Lumberton	LIHTC/HOME	-
1	Carriage Hills	Lumberton	LIHTC	1.7 miles
2	Chestnut Place	Lumberton	LIHTC	1.4 miles
3	Griffin Park Apartments	Lumberton	LIHTC	1.4 miles
4	Northeast Pointe Apartments	Lumberton	LIHTC	0.0 miles
5	Sadie's Landing	Lumberton	LIHTC	0.4 miles
6	Britt Lake Apartment Homes*	Fayetteville	Market	26.2 miles
7	Deacon's Ridge	Lumberton	Market	1.6 miles
8	King's Quarters At Jack Britt*	Fayetteville	Market	24.2 miles
9	The North View (FKA Granada Terrace)	Lumberton	Market	2.0 miles
10	Town Village Apartments	Lumberton	Market	1.9 miles

*Located outside PMA

The following tables illustrate unit mix by bedroom type and income level, square footage by bedroom type, year built, common area and in-unit amenities, rent per square foot, monthly rents and utilities included, and vacancy information for the comparable properties and the Subject in a comparative framework.

NORTHEAST POINTE II – LUMBERTON, NORTH CAROLINA – MARKET STUDY

SUMMARY MATRIX

Comp #	Property Name	Distance to Subject	Type / Built / Renovated	Rent Structure	Unit Description	#	%	Size (SF)	Restriction	Rent (Adj)	Max Rent?	Waiting List?	Vacant Units	Vacancy Rate
Subject	Northeast Pointe II 219 Harrill Road Lumberton, NC 28358 Robeson County	-	Garden 2-stories 2023 / n/a Family	@50%, @50% (HOME), @60%	1BR / 1BA	4	5.6%	806	@50%	\$502	Yes	N/A	N/A	N/A
					1BR / 1BA	3	4.2%	806	@50% (HOME)	\$429	Yes	N/A	N/A	N/A
					1BR / 1BA	5	6.9%	806	@60%	\$560	No	N/A	N/A	N/A
					2BR / 2BA	9	12.5%	1,053	@50%	\$610	No	N/A	N/A	N/A
					2BR / 2BA	5	6.9%	1,053	@50% (HOME)	\$564	Yes	N/A	N/A	N/A
					2BR / 2BA	30	41.7%	1,053	@60%	\$675	No	N/A	N/A	N/A
					3BR / 2BA	5	6.9%	1,213	@50%	\$675	No	N/A	N/A	N/A
					3BR / 2BA	3	4.2%	1,213	@50% (HOME)	\$650	Yes	N/A	N/A	N/A
					3BR / 2BA	8	11.1%	1,213	@60%	\$750	No	N/A	N/A	N/A
										72				
1	Carriage Hills 1050 Linkhaw Rd Lumberton, NC 28358 Robeson County	1.7 miles	Garden 2-stories 2012 / n/a Family	@50%, @60%	1BR / 1BA	4	5.6%	727	@50%	\$518	Yes	Yes	0	0.0%
					1BR / 1BA	4	5.6%	727	@60%	\$620	Yes	Yes	0	0.0%
					2BR / 1BA	24	33.3%	941	@50%	\$604	Yes	Yes	0	0.0%
					2BR / 1BA	24	33.3%	941	@60%	\$679	Yes	Yes	2	8.3%
					3BR / 2BA	8	11.1%	1,160	@50%	\$701	Yes	Yes	0	0.0%
					8	11.1%	1,160	@60%	\$748	Yes	Yes	0	0.0%	
					72							2	2.8%	
2	Chestnut Place 1130 Furman Drive Lumberton, NC 28358 Robeson County	1.4 miles	Townhouse 2-stories 1998 / n/a Family	@50%, @60%	2BR / 1BA	12	25.0%	850	@50%	\$557	Yes	Yes	0	0.0%
					2BR / 1BA	12	25.0%	850	@60%	\$693	Yes	Yes	0	0.0%
					3BR / 1.5BA	12	25.0%	1,068	@50%	\$639	Yes	Yes	0	0.0%
					3BR / 1.5BA	12	25.0%	1,068	@60%	\$797	Yes	Yes	0	0.0%
					48							0	0.0%	
3	Griffin Park Apartments 1960 N Roberts Ave Lumberton, NC 28358 Robeson County	1.4 miles	Garden 2-stories 2019 / n/a Family	@60%	1BR / 1BA	2	2.8%	705	@60%	\$485	No	Yes	N/A	N/A
					1BR / 1BA	6	8.3%	967	@60%	\$485	No	Yes	N/A	N/A
					2BR / 2BA	17	23.6%	967	@60%	\$495	No	Yes	N/A	N/A
					2BR / 2BA	17	23.6%	967	@60%	\$580	No	Yes	N/A	N/A
					3BR / 2BA	15	20.8%	1,126	@60%	\$550	No	Yes	N/A	N/A
					3BR / 2BA	15	20.8%	1,126	@60%	\$600	No	Yes	N/A	N/A
					72							2	2.8%	
4	Northeast Pointe Apartments 175 Harrill Road Lumberton, NC 28358 Robeson County	0.0 miles	Garden 2-stories 2017 / n/a Family	@50%, @60%	2BR / 2BA	36	56.3%	1,001	@50%	\$505	No	Yes	0	0.0%
					2BR / 2BA	N/A	N/A	1,001	@60%	\$505	No	Yes	0	N/A
					3BR / 2BA	28	43.8%	1,164	@50%	\$550	No	Yes	0	0.0%
					3BR / 2BA	N/A	N/A	1,164	@60%	\$550	No	Yes	0	N/A
					64							0	0.0%	
5	Sadie's Landing 2330 Mcphail Rd Lumberton, NC 28358 Robeson County	0.4 miles	Garden 2-stories 2009 / n/a Family	@50%, @60%	2BR / 1BA	22	36.7%	920	@50%	\$540	No	Yes	0	0.0%
					2BR / 1BA	22	36.7%	920	@60%	\$570	No	Yes	0	0.0%
					3BR / 2BA	8	13.3%	1,207	@50%	\$600	No	Yes	0	0.0%
					3BR / 2BA	8	13.3%	1,207	@60%	\$645	No	Yes	0	0.0%
					60							0	0.0%	
6	Britt Lake Apartment Homes 2920 Cosmo Place Fayetteville, NC 28304 Cumberland County	26.2 miles	Garden 2-stories 2007 / n/a Family	Market	1BR / 1BA	64	29.6%	650	Market	\$856	N/A	No	0	0.0%
					2BR / 2BA	56	25.9%	1,100	Market	\$967	N/A	No	4	7.1%
					3BR / 2BA	96	44.4%	1,300	Market	\$1,088	N/A	No	0	0.0%
					216							4	1.9%	
7	Deacon's Ridge 3712 Cliffridge Dr Lumberton, NC 28358 Robeson County	1.6 miles	Townhouse 2-stories 2007 / n/a Family	Market	2BR / 2.5BA	4	40.0%	1,200	Market	\$900	N/A	No	0	0.0%
					3BR / 3.5BA	6	60.0%	1,400	Market	\$1,019	N/A	No	0	0.0%
					10								0	0.0%
8	King's Quarters At Jack Britt 3831 Queen Anne Loop Fayetteville, NC 28306 Cumberland County	24.2 miles	Garden 3-stories 2014 / n/a Family	Market	2BR / 2BA	48	19.1%	1,150	Market	\$1,125	N/A	No	0	0.0%
					2BR / 2BA	78	31.0%	1,228	Market	\$1,204	N/A	No	0	0.0%
					3BR / 2BA	48	19.1%	1,321	Market	\$1,293	N/A	No	0	0.0%
					3BR / 2BA	78	31.0%	1,398	Market	\$1,363	N/A	No	0	0.0%
					252							0	0.0%	
9	The North View (FKA Granada Terrace) 3634 Fayetteville Road Lumberton, NC 28358 Robeson County	2.0 miles	Garden 2-stories 1971 / n/a Family	Market	0BR / 1BA	6	25.0%	500	Market	\$638	N/A	No	0	0.0%
					1BR / 1BA	6	25.0%	700	Market	\$691	N/A	No	0	0.0%
					2BR / 2BA	6	25.0%	900	Market	\$719	N/A	No	0	0.0%
					3BR / 2BA	6	25.0%	1,100	Market	\$869	N/A	No	0	0.0%
					24							0	0.0%	
10	Town Village Apartments 1005 N Elm Street Lumberton, NC 28358 Robeson County	1.9 miles	Garden 1-stories 1978 / n/a Family	Market	1BR / 1BA	4	15.4%	840	Market	\$545	N/A	No	0	0.0%
					2BR / 1BA	18	69.2%	950	Market	\$604	N/A	No	0	0.0%
					3BR / 1BA	4	15.4%	1,100	Market	\$673	N/A	No	0	0.0%
					26							0	0.0%	

NORTHEAST POINTE II – LUMBERTON, NORTH CAROLINA – MARKET STUDY

RENT AND SQUARE FOOTAGE RANKING – All rents adjusted for utilities and concessions extracted from the market.							
	Units Surveyed:	844	Weighted Occupancy:	99.1%			
	Market Rate	528	Market Rate	99.2%			
	Tax Credit	316	Tax Credit	98.7%			
One Bedroom One Bath		Average	Two Bedroom Two Bath		Average	Three Bedroom Two Bath	
Property			Property			Property	Average
RENT	Britt Lake Apartment Homes (Market)	\$856	King's Quarters At Jack Britt (Market)	\$1,204	King's Quarters At Jack Britt (Market)	\$1,363	
	The North View (FKA Granada Terrace) (Market)	\$691	King's Quarters At Jack Britt (Market)	\$1,125	King's Quarters At Jack Britt (Market)	\$1,293	
	Carriage Hills (@60%)	\$620	Britt Lake Apartment Homes (Market)	\$967	Britt Lake Apartment Homes (Market)	\$1,088	
	Northeast Pointe II (@60%)	\$560	Deacon's Ridge (Market)(2.5BA)	\$900	Deacon's Ridge (Market)(3.5BA)	\$1,019	
	Town Village Apartments (Market)	\$545	The North View (FKA Granada Terrace) (Market)	\$719	The North View (FKA Granada Terrace) (Market)	\$869	
	Carriage Hills (@50%)	\$518	Chestnut Place (@60%)(1BA)	\$693	Chestnut Place (@60%)(1.5BA)	\$797	
	Northeast Pointe II (@50%)	\$502	Carriage Hills (@60%)(1BA)	\$679	Northeast Pointe II (@60%)	\$750	
	Griffin Park Apartments (@60%)	\$485	Northeast Pointe II (@60%)	\$675	Carriage Hills (@60%)	\$748	
	Griffin Park Apartments (@60%)	\$485	Northeast Pointe II (@50%)	\$610	Carriage Hills (@50%)	\$701	
	Northeast Pointe II (@50%)	\$429	Carriage Hills (@50%)(1BA)	\$604	Northeast Pointe II (@50%)	\$675	
			Town Village Apartments (Market)(1BA)	\$604	Town Village Apartments (Market)(1BA)	\$673	
			Griffin Park Apartments (@60%)	\$580	Northeast Pointe II (@50%)	\$650	
			Sadie's Landing (@60%)(1BA)	\$570	Sadie's Landing (@60%)	\$645	
			Northeast Pointe II (@50%)	\$564	Chestnut Place (@50%)(1.5BA)	\$639	
			Chestnut Place (@50%)(1BA)	\$557	Griffin Park Apartments (@60%)	\$600	
		Sadie's Landing (@50%)(1BA)	\$540	Sadie's Landing (@50%)	\$600		
		Northeast Pointe Apartments (@50%)	\$505	Northeast Pointe Apartments (@50%)	\$550		
		Northeast Pointe Apartments (@60%)	\$505	Griffin Park Apartments (@60%)	\$550		
		Griffin Park Apartments (@60%)	\$495	Northeast Pointe Apartments (@60%)	\$550		
SQUARE FOOTAGE	Griffin Park Apartments (@60%)	967	King's Quarters At Jack Britt (Market)	1,228	Deacon's Ridge (Market)(3.5BA)	1,400	
	Town Village Apartments (Market)	840	Deacon's Ridge (Market)(2.5BA)	1,200	King's Quarters At Jack Britt (Market)	1,398	
	Northeast Pointe II (@60%)	806	King's Quarters At Jack Britt (Market)	1,150	King's Quarters At Jack Britt (Market)	1,321	
	Northeast Pointe II (@50%)	806	Britt Lake Apartment Homes (Market)	1,100	Britt Lake Apartment Homes (Market)	1,300	
	Northeast Pointe II (@50%)	806	Northeast Pointe II (@50%)	1,053	Northeast Pointe II (@50%)	1,213	
	Carriage Hills (@50%)	727	Northeast Pointe II (@50%)	1,053	Northeast Pointe II (@50%)	1,213	
	Carriage Hills (@60%)	727	Northeast Pointe II (@60%)	1,053	Northeast Pointe II (@60%)	1,213	
	Griffin Park Apartments (@60%)	705	Northeast Pointe Apartments (@60%)	1,001	Sadie's Landing (@50%)	1,207	
	The North View (FKA Granada Terrace) (Market)	700	Northeast Pointe Apartments (@50%)	1,001	Sadie's Landing (@60%)	1,207	
	Britt Lake Apartment Homes (Market)	650	Griffin Park Apartments (@60%)	967	Northeast Pointe Apartments (@60%)	1,164	
			Griffin Park Apartments (@60%)	967	Northeast Pointe Apartments (@50%)	1,164	
			Town Village Apartments (Market)(1BA)	950	Carriage Hills (@60%)	1,160	
			Carriage Hills (@60%)(1BA)	941	Carriage Hills (@50%)	1,160	
			Carriage Hills (@50%)(1BA)	941	Griffin Park Apartments (@60%)	1,126	
			Sadie's Landing (@60%)(1BA)	920	Griffin Park Apartments (@60%)	1,126	
		Sadie's Landing (@50%)(1BA)	920	The North View (FKA Granada Terrace) (Market)	1,100		
		The North View (FKA Granada Terrace) (Market)	900	Town Village Apartments (Market)(1BA)	1,100		
		Chestnut Place (@60%)(1BA)	850	Chestnut Place (@50%)(1.5BA)	1,068		
		Chestnut Place (@50%)(1BA)	850	Chestnut Place (@60%)(1.5BA)	1,068		
RENT PER SQUARE FOOT	Britt Lake Apartment Homes (Market)	\$1.32	King's Quarters At Jack Britt (Market)	\$0.98	King's Quarters At Jack Britt (Market)	\$0.98	
	The North View (FKA Granada Terrace) (Market)	\$0.99	King's Quarters At Jack Britt (Market)	\$0.98	King's Quarters At Jack Britt (Market)	\$0.97	
	Carriage Hills (@60%)	\$0.85	Britt Lake Apartment Homes (Market)	\$0.88	Britt Lake Apartment Homes (Market)	\$0.84	
	Carriage Hills (@50%)	\$0.71	Chestnut Place (@60%)(1BA)	\$0.82	The North View (FKA Granada Terrace) (Market)	\$0.79	
	Northeast Pointe II (@60%)	\$0.69	The North View (FKA Granada Terrace) (Market)	\$0.80	Chestnut Place (@60%)(1.5BA)	\$0.75	
	Griffin Park Apartments (@60%)	\$0.69	Deacon's Ridge (Market)(2.5BA)	\$0.75	Deacon's Ridge (Market)(3.5BA)	\$0.73	
	Town Village Apartments (Market)	\$0.65	Carriage Hills (@60%)(1BA)	\$0.72	Carriage Hills (@60%)	\$0.64	
	Northeast Pointe II (@50%)	\$0.62	Chestnut Place (@50%)(1BA)	\$0.66	Northeast Pointe II (@60%)	\$0.62	
	Northeast Pointe II (@50%)	\$0.53	Carriage Hills (@50%)(1BA)	\$0.64	Town Village Apartments (Market)(1BA)	\$0.61	
	Griffin Park Apartments (@60%)	\$0.50	Northeast Pointe II (@60%)	\$0.64	Carriage Hills (@50%)	\$0.60	
			Town Village Apartments (Market)(1BA)	\$0.64	Chestnut Place (@50%)(1.5BA)	\$0.60	
			Sadie's Landing (@60%)(1BA)	\$0.62	Northeast Pointe II (@50%)	\$0.56	
			Griffin Park Apartments (@60%)	\$0.60	Northeast Pointe II (@50%)	\$0.54	
			Sadie's Landing (@50%)(1BA)	\$0.59	Sadie's Landing (@60%)	\$0.53	
			Northeast Pointe II (@50%)	\$0.58	Griffin Park Apartments (@60%)	\$0.53	
		Northeast Pointe II (@50%)	\$0.54	Sadie's Landing (@50%)	\$0.50		
		Griffin Park Apartments (@60%)	\$0.51	Griffin Park Apartments (@60%)	\$0.49		
		Northeast Pointe Apartments (@50%)	\$0.50	Northeast Pointe Apartments (@50%)	\$0.47		
		Northeast Pointe Apartments (@60%)	\$0.50	Northeast Pointe Apartments (@60%)	\$0.47		

NORTHEAST POINTE II – LUMBERTON, NORTH CAROLINA – MARKET STUDY

AMENITY MATRIX

	Subject	Carriage Hills	Chestnut Place	Griffin Park Apartments	Northeast Pointe Apartments	Sadie's Landing	Britt Lake Apartment Homes	Deacon's Ridge	King's Quarters At Jack Britt	The North View (FKA Granada Terrace)	Town Village Apartments
Rent Structure	LIHTC/HOME Family	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	LIHTC Family	Market Family	Market Family	Market Family	Market Family	Market Family
Building											
Property Type	Garden	Garden	Townhouse	Garden	Garden	Garden	Garden	Townhouse	Garden	Garden	Garden
# of Stories	2-stories	2-stories	2-stories	2-stories	2-stories	2-stories	2-stories	2-stories	3-stories	2-stories	1-stories
Year Built	2023	2012	1998	2019	2017	2009	2007	2007	2014	1971	1978
Courtyard	no	no	no	no	no	yes	no	no	no	no	no
Utility Structure											
Cooking	no	no	no	no	no	no	no	no	no	no	no
Water Heat	no	no	no	no	no	no	no	no	no	no	no
Heat	no	no	no	no	no	no	no	no	no	no	no
Other Electric	no	no	no	no	no	no	no	no	no	no	no
Water	yes	yes	yes	yes	yes	yes	no	no	no	no	no
Sewer	yes	no	yes	yes	yes	yes	no	no	no	no	no
Trash	yes	yes	yes	yes	yes	yes	yes	no	no	no	yes
Accessibility											
Hand Rails	no	yes	no	no	no	no	no	no	yes	no	no
Unit Amenities											
Balcony/Patio	no	no	no	no	no	yes	yes	yes	yes	no	yes
Blinds	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Carpeting	yes	yes	yes	yes	yes	yes	yes	no	no	yes	yes
Hardwood	no	no	no	no	no	no	no	yes	yes	no	no
Central A/C	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Ceiling Fan	yes	yes	no	yes	yes	yes	yes	yes	yes	no	no
Coat Closet	no	yes	yes	yes	yes	yes	yes	yes	yes	yes	no
Exterior Storage	yes	yes	no	yes	no	yes	yes	yes	no	no	no
Furnishing	no	no	no	no	no	no	no	no	yes	no	no
Walk-In Closet	no	yes	no	yes	no	yes	yes	yes	yes	no	no
Washer/Dryer	no	no	no	no	no	no	no	yes	yes	no	no
W/D Hookup	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Kitchen											
Dishwasher	yes	yes	no	yes	yes	yes	yes	yes	yes	yes	no
Disposal	no	no	no	no	yes	no	no	yes	yes	no	yes
Microwave	no	no	no	no	no	no	no	yes	yes	yes	no
Oven	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Refrigerator	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Community											
Business Center	yes	yes	yes	yes	no	yes	yes	no	yes	no	no
Community Room	yes	yes	yes	yes	yes	yes	yes	no	yes	no	no
Central Laundry	yes	yes	yes	yes	yes	yes	yes	no	yes	yes	no
On-Site Mgmt	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	no
Recreation											
Exercise Facility	no	no	no	yes	no	no	yes	no	no	no	no
Playground	yes	yes	yes	yes	yes	yes	yes	no	yes	no	no
Swimming Pool	no	no	no	no	no	no	yes	no	yes	no	no
Picnic Area	yes	yes	yes	yes	yes	yes	no	no	yes	no	no
Recreational Area	no	no	no	no	no	no	no	no	yes	no	no
WiFi	no	no	no	no	no	no	no	no	yes	no	no
Security											
In-Unit Alarm	no	no	no	no	no	no	yes	no	yes	no	no
Intercom (Buzzer)	no	no	no	no	no	no	no	no	no	no	no
Intercom (Phone)	no	no	no	no	no	no	no	no	no	no	no
Limited Access	no	no	no	no	no	no	no	no	yes	no	no
Patrol	no	no	no	no	no	no	no	no	no	no	no
Perimeter Fencing	no	no	no	no	no	no	no	no	no	no	no
Video Surveillance	yes	yes	no	no	no	no	no	no	no	no	no
Parking											
Garage	no	no	no	no	no	no	yes	no	no	no	no
Garage Fee	n/a	\$0	\$0	\$0	\$0	\$0	\$100	\$0	\$0	\$0	\$0
Off-Street Parking	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Off-Street Fee	n/a	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

Comparable Property Analysis

1a-c. Vacancy

The following tables summarize overall vacancy rates for the comparable properties.

VACANCY - ALL COMPARABLES

Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate
Carriage Hills	LIHTC	Family	72	2	2.8%
Chestnut Place	LIHTC	Family	48	0	0.0%
Griffin Park Apartments	LIHTC	Family	72	2	2.8%
Northeast Pointe Apartments	LIHTC	Family	64	0	0.0%
Sadie's Landing	LIHTC	Family	60	0	0.0%
Britt Lake Apartment Homes*	Market	Family	216	4	1.9%
Deacon's Ridge	Market	Family	10	0	0.0%
King's Quarters At Jack Britt*	Market	Family	252	0	0.0%
The North View (FKA Granada Terrace)	Market	Family	24	0	0.0%
Town Village Apartments	Market	Family	26	0	0.0%
Total in PMA			376	4	1.1%
Total			844	8	0.9%

*Located outside of the PMA

VACANCY - LIHTC COMPARABLES

Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate
Carriage Hills	LIHTC	Family	72	2	2.8%
Chestnut Place	LIHTC	Family	48	0	0.0%
Griffin Park Apartments	LIHTC	Family	72	2	2.8%
Northeast Pointe Apartments	LIHTC	Family	64	0	0.0%
Sadie's Landing	LIHTC	Family	60	0	0.0%
LIHTC Total in PMA			316	4	1.3%

VACANCY - MARKET RATE COMPARABLES

Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate
Britt Lake Apartment Homes*	Market	Family	216	4	1.9%
Deacon's Ridge	Market	Family	10	0	0.0%
King's Quarters At Jack Britt*	Market	Family	252	0	0.0%
The North View (FKA Granada Terrace)	Market	Family	24	0	0.0%
Town Village Apartments	Market	Family	26	0	0.0%
Market Total in PMA			60	0	0.0%
Market Total			528	4	0.8%

*Located outside of the PMA

Overall vacancy among the comparables is 0.9 percent. Further, overall vacancy among the comparables located within the PMA is 1.1 percent. The LIHTC comparables reported vacancy rates ranging from zero to 2.8 percent with a weighted average of 1.3 percent, which is considered low. Of the five LIHTC properties, only two have any vacancies. The remaining three LIHTC comparables report full occupancy. According to the contact at Carriage Hills, the two vacant units at the property are being processed from a waiting list of 60 households. Our contact at Griffin Park stated that the two vacant units are both currently down for carpet replacement, but will be processed from a waiting list of 494 households once they are complete. All five of the LIHTC comparables report maintaining waiting lists. The low vacancy rates among the LIHTC comparables coupled with the presence of waiting lists indicates strong demand for affordable housing in the local market.

Vacancy among the market rate comparables is low at 0.8 percent. Further, the market rate comparables in the PMA are all fully occupied. Only one market rate comparable reported any vacancies, Britt Lake Apartment Homes. However, Britt Lake Apartment Homes is currently occupied at a healthy 98.1 percent. Overall, the local rental market appears to be healthy, and we believe that the Subject will be able to maintain a stabilized vacancy rate of seven percent or less following stabilization per state guideline standards. We would also expect that after completion of absorption, the Subject will operate with a waiting list.

Reasonability of Rents

It is important to acknowledge that NCHFA guidelines do not direct the market analysts to provide an achievable market rent or to quantify and/or discuss market advantage. These guidelines may be less stringent and the thresholds may be less demanding than other underwriters. Other underwriters may have guidelines that are more restrictive than those of NCHFA. This report is written to NCHFA guidelines. Therefore, the conclusions contained herein may not be replicated by a more stringent analysis. We recommend that the sponsor understand the guidelines of all those underwriting the Subject development to ensure the proposed rents are acceptable to all.

Rents provided by property managers at some properties may include all utilities while others may require tenants to pay all utilities. The Subject’s rents will include water/sewer and trash removal expenses in rents. To make a fair comparison of the Subject rent levels to comparable properties, rents at comparable properties are typically adjusted to be consistent with the Subject. Adjustments are made using the utility allowance provided by the Lumberton Housing Authority. This allowance is dated December 1, 2019, the most recent available. The table below illustrates the net and gross rents at the Subject, as well as the maximum allowable rents.

PROPOSED RENTS

Unit Type	Unit Size (SF)	Number of Units	Asking Rent	Utility Allowance (1)	Gross Rent	2020 National Non-Metropolitan LIHTC Maximum Allowable Gross Rent	
@50%							
1BR / 1BA	806	4	\$502	\$81	\$583	\$583	
2BR / 2BA	1,053	9	\$610	\$89	\$699	\$701	
3BR / 2BA	1,213	5	\$675	\$105	\$780	\$810	
@50% (HOME)							
1BR / 1BA	806	3	\$429	\$81	\$510	\$510	
2BR / 2BA	1,053	5	\$564	\$89	\$653	\$653	
3BR / 2BA	1,213	3	\$650	\$105	\$755	\$755	
@60%							
1BR / 1BA	806	5	\$560	\$81	\$641	\$700	
2BR / 2BA	1,053	30	\$675	\$89	\$764	\$841	
3BR / 2BA	1,213	8	\$750	\$105	\$855	\$972	
		72					

Notes (1) Source of Utility Allowance provided by the Developer.

It should be noted that the Subject and all the comparables locations are considered rural areas as determined by USDA. Therefore, the Subject is eligible to use the national non-metropolitan rent and income limits, which are higher than the published rent and income limits for Robeson County. The following tables compare the Subject’s proposed rents to those being achieved by comparable LIHTC properties.

LIHTC RENT COMPARISON @50%

Property Name	1BR	2BR	3BR	Rents at Max?
Northeast Pointe II	\$429/\$502	\$564/\$610	\$650/\$675	Yes/No
2020 National Non-Metropolitan LIHTC Maximum Rent (Net)	\$502	\$612	\$705	
2020 Maximum HOME Low Rent (Net) (Robeson County)	\$429	\$564	\$650	
Carriage Hills	\$518	\$604	\$701	Yes
Chestnut Place	-	\$557	\$639	Yes
Northeast Pointe Apartments	-	\$505	\$550	No
Sadie's Landing	-	\$540	\$600	No
Average	\$518	\$552	\$623	

LIHTC RENT COMPARISON @60%

Property Name	1BR	2BR	3BR	Rents at Max?
Northeast Pointe II	\$560	\$675	\$750	No
2020 National Non-Metropolitan LIHTC Maximum Rent (Net)	\$619	\$752	\$867	
Carriage Hills	\$620	\$679	\$748	Yes
Chestnut Place	-	\$693	\$797	Yes
Griffin Park Apartments	\$485	\$580	\$600	No
Northeast Pointe Apartments	-	\$505	\$550	No
Sadie's Landing	-	\$570	\$645	No
Average	\$553	\$605	\$668	

The Subject will offer one, two, and three-bedroom units restricted to 50 and 60 percent of AMI. The Subject property and all of the comparables are located in rural areas as determined by USDA. Thus, the Subject and each of the comparables are held to the national non-metropolitan maximum allowable levels. It should be noted that the Subject’s Low HOME maximum allowable rents are below the 50 percent LIHTC maximum allowable rents. Low HOME rents are set at the lower of the two maximum allowable rents; thus, the Low HOME rents at the Subject are set at the Low HOME maximum allowable levels. The Subject’s proposed one-bedroom rent at 50 percent AMI as well as its one, two, and three-bedroom Low HOME rents will be set at the maximum allowable levels, while its two and three-bedroom rents at 50 percent AMI as well as its one, two, and three-bedroom rents at 60 percent AMI will be set below the maximum allowable levels. As seen in the previous tables, two of the comparables offering units at the 50 and 60 percent of AMI levels reported their rents to be at the maximum allowable levels. However, the rents at these properties appear to be below or above the maximum allowable levels. This is likely due to differences in utility allowance. Overall, Northeast Pointe Apartments, Carriage Hills, and Chestnut Place are inferior to the proposed Subject.

Northeast Pointe Apartments, the Subject’s sister property, is a family development located adjacent to the Subject site in Lumberton. This property was constructed in 2017 and exhibits good condition, which is considered slightly inferior to the anticipated excellent condition of the Subject upon completion. Northeast Pointe Apartments offers slightly inferior in-unit amenities compared to the Subject as it lacks exterior storage, which the Subject will offer. This property offers slightly inferior property amenities to the proposed Subject as it lacks a business center, which the Subject will offer. This property offers similar unit sizes to the proposed Subject. Overall, Northeast Pointe Apartments is considered inferior to the proposed Subject. According to the contact at Northeast Pointe Apartments, rents at 60 percent AMI are well below maximum allowable levels; however, the property manager noted much higher rents are achievable and that demand for affordable housing in the area is high. Further, the property is fully occupied with a waiting list of 17 households. The rents at this property appear to be well accepted in the market. We believe the Subject can achieve rents above those being achieved at Northeast Pointe Apartments.

Carriage Hills is a family development located in Lumberton, approximately 1.7 miles from the Subject site, in a similar location with respect to median income, median rent, and median home value. This property was constructed in 2012 and exhibits average condition, which is considered inferior to the anticipated excellent

condition of the Subject upon completion. Carriage Hills offers similar in-unit and property amenities to the proposed Subject. This property offers similar unit sizes to the proposed Subject. Overall, Carriage Hills is considered inferior to the proposed Subject. According to the contact at Carriage Hills, the two vacant units at the property are being processed from a waiting list of 60 households. The rents at this property appear to be well accepted in the market. Further, the contact at this property stated that demand for affordable housing in the area is strong. We believe the Subject can achieve rents above those being achieved at Carriage Hills.

Chestnut Place is a family development located in Lumberton, approximately 1.4 miles from the Subject site, in a similar location with respect to median income, median rent, and median home value. This property was originally constructed in 1998 and exhibits average condition, which is considered inferior to the anticipated excellent condition of the Subject upon completion. Chestnut Place offers slightly inferior in-unit amenities to the proposed Subject as it lacks exterior storage, which the Subject will offer. This property offers similar property amenities to the proposed Subject. This property offers similar unit sizes to the proposed Subject. Overall, Chestnut Place is considered inferior to the proposed Subject. Chestnut Place is fully occupied with a waiting list of ten households, indicating demand for affordable housing in the market. The rents at this property appear to be well accepted in the market. We believe the Subject can achieve rents above those being achieved at Chestnut Place. As such, we believe the Subject’s proposed rents at 50 and 60 percent AMI are reasonable and achievable as proposed.

The following table illustrates the Subject’s proposed rents compared to rents being achieved by comparable market rate properties.

SUBJECT COMPARISON TO MARKET RENTS

Unit Type	Subject Proposed Rent	Surveyed Min	Surveyed Max	Surveyed Average	Subject Rent Advantage
1BR @50%	\$502	\$545	\$856	\$697	28%
1BR @50% (HOME)	\$429	\$545	\$856	\$697	38%
1BR @60%	\$560	\$545	\$856	\$697	20%
2BR @50%	\$610	\$604	\$1,204	\$920	34%
2BR @50% (HOME)	\$564	\$604	\$1,204	\$920	39%
2BR @60%	\$675	\$604	\$1,204	\$920	27%
3BR @50%	\$675	\$673	\$1,363	\$1,051	36%
3BR @50% (HOME)	\$650	\$673	\$1,363	\$1,051	38%
3BR @60%	\$750	\$673	\$1,363	\$1,051	29%

The Subject’s proposed rents for all unit types and AMI levels are below the average rents being achieved by the market rate comparables. However, its proposed rents for its two-bedroom units at 50 percent AMI and its one, two, and three-bedroom units at 60 percent AMI are above the minimum rents being achieved by the market rate comparables. This is reasonable as much of the market rate housing stock in the immediate area is vastly inferior to the proposed Subject. Town Village Apartments has the lowest one, two, and three-bedroom rents in the conventional rental market. Town Village Apartments is located in Lumberton, approximately 1.9 miles from the Subject site, in a similar location relative to the Subject. Town Village Apartments was constructed in 1978 and exhibits fair condition, which is inferior to the anticipated excellent condition of the Subject upon completion. This property offers similar in-unit amenities when compared to the proposed Subject. Town Village Apartments offers inferior community amenities compared to the Subject as it lacks a business center, community room, and central laundry facilities, which the proposed Subject will offer. Town Village Apartments offers similar unit sizes compared to the proposed Subject. Overall, Town Village Apartments is inferior to the proposed Subject. Therefore, we believe the Subject’s proposed rents are reasonable above the current rents at this property. The Subject offers one, two, and three-bedroom rents higher than the rents at Town Village Apartments. It should be noted that this property

is reportedly fully occupied. The property's strong performance indicates that the current rents are achievable. Given the Subject's superior amenity package and condition to the majority of the comparable market rate properties in the PMA, we believe the Subject will offer value in the local market.

As a newly constructed property, the Subject will be most similar to King's Quarters at Jack Britt, which was constructed in 2014 and exhibits good condition, which is slightly inferior to the anticipated excellent condition of the proposed Subject upon completion. This property is achieving the highest two and three-bedroom rents in the market and is fully occupied. The strong performance indicates that the current rents are achievable. The Subject's proposed LIHTC rents will have a rent advantage ranging from 40 to 53 percent over the current rents at this property and will offer value in the local market.

2. Long Term Impact on Existing LIHTC Properties in PMA

Capture rates for the Subject are considered low to moderate for all bedroom types and AMI levels. If allocated, the Subject will be similar to superior to the existing LIHTC housing stock. The average LIHTC vacancy rate is healthy at 1.3 percent overall, which is considered low. Of the five LIHTC properties, only two have any vacancies. The remaining three LIHTC comparables report full occupancy. According to the contact at Carriage Hills, the two vacant units at the property are being processed from a waiting list of 60 households. Our contact at Griffin Park stated that the two vacant units are both currently down for carpet replacement, but will be processed from a waiting list of 494 households once they are complete. All five of the LIHTC comparables report maintaining waiting lists. The low vacancy rates among the LIHTC comparables coupled with the presence of waiting lists indicates strong demand for affordable housing in the local market.

Five properties were allocated in the Subject's PMA since 2019.

- Meadow Branch Apartments was allocated in 2019 for the development of 72 LIHTC units targeting families. Construction is expected to be completed in April 2021. This development will be located approximately 1.2 miles west of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50 and 60 percent AMI levels. There will be 28 units restricted to households earning 50 percent of the AMI or less and 44 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.
- Roberts Landing was allocated in 2019 for the rehabilitation of an existing Rural Development property named Brierwood Apartments, which consists of 64 one and two-bedroom units targeting families. Renovations are expected to be completed in March 2022. This development is located approximately 0.5 miles west of the Subject site in Lumberton. Post renovation, 62 units will continue to operate with Rural Development subsidies, where residents pay 30 percent of their income towards rent. The remaining one, one-bedroom unit and one, two-bedroom unit will not have a subsidy and will be restricted to households earning 60 percent of AMI or less. As this property is the renovation of an existing property with rental assistance, we have not deducted these units in our demand analysis.
- Wind Crest Senior Living was allocated in 2019 for the development of 66 LIHTC units targeting seniors. Construction is expected to be completed in 2022. This development will be located approximately 0.9 miles southwest of the Subject site in Lumberton. The property will offer one and two-bedroom units restricted to the 60 percent AMI level. This property will target a different tenancy than the Subject and will not be considered directly competitive. As such, we have not deducted these units in our demand analysis.
- River Highlands was allocated in 2020 for the development of 64 LIHTC units targeting families. Construction is expected to be completed in fall 2022. This development will be located approximately 0.7 miles north of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50, 60, and 80 percent AMI levels. There will be 27 units restricted to households earning 50 percent of the AMI or less and 24 units restricted to households earning 60 percent of the

AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.

- Williams Landing was allocated in 2020 for the rehabilitation of an existing Rural Development property named Oakwood Manor, which consists of 48 one and two-bedroom units targeting families. Renovations are expected to be completed in June 2022. This development is located approximately 0.5 miles west of the Subject site in Lumberton. Post renovation, 47 units will continue to operate with Rural Development subsidies, where residents pay 30 percent of their income towards rent. The remaining one, two-bedroom unit will not have a subsidy and will be restricted to households earning 60 percent of AMI or less. As this property is the renovation of an existing property with rental assistance, we have not deducted these units in our demand analysis.

We do not believe that the addition of the Subject to the market will impact the three new LIHTC properties or the existing LIHTC properties that are in overall average condition and currently performing well.

3. Comparable Property Profiles

The comparable properties are further profiled in Addendum D of this report. The property descriptions include information on vacancy, turnover, absorption, age, competition, and the general health of the rental market, when available. All comparables were contacted via the phone or in person. Contact names and phone numbers, as well as many other property specifics including unit mixes, photographs, square footage, rents, any concessions, year built, amenities, vacancy rate by bedroom type, and other project specifics are also detailed in the property profiles.

The proposed Subject will offer slightly inferior to slightly superior in-unit amenities when compared to the comparable LIHTC properties as it will offer exterior storage, which some of the comparables lack. However, the Subject will lack balconies/patios, which some of the comparables offer. The proposed Subject will offer slightly inferior to slightly superior property amenities in comparison to the LIHTC comparables as it will not offer a business center, though it will offer an exercise facility. Overall, we believe that the proposed amenities will allow the Subject to effectively compete in the LIHTC market.

The proposed Subject will offer one, two, and three-bedroom units restricted to 50 and 60 percent of AMI. The Subject property and all of the comparables are located in rural areas as determined by USDA. Thus, the Subject and each of the comparables are held to the national non-metropolitan maximum allowable levels. It should be noted that the Subject's Low HOME maximum allowable rents are below the 50 percent LIHTC maximum allowable rents. Low HOME rents are set at the lower of the two maximum allowable rents; thus, the Low HOME rents at the Subject are set at the Low HOME maximum allowable levels. The Subject's proposed one-bedroom rent at 50 percent AMI as well as its one, two, and three-bedroom Low HOME rents will be set at the maximum allowable levels. While its two and three-bedroom rents at 50 percent AMI as well as its one, two, and three-bedroom rents at 60 percent AMI will be set below the maximum allowable levels. As seen in the previous tables, two of the comparables offering units at the 50 and 60 percent of AMI levels reported their rents to be at the maximum allowable levels. However, the rents at these properties appear to be below or above the maximum allowable levels. This is likely due to differences in utility allowance. The Subject's proposed rents for all unit types and AMI levels are below the average rents being achieved by the market rate comparables. However, its proposed rents for its two-bedroom units at 50 percent AMI and its one, two, and three-bedroom units at 60 percent AMI are above the minimum rents being achieved by the market rate comparables. This is reasonable as much of the market rate housing stock in the immediate area is vastly inferior to the proposed Subject. Further, given the Subject's superior amenity package and condition to the majority of the comparable market rate properties in the PMA, we believe the Subject will offer value in the local market.

4. Additional Phase

The Subject is a phase of an existing development known as Northeast Pointe Apartments. The first phase has been included as a comparable in our analysis. The property manager at Northeast Pointe Apartments Phase I reports the property is fully occupied with a waiting list of 17 households for all units. According to the property manager, this first phase of the project was stabilized approximately five months after completion, for an absorption pace of approximately 13 units per month. It should be noted that the contact stated rents at 60 percent AMI are well below maximum allowable levels; however, the property manager noted much higher rents are achievable and that demand for affordable housing in the area is high. Additional information about this property can be found in the property profile in the addenda of this report.

5. Properties Proposed or Under Construction

The following section details properties currently planned, proposed or under construction.

Meadow Branch Apartments

- a. Location: 2015 E Elizabethtown Road, Lumberton, NC
- b. Owner: Fred G. Mills Sr.
- c. Total number of units: 72 units
- d. Unit configuration: One, two, and three-bedroom units
- e. Rent structure: 50 and 60 percent AMI
- f. Estimated market entry: April 2021
- g. Relevant information: This project is currently under construction. There will be 28 units restricted to households earning 50 percent of the AMI or less and 44 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.

Wind Crest Senior Living

- a. Location: Northern side of East 5th Street, Lumberton, NC
- b. Owner: Pendergraph Development, LLC
- c. Total number of units: 66 units
- d. Unit configuration: One and two-bedroom units
- e. Rent structure: 60 percent AMI
- f. Estimated market entry: 2022
- g. Relevant information: This project is currently under construction. This property will target a different tenancy than the Subject and will not be considered directly competitive. As such, we have not deducted these units in our demand analysis.

River Highlands

- a. Location: 3450 Elizabethtown Road, Lumberton, NC
- b. Owner: MC Morgan & Associates, Inc.
- c. Total number of units: 64 units
- d. Unit configuration: One, two, and three-bedroom units
- e. Rent structure: 50, 60, and 80 percent AMI
- f. Estimated market entry: Fall 2022
- g. Relevant information: Currently a proposed project. There will be 27 units restricted to households earning 50 percent of the AMI or less and 24 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.

I. INTERVIEWS

INTERVIEWS

The following section details interviews with local market participants regarding the housing market.

Planning

We attempted to speak with a representative with the Lumberton Planning & Neighborhood Services Department. As of the date of this report, our calls and voicemail have not been returned. We also researched North Carolina Housing Finance Agency (NCHFA) LIHTC allocation lists and utilized a CoStar new construction report and found the following properties currently planned, proposed, or under construction in the Subject’s PMA.

PLANNED DEVELOPMENT

Property Name	Rent Structure	Tenancy	Total Units	Competitive Units	LIHTC Allocation Year	Construction Status
Meadow Branch Apartments	LIHTC	Family	72	72	2019	Under construction
Wind Crest Senior Living	LIHTC	Senior	66	0	2019	Under construction
River Highlands	LIHTC	Family	64	51	2020	Proposed
Totals			202	123		

Source: CoStar and NCHFA, March 2021

- Meadow Branch Apartments was allocated in 2019 for the development of 72 LIHTC units targeting families. Construction is expected to be completed in April 2021. This development will be located approximately 1.2 miles west of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50 and 60 percent AMI levels. There will be 28 units restricted to households earning 50 percent of the AMI or less and 44 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.
- Wind Crest Senior Living was allocated in 2019 for the development of 66 LIHTC units targeting seniors. Construction is expected to be completed in 2022. This development will be located approximately 0.9 miles southwest of the Subject site in Lumberton. The property will offer one and two-bedroom units restricted to the 60 percent AMI level. This property will target a different tenancy than the Subject and will not be considered directly competitive. As such, we have not deducted these units in our demand analysis.
- River Highlands was allocated in 2020 for the development of 64 LIHTC units targeting families. Construction is expected to be completed in fall 2022. This development will be located approximately 0.7 miles north of the Subject site in Lumberton. The property will offer one, two, and three-bedroom units restricted to the 50, 60, and 80 percent AMI levels. There will be 27 units restricted to households earning 50 percent of the AMI or less and 24 units restricted to households earning 60 percent of the AMI or less. These units will be considered directly competitive with the Subject. As such, these units have been deducted from our demand analysis.

Section 8/Public Housing

We interviewed Mr. Steven Harrell, Chief Operations Officer with the Lumberton Housing Authority. According to Mr. Harrell, the Lumberton Housing Authority is the agency responsible for managing the Housing Choice Voucher program in all of Robeson County. The Lumberton Housing Authority is allotted 596 vouchers, 518 of which are currently utilized. According to Mr. Harrell, the waiting list for vouchers was last open in October 2020, and is currently closed. There are currently over 1,000 households on the waiting list. The following table illustrates the current payment standards for the program as of January 2020, the most recent available.

PAYMENT STANDARDS

Unit Type	Payment Standard
One-Bedroom	\$561
Two-Bedroom	\$705
Three-Bedroom	\$879

Source: Lumberton Housing Authority, effective January 1, 2020

All of the Subject’s units are below the current payment standards. Thus, tenants utilizing vouchers will not be required to pay out of pocket.

Property Managers

The results from our interviews with property managers are included in the comments section of the property profile reports. In addition, the following are two of the more poignant interviews we conducted with property managers in the area regarding demand for new affordable housing.

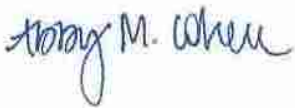
Management at several of the LIHTC properties in Lumberton, such as Northeast Pointe Apartments and Sadie’s Landing, reported high occupancy rates and waiting lists. Additionally, they noted that the majority of their tenants are from Lumberton but it is not uncommon for families and individuals from other towns in Robeson County, as well as Fayetteville, to travel to Lumberton for an affordable living option. Management at these properties also stated that demand for affordable housing options in the area is high.

Our contacts at The North View and Town Village Apartments, market rate developments near the Subject, stated that many of their tenants are from greater Robeson County, inclusive of St. Pauls, Red Springs, and Fairmont.

J. SIGNED STATEMENT REQUIREMENTS

I affirm the following:

- I, or an individual from my company listed below, have made a physical inspection of the site and market area and that information has been used in the study.
- I have followed the Agency's market study requirements.
- To the best of my knowledge, all information included is accurate and that the report can be relied upon by the Agency to present a true assessment of the market.
- I understand that any misrepresentation of this statement may result in the denial of further participation in the Agency's rental housing programs.
- I have no interest in the project or relationship with the Applicant, developer, ownership entity, or applicant preparer.



Date: March 15, 2021

Abby Cohen
Partner
Abby.Cohen@novoco.com



Date: March 15, 2021

Brian Neukam
Manager
Brian.Neukam@novoco.com



Date: March 15, 2021

Brinton Noble
Analyst
Brinton.Noble@novoco.com



Date: March 15, 2021

Jay Cole
Junior Analyst
Jay.Cole@novoco.com

ADDENDUM A
Assumptions and Limiting Conditions

ASSUMPTIONS AND LIMITING CONDITIONS

1. In the event that the client provided a legal description, building plans, title policy and/or survey, etc., the market analyst has relied extensively upon such data in the formulation of all analyses.
2. The legal description as supplied by the client is assumed to be correct and the author assumes no responsibility for legal matters, and renders no opinion of property title, which is assumed to be good and merchantable.
3. All encumbrances, including mortgages, liens, leases, and servitudes, were disregarded in this valuation unless specified in the report. It was recognized, however, that the typical purchaser would likely take advantage of the best available financing, and the effects of such financing on property value were considered.
4. All information contained in the report, which others furnished, was assumed to be true, correct, and reliable. A reasonable effort was made to verify such information, but the author assumes no responsibility for its accuracy.
5. The report was made assuming responsible ownership and capable management of the property.
6. The sketches, photographs, and other exhibits in this report are solely for the purpose of assisting the reader in visualizing the property. The author made no property survey, and assumes no liability in connection with such matters. It was also assumed there is no property encroachment or trespass unless noted in the report.
7. The author of this report assumes no responsibility for hidden or unapparent conditions of the property, subsoil or structures, or the correction of any defects now existing or that may develop in the future. Equipment components were assumed in good working condition unless otherwise stated in this report.
8. It is assumed that there are no hidden or unapparent conditions for the property, subsoil, or structures, which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering, which may be required to discover such factors.
9. The investigation made it reasonable to assume, for report purposes, that no insulation or other product banned by the Consumer Product Safety Commission has been introduced into the Subject premises. Visual inspection by the market analyst did not indicate the presence of any hazardous waste. It is suggested the client obtain a professional environmental hazard survey to further define the condition of the Subject soil if they deem necessary.
10. Any distribution of total property value between land and improvements applies only under the existing or specified program of property utilization. Separate valuations for land and buildings must not be used in conjunction with any other study or market study and are invalid if so used.
11. Possession of the report, or a copy thereof, does not carry with it the right of publication, nor may it be reproduced in whole or in part, in any manner, by any person, without the prior written consent of the author particularly as to value conclusions, the identity of the author or the firm with which he or she is connected. Neither all nor any part of the report, or copy thereof shall be disseminated to the general public by the use of advertising, public relations, news, sales, or other media for public communication without the prior written consent and approval of the market analyst. Nor shall the market analyst,

firm, or professional organizations of which the market analyst is a member be identified without written consent of the market analyst.

12. Disclosure of the contents of this report is governed by the Bylaws and Regulations of the professional organization with which the market analyst is affiliated.
13. The author of this report is not required to give testimony or attendance in legal or other proceedings relative to this report or to the Subject property unless satisfactory additional arrangements are made prior to the need for such services.
14. The opinions contained in this report are those of the author and no responsibility is accepted by the author for the results of actions taken by others based on information contained herein.
15. Opinions of value contained herein are estimates. There is no guarantee, written or implied, that the Subject property will sell or lease for the indicated amounts.
16. All applicable zoning and use regulations and restrictions are assumed to have been complied with, unless nonconformity has been stated, defined, and considered in the market study report.
17. It is assumed that all required licenses, permits, covenants or other legislative or administrative authority from any local, state, or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based.
18. On all studies, Subject to satisfactory completion, repairs, or alterations, the report and conclusions are contingent upon completion of the improvements in a workmanlike manner and in a reasonable period of time.
19. All general codes, ordinances, regulations or statutes affecting the property have been and will be enforced and the property is not Subject to flood plain or utility restrictions or moratoriums, except as reported to the market analyst and contained in this report.
20. The party for whom this report is prepared has reported to the market analyst there are no original existing condition or development plans that would Subject this property to the regulations of the Securities and Exchange Commission or similar agencies on the state or local level.
21. Unless stated otherwise, no percolation tests have been performed on this property. In making the market study, it has been assumed the property is capable of passing such tests so as to be developable to its highest and best use.
22. No in-depth inspection was made of existing plumbing (including well and septic), electrical, or heating systems. The market analyst does not warrant the condition or adequacy of such systems.
23. No in-depth inspection of existing insulation was made. It is specifically assumed no Urea Formaldehyde Foam Insulation (UFFI), or any other product banned or discouraged by the Consumer Product Safety Commission has been introduced into the property. The market analyst reserves the right to review and/or modify this market study if said insulation exists on the Subject property.
24. Estimates presented in this report are assignable to parties to the development's financial structure.

ADDENDUM B
Subject and Neighborhood Photographs

Photographs of Subject Site and Surrounding Uses



View northeast along Harrill Road



View southwest along Harrill Road



House of worship east from the Subject site



Mobile home community north from the Subject site



Northeast Pointe Apartments south from the Subject site



Vacant land west from the Subject site



View of the Subject site



View of the Subject site



View of the Subject site



View of the Subject site



View of the Subject site



View of the Subject site

ADDENDUM C
PMA Acceptance from NCHFA

Brinton Noble

From: Tara Hall <tshall@nchfa.com>
Sent: Wednesday, February 17, 2021 9:46 AM
To: Brian Neukam
Cc: Abby Cohen; Brinton Noble
Subject: RE: PMA Letters Robeson County

CAUTION: This email originated from outside of the Novogradac & Company LLP email system. Do not click on links or open attachments unless you were expecting this email.

Good morning,

The Agency has reviewed and is in agreement with the pma designations.

Thanks

Tara

From: Brian Neukam <Brian.Neukam@NOVOCO.COM>
Sent: Monday, February 15, 2021 4:33 PM
To: Tara Hall <tshall@nchfa.com>
Cc: Abby Cohen <Abby.Cohen@novoco.com>; Brinton Noble <Brinton.Noble@NOVOCO.COM>
Subject: PMA Letters Robeson County

Hi Tara-

Please find the PMA letters for the above-referenced at the following link:

<https://novoco.sharefile.com/d-s3f2a529a86a94e0db37a95550d248d60>

Thank you,



Brian Neukam
Manager
Novogradac & Company LLP

678.339.3669
|| brian.neukam@novoco.com
|| www.novoco.com
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ADDENDUM D
Comparable Property Profiles

PROPERTY PROFILE REPORT

Carriage Hills

Effective Rent Date	2/04/2021
Location	1050 Linkhaw Rd Lumberton, NC 28358 Robeson County
Distance	1.7 miles
Units	72
Vacant Units	2
Vacancy Rate	2.8%
Type	Garden (2 stories)
Year Built/Renovated	2012 / N/A
Marketing Began	N/A
Leasing Began	3/01/2012
Last Unit Leased	8/30/2012
Major Competitors	Griffin Park Apartments
Tenant Characteristics	Mixed tenancy from the Lumberton, Red Springs, and Fairmont areas
Contact Name	April Hunt
Phone	910-608-0055



Market Information

Program	@50%, @60%
Annual Turnover Rate	13%
Units/Month Absorbed	12
HCV Tenants	32%
Leasing Pace	Within one week
Annual Chg. in Rent	Increased up to seven percent
Concession	None
Waiting List	Yes; 60 households

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	4	727	\$473	\$0	@50%	Yes	0	0.0%	yes	None
1	1	Garden (2 stories)	4	727	\$575	\$0	@60%	Yes	0	0.0%	yes	None
2	1	Garden (2 stories)	24	941	\$550	\$0	@50%	Yes	0	0.0%	yes	None
2	1	Garden (2 stories)	24	941	\$625	\$0	@60%	Yes	2	8.3%	yes	None
3	2	Garden (2 stories)	8	1,160	\$628	\$0	@50%	Yes	0	0.0%	yes	None
3	2	Garden (2 stories)	8	1,160	\$675	\$0	@60%	Yes	0	0.0%	yes	None

Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$473	\$0	\$473	\$45	\$518	1BR / 1BA	\$575	\$0	\$575	\$45	\$620
2BR / 1BA	\$550	\$0	\$550	\$54	\$604	2BR / 1BA	\$625	\$0	\$625	\$54	\$679
3BR / 2BA	\$628	\$0	\$628	\$73	\$701	3BR / 2BA	\$675	\$0	\$675	\$73	\$748

Carriage Hills, continued

Amenities

In-Unit		Security	Services
Blinds	Carpeting	Video Surveillance	None
Central A/C	Coat Closet		
Dishwasher	Exterior Storage		
Ceiling Fan	Hand Rails		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Central Laundry	Off-Street Parking		
On-Site Management	Picnic Area		
Playground			

Comments

The contact stated the two vacancies are being processed from the waiting list. Additionally, the contact stated that demand for affordable housing in the area is strong. The contact reported a slight increase in delinquencies in response to the COVID-19 pandemic. However, all the delinquent tenants are currently on payment plans.

Photos



PROPERTY PROFILE REPORT

Chestnut Place

Effective Rent Date	2/10/2021
Location	1130 Furman Drive Lumberton, NC 28358 Robeson County
Distance	1.4 miles
Units	48
Vacant Units	0
Vacancy Rate	0.0%
Type	Townhouse (2 stories)
Year Built/Renovated	1998 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Sadie's Landing and Carriage Hills
Tenant Characteristics	Mixed tenancy from the Lumberton and Fayetteville area; six percent senior
Contact Name	Candace
Phone	(910) 739-6087



Market Information

Program	@50%, @60%
Annual Turnover Rate	6%
Units/Month Absorbed	N/A
HCV Tenants	25%
Leasing Pace	Pre-leased
Annual Chg. in Rent	Kept at max
Concession	None
Waiting List	Yes; ten households

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	1	Townhouse (2 stories)	12	850	\$557	\$0	@50%	Yes	0	0.0%	yes	None
2	1	Townhouse (2 stories)	12	850	\$693	\$0	@60%	Yes	0	0.0%	yes	None
3	1.5	Townhouse (2 stories)	12	1,068	\$639	\$0	@50%	Yes	0	0.0%	yes	None
3	1.5	Townhouse (2 stories)	12	1,068	\$797	\$0	@60%	Yes	0	0.0%	yes	None

Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 1BA	\$557	\$0	\$557	\$0	\$557	2BR / 1BA	\$693	\$0	\$693	\$0	\$693
3BR / 1.5BA	\$639	\$0	\$639	\$0	\$639	3BR / 1.5BA	\$797	\$0	\$797	\$0	\$797

Chestnut Place, continued

Amenities

In-Unit		Security	Services
Blinds	Carpeting	None	Afterschool Program
Central A/C	Coat Closet		
Oven	Refrigerator		
Washer/Dryer hookup			
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Central Laundry	Off-Street Parking		
On-Site Management	Picnic Area		
Playground			

Comments

The contact reported demand for rental housing in the area was high. Overall, the contact did not report any significant impact to the property as a result of the COVID-19 pandemic.

Photos



PROPERTY PROFILE REPORT

Griffin Park Apartments

Effective Rent Date	2/19/2021
Location	1960 N Roberts Ave Lumberton, NC 28358 Robeson County
Distance	1.4 miles
Units	72
Vacant Units	2
Vacancy Rate	2.8%
Type	Garden (2 stories)
Year Built/Renovated	2019 / N/A
Marketing Began	N/A
Leasing Began	3/18/2019
Last Unit Leased	5/18/2019
Major Competitors	None identified
Tenant Characteristics	None identified
Contact Name	Teasia
Phone	910-802-4180



Market Information

Program	@60%
Annual Turnover Rate	N/A
Units/Month Absorbed	36
HCV Tenants	47%
Leasing Pace	Within two weeks
Annual Chg. in Rent	None
Concession	None
Waiting List	Yes; 494 households

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	2	705	\$485	\$0	@60%	Yes	N/A	N/A	no	None
1	1	Garden (2 stories)	6	967	\$485	\$0	@60%	Yes	N/A	N/A	no	None
2	2	Garden (2 stories)	17	967	\$495	\$0	@60%	Yes	N/A	N/A	no	None
2	2	Garden (2 stories)	17	967	\$580	\$0	@60%	Yes	N/A	N/A	no	None
3	2	Garden (2 stories)	15	1,126	\$550	\$0	@60%	Yes	N/A	N/A	no	None
3	2	Garden (2 stories)	15	1,126	\$600	\$0	@60%	Yes	N/A	N/A	no	None

Unit Mix

@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$485	\$0	\$485	\$0	\$485
2BR / 2BA	\$495 - \$580	\$0	\$495 - \$580	\$0	\$495 - \$580
3BR / 2BA	\$550 - \$600	\$0	\$550 - \$600	\$0	\$550 - \$600

Griffin Park Apartments, continued

Amenities

In-Unit		Security	Services
Blinds	Carpeting	None	None
Central A/C	Coat Closet		
Dishwasher	Exterior Storage		
Ceiling Fan	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer hookup			
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Exercise Facility	Central Laundry		
Off-Street Parking	On-Site Management		
Picnic Area	Playground		

Comments

The property was completed March 2019, and was fully leased within two months of completion. Demand was reported to be very strong for affordable housing in the area, which is attributed to a housing shortage. The two vacant units are currently down for carpet replacement, but will be processed from the waiting list once they are complete. There are two different rent tiers for the two and three-bedroom units. The lower tier rents are deliberately set by the developer in order to attract income-qualified tenants who cannot afford to pay the higher tier rents. Rents are set to increase up to 3.5 percent in April 2021. The contact stated that higher rents are achievable in the area, referencing the upcoming rent increase as well as the extensive waiting list at the property. The manager receives approximately six to seven inquiries a day from prospective tenants. According to the manager, the property has not been affected by COVID-19 pandemic.

Photos



PROPERTY PROFILE REPORT

Northeast Pointe Apartments

Effective Rent Date	2/22/2021
Location	175 Harrill Road Lumberton, NC 28358 Robeson County
Distance	N/A
Units	64
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	2017 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mixed tenancy from the Lumberton and Fayetteville area
Contact Name	Jamie
Phone	910.785.8021



Market Information

Program	@50%, @60%
Annual Turnover Rate	N/A
Units/Month Absorbed	13
HCV Tenants	N/A
Leasing Pace	Pre-leased
Annual Chg. in Rent	None
Concession	None
Waiting List	Yes; 17 households

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	2	Garden (2 stories)	36	1,001	\$505	\$0	@50%	Yes	0	0.0%	no	None
2	2	Garden (2 stories)	N/A	1,001	\$505	\$0	@60%	Yes	0	N/A	no	None
3	2	Garden (2 stories)	28	1,164	\$550	\$0	@50%	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	N/A	1,164	\$550	\$0	@60%	Yes	0	N/A	no	None

Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 2BA	\$505	\$0	\$505	\$0	\$505	2BR / 2BA	\$505	\$0	\$505	\$0	\$505
3BR / 2BA	\$550	\$0	\$550	\$0	\$550	3BR / 2BA	\$550	\$0	\$550	\$0	\$550

Northeast Pointe Apartments, continued

Amenities

In-Unit		Security	Services
Blinds	Carpeting	None	None
Central A/C	Coat Closet		
Dishwasher	Ceiling Fan		
Garbage Disposal	Oven		
Refrigerator	Washer/Dryer hookup		
Property		Premium	Other
Clubhouse/Meeting Room/Community	Central Laundry	None	None
Off-Street Parking	On-Site Management		
Picnic Area	Playground		

Comments

Northeast Pointe was completed in 2017 and was reportedly stabilized within five months of completion. Rents at 60 percent AMI are well below maximum allowable levels; however, the property manager noted much higher rents are achievable and that demand for affordable housing in the area is high.

Photos



PROPERTY PROFILE REPORT

Sadie's Landing

Effective Rent Date	2/05/2021
Location	2330 Mcphail Rd Lumberton, NC 28358 Robeson County
Distance	0.4 miles
Units	60
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	2009 / N/A
Marketing Began	N/A
Leasing Began	6/29/2009
Last Unit Leased	10/28/2009
Major Competitors	Carriage Hills, Chesnut Place (sister property)
Tenant Characteristics	Mixed tenancy from the Lumberton and greater Robeson County areas
Contact Name	Diane Hunt
Phone	910-738-5400



Market Information

Program	@50%, @60%
Annual Turnover Rate	10%
Units/Month Absorbed	15
HCV Tenants	10%
Leasing Pace	Within one week
Annual Chg. in Rent	Increased four to five percent
Concession	None
Waiting List	Yes; four households

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	1	Garden (2 stories)	22	920	\$540	\$0	@50%	Yes	0	0.0%	no	None
2	1	Garden (2 stories)	22	920	\$570	\$0	@60%	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	8	1,207	\$600	\$0	@50%	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	8	1,207	\$645	\$0	@60%	Yes	0	0.0%	no	None

Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 1BA	\$540	\$0	\$540	\$0	\$540	2BR / 1BA	\$570	\$0	\$570	\$0	\$570
3BR / 2BA	\$600	\$0	\$600	\$0	\$600	3BR / 2BA	\$645	\$0	\$645	\$0	\$645

Sadie's Landing, continued

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	None	None
Carpeting	Central A/C		
Coat Closet	Dishwasher		
Exterior Storage	Ceiling Fan		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Courtyard	Central Laundry		
Off-Street Parking	On-Site Management		
Picnic Area	Playground		

Comments

Rents were reported to be below maximum allowable levels, priced to what the market can bear. The manager reports demand has increased in the past year during the COVID-19 pandemic.

Photos



PROPERTY PROFILE REPORT

Britt Lake Apartment Homes

Effective Rent Date	2/05/2021
Location	2920 Cosmo Place Fayetteville, NC 28304 Cumberland County
Distance	26.2 miles
Units	216
Vacant Units	4
Vacancy Rate	1.9%
Type	Garden (2 stories)
Year Built/Renovated	2007 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	None identified
Contact Name	Brintini
Phone	910-323-2001



Market Information

Program	Market
Annual Turnover Rate	33%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Increased up to ten percent
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	64	650	\$811	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (2 stories)	56	1,100	\$913	\$0	Market	No	4	7.1%	N/A	None
3	2	Garden (2 stories)	96	1,300	\$1,015	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$811	\$0	\$811	\$45	\$856
2BR / 2BA	\$913	\$0	\$913	\$54	\$967
3BR / 2BA	\$1,015	\$0	\$1,015	\$73	\$1,088

Britt Lake Apartment Homes, continued

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	In-Unit Alarm	None
Carpeting	Central A/C		
Coat Closet	Dishwasher		
Exterior Storage	Ceiling Fan		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Exercise Facility	Garage(\$100.00)		
Central Laundry	Off-Street Parking		
On-Site Management	Playground		
Swimming Pool			

Comments

The property manager provided a limited interview that included the rents and vacancy information only.

Photos



PROPERTY PROFILE REPORT

Deacon's Ridge

Effective Rent Date	2/05/2021
Location	3712 Cliffridge Dr Lumberton, NC 28358 Robeson County
Distance	1.6 miles
Units	10
Vacant Units	0
Vacancy Rate	0.0%
Type	Townhouse (2 stories)
Year Built/Renovated	2007 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	None identified
Contact Name	Danny Freeman
Phone	910-739-7278



Market Information

Program	Market
Annual Turnover Rate	10%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	No change
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	not included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	2.5	Townhouse (2 stories)	4	1,200	\$825	\$0	Market	No	0	0.0%	N/A	None
3	3.5	Townhouse (2 stories)	6	1,400	\$925	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 2.5BA	\$825	\$0	\$825	\$75	\$900
3BR / 3.5BA	\$925	\$0	\$925	\$94	\$1,019

Amenities

In-Unit	Security	Services
Balcony/Patio	None	None
Carpet/Hardwood		
Coat Closet		
Exterior Storage		
Garbage Disposal		
Oven		
Walk-In Closet		
Washer/Dryer hookup		
	Premium	Other
Property	None	None
Off-Street Parking		
	On-Site Management	

Comments

The contract confirmed rents are unchanged from July 2020. The property has not been impacted by the COVID-19 pandemic.

Photos



PROPERTY PROFILE REPORT

King's Quarters At Jack Britt

Effective Rent Date	2/10/2021
Location	3831 Queen Anne Loop Fayetteville, NC 28306 Cumberland County
Distance	24.2 miles
Units	252
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (3 stories)
Year Built/Renovated	2014 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mixed tenancy with majority military families
Contact Name	Veronica
Phone	910-568-5324



Market Information

Program	Market
Annual Turnover Rate	N/A
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within one week
Annual Chg. in Rent	Stable
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	not included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	2	Garden (3 stories)	48	1,150	\$1,050	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (3 stories)	78	1,228	\$1,129	\$0	Market	No	0	0.0%	N/A	None
3	2	Garden (3 stories)	48	1,321	\$1,199	\$0	Market	No	0	0.0%	N/A	None
3	2	Garden (3 stories)	78	1,398	\$1,269	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 2BA	\$1,050 - \$1,129	\$0	\$1,050 - \$1,129	\$75	\$1,125 - \$1,204
3BR / 2BA	\$1,199 - \$1,269	\$0	\$1,199 - \$1,269	\$94	\$1,293 - \$1,363

King's Quarters At Jack Britt, continued

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	In-Unit Alarm	None
Carpet/Hardwood	Central A/C	Limited Access	
Coat Closet	Dishwasher		
Ceiling Fan	Furnishing		
Garbage Disposal	Hand Rails		
Microwave	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Car Wash	None	Dog park
Clubhouse/Meeting Room/Community	Central Laundry		
Off-Street Parking	On-Site Management		
Picnic Area	Playground		
Recreation Areas	Swimming Pool		
Wi-Fi			

Comments

The contact reported demand for rental housing in the area was high. During the COVID-19 pandemic, management has had a few residents unable to pay their rent on time. However, payment plans are in place for the delinquent tenants. The property has seen an increase in the amount of traffic and inquiries on units.

Photos



PROPERTY PROFILE REPORT

The North View (FKA Granada Terrace)

Effective Rent Date	2/08/2021
Location	3634 Fayetteville Road Lumberton, NC 28358 Robeson County
Distance	2 miles
Units	24
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	1971 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mixed tenancy from Lumberton and greater Robeson County, inclusive of St. Pauls, Red Springs, and Fairmont
Contact Name	Kathy
Phone	910-618-0373



Market Information

Program	Market
Annual Turnover Rate	50%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	No change
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	not included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
0	1	Garden (2 stories)	6	500	\$575	\$0	Market	No	0	0.0%	N/A	None
1	1	Garden (2 stories)	6	700	\$625	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (2 stories)	6	900	\$644	\$0	Market	No	0	0.0%	N/A	None
3	2	Garden (2 stories)	6	1,100	\$775	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
Studio / 1BA	\$575	\$0	\$575	\$63	\$638
1BR / 1BA	\$625	\$0	\$625	\$66	\$691
2BR / 2BA	\$644	\$0	\$644	\$75	\$719
3BR / 2BA	\$775	\$0	\$775	\$94	\$869

The North View (FKA Granada Terrace), continued

Amenities

In-Unit		Security	Services
Blinds	Carpeting	None	None
Central A/C	Coat Closet		
Dishwasher	Microwave		
Oven	Refrigerator		
Washer/Dryer hookup			
Property		Premium	Other
Central Laundry	Off-Street Parking	None	None
On-Site Management			

Comments

The property does not accept Housing Choice Vouchers. The contact was unable to give a breakdown of the number of units. Therefore, the unit mix portrayed in the property profile is an estimate. Overall, the contact did not report any significant impact to the property as a result of the COVID-19 pandemic.

The North View (FKA Granada Terrace), continued

Photos



PROPERTY PROFILE REPORT

Town Village Apartments

Effective Rent Date	2/08/2021
Location	1005 N Elm Street Lumberton, NC 28358 Robeson County
Distance	1.9 miles
Units	26
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden
Year Built/Renovated	1978 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mixed tenancy from Lumberton and the greater Robeson County area; 35 percent senior
Contact Name	Amy
Phone	910.738.1466



Market Information

Program	Market
Annual Turnover Rate	20%
Units/Month Absorbed	N/A
HCV Tenants	8%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Increased six percent
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden	4	840	\$500	\$0	Market	No	0	0.0%	N/A	None
2	1	Garden	18	950	\$550	\$0	Market	No	0	0.0%	N/A	None
3	1	Garden	4	1,100	\$600	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$500	\$0	\$500	\$45	\$545
2BR / 1BA	\$550	\$0	\$550	\$54	\$604
3BR / 1BA	\$600	\$0	\$600	\$73	\$673

Amenities

In-Unit	Security	Services
Balcony/Patio	None	None
Carpeting		
Garbage Disposal	Blinds	
Refrigerator	Central A/C	
	Oven	
	Washer/Dryer hookup	
Property	Premium	Other
Off-Street Parking	None	None

Comments

The contact stated they increase rent by six percent every year. The contact reported a decrease in collections and an increase in delinquent payments as a result of the COVID-19 pandemic. However, all delinquent tenants are on payment plans.

Photos

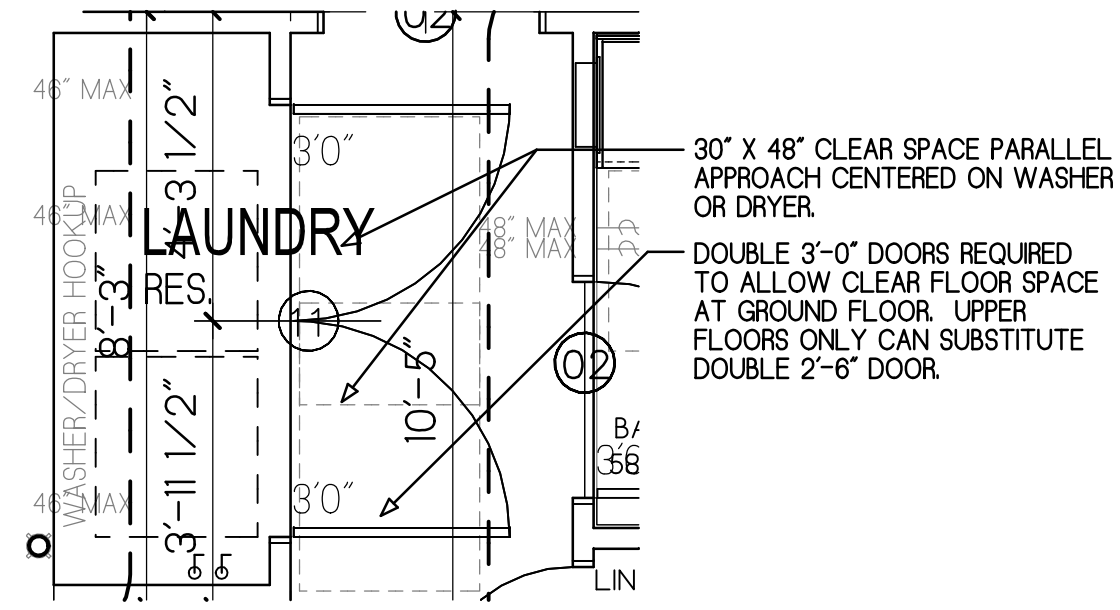


ADDENDUM E
Summary Matrix

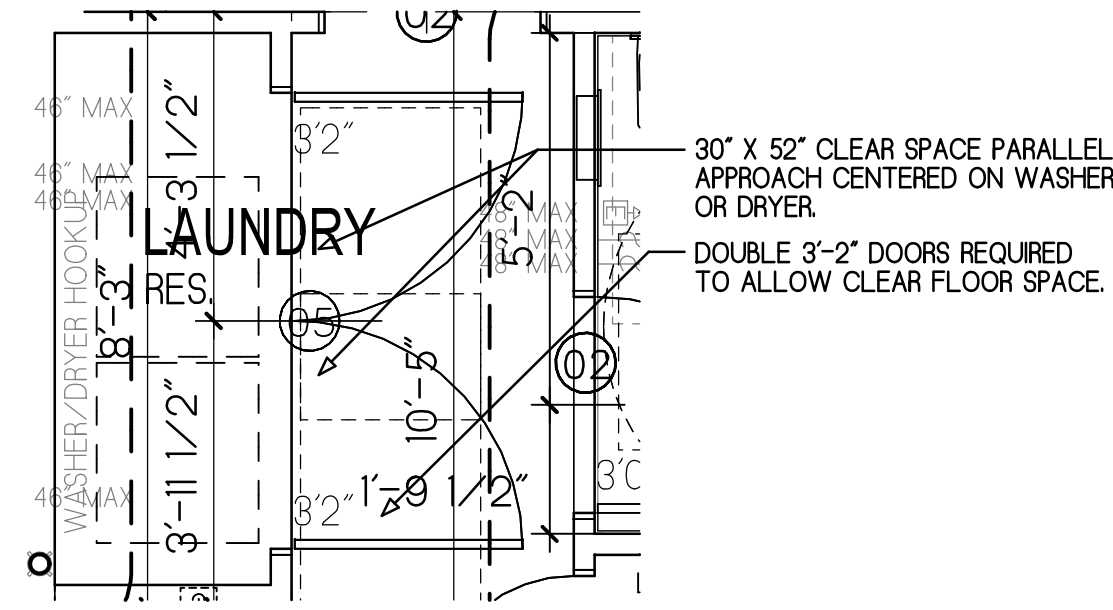
SUMMARY MATRIX

Comp #	Property Name	Distance to Subject	Type / Built / Renovated	Rent Structure	Unit Description	#	%	Size (SF)	Restriction	Rent (Adj)	Max Rent?	Waiting List?	Vacant Units	Vacancy Rate
Subject	Northeast Pointe II 219 Harrill Road Lumberton, NC 28358 Robeson County	-	Garden 2-stories 2023 / n/a Family	@50%, @50% (HOME), @60%	1BR / 1BA	4	5.6%	806	@50%	\$502	Yes	N/A	N/A	N/A
					1BR / 1BA	3	4.2%	806	@50% (HOME)	\$429	Yes	N/A	N/A	N/A
					1BR / 1BA	5	6.9%	806	@60%	\$560	No	N/A	N/A	N/A
					2BR / 2BA	9	12.5%	1,053	@50%	\$610	No	N/A	N/A	N/A
					2BR / 2BA	5	6.9%	1,053	@50% (HOME)	\$564	Yes	N/A	N/A	N/A
					2BR / 2BA	30	41.7%	1,053	@60%	\$675	No	N/A	N/A	N/A
					3BR / 2BA	5	6.9%	1,213	@50%	\$675	No	N/A	N/A	N/A
					3BR / 2BA	3	4.2%	1,213	@50% (HOME)	\$650	Yes	N/A	N/A	N/A
					3BR / 2BA	8	11.1%	1,213	@60%	\$750	No	N/A	N/A	N/A
					72							N/A	N/A	
1	Carriage Hills 1050 Linkhaw Rd Lumberton, NC 28358 Robeson County	1.7 miles	Garden 2-stories 2012 / n/a Family	@50%, @60%	1BR / 1BA	4	5.6%	727	@50%	\$518	Yes	Yes	0	0.0%
					1BR / 1BA	4	5.6%	727	@60%	\$620	Yes	Yes	0	0.0%
					2BR / 1BA	24	33.3%	941	@50%	\$604	Yes	Yes	0	0.0%
					2BR / 1BA	24	33.3%	941	@60%	\$679	Yes	Yes	2	8.3%
					3BR / 2BA	8	11.1%	1,160	@50%	\$701	Yes	Yes	0	0.0%
3BR / 2BA	8	11.1%	1,160	@60%	\$748	Yes	Yes	0	0.0%					
					72							2	2.8%	
2	Chestnut Place 1130 Furman Drive Lumberton, NC 28358 Robeson County	1.4 miles	Townhouse 2-stories 1998 / n/a Family	@50%, @60%	2BR / 1BA	12	25.0%	850	@50%	\$557	Yes	Yes	0	0.0%
					2BR / 1BA	12	25.0%	850	@60%	\$693	Yes	Yes	0	0.0%
					3BR / 1.5BA	12	25.0%	1,068	@50%	\$639	Yes	Yes	0	0.0%
					3BR / 1.5BA	12	25.0%	1,068	@60%	\$797	Yes	Yes	0	0.0%
					48							0	0.0%	
3	Griffin Park Apartments 1960 N Roberts Ave Lumberton, NC 28358 Robeson County	1.4 miles	Garden 2-stories 2019 / n/a Family	@60%	1BR / 1BA	2	2.8%	705	@60%	\$485	No	Yes	N/A	N/A
					1BR / 1BA	6	8.3%	967	@60%	\$485	No	Yes	N/A	N/A
					2BR / 2BA	17	23.6%	967	@60%	\$495	No	Yes	N/A	N/A
					2BR / 2BA	17	23.6%	967	@60%	\$580	No	Yes	N/A	N/A
					3BR / 2BA	15	20.8%	1,126	@60%	\$550	No	Yes	N/A	N/A
					3BR / 2BA	15	20.8%	1,126	@60%	\$600	No	Yes	N/A	N/A
					72							2	2.8%	
4	Northeast Pointe Apartments 175 Harrill Road Lumberton, NC 28358 Robeson County	0.0 miles	Garden 2-stories 2017 / n/a Family	@50%, @60%	2BR / 2BA	36	56.3%	1,001	@50%	\$505	No	Yes	0	0.0%
					2BR / 2BA	N/A	N/A	1,001	@60%	\$505	No	Yes	0	N/A
					3BR / 2BA	28	43.8%	1,164	@50%	\$550	No	Yes	0	0.0%
					3BR / 2BA	N/A	N/A	1,164	@60%	\$550	No	Yes	0	N/A
					64							0	0.0%	
5	Sadie's Landing 2330 Mcphail Rd Lumberton, NC 28358 Robeson County	0.4 miles	Garden 2-stories 2009 / n/a Family	@50%, @60%	2BR / 1BA	22	36.7%	920	@50%	\$540	No	Yes	0	0.0%
					2BR / 1BA	22	36.7%	920	@60%	\$570	No	Yes	0	0.0%
					3BR / 2BA	8	13.3%	1,207	@50%	\$600	No	Yes	0	0.0%
					3BR / 2BA	8	13.3%	1,207	@60%	\$645	No	Yes	0	0.0%
					60							0	0.0%	
6	Britt Lake Apartment Homes 2920 Cosmo Place Fayetteville, NC 28304 Cumberland County	26.2 miles	Garden 2-stories 2007 / n/a Family	Market	1BR / 1BA	64	29.6%	650	Market	\$856	N/A	No	0	0.0%
					2BR / 2BA	56	25.9%	1,100	Market	\$967	N/A	No	4	7.1%
					3BR / 2BA	96	44.4%	1,300	Market	\$1,088	N/A	No	0	0.0%
					216							4	1.9%	
7	Deacon's Ridge 3712 Cliffridge Dr Lumberton, NC 28358 Robeson County	1.6 miles	Townhouse 2-stories 2007 / n/a Family	Market	2BR / 2.5BA	4	40.0%	1,200	Market	\$900	N/A	No	0	0.0%
					3BR / 3.5BA	6	60.0%	1,400	Market	\$1,019	N/A	No	0	0.0%
					10								0	0.0%
8	King's Quarters At Jack Britt 3831 Queen Anne Loop Fayetteville, NC 28306 Cumberland County	24.2 miles	Garden 3-stories 2014 / n/a Family	Market	2BR / 2BA	48	19.1%	1,150	Market	\$1,125	N/A	No	0	0.0%
					2BR / 2BA	78	31.0%	1,228	Market	\$1,204	N/A	No	0	0.0%
					3BR / 2BA	48	19.1%	1,321	Market	\$1,293	N/A	No	0	0.0%
					3BR / 2BA	78	31.0%	1,398	Market	\$1,363	N/A	No	0	0.0%
					252							0	0.0%	
9	The North View (FKA Granada Terrace) 3634 Fayetteville Road Lumberton, NC 28358 Robeson County	2.0 miles	Garden 2-stories 1971 / n/a Family	Market	0BR / 1BA	6	25.0%	500	Market	\$638	N/A	No	0	0.0%
					1BR / 1BA	6	25.0%	700	Market	\$691	N/A	No	0	0.0%
					2BR / 2BA	6	25.0%	900	Market	\$719	N/A	No	0	0.0%
					3BR / 2BA	6	25.0%	1,100	Market	\$869	N/A	No	0	0.0%
					24							0	0.0%	
10	Town Village Apartments 1005 N Elm Street Lumberton, NC 28358 Robeson County	1.9 miles	Garden 1-stories 1978 / n/a Family	Market	1BR / 1BA	4	15.4%	840	Market	\$545	N/A	No	0	0.0%
					2BR / 1BA	18	69.2%	950	Market	\$604	N/A	No	0	0.0%
					3BR / 1BA	4	15.4%	1,100	Market	\$673	N/A	No	0	0.0%
					26							0	0.0%	

ADDENDUM F
Subject Floor Plans

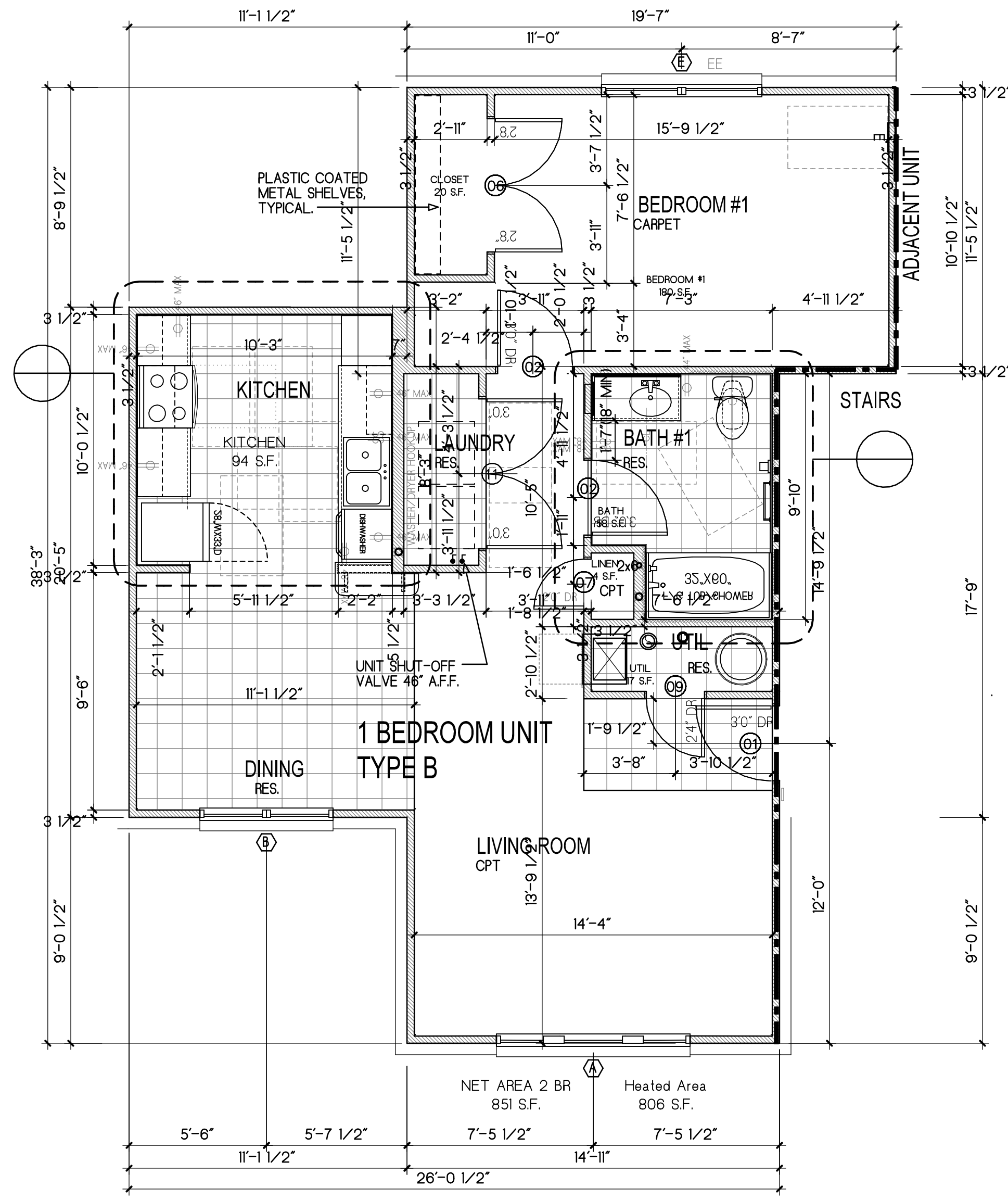
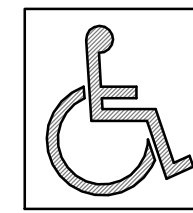


1 BR TYPE B ENLARGED LAUNDRY PLAN
SCALE: 3/8" = 1'-0"

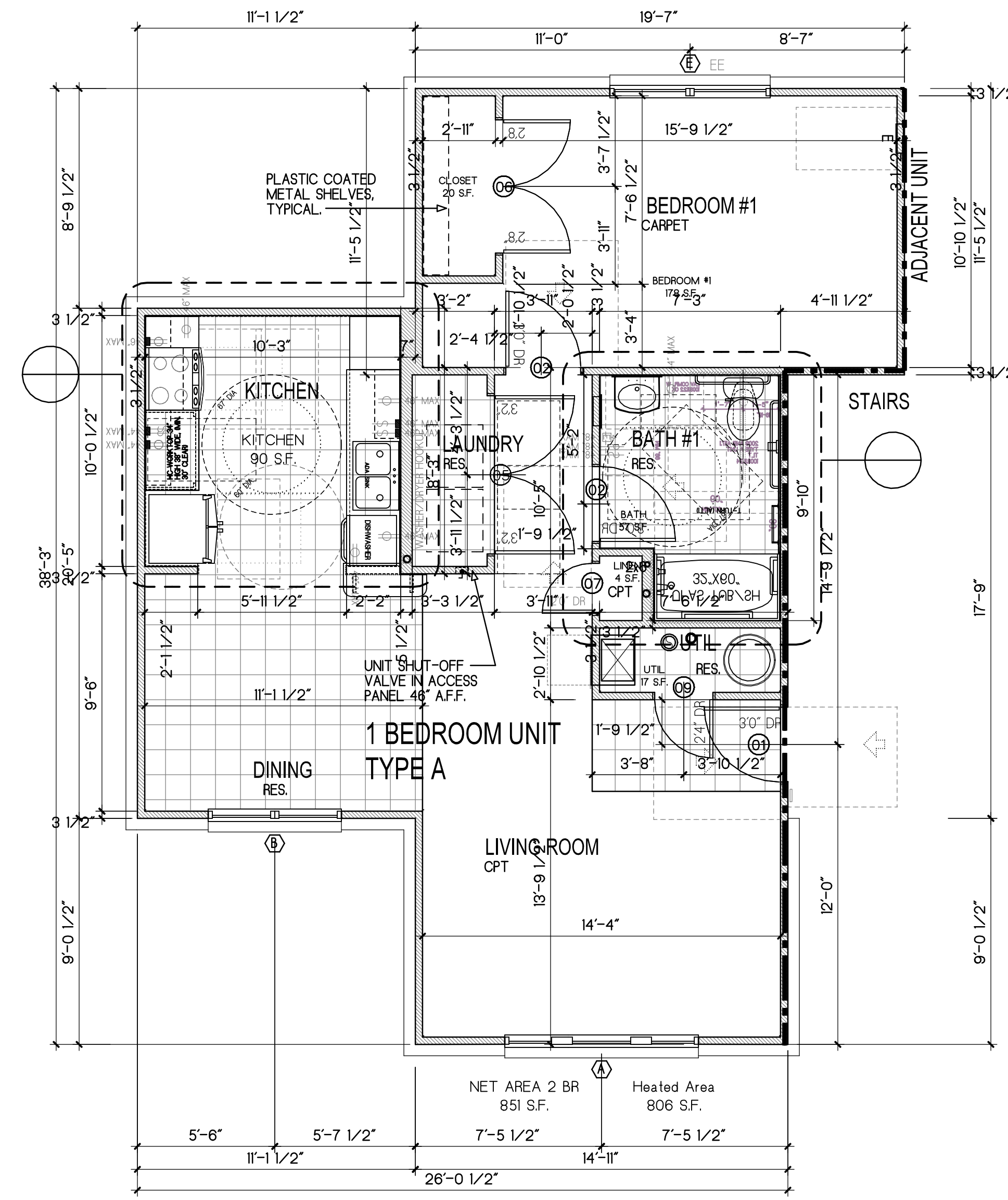


1 BR TYPE A ENLARGED LAUNDRY PLAN
SCALE: 3/8" = 1'-0"

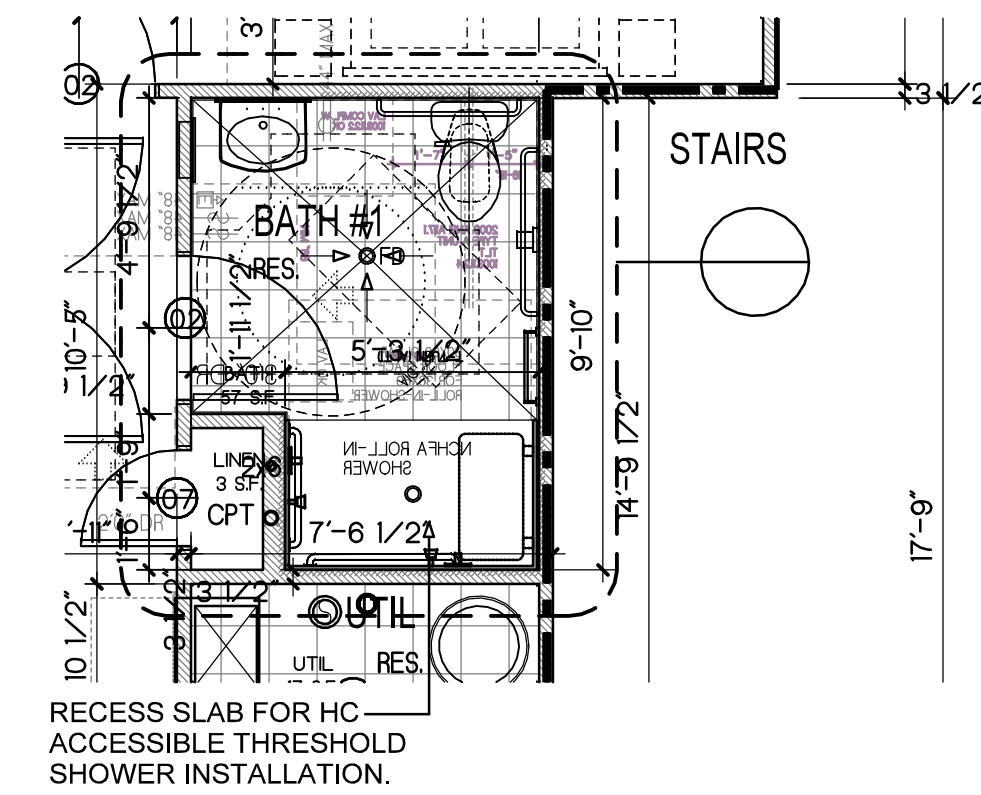
ANSI TYPE A UNIT



01 1 BEDROOM PLAN - TYPE B
A2.01 SCALE: 1/4" = 1'-0"



02 1 BEDROOM PLAN - TYPE A
A2.01 SCALE: 1/4" = 1'-0"



03 1 BR PLAN - TYPE A WITH ROLL-IN SHOWER
A2.01 SCALE: 1/4" = 1'-0"



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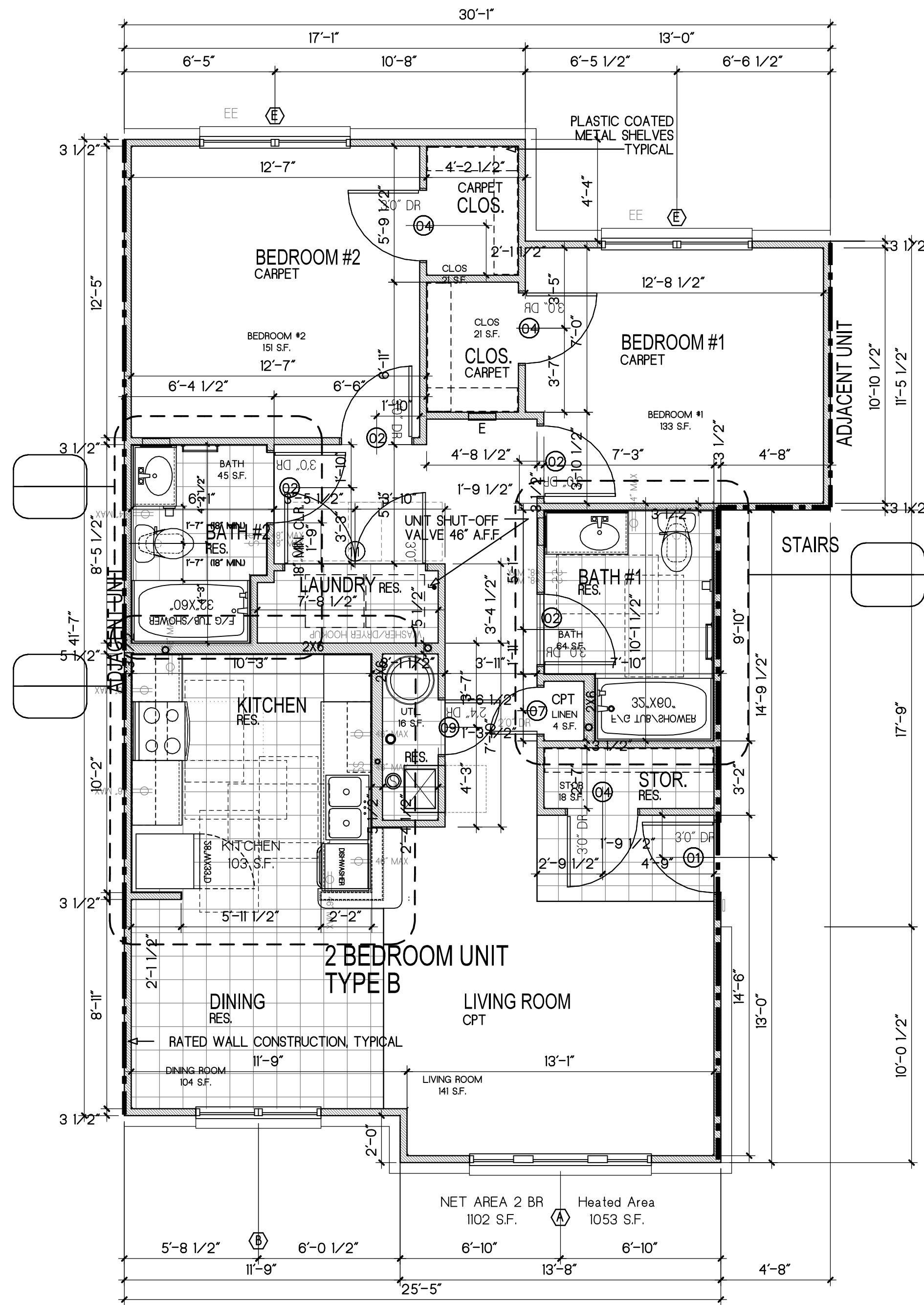
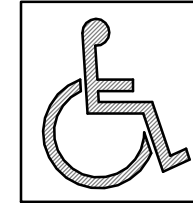
UNIT PLANS
1 BEDROOM

A2.01

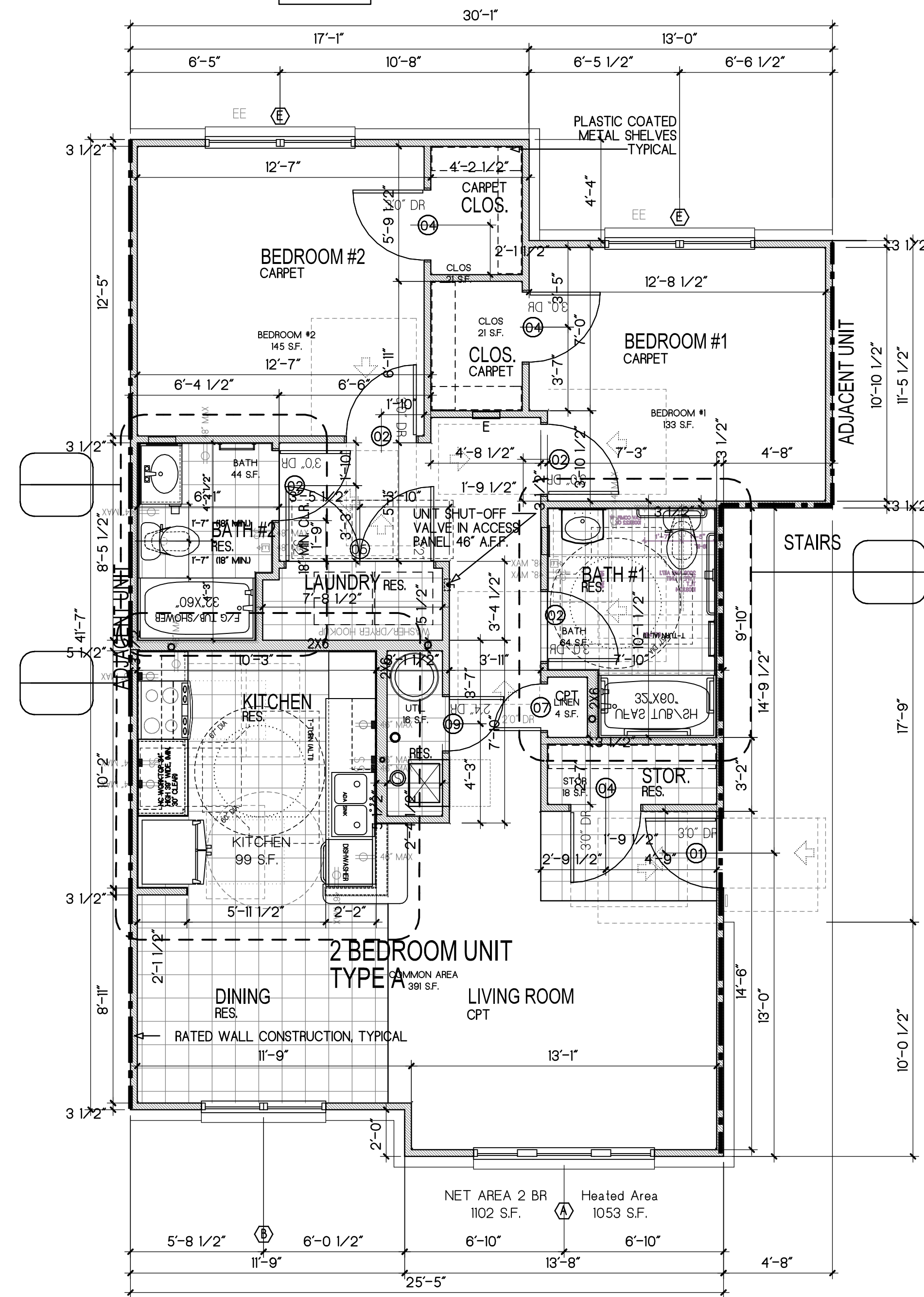
General Notes - Unit Plans - North Carolina

- Type B units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted (ANSI 308.2.1).
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed side reach requirement at max 25 1/2" deep and max 36" height base cabinets is 46" max. (Fair Housing Act allows 25" countertop plus 1/2" industry tolerance, when base cabinet depth is 24" or less). Min. 12" off of sidewall (or other obstruction) for backed-in side reach condition. See ANSI C308.3.1
 - Obstructed forward high reach is 44" max. ANSI 308.2.2
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 10" of obstruction (handle of dishwasher) for forward reach access.
- Type A units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted.
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed high side reach reqmnt at max 24" deep and max 34" height base cabinets is 46" max. No exception for countertop is found. Obstructed forward high reach is 44" max. ANSI 308.2.2 - Worktops and fully accessible sinks.
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 6" of obstruction (handle of dishwasher) for forward reach access.
- See building plans for rated wall locations.
- All ceilings in units to be 5/8" fire rated gypsum board, flat painted finish, see UL Details for other requirements.
- All partitions to have 5/8" UL Listed gypsum wall board to maintain continuity of rated ceiling membrane per 2012 IBC, 714.4.1.2 exception 7.
- GC to field coordinate the placement of trusses to accommodate other service requirements. i.e. plumbing, mechanical, electrical, fire protection.
- GC to field coordinate the location of hub drains, etc. for the installation of hot water drain pans, washer drain pans (if required) to provide required clearances.
- Provide positive slope at all floor drain areas. Rework concrete and reinstall drains if needed to provide correct slope prior to continuing construction.
- All plan dimensions refer to face of framing unless otherwise noted.
- Coordinate framed openings for all tub/shower and shower units.
- Refer to building plans for any alternate window dimensions which may differ from unit plan window dimensions.
- All residential buildings to be protected by 13R Fire Protection System. Coordinate with other ceiling-located components. FP shop drawings are to be submitted to local jurisdiction for approval prior to the start of any construction.
- Exceptions for reach-range requirements for controls in kitchens apply when more than one control is provided in an area, uninterrupted by appliance or sink.
- All reach conditions noted require a clear floor space complying with ANSI 305.
- Coordinate the installation of acoustical sound matting with gypsum concrete with all floor finishes to achieve a minimum STC and IIC rating of 50 in conjunction with the floor/ceiling assembly.
- Plumbing, HVAC, and Electrical trades to refer to architectural plans for any specific dimensions; refer to PMJ plans for general guidance.
- See NCHA QAP Appendix B and Construction Field Guide for other construction requirements that may apply.
- In all Type A and B residential units (ground floor for garden apartments and all floors for elevator buildings) prefab tub/showers and showers must have wood blocking (OSB or plywood) integrated into the prefab assembly.
- Sight and Hearing Impaired Units - See unit electrical plans for requirements. 2% of total units minimum, Type A units, one per class min. (1,2,3 BR, etc.) See Arch HC Unit Layout and Address Plan.
- RES notation refers to resilient flooring, VCT, sheet vinyl, or LVT. Refer to finish schedule. 10/10/2020

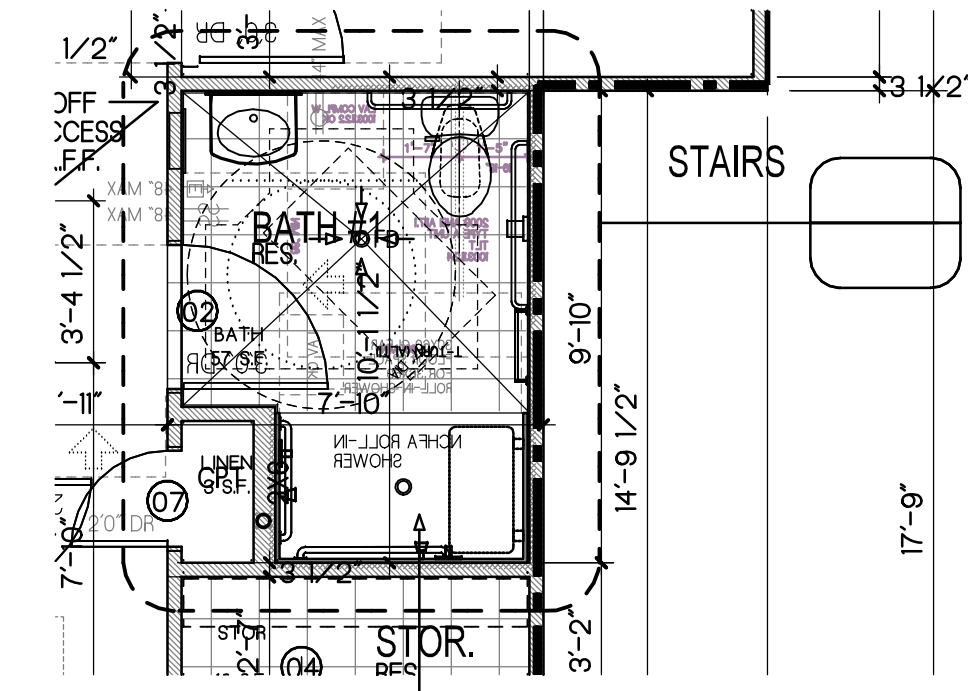
ANSI TYPE A UNIT



01 2 BEDROOM PLAN - TYPE B
A2.02



02 2 BEDROOM PLAN - TYPE A
A2.02

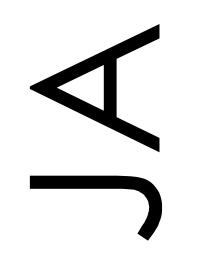


RECESS SLAB FOR HC ACCESSIBLE THRESHOLD SHOWER INSTALLATION.

NOTE: UNIT HAS A SINGLE ROLL-IN SHOWER BATHROOM. OTHERWISE UNIT IS SIMILAR TO 3 BR TYPE A UNIT.

03 2 BR PLAN - TYPE A WITH ROLL-IN SHOWER
A2.02 SCALE: 1/4" = 1'-0"

Jones Architecture, PLLC
2005 Peacham Circle
Raleigh, NC 27607
Tel (919) 302-0404



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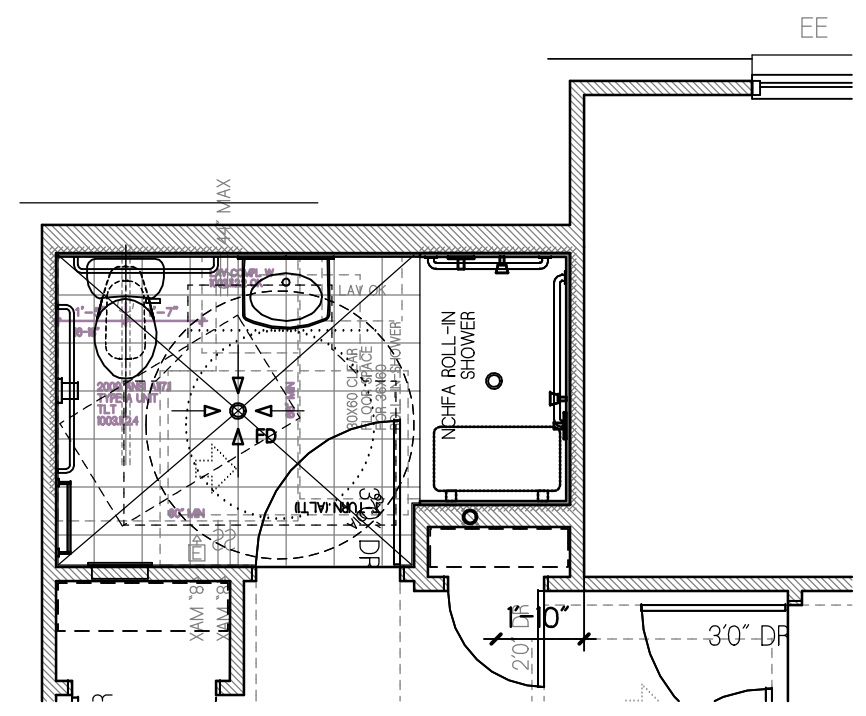
NCHA PRELIMINARY APPL.
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UNIT PLANS
2 BR
A2.02

General Notes - Unit Plans - North Carolina

- Type B units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted (ANSI 308.2.1).
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed side reach requirement at max 25 1/2" deep and max 36" height base cabinets is 46" max. (Fair Housing Act allows 25" countertop plus 1/2" industry tolerance, when base cabinet depth is 24" or less). Min. 12" off of sidewall (or other obstruction) for backed-in side reach condition. See ANSI C308.3.1
 - Obstructed forward high reach is 44" max. ANSI 308.2.2
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 10" of obstruction (handle of dishwasher) for forward reach access.
- Type A units - Install the following controls for unobstructed side or forward reach minimum 15" and maximum 48" above finished floor or as noted.
 - Lighting controls
 - Electrical switches
 - Receptacle outlets
 - Receptacle and switches at kitchen counter areas - Obstructed high side reach reqmnt at max 24" deep and max 34" height base cabinets is 46" max. No exception for countertop is found. Obstructed forward high reach is 44" max. ANSI 308.2.2 - Worktops and fully accessible sinks.
 - Dishwasher area - Install sidewall receptacle above counter at dishwasher, within 6" of obstruction (handle of dishwasher) for forward reach access.
- See building plans for rated wall locations.
- All ceilings in units to be 5/8" fire rated gypsum board, flat painted finish, see UL Details for other requirements.
- All partitions to have 5/8" UL Listed gypsum wall board to maintain continuity of rated ceiling membrane per 2012 IBC, 714.4.1.2 exception 7.
- GC to field coordinate the location of hub drains, etc. for the installation of hot water drain pans, washer drain pans (if required) to provide required clearances.
- Provide positive slope at all floor drain areas. Rework concrete and reinstall drains if needed to provide correct slope prior to continuing construction.
- All plan dimensions refer to face of framing unless otherwise noted.
- Coordinate framed openings for all tub/shower and shower units.
- Refer to building plans for any alternate window dimensions which may differ from unit plan window dimensions.
- All residential buildings to be protected by 13R Fire Protection System. Coordinate with other ceiling-located components. FP shop drawings are to be submitted to local jurisdiction for approval prior to the start of any construction.
- Exceptions for reach-range requirements for controls in kitchens apply when more than one control is provided in an area, uninterrupted by appliance or sink.
- All reach conditions noted require a clear floor space complying with ANSI 305.
- Coordinate the installation of acoustical sound matting with gypsum concrete with all floor finishes to achieve a minimum STC and IIC rating of 50 in conjunction with the floor/ceiling assembly.
- Plumbing, HVAC, and Electrical trades to refer to architectural plans for any specific dimensions; refer to PMS plans for general guidance.
- See NCHFA QAP Appendix B and Construction Field Guide for other construction requirements that may apply.
- In all Type A and B residential units (ground floor for garden apartments and all floors for elevator buildings) prefab tub/showers and showers must have wood blocking (OSB or plywood) integrated into the prefab assembly.
- Sight and Hearing Impaired Units - See unit electrical plans for requirements. 2% of total units minimum, Type A units, one per class min. (1,2,3 BR, etc.) See Arch HC Unit Layout and Address Plan
- RES notation refers to resilient flooring, VCT, sheet vinyl, or LVT. Refer to finish schedule. 10/10/2020

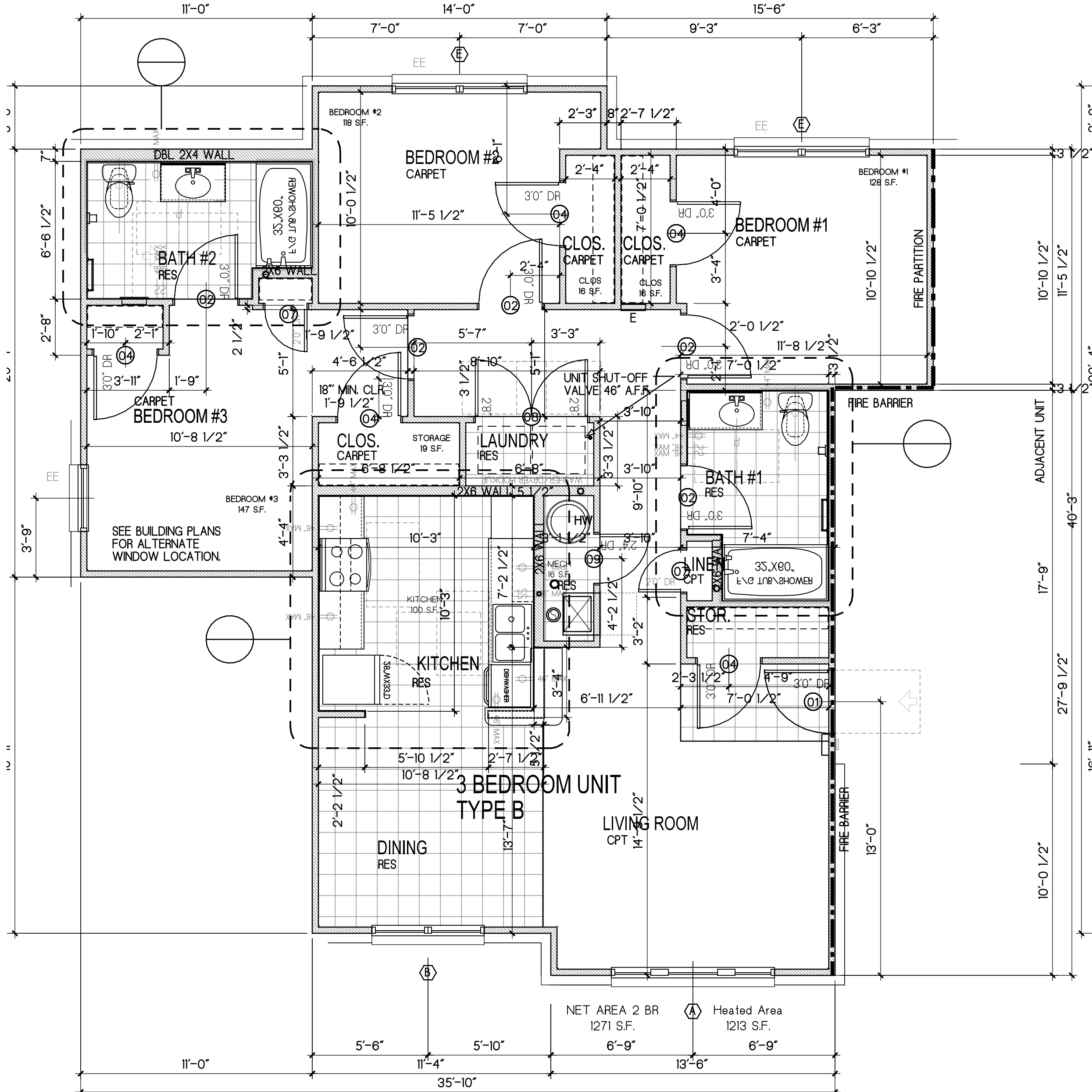
- See building plans for rated wall locations.
- All ceilings in units to be 5/8" fire rated gypsum board, flat painted finish, see UL Details for other requirements.
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- Sight and Hearing Impaired Units - See unit electrical plans for requirements. 2% of total units minimum, Type A units, one per class min. (1,2,3 BR, etc.) See Arch HC Unit Layout and Address Plan
- RES notation refers to resilient flooring, VCT, sheet vinyl, or LVT. Refer to finish schedule. 10/10/2020



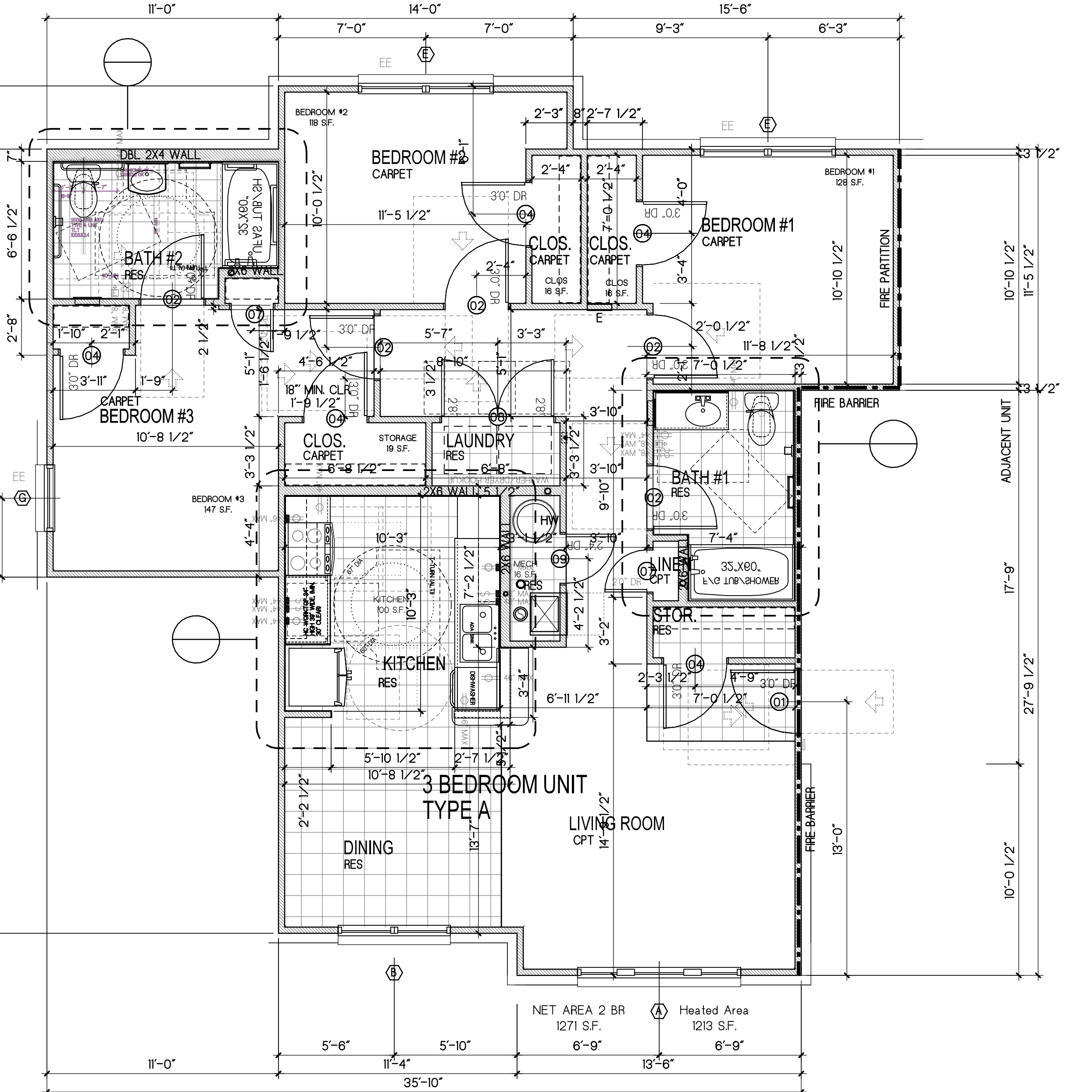
ANSI TYPE A UNIT



03 3 BR PLAN - TYPE A WITH ROLL-IN SHOWER
A2.03 SCALE: 1/4" = 1'-0"



01 3 BEDROOM PLAN - TYPE B
A2.03



02 3 BEDROOM PLAN - TYPE A
A2.03



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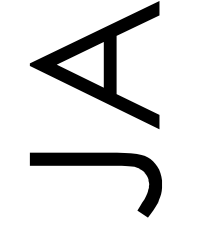
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UNIT PLANS
3 BR
A2.03

Jones Architecture, PLLC
2005 E. Durham Circle
Raleigh, NC 27607
Tel (919) 302-0404



ADDENDUM G
Qualifications

STATEMENT OF PROFESSIONAL QUALIFICATIONS

ABBY M. COHEN

I. Education

The Pennsylvania State University, University Park, PA
Bachelor of Arts

II. Licensing and Professional Affiliation

Certified General Appraiser, FL License #RZ4143
Certified General Appraiser, MD License #40032823
Certified General Appraiser, NC License #A8127
Certified General Appraiser, NJ License #42RG00255000
Certified General Appraiser, SC License #7487

Designated Member of the National Council of Housing Market Analysts (NCHMA)
Member of Commercial Real Estate Women (CREW) Network

III. Professional Experience

Novogradac & Company LLP, Partner
Novogradac & Company LLP, Principal
Novogradac & Company LLP, Manager
Novogradac & Company LLP, Senior Real Estate Analyst

IV. Professional Training

7-Hour National USPAP Update for 2020-2021, February 2020
Appraisal of Fast Food Facilities, February 2020
Appraisal of Self-Storage Facilities, February 2020
The Odd Side of Appraisal, February 2020
Basic Hotel Appraising – Limited Service Hotels, October 2019
Advanced Hotel Appraising – Full Service Hotels, October 2019
Appraisal of REO and Foreclosure Properties, October 2019
Appraisal of Land Subject to Ground Leases, December 2017
Business Practices and Ethics, January 2017
General Appraiser Report Writing and Case Studies, February 2015
General Appraiser Sales Comparison Approach, February 2015
General Appraiser Site Valuation and Cost Approach, February 2015
Expert Witness for Commercial Appraisers, January 2015
Commercial Appraisal Review, January 2015
Real Estate Finance Statistics and Valuation Modeling, December 2014
General Appraiser Income Approach Part II, December 2014
General Appraiser Income Approach Part I, November 2014
General Appraiser Market Analysis and Highest & Best Use, November 2014
IRS Valuation Summit, October 2014
15-Hour National USPAP Equivalent, April 2013
Basic Appraisal Procedures, March 2013
Basic Appraisal Principles, January 2013

V. Publications

Co-authored “Post Rev. Proc. 2014-12 Trend Emerges: Developer Fee Reasonableness Opinions,” Novogradac Journal of Tax Credits, March 2016

VI. Real Estate Assignments

A representative sample of Asset Management, Due Diligence, and Valuation Engagements includes:

- Performed a variety of asset management services for a lender including monitoring and reporting property performance on a monthly basis. Data points monitored include economic vacancy, levels of concessions, income and expense levels, NOI and status of capital projects. Data used to determine these effects on the project's ability to meet its income-dependent obligations.
- Performed asset management services for lenders and syndicators on underperforming assets to identify significant issues facing the property and recommend solutions. Scope of work included analysis of deferred maintenance and property condition, security issues, signage, marketing strategy, condition of units upon turnover and staffing plan. Performed a physical inspection of the assets, to include interior and exterior of property and assessed how the property compares to competition. Analyzed operating expense results.
- Prepared market studies for proposed Low-Income Housing Tax Credit, market rate, HOME financed, USDA Rural Development, and HUD subsidized properties, on a national basis. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, supply analysis, and operating expenses analysis. Property types include proposed multifamily, senior independent living, large family, and acquisition with rehabilitation. Completed market studies in all states.
- Assisted in appraisals of proposed new construction, rehabilitation, and existing Low-Income Housing Tax Credit properties, USDA Rural Development, and market rate multifamily developments. Analysis includes property screenings, valuation analysis, rent comparability studies, expense comparability analysis, determination of market rents, and general market analysis.
- Assisted in appraisal work for retail and commercial properties in various parts of the country for various lenders. The client utilized the study for underwriting purposes.
- Conducted market studies and appraisals for projects under the HUD Multifamily Accelerated Processing program.
- Prepared Rent Comparability Studies for expiring Section 8 contracts for subsidized properties located throughout the United States. Engagements included site visits to the subject property, interviewing and inspecting potentially comparable properties, and the analyses of collected data including adjustments to comparable data to determine appropriate adjusted market rents using HUD form 92273.
- Performed all aspects of data collection and data mining for web-based rent reasonableness systems for use by local housing authorities.
- Completed numerous reasonableness opinions related to Revenue Procedure 2014-12. Transactions analyzed include projects involving the use of Historic Tax Credits, New Markets Tax Credits and Investment Tax Credits. Fees and arrangements tested for reasonableness include developer fees, construction management fees, property management fees, asset management fees, various leasing-related payments and overall master lease terms.

**STATEMENT OF PROFESSIONAL QUALIFICATIONS
BRIAN NEUKAM**

EDUCATION

Georgia Institute of Technology, Bachelor of Industrial Engineering, 1995

State of Georgia Certified General Real Property Appraiser No.329471

State of North Carolina Certified General Appraiser No. 8284

State of South Carolina Certified General Appraiser No. 7493

PROFESSIONAL TRAINING

National USPAP and USPAP Updates

General Appraiser Market Analysis and Highest & Best Use

General Appraiser Sales Comparison Approach

General Appraiser Site Valuation and Cost Approach

General Appraiser Income Capitalization Approach I and II

General Appraiser Report Writing and Case Studies

EXPERIENCE

Novogradac & Company LLP, Manager, December 2016-present

Novogradac & Company LLP, Senior Real Estate Analyst, September 2015- December 2016

J Lawson & Associates, Associate Appraiser, October 2013- September 2015

Carr, Lawson, Cantrell, & Associates, Associate Appraiser, July 2007-October 2013

REAL ESTATE ASSIGNMENTS

A representative sample of due diligence, consulting or valuation assignments includes:

- Prepare market studies and appraisals throughout the U.S. for proposed and existing family and senior Low-Income Housing Tax Credit (LIHTC), market rate, HOME financed, USDA Rural Development, and HUD subsidized properties. Appraisal assignments involve determining the as is, as if complete, and as if complete and stabilized values.
- Conduct physical inspections of subject properties and comparables to determine condition and evaluate independent physical condition assessments.
- Performed valuations of a variety of commercial properties throughout the Southeast which included hotels, gas stations and convenience stores, churches, funeral homes, full service and fast-food restaurants, stand-alone retail, strip shopping centers, distribution warehouse and manufacturing facilities, cold storage facilities, residential and commercial zoned land, and residential subdivision lots. Intended uses included first mortgage, refinance, foreclosure/repossession (REO), and divorce.
- Employed discounted cash flow analysis (utilizing Argus or Excel) to value income-producing properties and prepare or analyze cash flow forecasts.
- Reviewed and analyzed real estate leases, including identifying critical lease data such as commencement/expiration dates, various lease option types, rent and other income, repair and maintenance obligations, Common Area Maintenance (CAM), taxes, insurance, and other important lease clauses.

STATEMENT OF PROFESSIONAL QUALIFICATIONS

Brinton Noble

I. Education

Clemson University - Clemson, SC
Bachelor of Science in Economics

II. Professional Experience

Analyst, Novogradac & Company LLP, December 2019 – Present
Junior Analyst, Novogradac & Company LLP, January 2019 – December 2019
Substitute Teacher, Fayetteville-Manlius School District, September 2017 - October 2018
Intern to the Assistant Superintendent of Business Administration, Fayetteville-Manlius School District, May 2016 - June 2016

III. Research Assignments

A representative sample of work on various types of projects:

- Assist in performing and writing market studies and appraisals of proposed and existing Low-Income Housing Tax credit (LIHTC) properties
- Research web-based rent reasonableness systems and contact local housing authorities for utility allowance schedules, payment standards, and housing choice voucher information
- Assisted numerous market and feasibility studies for family and senior affordable housing. Local housing authorities, developers, syndicators and lenders have used these studies to assist in the financial underwriting and design of market-rate and Low-Income Housing Tax Credit (LIHTC) properties. Analysis typically includes: unit mix determination, demand projections, rental rate analysis, competitive property surveying and overall market analysis.

STATEMENT OF PROFESSIONAL QUALIFICATIONS

Jay Cole

I. Education

University of North Georgia
Bachelor of Business Administration in Finance

II. Professional Experience

Junior Analyst, Novogradac & Company LLP, October 2020 – Present
Registered Appraiser, Crossroads Appraisal Group December 2018 – October 2020

III. Research Assignments

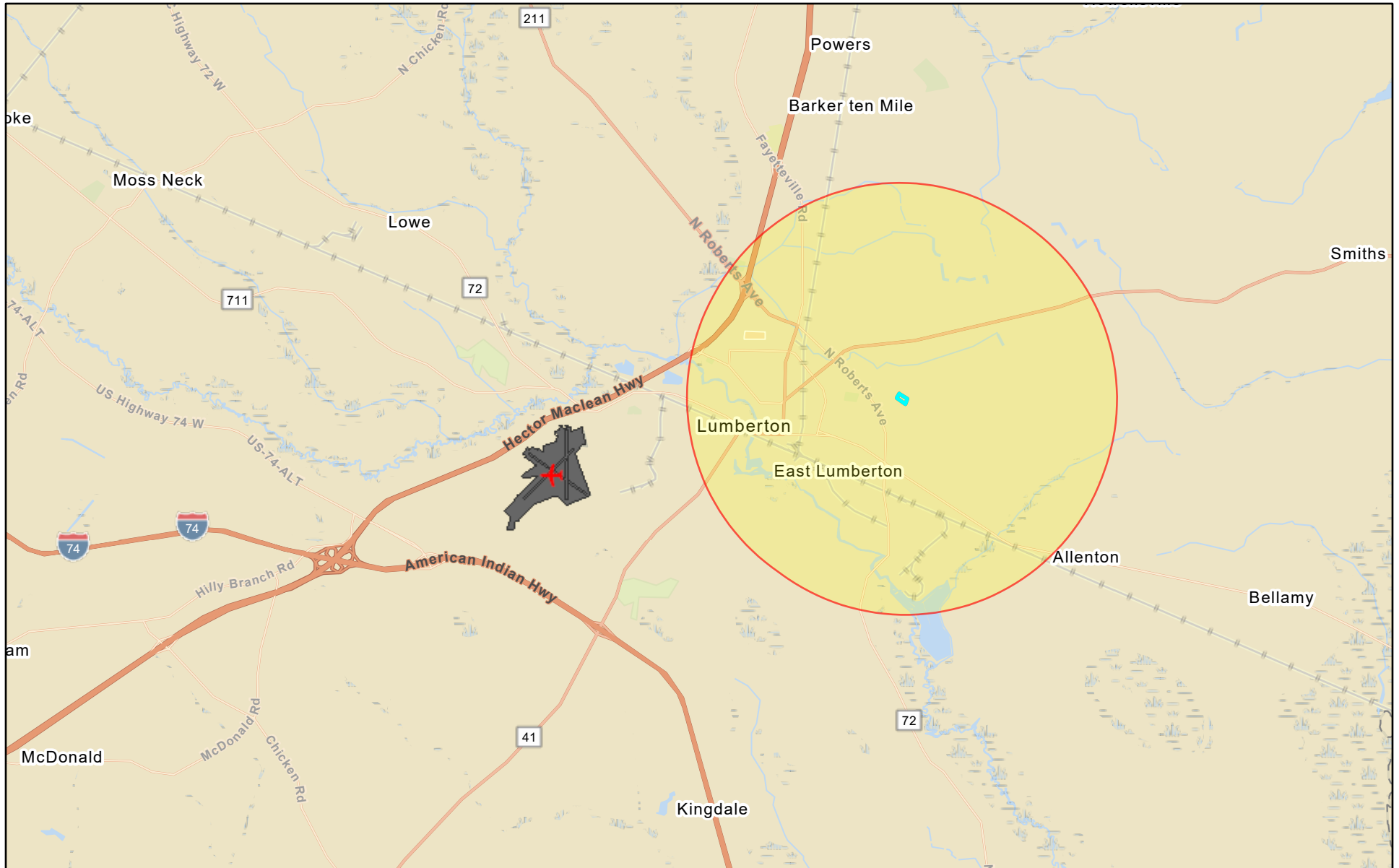
A representative sample of work on various types of projects:

- Assist in performing and writing market studies and appraisals of proposed and existing Low-Income Housing Tax credit (LIHTC) properties
- Research web-based rent reasonableness systems and contact local housing authorities for utility allowance schedules, payment standards, and housing choice voucher information
- Assisted numerous market and feasibility studies for family and senior affordable housing. Local housing authorities, developers, syndicators and lenders have used these studies to assist in the financial underwriting and design of market-rate and Low-Income Housing Tax Credit (LIHTC) properties. Analysis typically includes: unit mix determination, demand projections, rental rate analysis, competitive property surveying and overall market analysis.

ATTACHMENT A:

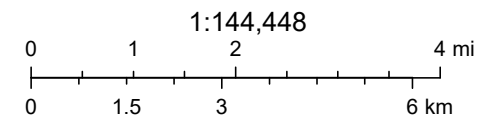
**NEPAssist Map with
15,000-foot Buffer
Showing Airports**

Northeast Pointe II - Airports with 15,000-foot Buffer



October 17, 2022

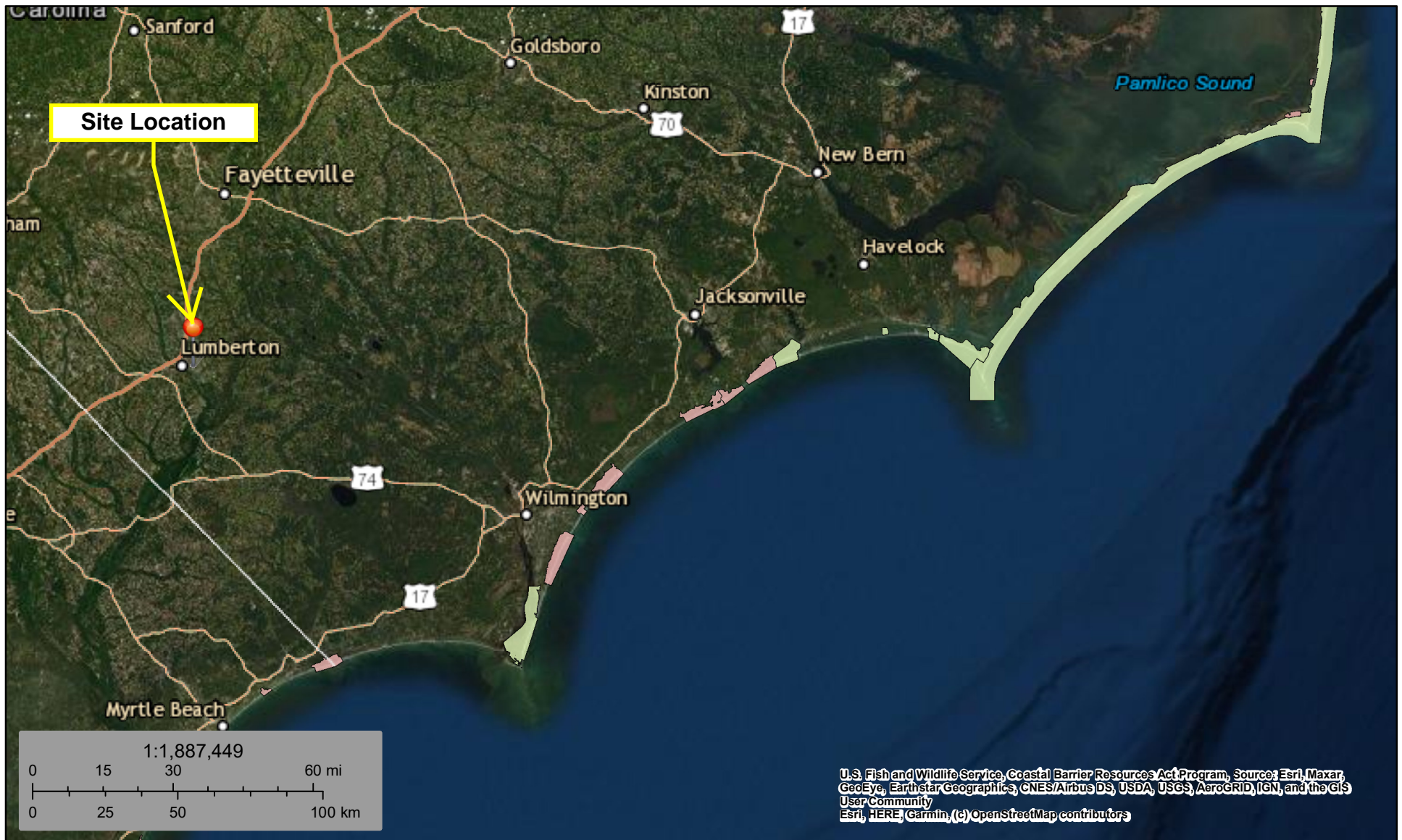
-  Project Buffer
-  Airport Points
-  Northeast Pointe II - Project Site
-  Airport Polygons



State of North Carolina DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, EPA OEI

ATTACHMENT B:

USFWS CBRS Maps and Certification



October 7, 2021

CBRS Units

- Otherwise Protected Area
- System Unit

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/cbra/maps/index.html>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<http://www.fws.gov/cbra/Determinations.html>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS mapper.



October 7, 2021

CBRS Buffer Zone System Unit

CBRS Units

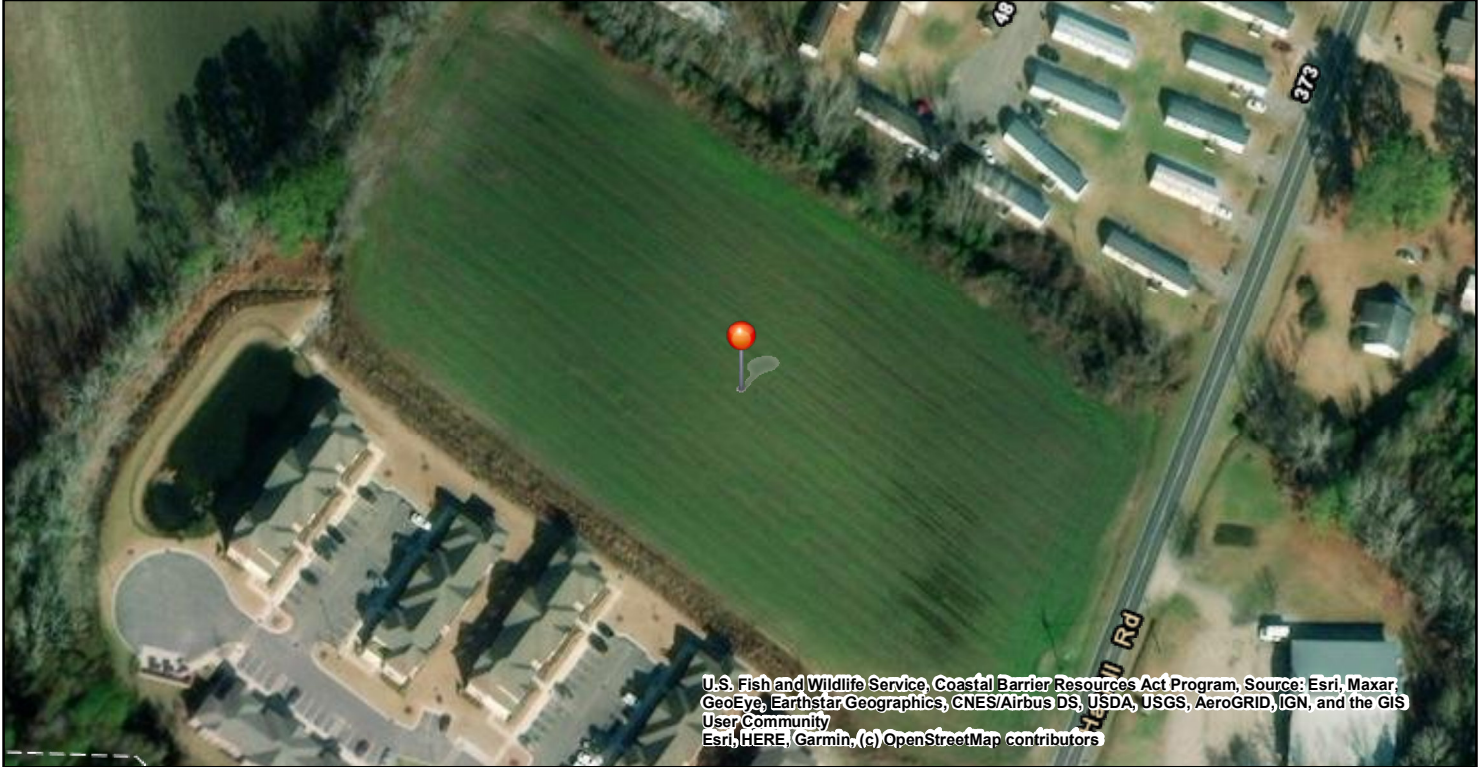
Otherwise Protected Area

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/cbra/maps/index.html>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<http://www.fws.gov/cbra/Determinations.html>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS mapper.


Coastal Barrier Resources System Mapper Documentation



CBRS Units

-  Otherwise Protected Area
-  CBRS Buffer Zone
-  System Unit
-  -78.97628, 34.624775

0 30 60 120 180 ft 1:2,257

 The pin location displayed on the map is a point selected by the user. Failure of the user to ensure that the pin location displayed on this map correctly corresponds with the user supplied address/location description below may result in an invalid federal flood insurance policy. **The U.S. Fish and Wildlife Service (Service) has not validated the pin location with respect to the user supplied address/location description below. The Service recommends that all pin locations be verified by federal agencies prior to use of this map for the provision or denial of federal funding or financial assistance** . Please note that a structure bisected by the Coastal Barrier Resources System (CBRS) boundary (i.e., both "partially in" and "partially out") is within the CBRS and therefore affected by CBRA's restrictions on federal flood insurance. A pin placed on a bisected structure must be placed on the portion of the structure within the unit (including any attached features such as a deck or stairs).

User Name: Tamara Cagle
User Organization: Pyramid Environmental & Engineering, P.C.
User Supplied Address/Location Description: Proposed Northeast Pointe II
Pin Location: Outside CBRS
Pin Flood Insurance Prohibition Date: N/A
Pin System Unit Establishment Date: N/A

The user placed pin location is not within the CBRS. The official CBRS maps are accessible at <https://www.fws.gov/cbra/maps/index.html> .

The CBRS information is derived directly from the CBRS web service provided by the Service. This map was exported on 10/7/2021 and does not reflect changes or amendments subsequent to this date. The CBRS boundaries on this map may become superseded by new boundaries over time.

This map image may be void if one or more of the following map elements do not appear: basemap imagery, CBRS unit labels, prohibition date labels, legend, scale bar, map creation date. For additional information about flood insurance and the CBRS, visit: <https://www.fws.gov/cbra/Flood-Insurance.html> .



ATTACHMENT C:

FEMA FIRM

National Flood Hazard Layer FIRMette



78°58'50"W 34°37'41"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped

N

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/7/2021 at 2:40 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

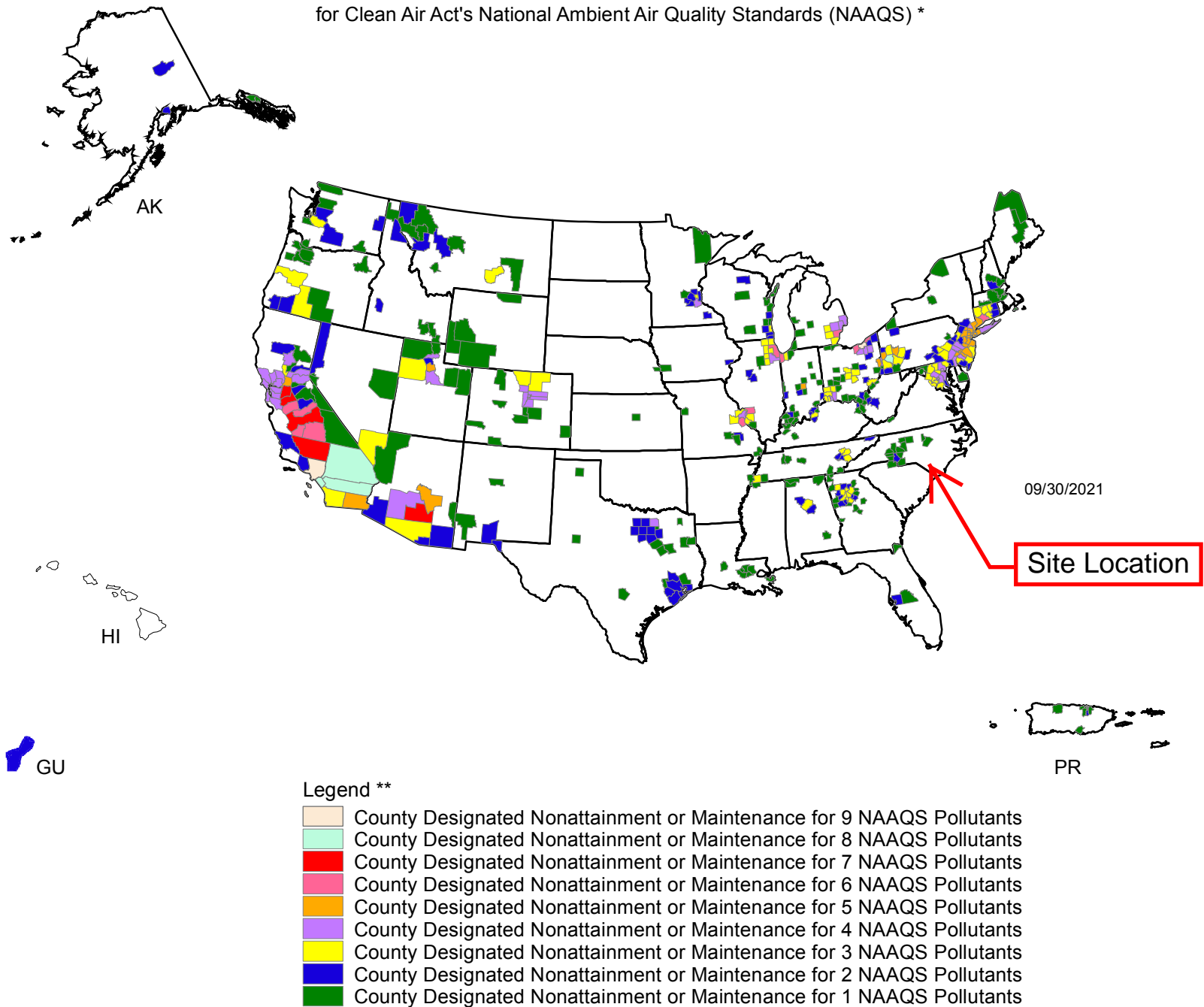
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

ATTACHMENT D:

**North Carolina Nonattainment/
Maintenance Status for Each County by Year for
All Criteria Pollutants and EPA NC Radon Level
Map**

Counties Designated "Nonattainment" or "Maintenance"

for Clean Air Act's National Ambient Air Quality Standards (NAAQS) *



* The National Ambient Air Quality Standards (NAAQS) are health standards for Carbon Monoxide, Lead (1978 and 2008), Nitrogen Dioxide, 8-hour Ozone (2008), Particulate Matter (PM-10 and PM-2.5 (1997, 2006 and 2012), and Sulfur Dioxide.(1971 and 2010)

** Included in the counts are counties designated for NAAQS and revised NAAQS pollutants. Revoked 1-hour (1979) and 8-hour Ozone (1997) are excluded. Partial counties, those with part of the county designated nonattainment and part attainment, are shown as full counties on the map.



North Carolina Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of October 31, 2022

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

NORTH CAROLINA

Robeson County is not listed in Nonattainment or Maintenance status for any criteria pollutants.

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
NORTH CAROLINA								
Cabarrus County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	178,011	37/025
Cabarrus County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,928	37/025
Catawba County	PM-2.5 (1997)-NAAQS revoked	Hickory-Morganton-Lenoir, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	154,358	37/035
Chatham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Part	32,372	37/037
Davidson County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	162,878	37/057
Davidson County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	162,878	37/057

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Davie County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Part	1	37/059
Durham County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	267,587	37/063
Durham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	267,587	37/063
Durham County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	267,587	37/063
Edgecombe County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	56,552	37/065
Forsyth County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	350,670	37/067
Forsyth County	Carbon Monoxide (1971)	Winston-Salem, NC	9293	11/07/1994	Moderate <= 12.7ppm	Whole	350,670	37/067
Franklin County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	60,619	37/069
Gaston County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	190,849	37/071

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
Granville County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Part	17,725	37/077
Granville County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	59,916	37/077
Guilford County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	488,406	37/081
Guilford County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	488,406	37/081
Haywood County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Counties (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	985	37/087
Iredell County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Part	68,089	37/097
Iredell County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	65,899	37/097
Johnston County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	168,878	37/101
Lincoln County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	78,265	37/109
Lincoln County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	64,189	37/109

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes
Mecklenburg County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Whole	919,628	37/119
Mecklenburg County	Carbon Monoxide (1971)	Charlotte, NC	929394	09/18/1995	Not Classified	Whole	919,628	37/119
Nash County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	95,840	37/127
Orange County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	133,801	37/135
Person County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	39,464	37/145
Rowan County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	138,428	37/159
Rowan County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	130,057	37/159
Swain County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Counties (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	3,288	37/173

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Union County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	201,292	37/179
Union County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,055	37/179
Wake County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	900,993	37/183
Wake County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	900,993	37/183
Wake County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	900,993	37/183

Important Notes

Discover.

Connect.

Ask.

Follow.

2022-10-31

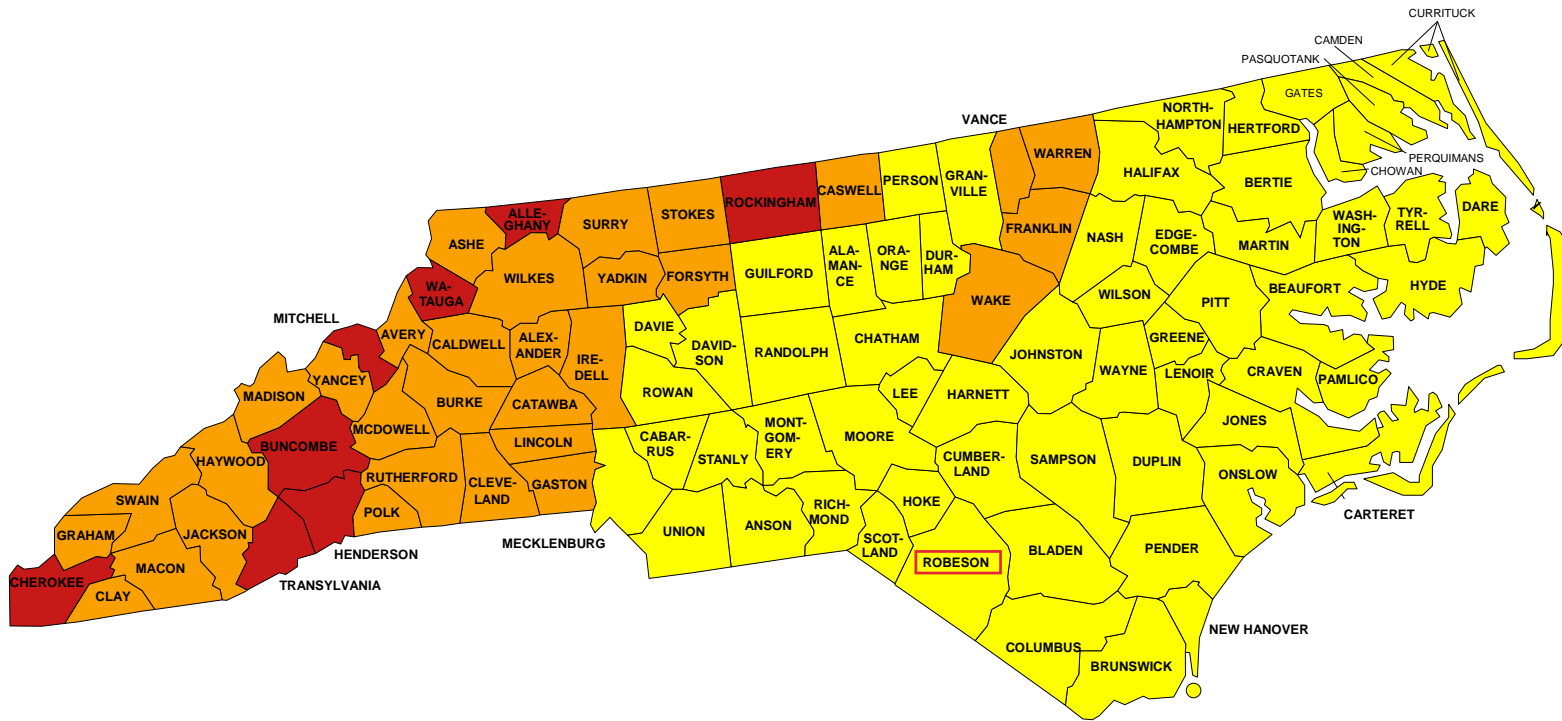
NORTH CAROLINA - EPA Map of Radon Zones

<http://www.epa.gov/radon/zonemap.html>

The purpose of this map is to assist National, State and local organizations to target their resources and to implement radon-resistant building codes.

This map is not intended to determine if a home in a given zone should be tested for radon. Homes with elevated levels of radon have been found in all three zones.

All homes should be tested, regardless of zone designation.



Zone 1



Zone 2



Zone 3

IMPORTANT: Consult the publication entitled "Preliminary Geologic Radon Potential Assessment of North Carolina" (USGS Open-file Report 93-292-D) before using this map. <http://energy.cr.usgs.gov/radon/grpinfo.html> This document contains information on radon potential variations within counties. EPA also recommends that this map be supplemented with any available local data in order to further understand and predict the radon potential of a specific area.

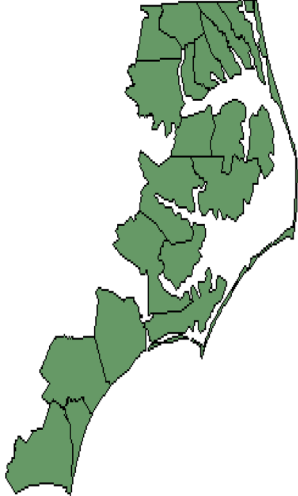
ATTACHMENT E:

**Division of Coastal Zone
Management Counties Maps**

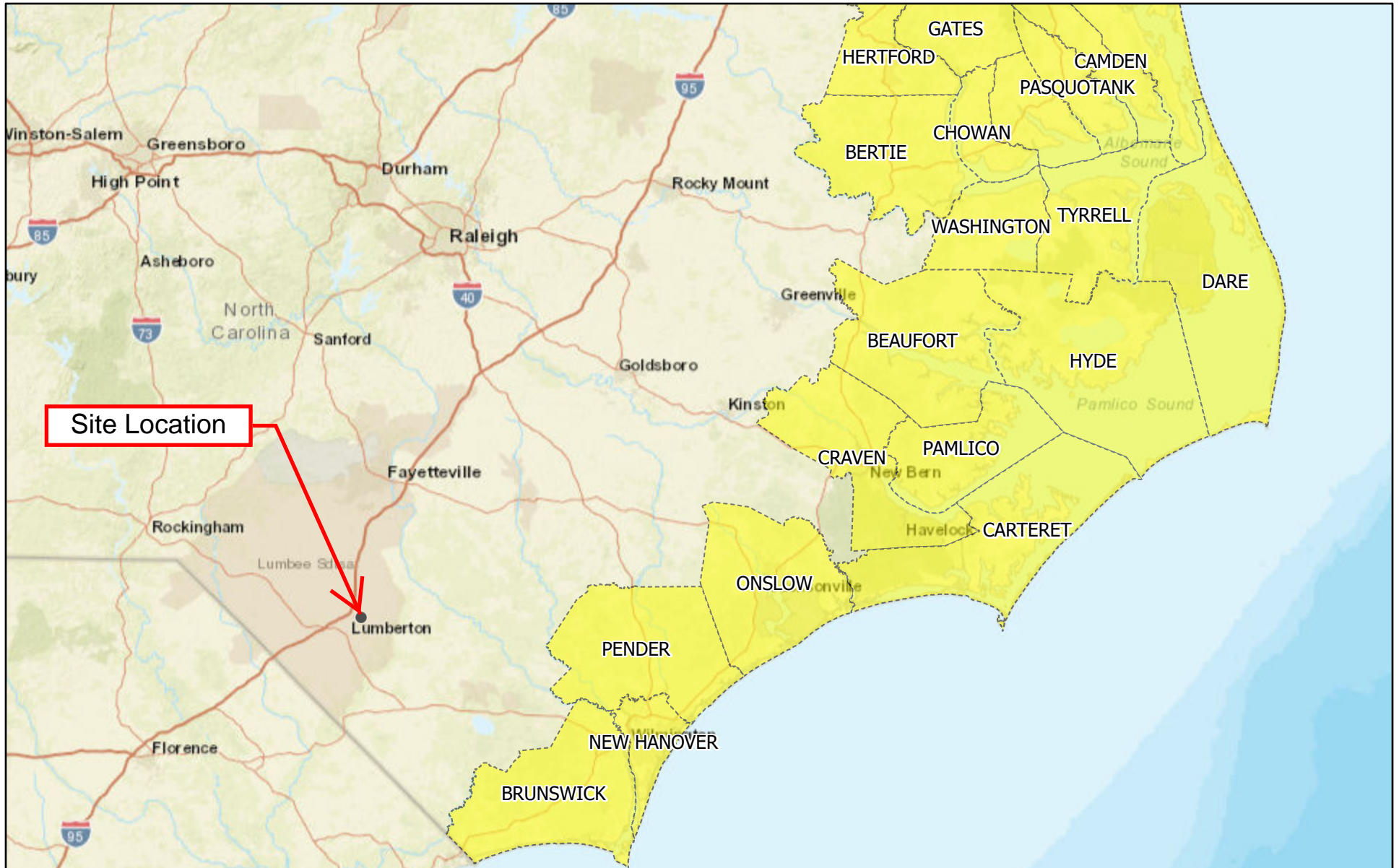


CAMA Counties

The following counties are subject to the rules and policies of the Coastal Resources Commission, which administers the Coastal Area Management Act. If you are planning to develop in one of these counties, check to see whether your project is also in an [Area of Environmental Concern](/about/divisions/coastal-management/coastal-management-permit-guidance/areas-of-concern) (</about/divisions/coastal-management/coastal-management-permit-guidance/areas-of-concern>). If it is, you may need a CAMA permit.

CAMA Counties		
<ul style="list-style-type: none"> • Beaufort • Bertie • Brunswick • Camden • Carteret • Chowan • Craven • Currituck • Dare • Gates 	<ul style="list-style-type: none"> • Hertford • Hyde • New Hanover • Onslow • Pamlico • Pasquotank • Pender • Perquimans • Tyrrell • Washington 	

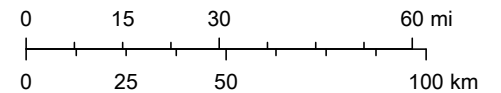
CZMA Boundaries Map



10/7/2021, 12:59:59 PM

 CZMA Jurisdiction

1:2,311,162



Esri, HERE, Garmin, NGA, USGS, NPS

ATTACHMENT F:

Contamination and Toxic Substances

- **State Environmental Clearinghouse
Comments from DEQ**
- **NC DWM and NEPA Assist Results**



NORTH CAROLINA
Environmental Quality

ROY COOPER
Governor

ELIZABETH S. BISER
Secretary

To: Crystal Best
State Clearinghouse
NC Department of Administration

From: Lyn Hardison
Division of Environmental Assistance and Customer Service
Washington Regional Office

RE: 22-0173
Scoping - Proposed project is for the construction of Northeast Pointe II which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.
Robeson County

Date: March 16, 2022

The Department of Environment Quality has reviewed the proposal for the referenced project. Based on the information provided, one (1) contamination site was identified within one mile of the project site. In addition, several of our agencies have identified permits that may be required and offered some valuable guidance. The comments are attached for the applicant's review.

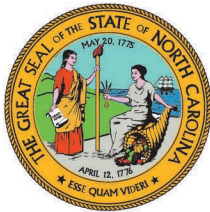
The Department will continue to be available to assist the applicant with any question or concerns.

Thank you for the opportunity to respond.

Attachments



North Carolina Department of Environmental Quality
217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601
919.707.8600



NORTH CAROLINA
Environmental Quality

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director

Date: March 9, 2022

To: Michael Scott, Director
Division of Waste Management

Through: Janet Macdonald
Inactive Hazardous Sites Branch

From: Bonnie S. Ware
Inactive Hazardous Sites Branch

Subject: NEPA Project # 22-0173, Northeast Pointe II, LLC/USDA-RD, Robeson County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the Northeast Pointe II, LLC/USDA-RD project. Proposed project is for the construction of Northeast Pointe II. Proposed is a 72-unit family community which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.

One (1) Superfund Section site was identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



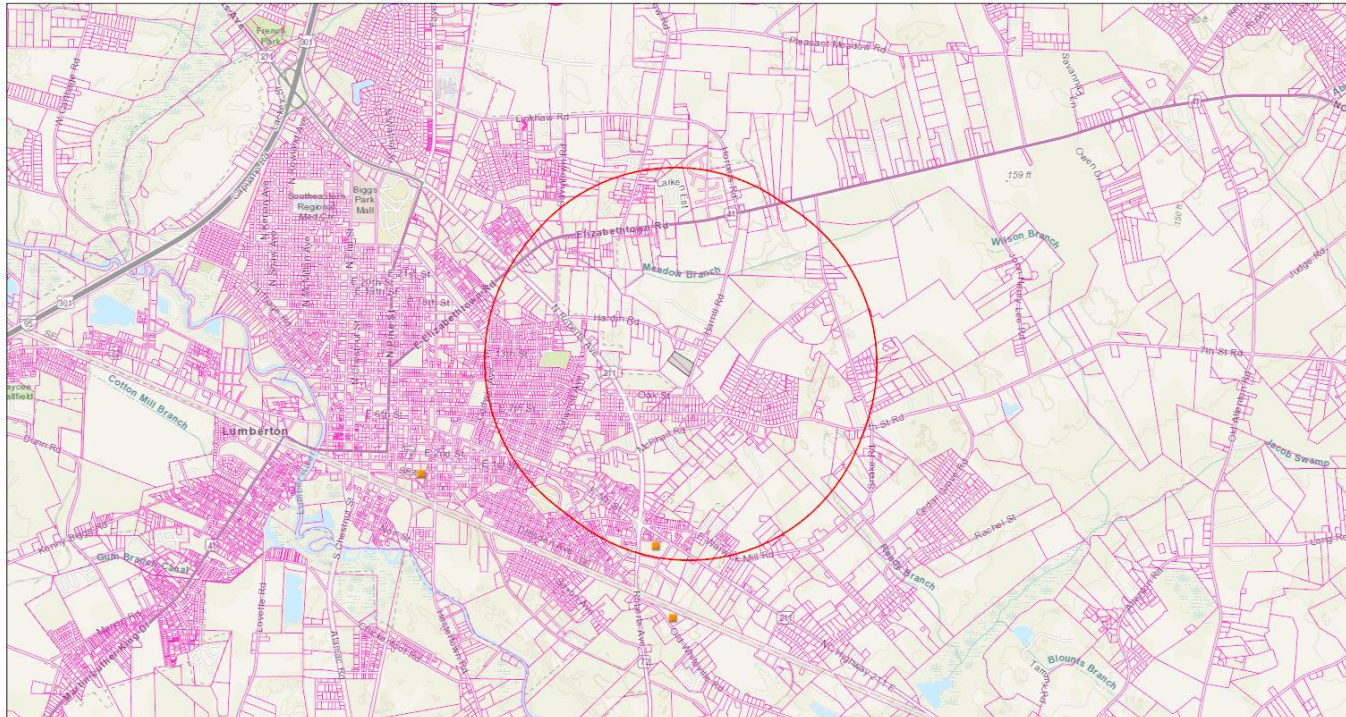
North Carolina Department of Environmental Quality | Division of Waste Management
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646
919.707.8200

SUPERFUND SECTION SITES ONLY : SEPA/NEPA

Area of Interest (AOI) Information

Area : 2,278.12 acres

Mar 9 2022 9:00:37 Eastern Standard Time



-  Pre Regulatory Landfill Sites
-  Inactive Hazardous Sites
-  Parcels (Polygons) - Parcels



State of North Carolina DOT, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, METI/NASA, EPA, USDA

Superfund Section Sites Only : 22-0173 Robeson County

Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	0	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	1	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	0	N/A	N/A

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NCD986209575	CARDINAL CHEMICAL WAREHOUSE FIRE	1

ROY COOPER
Governor
ELIZABETH S. BISER
Secretary
MICHAEL SCOTT
Director



MEMORANDUM

TO: Michael Scott, Division Director through Sharon Brinkley

FROM: Drew Hammonds, Eastern District Supervisor - Solid Waste Section

DATE: March 1, 2022

SUBJECT: Review: SW 22-0173 – Robeson County (Scoping – Northeast Pointe II, LLC/USDA-RD – Proposed project is for the construction of Northeast Pointe II)

The Division of Waste Management, Solid Waste Section (Section) has reviewed the documents submitted for the subject project in Robeson County, NC. Based on the information provided in this document, the Section at this time does not see an adverse impact on the surrounding communities and likewise knows of no situations in the communities, which would affect this project.

As always for any planned or proposed projects, it is recommended that during any land clearing, demolition and construction, Northeast Point II, LLC and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. **Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that Northeast Point II, LLC require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.**

Permitted solid waste management facilities are listed on the Division of Waste Management, Solid Waste Section portal site at: <https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/solid-waste-management-annual-reports/solid-waste-permitted-facility-list>

Questions regarding solid waste management for this project should be directed to Mr. David Powell, Environmental Senior Specialist, Solid Waste Section, at (910) 433-3350.

cc: David Powell, Environmental Senior Specialist



State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: FRO
 Project Number: 22-0173 Due Date: 03/11/2022
 County: Robeson

After review of this project it has been determined that the DEQ permit(s) and/or approvals indicated may need to be obtained in order for this project to comply with North Carolina Law. Questions regarding these permits should be addressed to the Regional Office indicated on the reverse of the form. All applications, information and guidelines relative to these plans and permits are available from the same Regional Office.

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input checked="" type="checkbox"/>	Permit to construct & operate wastewater treatment facilities, non-standard sewer system extensions & sewer systems that do not discharge into state surface waters.	Application 90 days before begins construction or award of construction contracts. On-site inspection may be required. Post-application technical conference usual.	30 days (90 days)
<input checked="" type="checkbox"/>	Permit to construct & operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system	Fast-Track Permitting program consists of the submittal of an application and an engineer's certification that the project meets all applicable State rules and Division Minimum Design Criteria.	30 days (N/A)
<input checked="" type="checkbox"/>	NPDES - permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters.	Application 180 days before begins activity. On-site inspection. Pre-application conference usual. Additionally, obtain permit to construct wastewater treatment facility-granted after NPDES. Reply time, 30 days after receipt of plans or issue of NPDES permit-whichever is later.	90-120 days (N/A)
<input type="checkbox"/>	Water Use Permit	Pre-application technical conference usually necessary.	30 days (N/A)
<input type="checkbox"/>	Well Construction Permit	Complete application must be received and permit issued prior to the installation of a groundwater monitoring well located on property not owned by the applicant, and for a large capacity (>100,000 gallons per day) water supply well.	7 days (15 days)
<input type="checkbox"/>	Dredge and Fill Permit	Application copy must be served on each adjacent riparian property owner. On-site inspection. Pre-application conference usual. Filling may require Easement to Fill from N.C. Department of Administration and Federal Dredge and Fill Permit.	55 days (90 days)
<input type="checkbox"/>	Permit to construct & operate Air Pollution Abatement facilities and/or Emission Sources as per 15 A NCAC (2Q.O100 thru 2Q.0300)	Application must be submitted and permit received prior to construction and operation of the source. If a permit is required in an area without local zoning, then there are additional requirements and timelines (2Q.0113).	90 days
<input checked="" type="checkbox"/>	Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900	N/A	60 days (90 days)
<input checked="" type="checkbox"/>	Demolition or renovations of structures containing asbestos material must be in compliance with 15 A NCAC 20.1110 (a) (1) which requires notification and removal prior to demolition. Contact Asbestos Control Group 919-707-5950	Please Note - The Health Hazards Control Unit (HHCU) of the N.C. Department of Health and Human Services, must be notified of plans to demolish a building, including residences for commercial or industrial expansion, even if no asbestos is present in the building.	60 days (90 days)
<input checked="" type="checkbox"/>	The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. A fee of \$65 for the first acre or any part of an acre. An express review option is available with additional fees.		20 days (30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with NCDOT's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		(30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with _____ Local Government's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		Based on Local Program
<input type="checkbox"/>	Compliance with 15A NCAC 2H .0126 - NPDES Stormwater Program which regulates three types of activities: Industrial, Municipal Separate Storm Sewer System & Construction activities that disturb ≥1 acre.		30-60 days (90 days)
<input type="checkbox"/>	Compliance with 15A NCAC 2H 1000 -State Stormwater Permitting Programs regulate site development and post-construction stormwater runoff control. Areas subject to these permit programs include all 20 coastal counties, and various other counties and watersheds throughout the state.		45 days (90 days)

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: FRO
 Project Number: 22-0173 Due Date: 03/11/2022
 County: Robeson

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Mining Permit	On-site inspection usual. Surety bond filed with DEQ Bond amount varies with type mine and number of acres of affected land. Affected area greater than one acre must be permitted. The appropriate bond must be received before the permit can be issued.	30 days (60 days)
<input type="checkbox"/>	Dam Safety Permit	If permit required, application 60 days before begin construction. Applicant must hire N.C. qualified engineer to: prepare plans, inspect construction, and certify construction is according to DEQ approved plans. May also require a permit under mosquito control program. And a 404 permit from Corps of Engineers. An inspection of site is necessary to verify Hazard Classification. A minimum fee of \$200.00 must accompany the application. An additional processing fee based on a percentage or the total project cost will be required upon completion.	30 days (60 days)
<input type="checkbox"/>	Oil Refining Facilities	N/A	90-120 days (N/A)
<input type="checkbox"/>	Permit to drill exploratory oil or gas well	File surety bond of \$5,000 with DEQ running to State of NC conditional that any well opened by drill operator shall, upon abandonment, be plugged according to DEQ rules and regulations.	10 days N/A
<input type="checkbox"/>	Geophysical Exploration Permit	Application filed with DEQ at least 10 days prior to issue of permit. Application by letter. No standard application form.	10 days N/A
<input type="checkbox"/>	State Lakes Construction Permit	Application fee based on structure size is charged. Must include descriptions & drawings of structure & proof of ownership of riparian property	15-20 days N/A
<input checked="" type="checkbox"/>	401 Water Quality Certification	Compliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.	60 days (130 days)
<input type="checkbox"/>	Compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required. Buffer requirements: http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program		
<input type="checkbox"/>	Nutrient Offset: Loading requirements for nitrogen and phosphorus in the Neuse and Tar-Pamlico River basins, and in the Jordan and Falls Lake watersheds, as part of the nutrient-management strategies in these areas. DWR nutrient offset information: http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information		
<input type="checkbox"/>	CAMA Permit for MAJOR development	\$250.00 - \$475.00 fee must accompany application	75 days (150 days)
<input type="checkbox"/>	CAMA Permit for MINOR development	\$100.00 fee must accompany application	22 days (25 days)
<input checked="" type="checkbox"/>	Abandonment of any wells, if required must be in accordance with Title 15A. Subchapter 2C.0100.		
<input checked="" type="checkbox"/>	Notification of the proper regional office is requested if "orphan" underground storage tanks (USTS) are discovered during any excavation operation.		
<input checked="" type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq., Plans and specifications should be submitted to 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. All public water supply systems must comply with state and federal drinking water monitoring requirements. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input checked="" type="checkbox"/>	If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section at 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of the _____ water system must be approved through the _____ delegated plan approval authority. Please contact them at _____ for further information.		

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: FRO
 Project Number: 22-0173 Due Date: 03/11/2022
 County: Robeson

Other Comments (attach additional pages as necessary, being certain to comment authority)

Division	Initials	No comment	Comments	Date Review
DAQ	GWR	<input checked="" type="checkbox"/>		2/15/2022
DWR-WQROS	KMB	<input checked="" type="checkbox"/>		2/28/2022
DWR-PWS	HLC	<input type="checkbox"/>	If you will be extending or relocating a watermain to serve this development, plans, specifications, and other plan approval documents will need to be submitted for approval before construction starts. If you will be buying water and reselling it, you will also need to contact the NC Utilities Commission.	2/2/2022
DEMLR (LQ & SW)	LHB	<input checked="" type="checkbox"/>		2/22/2022
DWM – UST	KEC	<input type="checkbox"/>	The UST Section, Fayetteville Regional Office, does not have record of a petroleum release in the general area of concern for this project number, nor are there any records of registered USTs. https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html?id=7dd59be2750b40bebebf49fc383f688	2/17/2022
Other Comments		<input type="checkbox"/>		/ /

REGIONAL OFFICES

Questions regarding these permits should be addressed to the Regional Office marked below.

- | | | |
|---|--|--|
| <input type="checkbox"/> Asheville Regional Office
2090 U.S. 70 Highway
Swannanoa, NC 28778-8211
Phone: 828-296-4500
Fax: 828-299-7043 | <input checked="" type="checkbox"/> Fayetteville Regional Office
225 Green Street, Suite 714,
Fayetteville, NC 28301-5043
Phone: 910-433-3300
Fax: 910-486-0707 | <input type="checkbox"/> Mooreville Regional Office
610 East Center Avenue, Suite 301,
Mooreville, NC 28115
Phone: 704-663-1699
Fax: 704-663-6040 |
| <input type="checkbox"/> Raleigh Regional Office
3800 Barrett Drive,
Raleigh, NC 27609
Phone: 919-791-4200
Fax: 919-571-4718 | <input type="checkbox"/> Washington Regional Office
943 Washington Square Mall,
Washington, NC 27889
Phone: 252-946-6481
Fax: 252-975-3716 | <input type="checkbox"/> Wilmington Regional Office
127 Cardinal Drive Ext.,
Wilmington, NC 28405
Phone: 910-796-7215
Fax: 910-350-2004 |
| | <input type="checkbox"/> Winston-Salem Regional Office
450 Hanes Mill Road, Suite 300,
Winston-Salem, NC 27105
Phone: 336-776-9800
Fax: 336-776-9797 | |



Northeast Pointe II - Screening Report

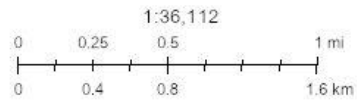
Area of Interest (AOI) Information

Area : 99,060,144.66 ft²

Oct 26 2022 11:42:17 Eastern Daylight Time



- ◆ Permitted Solid Waste Landfills
- ◆ Pre-Regulatory Landfill Sites
- ◆ Activity Pending
- ◆ Inactive Hazardous Sites
- ◆ DryCleaning Historical Boiler Inspections
- ◆ DryCleaning City Directories
- ◆ UST Incidents
- ◆ Intermediate Risk
- Low Risk
- Non-UST Incidents
- Low Risk
- Unknown Risk
- UST Active Facilities
- Land Use Restriction and/or Notices
- Notice and Restriction



State of North Carolina: DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

project_shapefile_northeast_pointe_ii_37084_37084

#	FID	ProjTitle	ProjTypeP	ProjTypeS	UsrProjNum
1	0	Northeast Pointe II	Development/Redevelopment	Residential	No Data

#	ProjDesc	OnBehalfOf	ContactNam	Org	Address
1	Northeast Pointe II (proposed project) involves new construction of a 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, 16 three-bedroom units, and a 2,092-s	No Data	Andrea Gievers	NCORR	P.O. Box 110465

#	Address2	City	StateProv	ZipCode	PhoneNum
1	No Data	Durham	NC	27709	8456821700

#	Email	ProjId	ProjSubmis	Shape_Leng	Shape_Area	Objectld	Area(ft ²)
1	andrea.l.gievers@rebuild.nc.gov	NCNHDE-17965	5/12/2022, 8:00 PM	0	0	1	242,535.94

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NCD986209575	CARDINAL CHEMICAL WAREHOUSE FIRE	1

UST Incidents

#	IncidentNumber	IncidentName	Count
1	3611	STEVENSON HONDA	1
2	5785	HAPPY STORE 347 (SPINX 347)	1
3	6427	BILLY SMITH'S C STORE	1
4	9446	FAHA - LUMBERTON	1
5	10918	JOLLEY'S C. STORE	1
6	11863	SCOTT BUICK-CADILLAC	1
7	17873	U-FILLER-UP	1
8	20139	LUMBERTON CONVIENCE MART	1
9	24522	LEGRAND PROPERTY	1
10	29003	NORRIS PROPERTY (VACANT LOT)	1
11	29450	CASSON'S QUICK CHECK	1
12	29514	211 QUICK CHECK	1
13	42024	EXXON SHOP 4	1
14	42057	SUNDO KWIK SHOP 211	1
15	42167	Ruby Rabon Property	1
16	No Data	SMITH'S REFRIGERATORS	1
17	No Data	K-MART STORE #9562	1
18	No Data	JERRY ANN SCHOOL	1

Non-UST Incidents

#	IncidentNumber	IncidentName	Count
1	95983	Hunters Lane Farm	1

UST Active Facilities

#	FACILID	FACILNAME	Count
1	00-0-0000003080	211 QUICK CHECK	1
2	00-0-0000003716	MINUTEMAN 2	1
3	00-0-0000018416	ATKINSON 1, LLC	1
4	00-0-0000019091	LUMBERTON QUICK CHECK	1
5	00-0-0000019193	WILLIAMSON MAZDA	1
6	00-0-0000019560	7TH ST. MINI MART	1
7	00-0-0000026302	MINUTEMAN FOOD MART #38	1
8	00-0-0000026672	SUNDO KWIK SHOP - E 5TH ST	1
9	00-0-0000032352	OLIVER OIL CO	1

Land Use Restriction and/or Notices

#	Prj_Number	Prj_Name	Count
1	FA-1056	LUMBERTON CONVIENCE MART	1
2	FA-3285	CASSON'S QUICK CHECK	1
3	FA-3478	211 QUICK CHECK	1
4	FA-7737	EXXON SHOP 4	1

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director



NORTH CAROLINA
Environmental Quality

May 20, 2022

Atlantic Coastal Building Supplies Inc.
Att: Herschel Edge
16224 NC 53 Hwy W
White Oak, NC 28399

Re: Inactive Hazardous Waste Sites Priority List
CARDINAL CHEMICAL WAREHOUSE FIRE
NCD986209575
LUMBERTON, ROBESON

Dear Mr. Edge:

The North Carolina Department of Environmental Quality (DEQ) is the lead agency for the protection of environmental resources. DEQ's Division of Waste Management's Inactive Hazardous Sites Branch (Branch) is responsible for oversight and approval of the assessment and remediation of sites contaminated with hazardous substances. The site listed above has been included on the fiscal year (FY) 2020-21 Inactive Hazardous Waste Sites Priority List (Priority List). The Priority List includes 511 sites where past uncontrolled disposal or spills of hazardous substances have been ranked according to their risk to human health and the environment.

Why you are receiving this letter: A Property you own is affected by the above-identified contaminated site and/ or you are identified as the party responsible for the contamination. As required by law, this letter is to notify you of the site's inclusion on the Priority List which can be viewed at the following

website: <https://deq.nc.gov/waste-management/dwm/sf/ihs/inactive-hazardous-sites-branch-spl-table-fy-20202021> Each site is ranked on a .01 to 100-point scale according to the ranking system describe in 15A NCAC 13C .0200. Higher scores indicate higher risk to human health and the environment. This list is current as of the end of the State fiscal year on June 30, 2021, so if site has since received a "No Further Action" determination or has entered the Branch's voluntary cleanup program, you may disregard this letter.

Actions required by certain parties: Any person or entity responsible for the contamination that has not already done so, is required under North Carolina groundwater quality regulations (15A NCAC 2L) to take immediate action to stop unpermitted discharges and address any hazards posed by the contaminants. If groundwater has become contaminated from the discharge, the responsible party must take immediate action to eliminate the source(s) of contamination. Failure of a responsible party to take the initial discharge abatement steps required in 15A NCAC 2L may result in the assessment of a civil penalty or other enforcement action against that responsible party.

Disclosure of contamination: The federal Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) imposes the duty to disclose contamination before a property is transferred. Further, Under CERCLA, the owner or operator of a contaminated property could be held responsible for the property's cleanup, based solely on their current ownership of the property. Please be advised that the North Carolina Residential Property Disclosure Act, North Carolina General Statute §47E, also contains requirements relating to the disclosure of contamination present on residential property.



North Carolina Department of Environmental Quality | Division of Waste Management
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646
919.707.8200

How to remove the site from the Priority List:

Any party can complete an approved environmental cleanup

of the site by participating in voluntary cleanup program under an administrative agreement with the Branch. The first step is to complete and submit a Site Conditions Questionnaire found on our website: <https://deq.nc.gov/about/divisions/waste-management/superfund-section/inactive-hazardous-sites-program>. Branch staff will review the information and assist with a path forward to achieve an approved cleanup. In general, State staff will oversee and approve cleanup actions at the high-risk sites. Lower-risk sites are managed through a privatized oversight program, known as the Registered Environmental Consultant (REC) Program, whereby Branch-approved environmental consulting firms conduct and certify the site assessment and cleanup in place of State oversight. Regardless of whether State staff or an REC oversees the cleanup action, if certain criteria are met, a party can conduct a more expedient lower-cost cleanup to less stringent, risk based standards using land controls.

Benefits of conducting an approved voluntary cleanup action under an Administration Agreement:

- Site is removed from the Inactive Hazardous Sites Priority List
- Remedial actions lead to an approved site closure
- Lower-cost, risk-based cleanup standards may be an option
- Lenders involved in property transfers often require state or federal approval of cleanup
- Proactive work, regardless of responsibility, provides community trust

Note that State Brownfields Agreements for property redevelopment do not excuse responsible parties from contaminant cleanup and will not automatically result in site closure. Brownfields Agreements serve to implement abatement measures for safe reuse of a purchased property and typically do not address (1) the removal or treatment of contaminant source areas on the Brownfield property and (2) contamination that extends onto neighboring properties. The site will remain on the Priority List.

For more information: If you have any questions regarding this letter or how to conduct a cleanup of your property, please contact me at (919) 707-8349 or preferably the Regional Supervisor of the county where the site is located. A larger regional map can be viewed at the above web site

Collin Day - Western Unit - (336) 776-9675

John Walch - Easter Unit - (919) 707-8356



Site records are accessible online by clicking on Superfund Section File Access at the above web site. To schedule an appointment to view the files or to request that a copy of the Priority List be mailed to you, please contact Scott Ross at (919) 707-8272.

Sincerely,

Janet Macdonald, Head
Inactive Hazardous Site Branch
Superfund Section



Inactive Hazardous Sites Priority List FY 20/21

SITE NAME	ID#	ADDRESS	CITY	COUNTY	SCORE	RANK
319 S WEST ST DEVELOPMENT	NONCD0002558	319 WEST ST	RALEIGH	WAKE	32.27	108
ABC ENGRAVERS	NCD002571438	724 NORTH I-85	CHARLOTTE	MECKLENBURG	41.91	295
ABERDEEN FLORIST & GARDEN CENTER	NONCD0002857	500 S SANDHILLS BLVD	ABERDEEN	MOORE	52.02	492
ACE CHEMICAL CORPORATION	NCD045451473	9801 S TRYON ST	CHARLOTTE	MECKLENBURG	31.05	90
ADAMS PAINTING SERVICE	NONCD0002781	722 WELLINGTON AVE	WILMINGTON	NEW HANOVER	29.71	67
AEROQUIP	NCD040042426	8171 PLANER MILL RD	MIDDLESEX	NASH	34.22	149
AKZO NOBLE COATINGS, INC.	NCD006390561	1431 PROGRESS ST	HIGH POINT	GUILFORD	44.13	356
ALCOA-PINE RD RAVINE DISPOSAL	NONCD0001177	PINE RD		STANLY	31.53	95
ALKALI SCREEN PRINTING	NONCD0001922	6420 AMSTERDAM WAY	WILMINGTON	NEW HANOVER	43.48	344
ALLENS FARM SUPPLY	NONCD0002564	511 N 3RD ST	WILMINGTON	NEW HANOVER	49.72	478
ALLISON MANUFACTURING CO	NONCD0001094	930 OLD CHARLOTTE ROAD	ALBEMARLE	STANLY	47.87	440
ALLOWAY RESIDENCE	NONCD0002788	405 PARADISE LANE	SHALLOTTE	BRUNSWICK	30.88	87
ALMONT SHIPPING	NONCD0001250	929 N FRONT STREET	WILMINGTON	NEW HANOVER	56.01	504
AMERICAN CONTRACT COATINGS	NONCD0001033	HWY 55	APEX	WAKE	30.43	80
AMERICAN DISTILLATION, INC	NONCD0001967	1690 NE ROYSTER RD	LELAND	BRUNSWICK	51.07	488
AMERICAN ELEMENTS	NCSFN0407143	500 WALLACE ST	FARMVILLE	PITT	31.68	99
AMORE/WORTH CHEMICAL	NCD075582197	2418 EAST PETTIGREW ST	DURHAM	DURHAM	38.82	231
AMP INCORPORATED	NCD000615872	1260 SHANNON-BRADLEY RD	GASTONIA	GASTON	42.72	311
AMP INCORPORATED	NCD041230418	3900 REIDSVILLE ROAD	WINSTON-SALEM	FORSYTH	48.35	455
APAC MAINTENANCE SHOP (FRMR)	NONCD0002420	240 CENTER ST	JACKSONVILLE	ONSLOW	47.59	434
APAC-CASTLE HAYNE ASPHALT PLANT	NONCD0002779	4909 N COLLEGE RD	CASTLE HAYNE	NEW HANOVER	46.65	414
APAC-GOLDSBORO ASPHALT PLANT	NONCD0002777	2421 ARRINGTON BRIDGE RD	GOLDSBORO	WAYNE	43.72	345
APAC-WASHINGTON ASPHALT PLANT	NONCD0001207	DIRT RD	WASHINGTON	BEAUFORT	36.59	188
APOLLO CHEMICAL CORPORATION	NCD042423087	1105 SOUTHERLAND STREET	GRAHAM	ALAMANCE	37.72	206
APPLIED RESEARCH GROUP, INC.	NCD047257472	2221 N. DAVIDSON STREET	CHARLOTTE	MECKLENBURG	41.66	290
AQUAIR CORPORATION	NCD074511361	13300 SAM NEELY RD	CHARLOTTE	MECKLENBURG	55.35	502
ARMOLOY CO OF NCHI-TECH	NCD048462881	1603 SALISBURY ROAD	STATESVILLE	IREDELL	19.37	10
ARROW LAUNDRY	NONCD0001174	4735 MONROE RD	CHARLOTTE	MECKLENBURG	45.15	383
ASHE PATTERN SHOP (FORMER)	NCD986175636	4411 BEATY ROAD	GASTONIA	GASTON	48.82	464
ASHEVILLE INDUSTRIES	NONCD0000034	20 GLEN BRIDGE RD/SR3495	ARDEN	BUNCOMBE	16.3	5
ATEC INDUSTRIES	NCD033978396	PERKINS DRIVE	ROXBORO	PERSON	38.92	235
ATHOL MANUFACTURING COMPANY	NCD072003635	C & 22ND ST	BUTNER	GRANVILLE	44.19	358
AUSTIN FOODS	NCD051853547	E CHATHAM ST	CARY	WAKE	42.43	303
AYCOCK PROPERTY	NONCD0000038	SR 1162 & 1103	WILSON	WILSON	43.92	349
B&H RECYCLERS	NONCD0001046	7256 US 74 W	POLKTON	ANSON	43.31	333
BABY DIAPER SERVICE	NONCD0002863	1819 SPRING GARDEN ST	GREENSBORO	GUILFORD	29.31	62
BASSETT FURNITURE-WEIMAN PLANT	NONCD0002529	1603 LEONARD ST	RAMSEUR	RANDOLPH	26.05	34
BEACON MANUFACTURING	NCN000407672	2425 US HWY 70	SWANNANOA	BUNCOMBE	58.93	509
BEAUNIT CORP./DYING & FINISHING	NCD980559637	LINEBERGER STREET	LOWELL	GASTON	19.99	12
BECKER BUILDERS SUPPLY COMPANY	NONCD0001330	4614 MARKET STREET	WILMINGTON	NEW HANOVER	42.43	304
BENDIX CORPORATION	NCD003213881	I-85 INNES ST EXIT	SALISBURY	ROWAN	26.36	37
BENFIELD CHEMICALS	NCD986171445	OLD CANTON CLYDE HWY	CANTON	HAYWOOD	41.2	272
BENFIELD SANITATION SERVICE	NONCD0000070	1809 W FRONT ST	STATESVILLE	IREDELL	30.87	86
BETTIS PROPERTY	NCD981022072	1/2 MI. E OF BETTIS RD &	EARL	CLEVELAND	43.16	326
BLR	NONCD0001030	2911 LEE AVENUE	SANFORD	LEE	27.5	44
BOISE CASCADE	NONCD0000014	SR 1916	MONCURE	CHATHAM	18.86	8
BROWNS RADIATOR SERVICE	NONCD0001391	2136 WRIGHTSVILLE AVE	WILMINGTON	NEW HANOVER	43.38	340
BRYANT FARM DRUM DUMP	NONCD0001038	W OF NC 86 400 FT S OF VA LINE	GATEWOOD	CASWELL	34.61	157

SITE NAME	ID#	ADDRESS	CITY	COUNTY	SCORE	RANK
BUCKHORN PESTICIDES	NCD980845119	NC 581 & NC 42	WILSON	WILSON	31.36	94
BURKART CAROLINA	NONCD0001397	DABNEY DRIVE	HENDERSON	VANCE	43.38	341
BURLINGTON FURNITURE	NCD024770125	ATOAH STREET	ROBBINSVILLE	GRAHAM	27.1	41
BURLINGTON FURNITURE/LUMBER PL	NCD991278581	US 64 EAST	LEXINGTON	DAVIDSON	28.12	48
BURLINGTON HOME CHAIR	NCD048184451	HIGHWAY 268	RONDA	WILKES	28.49	55
BURLINGTON INDUSTRIES, INC.	NCD096158696	6008 HIGH POINT RD	GREENSBORO	GUILFORD	22.43	20
BUSH BROTHERS PLATING INC/GREER	NCD024762668	107 NE MARKET ST	REIDSVILLE	ROCKINGHAM	30.05	72
C & L SURPLUS	NONCD0001099	1868 HWY 64 W	HAYESVILLE	CLAY	41.2	273
C&T REFINERY	NCD981022288	4800 SOUTH BOULEVARD	CHARLOTTE	MECKLENBURG	36.8	193
CABARRUS ROUNDABOUT	NONCD0001122	CABARRUS AVE & OLD CHARLOTTE	CONCORD	CABARRUS	38.69	227
CAL-TONE PAINTS	NCD982098774	5115 NEW BERN AVE	RALEIGH	WAKE	31.94	106
CAMP, LEONARD PROPERTY	NCD981021702	SR 2226	EARL	CLEVELAND	35.79	178
CAPE FEAR CHEMICALS/HL BRICE	NONCD0000082	HWY 701 S	ELIZABETHTOWN	BLADEN	11.48	1
CAPITAL INN	NONCD0002969	1625 CAPITAL BLVD	RALEIGH	WAKE	45.15	384
CARALEIGH PHOSPHATE AND FERTILIZER	NCN000407686	1601 LAKE WHEELER ROAD	RALEIGH	WAKE	38.87	233
CARDINAL CHEMICAL WAREHOUSE FIRE	NCD986209575	NC 211 & NC 72	LUMBERTON	ROBESON	33.96	140
CARDINAL CONTAINER SERVICES	NCSFN0407140	138 WALSER ROAD	LEXINGTON	DAVIDSON	42.3	301
CAROCHEM, INC.	NCD991278714	540 GULF ST	DURHAM	DURHAM	28.72	58
CAROLAWN COMPANY	NCD980729479	1426 W MOUNTAIN ST	KERNERSVILLE	FORSYTH	32.81	119
CAROLINA ALUMINUM/EASCO/ALFINITY	NCD045924487	600 METCALF STREET	WINTON	HERTFORD	39.31	241
CAROLINA ALUMINUM/HERBERT TAYLOR	NCD981015746	SR 1125	ROPER	WASHINGTON	45.33	389
CAROLINA ASSOCIATED MILL	NCSFN0406911	766 HWY 10 W	NEWTON	CATAWBA	39.88	253
CAROLINA CHEMICAL CORP (FORMER)	NONCD0002815	6600 WARD BLVD	WILSON	WILSON	40.71	263
CAROLINA CREOSOTING CORPORATION	NCD003184710	EASTBROOK ROAD	LELAND	BRUNSWICK	57.17	506
CAROLINA GALVANIZING CORP.	NCD048181218	HWY 221 E	ABERDEEN	MOORE	63.73	511
CAROLINA HARDWOODS	NONCD0000013	158 FACTORY STREET	WILLIAMSTON	MARTIN	27.49	43
CAROLINA MARBLE CO.	NONCD0000053	INDIAN MOUND ROAD	ALBEMARLE	STANLY	15.28	3
CAROLINA METAL AND ALLOYS	NONCD0000078	1016 E. SPRINGFIELD AVENUE	HIGH POINT	GUILFORD	33.72	136
CAROLINA P&L CO. FAYETTEVILLE	NONCD0000023	CUMBERLAND RD & OWEN DR	FAYETTEVILLE	CUMBERLAND	47.78	437
CAROLINA PRODUCTION FINISHING	NCD981015886	105 FAIRVIEW RD	ASHEVILLE	BUNCOMBE	35.86	180
CAROLINA RUBBER HOSE COMPANY	NCD003218492	1801 SOUTH RAILROAD	SALISBURY	ROWAN	26.04	33
CAROLINA TANK CLEANING COMPANY	NCD980729412	1025 NC HWY 68	GREENSBORO	GUILFORD	48.53	462
CATAWISSA LUMBER CO	NONCD0001077	301 LOCUST ST	WEST JEFFERSON	ASHE	40.72	264
CC DICKSON	NONCD0001067	1524 SOUTH BOULEVARD	CHARLOTTE	MECKLENBURG	30.43	81
CCFC PESTICIDE DISPOSAL	NCD986180883	607 HILLSBOROUGH STREET	OXFORD	GRANVILLE	31.67	98
CENTRAL GRAIN-MORGANS CORNER	NONCD0001166	1312 HASSELL RD	ELIZABETH CITY	PASQUOTANK	27.28	42
CENTRAL TRANSPORT COMPANY	NONCD0000015	215 SAMPSON ST	WILMINGTON	NEW HANOVER	38.45	222
CENTRAL TRANSPORT COMPANY	NCD046148540	600 MELYNDA ROAD	CHARLOTTE	MECKLENBURG	48.84	467
CENTURY FURNITURE COMPANY	NCD003221868	420 12TH ST NW	HICKORY	CATAWBA	31.9	104
CF NITROGEN, INCORPORATED	NCD065288847	HWY 45	WINTON	HERTFORD	47.99	443
CHAMPION INTERNATIONAL LANDFILL NO 1	NCD986188001	SR 1571 & 1573	CANTON	HAYWOOD	36.35	186
CHAMPION INTERNATIONAL_CANTON MILL	NCD003148889	NEWFOUND STREET	CANTON	HAYWOOD	37.79	207
CHAMPION LANDFILL NO 2	NCD986188019	SR 1539	CANTON	HAYWOOD	36.04	181
CHAMPION LANDFILL NO 3	NCD986188027	SR 1550 140	CANTON	HAYWOOD	48.25	454
CHARLOTTE BATTERY	NONCD0001150	2926 YOUNGBLOOD ST	CHARLOTTE	MECKLENBURG	33.67	134
CHARLOTTE STEEL DRUM	NCD024468597	2900 WEST TRADE STREET	CHARLOTTE	MECKLENBURG	26.67	39
CHATHAM MILLS, INC.	NONCD0001485	480 HILLSBORO STREET	PITTSBORO	CHATHAM	45.21	386
CHEMCRAFT/SADOLIN PAINT PRODUCTS	NCD991278680	3950 NEW WALKERTOWN RD	WINSTON-SALEM	FORSYTH	31.92	105
CHEMICAL AND SOLVENTS, INC.	NONCD0000044	2804 PATTERSON STREET	GREENSBORO	GUILFORD	38.45	223
CHEMICAL LEAMAN TANK LINES, INC.	NCD043711977	6600 WEST MARKET STREET	GREENSBORO	GUILFORD	42.05	298
CHEROKEE OIL	NCD980799019	1201 BERRYHILL ROAD	CHARLOTTE	MECKLENBURG	31.76	102
CHEROKEE OIL	NCD986190239	925 SOUTH SUMMIT AVE	CHARLOTTE	MECKLENBURG	38.45	224
CHERRY MT STREET DRUM	NCD981473150	602 CHERRY MOUNTAIN	FOREST CITY	RUTHERFORD	45.07	379
CITY OF GOLDSBORO MAINTENANCE COMPLEX	NONCD0001690	1601 N CLINGMAN ST	GOLDSBORO	WAYNE	46.56	406
CLAYTON FARMS	NONCD0002852	1833 LOOP RD	CLAYTON	JOHNSTON	47.63	436

WOMBLE CARLYLE SANDRIDGE & RICE

A PROFESSIONAL LIMITED LIABILITY COMPANY
2100 FIRST UNION CAPITOL CENTER
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ATLANTA, GA
CHARLOTTE, NC
WINSTON-SALEM, NC

March 22, 1995

VIA HAND DELIVERY

Robert Gandley
North Carolina Department of
Environment, Health and Natural Resources
Division of Solid Waste Management
401 Oberlin Road
Raleigh, NC 27605

**PRIVILEGED AND CONFIDENTIAL
ATTORNEY/CLIENT WORK PRODUCT**

RE: *Preliminary assessment, Cardinal Chemical Warehouse fire site, Lumberton,
Robeson County, North Carolina, NCD 986 209 575*

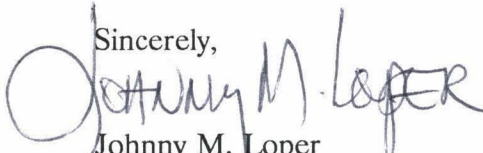
Dear Mr. Gandley:

Enclosed is what I would propose to be an outline of your testimony at trial, based on our meeting, the notes I have taken, and the documents in the case. I have set it up so that my questions are followed by what I believe your answer would be to that question in italics-parentheticals. Please review this document, make notes for changes, corrections, and suggestions, and then give me a telephone call. We can then discuss the changes that need to be made.

Please understand that your "answers" are based on my notes and recollections, and it is possible that I may have misunderstood you at some point, and you may not use the same words I would use. We both need to be comfortable with what your answers will be, so do not hesitate to tell me that an answer needs to be changed or corrected. You will be under oath at the trial, and we want your answers to be truthful, accurate, and complete.

I appreciate your cooperation and assistance.

Sincerely,


Johnny M. Loper

JML:mlw

Enclosure

TOMC

REMEDIAL SITE ASSESSMENT DECISION - EPA REGION IV

Site Name: Cardinal Chemical Warehouse Fire Site

EPA ID#: NCD 986 209 575

Alias Site Names: _____

City: Lumberton

County or Parish: Robeson

State: NC

Refer to Report Dated: December 1994

Report type: Preliminary Assessment

Report developed by: Robert Gandley, NCDEHNR

DECISION:

1. Further Remedial Site Assessment under CERCLA (Superfund) is not required because:

1a. Site does not qualify for further remedial site assessment under CERCLA (No Further Remedial Action Planned - NFRAP)

1b. Site may qualify for further action, but is deferred to: RCRA NRC

2. Further Assessment Needed Under CERCLA: 2a. (optional) Priority: Higher Lower

2b. Activity Type: PA SI ESI HRS evaluation

Other: _____

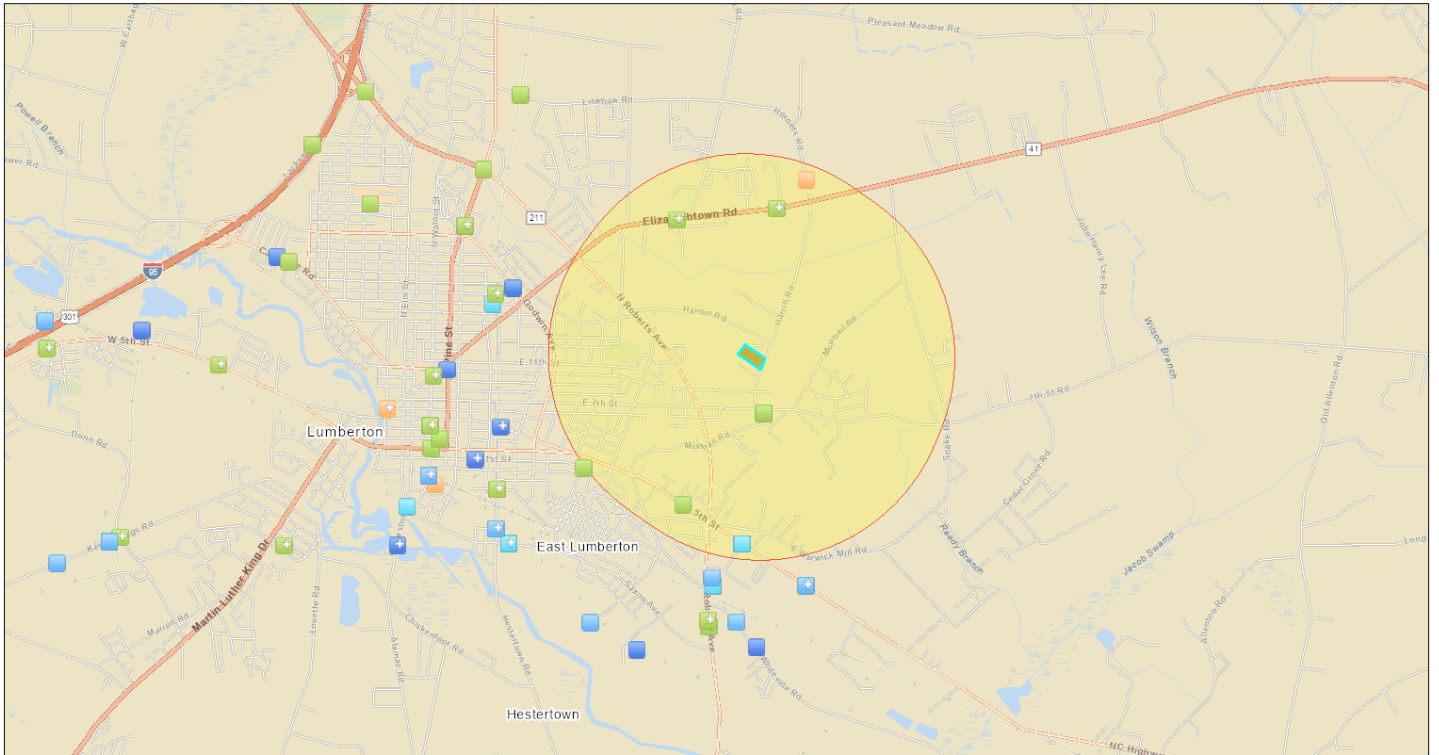
DISCUSSION/RATIONALE: Based on the fact that no contaminated wells were identified, no releases of contaminants were identified in the Lumber River, and the contaminated soils sampled at the site did not exceed health-based soil exposure benchmarks, a disposition of No Further Remedial Action has been assigned under CERCLA.

Report Reviewed and Approved by: Cynthia K. Gurley Signature: Cynthia Gurley Date: 12/28/94

Site Decision Made by: Cynthia K. Gurley Signature: Cynthia Gurley Date: 12/28/94

NEPAssist Report

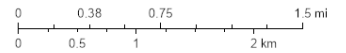
Northeast Pointe II - EPA Facilities



November 1, 2022

- + Water Dischargers (NPDES)
- + Water Dischargers (NPDES)
- + Hazardous Waste (RCRAInfo)
- + Hazardous Waste (RCRAInfo)
- + Toxic Releases (TRI)
- + Toxic Releases (TRI)
- + Air Pollution (ICIS-AIR)
- + Air Pollution (ICIS-AIR)
- + Brownfields (ACRES)
- + Brownfields (ACRES)
- Project Buffer
- Northeast Pointe II - EPA Facilities
- northeast pointe ii

1:36,690



State of North Carolina DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/IASA, USGS, EPA, NPS, USDA

Input Coordinates: 34.623838,-78.975505,34.625028,-78.977598,34.625797,-78.976906,34.625656,-78.976772,34.624732,-78.975065,34.623838,-78.975505

Project Area	0.01 sq mi
Within 1 mile of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Federal Land?	no
Within 1 mile of an impaired stream?	no
Within 1 mile of an impaired waterbody?	no
Within 1 mile of a waterbody?	no
Within 1 mile of a stream?	yes
Within 1 mile of an NWI wetland?	Available Online
Within 1 mile of a Brownfields site?	yes
Within 1 mile of a Superfund site?	no
Within 1 mile of a Toxic Release Inventory (TRI) site?	yes
Within 1 mile of a water discharger (NPDES)?	no
Within 1 mile of a hazardous waste (RCRA) facility?	yes

Within 1 mile of an air emission facility?	yes
Within 1 mile of a school?	yes
Within 1 mile of an airport?	no
Within 1 mile of a hospital?	no
Within 1 mile of a designated sole source aquifer?	no
Within 1 mile of a historic property on the National Register of Historic Places?	no
Within 1 mile of a Toxic Substances Control Act (TSCA) site?	no
Within 1 mile of a Land Cession Boundary?	no
Within 1 mile of a tribal area (lower 48 states)?	no
Within 1 mile of the service area of a mitigation or conservation bank?	yes
Within 1 mile of the service area of an In-Lieu-Fee Program?	yes
Within 1 mile of a Public Property Boundary of the Formerly Used Defense Sites?	no
Within 1 mile of a Munitions Response Site?	no
Within 1 mile of an Essential Fish Habitat (EFH)?	no
Within 1 mile of a Habitat Area of Particular Concern (HAPC)?	no
Within 1 mile of an EFH Area Protected from Fishing (EFHA)?	no
Within 1 mile of a Bureau of Land Management Area of Critical Environmental Concern?	no
Within 1 mile of an ESA-designated Critical Habitat Area per U.S. Fish & Wildlife Service?	no
Within 1 mile of an ESA-designated Critical Habitat river, stream or water feature per U.S. Fish & Wildlife Service?	no

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ATTACHMENT F:

Contamination and Toxic Substances

**Phase I ESA and Vapor
Encroachment Screen**

PHASE I ESA

PHASE I ENVIRONMENTAL SITE ASSESSMENT

219 HARRILL ROAD
LUMBERTON, NORTH CAROLINA
September 20, 2021



503 Industrial Ave.
Greensboro, North Carolina 27406
(336) 335-3174
C-257 Geology
C-1251 Engineering

Prepared For:
Mr. Bobby Funk
Mills Construction Co., Inc.
P.O. Box 6171
Raleigh, NC 27628



September 20, 2021

Ref. No. 2021-258

Mr. Bobby Funk
Mills Construction Co., Inc.
P.O. Box 6171
Raleigh, NC 27628

**Re: Phase I Environmental Site Assessment
219 Harrill Road
Lumberton, North Carolina**

Dear Mr. Funk:

Pyramid Environmental & Engineering, P.C. (Pyramid) is pleased to submit our report describing the findings of the Phase I Environmental Site Assessment (ESA) for the property located at 219 Harrill Road in Lumberton, NC. This assessment was prepared in general accordance with the American Society of Testing and Materials (ASTM) Standard Practices for Environmental Site Assessments: Phase I ESA Process (ASTM Designation: E1527-13).

The purpose of the Phase I ESA was to gather sufficient information to render an independent professional opinion about the environmental condition of the properties. This assessment included a site reconnaissance as well as research and interviews with representatives of the public, property ownership, and regulatory agencies.

If you have any questions or require further clarification of the report findings, please contact Pyramid at 336-335-3174. Thank you for the opportunity to be of service to Mills Construction Co., Inc.

Yours very truly,

A handwritten signature in black ink that reads "Douglas Canavello". The signature is written in a cursive style with a large, prominent initial "D".

Douglas Canavello
Principal

A handwritten signature in black ink that reads "Brett S. Higgins". The signature is written in a cursive style with a large, prominent initial "B".

Brett S. Higgins
Senior Project Manager

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APPENDICES

- A. Environmental Professional Qualifications
- B. National Wetlands Inventory Map & Map Code Interpreter Pages
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- D. Historical Aerial Photographs & Topographic Maps
- E. EDR Certified Sanborn Map Report
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- G. User Questionnaire
- H. EDR Radius Report
- I. NC DEQ DWM Site Locator Tool Map
- J. Site Photographs
- K. EDR Vapor Encroachment Screen
- L. City of Lumberton Fire Department Correspondence

LIST OF ACRONYMS

AAI	all appropriate inquiry
ASTM	American Society for Testing and Materials
CERCLA	Comprehensive Environmental Response, Compensation, and Liability Act
DEQ	Department of Environmental Quality
EDR	Environmental Data Resources, Inc.
EP	Environmental Professional
EPA	Environmental Protection Agency
ESA	Environmental Site Assessment
FEMA	Federal Emergency Management Agency
GIS	Geographical Information System
LLP	Landowner Liability Protection
LUST	leaking underground storage tank
NRCS	Natural Resource Conservation Service
NPL	National Priority List
PCBs	polychlorinated biphenyls
Pyramid	Pyramid Environmental & Engineering, P.C.
RCRA	Resource Conservation Recovery Act
US FWS	United States Fish & Wildlife Service
USGS	United States Geological Survey
UST	underground storage tank
UVF	Ultra Violet Fluorescence

PHASE I ENVIRONMENTAL SITE ASSESSMENT
219 Harrill Road
Lumberton, Robeson County, North Carolina

EXECUTIVE SUMMARY

Pyramid Environmental & Engineering, P.C. conducted a Phase I Environmental Site Assessment, in general conformance with the scope and limitations of ASTM Practice E 1527-13, for the property located at 219 Harrill Road in Lumberton, NC. The subject property includes two parcels with a total of 6.39 acres. The northeast parcel is identified as Robeson County PIN #030178146500 and contains 4.0 acres. The southwest parcel is identified as Robeson County PIN #030178034391 and contains 2.39 acres. Both parcels were undeveloped at the time of the site inspection and were being used for agricultural purposes. According to the Robeson County tax records, both parcels of the subject property are currently owned by Michael P. Walters and Barbara M. Walters. Any exceptions to, or deletions from, this practice are described in **Section 1.4** of this report.

Historical information reviewed as part of this Phase I ESA indicates that both parcels of the subject property have been used for agricultural purposes from at least 1938, as shown on the earliest aerial photograph, until the present. From at least 1938 to 1964, the property appeared to have been associated with an adjacent home site, which is visible on the aerials to the east of the property boundary. By 1974, the road leading to the home site was re-routed and Harrill Road was constructed along the eastern boundary of the property. Since at least 2011, a rotation of corn or soybean crops have been grown on the land. At the time of the site inspection, the property was being used for agricultural purposes and a corn crop was in the process of being grown for harvest. The surrounding area includes residential, agricultural, and institutional land use and wooded/undeveloped properties.

Recognized Environmental Conditions

Recognized Environmental Conditions (RECs) are defined by the ASTM Standard Practice E1527-13 as the presence or likely presence of any hazardous substances or petroleum products in, at, or on a property: (1) due to any release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. *De minimis* conditions are not recognized environmental conditions.

This assessment did not reveal any recognized environmental conditions (RECs) associated with the subject property.

Historical Recognized Environmental Conditions (HRECs) are defined by the ASTM Standard Practice E1527-13 as a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any historical recognized environmental conditions (HRECs) associated with the subject property.

Controlled Recognized Environmental Conditions (CRECs) are defined by the ASTM Standard Practice E1527-13 as a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any controlled recognized environmental conditions (CRECs) associated with the subject property.

Observations

- At the time of the site inspection, the property was being used for agricultural purposes and a corn crop was in the process of being grown for harvest. The current property owner indicated that the land is being leased on a yearly basis and the lease expires either when the crop is harvested or no later than the last day of the lease year. The current lease is set to expire no later than December 31, 2021.
- A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The pond overflow drains toward drainage ditches that run along the southwestern and northwestern boundaries of the subject property. The ditches direct the overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property.

Recommendations

Based on the findings of this Phase I ESA, Pyramid did not identify potential RECs, HRECs, or CRECs associated with the subject property; therefore, further environmental investigation is not recommended at this time.

1.0 INTRODUCTION

This report documents the results of a Phase I Environmental Site Assessment in general conformance with the scope and limitations of ASTM Practice E 1527-13 for the subject property located at 219 Harrill Road in Lumberton, Robeson County, North Carolina (**Figure 1**). The purpose of a Phase I Environmental Site Assessment is to identify, to the extent feasible pursuant to ASTM Practice E 1527-13, recognized environmental conditions in connection with the property. A Phase I ESA is performed to ASTM Practice E 1527-13 standards to satisfy pre-purchase due diligence requirements, qualify for Landowner Liability Protection (LLP) to CERCLA liability and/or to understand potential environmental conditions that could materially impact the operation of the business associated with the parcel of commercial real estate.

1.1 Purpose

The purpose of this Phase I ESA was to identify recognized environmental conditions and certain environmental conditions outside the scope of ASTM Practice E 1527-13 in connection with the property at the time of the site reconnaissance. This practice is intended to permit a user to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on CERCLA liability (also known as “landowner liability protections” or LLPs): that is the practice that constitutes “all appropriate inquiry (AAI) into the previous ownership and uses of the property consistent with good commercial or customary practice” as identified at 42 U.S.C. §9601(35)(B). The Phase I ESA, by itself, does not qualify the purchaser for CERCLA liability protection. The purchaser may have continuing obligations after purchase. A recognized environmental condition, as defined by this practice, means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property. The term is not intended to include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not recognized environmental conditions. This includes conditions in compliance with all applicable laws.

1.2 Detailed Scope-of-Service

This Phase I ESA was conducted utilizing a standard of good commercial and customary practice that was consistent with the ASTM Standard Practice E 1527-13. Any significant scope-of-work additions, deletions or deviations to ASTM Practice E 1527-13 are noted below or in the corresponding sections of this report. The scope-of-work for this assessment included an evaluation of the following:

- Physical characteristics of the property through a review of referenced sources for topographic, geologic, soils and hydrologic data.
- Site history through a review of referenced sources such as property tax records, chain-of-title records, fire insurance maps, city directories, aerial photographs, prior reports and interviews.

- Current site conditions including observations and interviews regarding the presence or absence of hazardous substances or petroleum products; generation, treatment, storage, or disposal of hazardous, regulated, or medical waste; equipment that utilizes oils which potentially contain PCBs; and storage tanks (aboveground and underground).
- Usage of surrounding area properties and the likelihood for releases of hazardous substances and petroleum products (if known and/or suspected) to migrate onto the property.
- Information in referenced environmental agency databases and local environmental records, within specified minimum search distances.

1.3 Significant Assumptions

The scope-of-work is intended to conform to the ASTM Standard Practice E 1527-13 ‘**Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process**’ and any amendments to said practice. This assessment has no significant departures or deletions from, nor any exceptions or additions to this practice. Findings within this report are based on information collected from observations made on the day of the site investigation and from reasonably ascertainable information obtained from governing public agencies and referenced sources.

This report is not definitive and should not be assumed to be a complete or specific definition of all conditions above or below grade. Subsurface conditions may differ from the conditions implied by the surface observations and can only be reliably evaluated through intrusive techniques. Information in this report is not intended to be used as a construction document and should not be used for demolition, renovation, or other construction purposes.

1.4 Limitations and Exceptions

The ASTM Phase I Standard recognizes that “no Environmental Site Assessment can wholly eliminate uncertainty regarding the potential for recognized environmental conditions.” The Standard states that it is designed to “reduce, but not eliminate” uncertainty, and it recognizes “reasonable limits of time and cost” in the Phase I process. The Phase I ESA is valid for a period of 1 year for the report with a 180-day shelf life for certain components, which include interviews, environmental liens, review of government records, site visit, declaration/signature by the Environmental Professional (EP).

1.5 Activity & Use Limitations

Activity and use limitations are legal or physical restrictions or limitations on the use of, or access to, a site or facility. Activity and use limitations are designed to (1) reduce or eliminate the potential exposure to hazardous substances or petroleum products in the soil or groundwater on the property, or (2) to prevent activities that could interfere with the effectiveness of a response action, in order to ensure maintenance of a condition of no significant risk to public health or the environment. These legal restrictions, which may include institutional and/or engineering controls, are intended to prevent adverse impacts to individuals or populations that may be exposed to hazardous substances and petroleum products in the soil or groundwater on the property. No activity or use limitations were identified for the subject property.

1.6 Environmental Professional Qualifications

The Environmental Site Assessment must be performed by the Environmental Professional (EP) or conducted under the supervision or responsible charge of the EP. An EP is a person who possesses sufficient specific education, training, and experience necessary to exercise professional judgment to develop opinions and conclusions regarding conditions indicative or releases or threatened releases on, at, in, or to a property, sufficient to meet the objectives and performance factors in §312.20(e) and (f).

We declare that, to the best of our professional knowledge and belief, we meet the definition of an EP as defined in §312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312. Statement of qualifications are included in **Appendix A**.

1.7 Special Terms and Conditions

This report is prepared for, and made available solely for use by, Mills Construction Co., Inc. and their designees. The contents thereof may not be used or relied upon by any other person without the express written consent and authorization of the consultant. The observations, conclusions, and recommendations documented in this report are based on site conditions and information reviewed at the time of Pyramid's investigation. An EP is not required to verify independently the information provided but may rely on information provided unless he or she has actual knowledge that certain information is incorrect. Pyramid Environmental & Engineering, P.C. appreciates the opportunity to provide this environmental service.

1.8 User Reliance

The "User" as defined in this assessment is Mills Construction Co., Inc. This report is intended only for the use and benefit of, and may be relied upon by, Mills Construction Co., Inc. of Raleigh, NC and any other party specifically identified in writing by Pyramid as a User of this report. Pyramid cannot, and will not, be liable for unauthorized reliance by any other third party.

2.0 SITE DESCRIPTION

2.1 Location and Legal Description

Physical Address: 219 Harrill Road
County: Robeson
Parcel IDs: #030178146500 (4.0 acres) & #030178034391 (2.39 acres) (see **Figure 2**)
Total Acreage: 6.39

2.2 Physical Setting Sources

Site Geology

Pyramid's review of the 1985 Geologic Map of North Carolina yielded information concerning local geology and hydrogeology. Based on this review, the site is located in the southwestern

portion of the Coastal Plain of North Carolina. The underlying bedrock in the area is described as the Tertiary Yorktown Formation and Duplin Formation, Undivided (map symbol Tpy). The Yorktown Formation is characterized by fossiliferous clay with varying amounts of fine-grained sand, bluish gray, with shell material commonly concentrated in lenses, mainly in the area north of the Neuse River. The Duplin Formation is characterized by shelly, medium- to coarse-grained sand, sandy marl, and limestone, bluish gray, mainly in the area south of the Neuse River.

In general, both surface and groundwater flow directions are controlled by topographic contours of land forms in the Coastal Plain, with flow occurring perpendicular to the contours from high to low elevations. The topography of the area is relatively flat. Surface water run-off from the subject property is generally directed to the north toward an unnamed tributary of Meadow Branch, which runs along the northeastern boundary of the subject property. The unnamed tributary flows approximately 0.5 miles northwest before joining Meadow Branch. A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The pond overflow drains toward drainage ditches that run along the southwestern and northwestern boundaries of the subject property. The ditches direct the overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property.

Many structural features such as faults, joints, and fractures can significantly enhance groundwater flow rates. Without very specific site information, only limited statements can be made with respect to groundwater flow at the subject property. Determination of groundwater quality and flow rates was beyond the scope of this assessment.

Topography

USGS Quadrangles: Northeast Lumberton & Southeast Lumberton, NC (2019)

Range of Elevation: 145 feet above mean sea level

Surface Gradient: North

Wetlands

Wetlands determination is outside the ASTM scope for a Phase I ESA. According to the National Wetlands Inventory Online Mapper, produced by the Department of Interior, a Riverine wetland (Wetlands Code: R2UBHx) is located along the northeastern boundary of the subject property. This designated wetland is a portion of an unnamed tributary of Meadow Branch. The unnamed tributary flows approximately 0.5 miles northwest before joining Meadow Branch. If there is a need for confirmation of wetland status for this property, a site-specific wetland determination can be arranged. A Palustrine wetland (Wetlands Code: PUBHx), an unnamed pond, is also shown approximately 390 feet to the northwest of the subject property. Copies of the National Wetlands Inventory Map and Map Code Interpreter Pages are included in **Appendix B**.

Flood Plain

Flood Insurance Rate Map 3720030100K
Community Panel No.:

Flood Zone: Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

Date: December 6, 2019

A copy of the FEMA National Flood Hazard Layer FIRMette Map is included in **Appendix C**.

The 0.2% annual chance flood (500-year flood) is the flood that has a 0.2% chance of being equaled or exceeded in any given year.

Watershed

According to the NC Surface Water Classifications Map online, curated by the NC Department of Environmental Quality (NC DEQ), the subject property is not located in a designated watershed area. Surface water run-off from the subject property is generally directed to the north toward an unnamed tributary of Meadow Branch, which runs along the northeastern boundary of the subject property. The unnamed tributary flows approximately 0.5 miles northwest before joining Meadow Branch. Meadow Branch is considered a Class C water supply. Class C waters are protected for uses such as secondary recreation, fishing, wildlife, fish consumption, aquatic life including propagation, survival and maintenance of biological integrity, and agriculture. Secondary recreation includes wading, boating, and other uses involving human body contact with water where such activities take place in an infrequent, unorganized, or incidental manner. Meadow Branch also has a Swamp Water (Sw) supplemental classification, which recognizes waters which have low velocities and other natural characteristics which are different from adjacent streams. Specific information regarding the watershed ordinances and development within non-water supply watersheds or designated water supply watersheds can be obtained from the Watershed Protection Engineer at the City of Lumberton Planning and Development Department.

2.3 Site and Vicinity General Characteristics

The subject property is located at 219 Harrill Road in Lumberton, North Carolina (**Figure 3**). The subject property is located southwest of the intersection of Hardin Road and Harrill Road, just east of downtown Lumberton. The surrounding area includes residential, agricultural, and institutional land use and wooded/undeveloped properties.

2.4 Description of Structures, Roads & Improvements

General Description of Structures

The subject property includes two parcels with a total of 6.39 acres. The northeast parcel is identified as Robeson County PIN #030178146500 and contains 4.0 acres. The southwest parcel is identified as Robeson County PIN #030178034391 and contains 2.39 acres. Both parcels were undeveloped at the time of the site inspection and were being used for agricultural purposes. No structures were observed on the subject property at the time of the site inspection.

Roads

The subject property is accessible by way of Harrill Road to the east.

2.5 Current and Past Use of the Property/Vicinity

Historical information reviewed as part of this Phase I ESA indicates that both parcels of the subject property have been used for agricultural purposes from at least 1938, as shown on the earliest aerial photograph, until the present. From at least 1938 to 1964, the property appeared to have been associated with an adjacent home site, which is visible on the aerials to the east of the property boundary. By 1974, the road leading to the home site was re-routed and Harrill Road was constructed along the eastern boundary of the property. Since at least 2011, a rotation of corn or soybean crops have been grown on the land. At the time of the site inspection, the property was being used for agricultural purposes and a corn crop was in the process of being grown for harvest. The surrounding area includes residential, agricultural, and institutional land use and wooded/undeveloped properties.

North: Tributary of Meadow Branch, beyond which is the Lone Oak Mobile Home Park (residential).

East: Harrill Road, beyond which are privately-owned residential properties and the Heaven Bound New Vision Church.

South: Northeast Pointe Apartments, beyond which are wooded/undeveloped properties and privately-owned residential properties.

West: Residential/agricultural properties and wooded/undeveloped properties.

2.6 Historical Use Information on the Property

The following sources were used during this investigation:

Tax Records Locations Reviewed: Robeson County Tax Department and Register of Deeds Online

Earliest Data Found: 2006

Aerial Photographs

Locations Reviewed: Robeson County GIS, Google Earth, & EDR Aerial Photo Decade Package

Years Reviewed: 2018, 2017, 2016, 2012, 2009, 2006, 1999, 1993, 1983, 1980, 1979, 1974, 1964, 1958, 1951, and 1938

Year Included as Figure 3: 2017

Copies of the available historical aerials are included in **Appendix D**.

Historical Topographic Maps

Locations Reviewed: EDR Historical Topo Map Report & USGS Topographic Map

Years Reviewed: 2019, 2013, 2000, 1986, and 1957

Copies of the available historical topographic maps are included in **Appendix D**.

Maps

Locations Reviewed: Robeson County GIS & USGS Topographic Map

Tax Map Scale: 1" = 324'

USGS 7.5-minute Topographic Map: Northeast Lumberton and Southeast Lumberton, NC (2019)

USGS Topographic Map Scale: 1" = 2,000'

City Directories

Suburban and City Directories were not reviewed as part of this Phase I ESA investigation. The historical use of the property was determined by reviewing aerial photographs, tax records, and property deeds.

Sanborn Fire Insurance Maps

Sanborn Maps were originally created for assessing fire insurance liability in urbanized areas in the United States. The maps include detailed information regarding town and building information in approximately 12,000 U.S. towns and cities from 1867 to 2007. According to the search conducted by EDR, Sanborn Map coverage is not available for the subject property. A copy of the EDR Certified Sanborn Map Report, indicating no coverage for the subject property, is included as **Appendix E**.

2.7 Chain-of-Title

As part of this Phase I Environmental Site Assessment, a chain-of-title review was performed to the limits of readily accessible records from the Robeson County Tax Department and Register of Deeds. At the time of the site inspection, both parcels of the subject property were owned by Michael P. Walters and Barbara M. Walters. The ownership history for both parcels is summarized in **Tables 1A & 1B** below. Copies of the referenced deeds are presented in **Appendix F**.

TABLE 1A: Ownership for Northeast Parcel (PIN #030178146500)

Parcel No.:	Grantee:	Deed Book - Page:	Date:
10140100304 (4.0 acres)	Michael P. Walters and wife Barbara M. Walters	1827 - 878	09/27/2011
	Four-County Community Services, Inc.	1528 – 214 (Gift Deed)	01/09/2006
	Michael P. Walters and wife Barbara M. Walters	1515 – 259	01/05/2006
	Mack White Investments, Inc. A North Carolina Corporation	Not Researched	Not Researched

On January 9, 2006, Mr. and Mrs. Walters gifted this 4.0-acre parcel to Four-County Community Services, Inc. with the stipulation that Four-County Community Services, Inc. would begin construction of a day care center on the tract within five years. If this condition was not met, the property was to be re-conveyed to Mr. and Mrs. Walters. The Agreement to Re-Convey Lands was recorded in Deed Book 1528, Page 217. A copy of this agreement is also included in **Appendix F**. The day care was not constructed within the allotted time and the property was re-conveyed to Mr. and Mrs. Walters in September 2011.

TABLE 1B: Ownership for Southwest Parcel (PIN #030178034391)

Parcel No.:	Grantee:	Deed Book - Page:	Date:
101401003 (2.39 acres)	Michael P. Walters and wife Barbara M. Walters	1998 – 606	06/25/2015
	Mack White Investments, Inc. A North Carolina Corporation	948 – 17	04/02/1997
	Ira Mac McGee, Trustee and Charles A. Fesmire, Trustee	943 - 881	12/16/1996
	Myrtle Coward Stewart; William L. Coward et ux., Jan Coward; Ernest W. York et ux., Ann R. York; & Allan Coward et ux., Grace Coward	Not Researched	Not Researched

There were no environmental liens reported by the client or discovered during the historical research of the subject property.

2.8 Previous Environmental Investigations

No previous environmental investigations were discovered by Pyramid or provided by the current property owner as part of the Phase I ESA.

If the user is aware of any specialized knowledge or experience that is material to recognized environmental conditions in connection with the property, it is the user's responsibility to communicate any information based on such specialized knowledge or experience to the EP. The user should do so before the EP conducts the site reconnaissance. The client provided no specialized knowledge.

2.9 User Questionnaire

The client did not provide information regarding valuation reduction for environmental issues. Mr. Michael Walters, a current property owner, completed the User Questionnaire for the subject property and a signed copy is included in **Appendix G**.

3.0 RECORDS REVIEW

As part of this Phase I Environmental Site Assessment, a background review to identify on-site and potential off-site sources of environmental contamination was performed. The background review included Federal and Non-Federal database searches in accordance with the American Society for Testing and Materials (ASTM) standards. Environmental Data Resources (EDR), a commercially available database service, was used for the search. A copy of the EDR Radius Report is included in **Appendix H**. A description of each database searched is included in the EDR Radius Report.

Environmental and regulatory agencies of the State of North Carolina were contacted to determine if any environmental problems were known to exist or have formerly existed at the subject property. The following applicable issues were addressed: Air Quality; Groundwater Quality; Surface Water Quality; Solid Waste; Surface Spills; Hazardous Waste Storage and Disposal; and Underground Storage Tanks.

3.1 Federal

Federal Databases Searched	Search Radius	Quantity Listed	Item No. Below
Federal National Priority List (NPL)	1 mile	No Sites Listed	NA
Federal Delisted NPL Sites	½ mile	No Sites Listed	NA
Federal CERCLIS List	½ mile	No Sites Listed	NA
Federal CERCLIS NFRAP List	½ mile	No Sites Listed	NA
Federal RCRA CORRACTS	1 mile	No Sites Listed	NA

Federal RCRA NON-CORRACTS TSD	½ mile	No Sites Listed	NA
Federal RCRA Generators	Target Property/ Adjoining Properties	No Sites Listed	NA
U.S. EPA ERNS	Target Property	No Sites Listed	NA
Federal Institutional Controls/Engineering Control Registries	Target Property	No Sites Listed	NA

3.2 State

State Databases Searched	Search Radius	Quantity Listed	Item No. Below
State & Tribal Equivalent NPL (Hazardous Substance Disposal Sites - HSDS)	1 mile	One Site Listed	1

- 1. Cardinal Chemical Warehouse Fire (Map ID #8)**, located near the intersection of NC Highway 211 & NC Highway 72, is listed in the NC HSDS database. NC Department of Environmental Quality (DEQ) records indicate that the site, with EPA ID #NCD986209575, was included on the 2018-2019 Inactive Hazardous Waste Sites Priority List. The Priority List is a list of sites where uncontrolled disposal or spills of hazardous substances have been identified. The site is located approximately 0.815 miles to the south-southwest of the subject property and is topographically higher in elevation.

State & Tribal Equivalent CERCLIS (State Hazardous Waste Sites - SHWS)	½ mile	No Sites Listed	NA
State & Tribal Landfills (Solid Waste)	½ mile	No Sites Listed	NA
State & Tribal Registered USTs	Target Property/ Adjoining Properties	No Sites Listed	NA
State & Tribal Leaking USTs (LUST)	½ mile	Four Sites Listed	2-5

- 2. R. E. Gore (Map ID #A2)**, located at Rt. 9, Box 230 in Lumberton, NC, is listed in the Leaking UST (LUST) database. The incident (#8868) was reported in July 1992, during the removal of two non-commercial 550-gallon USTs at the site. Comments in the EDR Radius Report indicate that it was not possible to accurately locate the site due to lack of file information; however, the NC DEQ file indicates that approximately 15 cubic yards of gasoline-contaminated soil was removed during the abandonment of the USTs. The incident does not include a regulatory closure date and the incident phase is listed as “Response.” The site is located 0.101 miles south-southwest of the subject property and is topographically higher in elevation.
- 3. Sun Do Kwik Shop 211 (Map ID #3)**, located at 1145 Roberts Avenue in Lumberton, NC, is listed in the Leaking UST (LUST) database. A petroleum release (Incident #42057) was discovered during the removal of seven USTs at the site in March – April 2017. A total of 1,188.52 tons of petroleum-impacted soils were excavated during the removal of the USTs. Cleanup confirmation soil samples and groundwater samples were collected. The results of the sampling indicated no petroleum volatile organic compounds (VOCs) were detected in concentrations exceeding the NCAC 2L Standards.

The incident was granted regulatory closure from the NC DEQ on August 14, 2017. The site is located 0.312 miles west-southwest of the subject property and is topographically higher in elevation.

4. **Casson’s Quick Check (Map ID #5)**, located at 602 Roberts Avenue in Lumberton, NC, is listed in the Leaking UST (LUST) database. A petroleum release (Incident #29450) was discovered during the sampling of four on-site monitoring wells during pre-UST closure-in-place activities in 2007. Cleanup occurred at the site in March 2007 and the incident was granted regulatory closure from the NC DEQ on June 25, 2007. A Land Use Restriction (LUR), limiting the use of soil and groundwater at the site, was filed with the Register of Deeds Office in September 2007. The site is located 0.377 miles southwest of the subject property and is topographically higher in elevation.
5. **Spinx 347 (Happy Store 347) (Map IDs #B6 & #B7)**, located at 1302 Roberts Avenue in Lumberton, NC, is listed in the Leaking UST (LUST) database. A petroleum release (Incident #5785) was discovered during an environmental assessment that was conducted in 1990 at the site. Since 1995, the incident has been in remediation for soil and groundwater contamination at the site. The most recent work conducted at the site included the sampling and analysis of groundwater from ten monitoring wells at the site. The results indicated that free-product was still present at the site and additional remediation would continue. The incident is listed in the “Follow-up” phase in the EDR Radius Report. The site is located 0.450 miles from the subject property and is topographically higher in elevation.

State & Tribal Leaking ASTs (LAST)	½ mile	One Site Listed	6
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6. **Hunters Lane Farm (Map ID #4)**, located at 700 Roberts Avenue in Lumberton, NC, is listed in the Leaking AST (LAST) database. According to comments in the EDR Radius Report, the incident (#95983) involved a spill of 50-100 gallons of petroleum onto the road and in the roadside ditch in February 2021. The incident phase is listed as “Not Reported” and no additional information was available. The site is located 0.344 miles southwest of the subject property and is topographically higher in elevation.

State & Tribal Institutional Controls/Engineering Control Registries	Target Property	No Sites Listed	NA
State & Tribal Voluntary Cleanup Sites	½ mile	No Sites Listed	NA
State & Tribal Brownfield Sites	½ mile	No Sites Listed	NA

A review of the non-geocoded or unmapped sites in the EDR Radius Report did not reveal any incidents on or near the subject property.

3.3 NC DEQ Online Records Search

As part of this Phase I ESA, Pyramid searched available online records on the NC DEQ Division of Waste Management (DWM) website to determine if the subject property or surrounding properties were included in the available databases. In addition, a map was produced using the DWM Site Locator Tool, which shows the locations of dry-cleaners, LUST incidents, sites with land use restrictions and notices, and other incidents of concern. A copy of the NC DEQ DWM Site Locator Tool Map is included in **Appendix I**. No incidents were found for the subject site.

Incidents or sites of environmental interest on the surrounding properties within one mile, if found, are described in the *Records Review* **Sections 3.1** and **3.2** above.

More information, including a link to the NC DEQ Division of Waste Management Site Locator Tool Map, as well as links to other DEQ resources, can be found at the NC DEQ Division of Waste Management website, located at: <https://deq.nc.gov/about/divisions/waste-management>.

3.4 Local

There were no environmental permits discovered concerning the subject property. According to the City of Lumberton Planning and Zoning Department, both parcels of the subject property are zoned “B-2” for Community Business land use.

4.0 VAPOR ENCROACHMENT CONCERNS

Vapor encroachment concerns (VEC) near the subject property were reviewed as part of this assessment. According to the EDR Vapor Encroachment Screen, which conforms to the ASTM E2600-15 ‘Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions,’ no potential vapor encroachment concerns were identified within the prescribed search distance of 1/3 of a mile for chemicals of concern and 1/10 of a mile for petroleum hydrocarbon chemicals of concern. A copy of the EDR Vapor Encroachment Screen is presented in **Appendix K**.

5.0 SITE RECONNAISSANCE

5.1 Methodology and Limiting Conditions

Tamara Cagle of Pyramid Environmental & Engineering, P.C. of Greensboro, North Carolina inspected the subject property on September 14, 2021. Photographs taken during the site inspection are included in **Appendix J**. Information to support the Phase I Environmental Site Assessment was obtained primarily through the following activities:

- Inspection of the grounds to observe current site conditions.
- Survey of the area immediately surrounding the property for visible evidence of environmental concerns.
- Interviews with those who are familiar with historical and current operations of the property and adjoining property owners as necessary.

5.2 Hazardous Substances and Petroleum Products

No hazardous substances or petroleum products were observed at the subject property at the time of the site inspection.

5.3 Storage Tanks

5.3.1 Underground Storage Tanks (USTs)

No evidence of underground storage tanks (USTs) was observed at the time of the site inspection.

5.3.2 Aboveground Storage Tanks (ASTs)

No aboveground storage tanks (ASTs) were observed at the time of the site inspection.

5.4 Polychlorinated Biphenyls (PCBs)

One pole-mounted transformer was observed on the east-central boundary of the subject property, along Harrill Road, at the time of the site inspection. The transformer appeared to be in good condition with no signs of leaks or damage. No other potential sources of PCBs were observed at the time of the site inspection.

5.5 Solid and Liquid Waste Disposal

No solid or liquid wastes were being generated at the site at the time of the site inspection.

5.6 Asbestos

Asbestos sampling was outside the scope of the work described in the ASTM guidelines for performing Phase I ESAs.

In the mid-1970s, several major kinds of asbestos materials, such as spray-applied insulation, fireproofing, and acoustical surfacing material, were banned by EPA because of growing concern about health effects, particularly cancer, associated with exposure to such materials. In July 1989, EPA promulgated the Asbestos Ban and Phase-down Rule. The rule applies to new product manufacture, importation, and processing, and essentially banned almost all asbestos-containing products in the United States by 1997. This rule does not apply to removal of asbestos-containing materials (ACMs) currently in place in buildings. No structures were located on the subject property at the time of the site inspection; therefore, no ACMs were observed.

5.7 Lead-Based Paint

Lead-based paint sampling was outside the scope of the work described in the ASTM guidelines for performing Phase I ESAs.

In 1978, Congress passed amendments to the Lead-Based Paint Poisoning Prevention Act prohibiting the manufacture and sale of paints containing lead. The Act applies to property that was constructed or substantially rehabilitated prior to 1978. No structures were located on the subject property at the time of the site inspection; therefore, no lead-based paints were observed.

5.8 Mold

No structures were located on the subject property at the time of the site inspection; therefore, there was no evidence of mold observed.

5.9 Debris

No debris was observed on the subject property at the time of the site inspection.

5.10 Stressed Vegetation/Soil Staining

No stressed vegetation or soil staining were observed at the time of the site inspection.

5.11 Surface Water

A tributary of Meadow Branch flows along the northeastern boundary of the subject property.

5.12 Wastewater

No wastewater was being produced at the property nor were there any wastewater treatment systems on the property at the time of the site inspection.

5.13 Septic System

No septic systems were identified on the property at the time of the site inspection.

5.14 Drains or Sumps

No drains or sumps were observed on the property at the time of the site inspection.

5.15 Pits, Ponds, or Lagoons

No pits, ponds, or lagoons were observed on the subject property at the time of the site inspection. A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The pond overflow drains toward drainage ditches that run along the southwestern and northwestern boundaries of the subject property. The ditches direct the overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property (see **Figure 3**).

5.16 Stained Soil or Pavement

No stained soil or pavement were identified on the site at the time of the site inspection.

5.17 Wells

No water supply wells were identified on the site at the time of the site inspection.

5.18 Heating/Cooling

No structures were located on the subject property at the time of the site inspection; therefore, there were no heating or cooling systems in use at the site.

6.0 INTERVIEWS

6.1 Interview with Site Contact

On September 10 & 20, 2021, Pyramid representative Tamara Cagle conducted email correspondence with Mr. Michael P. Walters, representing the current owners of the subject property. Mr. Walters authorized access to the property for the site inspection and provided information about past uses and current operations at the subject property. Mr. Walters indicated that the property has been used for agricultural purposes and, during the time he has owned the property, a rotation of corn or soybean crops have been grown and harvested at the site. He explained that the land was being leased on a yearly basis and the lease typically expires when the crop is harvested or on the last day of the lease year. The current lease is set to expire no later than December 31, 2021. Mr. Walters also indicated that, to the best of his knowledge, he is not aware of any other environmental concerns associated with the site. Mr. Walters completed the User Questionnaire for the subject property, and a signed copy is included in **Appendix G**.

6.2 Interviews with Local Fire Department Representatives

On September 8, 2021, Pyramid representative Josh Dasnoit submitted a request to Ms. Samantha Oxendine, Executive Secretary with the City of Lumberton Fire Department, regarding environmental incidents or Fire Department responses on the subject property (219 Harrill Road). A follow-up email was sent by Pyramid representative Tamara Cagle on September 20, 2021. On September 20, 2021, Mr. Chris West, Interim Fire Chief of the City of Lumberton Fire Department, responded and indicated that there have been no Fire Department responses pertaining to fires, hazardous materials/petroleum spills, or environmental incidents at the subject property. Copies of the correspondence with Ms. Oxendine and Mr. West are included as **Appendix L**.

7.0 DATA GAPS

Data gaps occur when all of the standard historical sources that are reasonably ascertainable and likely to be useful have been reviewed and, yet, the objectives have not been met. No data gaps occurred that had an impact on the ability of the EP to identify recognized environmental conditions associated with the subject property.

8.0 FINDINGS & OPINIONS

Pyramid Environmental & Engineering, P.C. conducted a Phase I Environmental Site Assessment, in general conformance with the scope and limitations of ASTM Practice E 1527-13, for the property located at 219 Harrill Road in Lumberton, NC. The subject property includes two parcels with a total of 6.39 acres. The northeast parcel is identified as Robeson County PIN #030178146500 and contains 4.0 acres. The southwest parcel is identified as Robeson County PIN #030178034391 and contains 2.39 acres. Both parcels were undeveloped at the time of the site inspection and were being used for agricultural purposes. According to the Robeson County tax records, both parcels of the subject property are currently owned by Michael P. Walters and Barbara M. Walters. Any exceptions to, or deletions from, this practice are described in **Section 1.4** of this report.

Historical information reviewed as part of this Phase I ESA indicates that both parcels of the subject property have been used for agricultural purposes from at least 1938, as shown on the earliest aerial photograph, until the present. From at least 1938 to 1964, the property appeared to have been associated with an adjacent home site, which is visible on the aerials to the east of the property boundary. By 1974, the road leading to the home site was re-routed and Harrill Road was constructed along the eastern boundary of the property. Since at least 2011, a rotation of corn or soybean crops have been grown on the land. At the time of the site inspection, the property was being used for agricultural purposes and a corn crop was in the process of being grown for harvest. The surrounding area includes residential, agricultural, and institutional land use and wooded/undeveloped properties.

9.0 CONCLUSIONS & RECOMMENDATIONS

Pyramid has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E-1527 for the property located at 219 Harrill Road in Lumberton, NC. Any exceptions to, or deletions from, this practice are described in **Section 1.4** of this report.

Recognized Environmental Conditions

Recognized Environmental Conditions (RECs) are defined by the ASTM Standard Practice E1527-13 as the presence or likely presence of any hazardous substances or petroleum products in, at, or on a property: (1) due to any release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. *De minimis* conditions are not recognized environmental conditions.

This assessment did not reveal any recognized environmental conditions (RECs) associated with the subject property.

Historical Recognized Environmental Conditions (HRECs) are defined by the ASTM Standard Practice E1527-13 as a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any historical recognized environmental conditions (HRECs) associated with the subject property.

Controlled Recognized Environmental Conditions (CRECs) are defined by the ASTM Standard Practice E1527-13 as a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls)).

This assessment did not reveal any controlled recognized environmental conditions (CRECs) associated with the subject property.

Observations

- At the time of the site inspection, the property was being used for agricultural purposes and a corn crop was in the process of being grown for harvest. The current property owner indicated that the land is being leased on a yearly basis and the lease expires either when the crop is harvested or no later than the last day of the lease year. The current lease is set to expire no later than December 31, 2021.
- A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The pond overflow drains toward drainage ditches that run along the southwestern and northwestern boundaries of the subject property. The ditches direct the overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property.

Recommendations

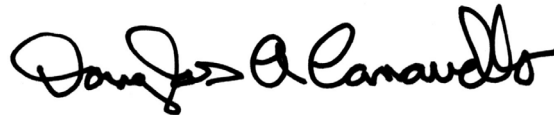
Based on the findings of this Phase I ESA, Pyramid did not identify potential RECs, HRECs, or CRECs associated with the subject property; therefore, further environmental investigation is not recommended at this time.

10.0 SIGNATURES

The observations, conclusions, and recommendations documented in this report are based on site conditions and information reviewed at the time of Pyramid's investigation. Pyramid Environmental & Engineering, P.C. appreciates the opportunity to provide this environmental service.

We declare that, to the best of our professional knowledge and belief, we meet the definition of Environmental Professional as defined in §312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

Sincerely,

A handwritten signature in black ink that reads "Douglas A. Canavello". The signature is written in a cursive, flowing style.

Douglas A. Canavello
Pyramid Environmental & Engineering, P.C.

A handwritten signature in black ink that reads "Brett S. Higgins". The signature is written in a cursive, flowing style.

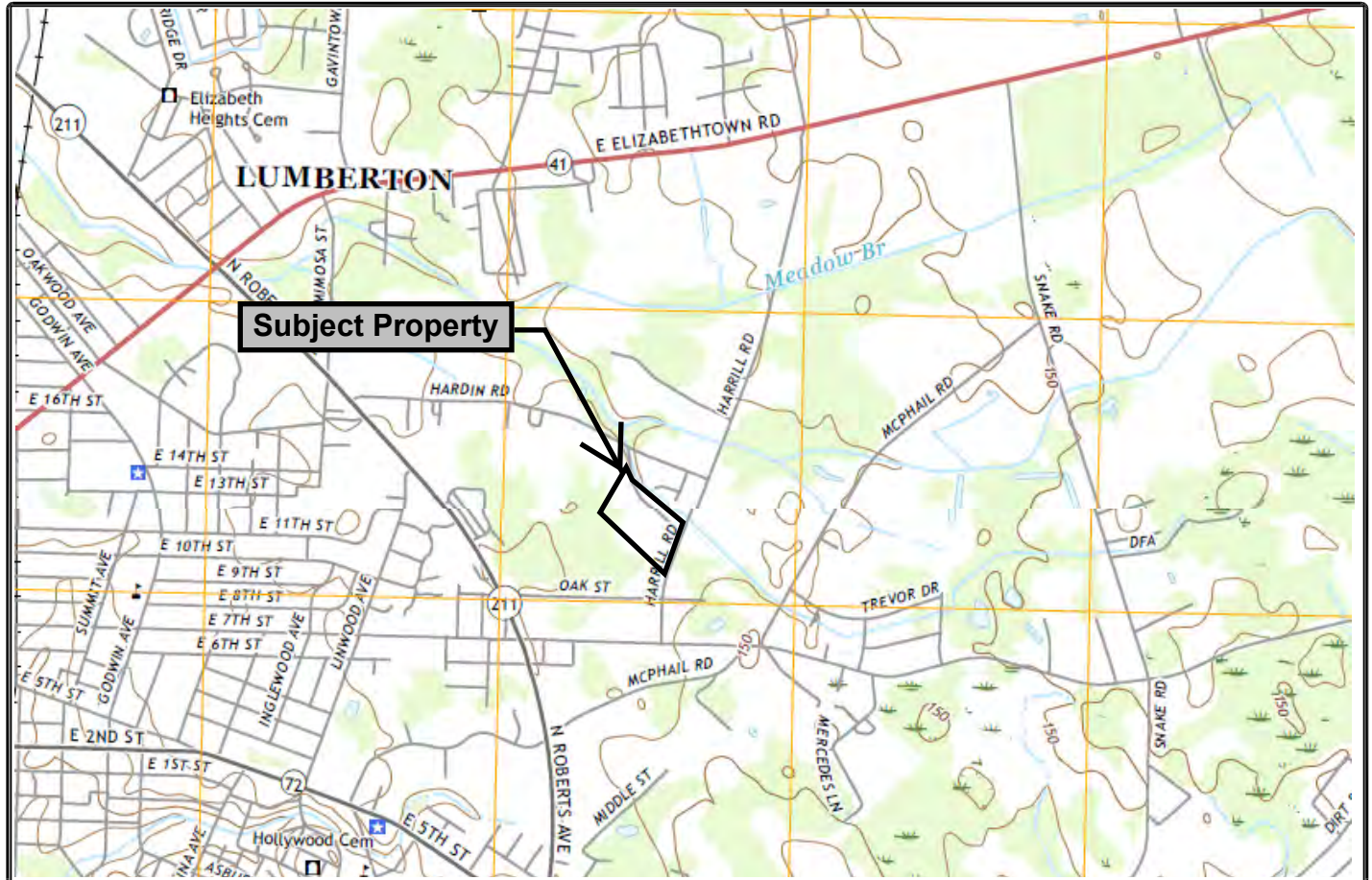
Brett S. Higgins
Pyramid Environmental & Engineering, P.C.

FIGURES

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina



USGS IDENTIFICATION

SCALES

USGS 7.5

MINUTE MAP

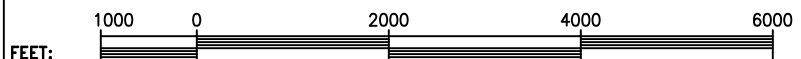
ORIGINAL DATE:

PHOTOREVISION DATE:

Northeast & Southeast
Lumberton, NC

2019

N/A



1" = 2000'

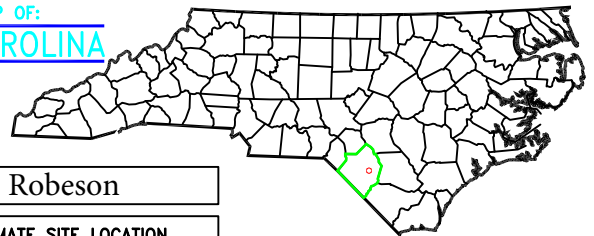
	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
 PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH



COUNTY MAP OF:
NORTH CAROLINA



COUNTY: Robeson

APPROXIMATE SITE LOCATION



CLIENT: Mills Construction Co., Inc.

PROPERTY NAME: 219 Harrill Road

CITY: Lumberton

STATE: North Carolina

TITLE: Topographic Map

SCALE: 1" = 2,000'

DATE: 09/02/21

DRAWING NAME: USGSTOPO

DRAWN BY: JRD

CHECK BY: BSH

JOB NO.: 2021-258

TYPE: PHASE I

FIGURE NUMBER: 1

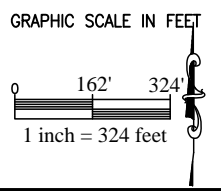
NOTES

TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

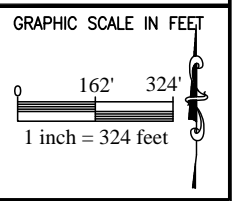


	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	TITLE	2017 Aerial Photograph	FIGURE	Figure 3



APPENDIX A

Environmental Professional Qualifications



DOUGLAS CANAVELLO, P.G.

Company Principal

EDUCATION

MBA, Finance, Tulane University
M.S., Geology, North Carolina State University
B.S., Geology, Duke University

REGISTRATIONS/CERTIFICATIONS

Professional Geologist in NC - No. 1066
Years Experience – 32 years

PROFESSIONAL SUMMARY

As President of Pyramid Environmental, Mr. Canavello oversees all aspects of company performance, including finances, marketing, and operations. He is the principal employee involved in assessment and analysis of economic benefits and alternatives relating to client environmental issues. With more than 32 years of experience in hydrogeological, geological, and environmental investigations, Mr. Canavello's experience includes management, design, and implementation of hydrogeological, geochemical, and geophysical investigations, as well as the design and implementation of soil and groundwater remediation projects. Having experience in performing over 60 Phase I Environmental Site Assessments (ESA), he is also a member of the ASTM Committee E-50 on Environmental Site Assessment and has played an active role in the development of Standard E.1527.

RELEVANT PROJECT EXPERIENCE

Project Manager, Wallops Island Tank Farm, Wallops Island, VA.

Mr. Canavello designed and implemented a site-specific geological assessment of a jet fuel tank farm at the NASA Wallops Island facility. Duties included supervision of monitoring well installation and soil gas surveys; design and supervision of a ground penetrating radar survey of the facility; and preparation of a report to the client detailing the costs of remediation options for the site.

Project Leader, Environmental Protection Agency (EPA), Fried Industries, New Brunswick, NJ.

Mr. Canavello designed and supervised an environmental investigation at the Fried Industries Superfund site in New Jersey. His original scope of work involved review of aerial photographs and other data, and design of the initial sampling plan. He then designed and supervised substantial geophysical investigations, and designed a second sampling plan. Mr. Canavello supervised and organized the remedial investigation and feasibility study for the site.

Project Manager, Low Level Nuclear Siting Study, Southern Illinois.

Mr. Canavello designed and supervised a multi-well pump test for a major siting study in Illinois. This program included the drilling and development of 18 monitoring wells in the area. Duties included supervision of drilling and well development activities, set-up and monitoring of pump test equipment, QC, and data transfer.

Project Manager, Textile Plant, Laurinburg, NC.

Mr. Canavello conducted a Phase II ESA to determine if groundwater contamination was present at an industrial facility encompassing an area of approximately 10 acres where potential dumping of chemical solvents had occurred. A network of groundwater monitoring wells was installed at both surface water table depths and at bedrock. The locations of the groundwater monitoring wells were determined by analysis of aerial photography, interviews with former plant employees, and physical evidence remaining on site.

BRETT S. HIGGINS

SR. PROJECT MANAGER

EDUCATION

B.A. Geology, University of North Carolina Wilmington

REGISTRATIONS/CERTIFICATIONS

NC, SC & VA asbestos Inspector
NC & SC Asbestos Management Planner
NC, SC & VA Lead Inspector
OSHA 40-hour HAZWOPER

PROFESSIONAL SUMMARY

Mr. Higgins has over 26 years of experience performing Phase I Environmental Site Assessments (ESAs), soil and groundwater assessments, UST closures, spill plans and stormwater management plans; 24 years' experience as an asbestos inspector and management planner and 10 years' experience as a lead-based paint inspector. Mr. Higgins has performed Phase I ESAs at more than 300 sites in North and South Carolina, Virginia, and Georgia, to identify potential on-site and off-site sources of environmental liability as well as potential violations of regulatory compliance issues. Mr. Higgins coordinates project activities to ensure goals or objectives of project are accomplished within prescribed time-frame and funding parameters. He prepares proposals, supervises, and performs fieldwork and prepares reports associated with the environmental work that was performed.

RELEVANT PROJECT EXPERIENCE

American National Bank, BNC Bank, Carolina Bank, First Bank, High Point Bank, & NewBridge Bank. Mr. Higgins has performed Phase I ESAs for local and national lending institutions for multiple sites in North Carolina, South Carolina, and Virginia. His duties included all aspects of the Phase I ESA process from proposal preparation, project start-up to report preparation and invoicing.

Century Furniture. Mr. Higgins performed pre-purchase Phase I ESAs and limited asbestos surveys for five existing furniture manufacturing facilities in North Carolina. The pre-acquisition work also included Phase II investigations at three facilities, the removal and permanent closure of aboveground and underground heating oil storage tanks and the remediation of petroleum-impacted soils at two locations.

Affordable Housing Management, Inc. Mr. Higgins has performed Phase I ESAs, HUD Environmental Reviews, asbestos and lead-paint inspections, and wetland delineation work for multiple sites in the Greensboro area.

GEM Management, Inc. Mr. Higgins has performed Phase I ESAs, HUD Environmental Reviews, asbestos and lead-paint inspections work for multiple sites in North Carolina, South Carolina, and Virginia.

National Park Service – United States Department of the Interior. Mr. Higgins was part of a team that performed a Phase I ESA with asbestos and lead paint surveys for the Fort Monroe National Monument in Hampton, VA. Fort Monroe is divided into two non-adjacent parcels (the southern parcel and the northern parcel) totaling approximately 325.21 acres and including over 200 structures.

SC State Housing Finance & Development Authority. Mr. Higgins was responsible for the coordination and performance of Phase I ESAs and HUD Environmental Reviews for 14 sites in South Carolina.

APPENDIX B

National Wetlands Inventory Map & Map Code Interpreter Pages










Wetlands Map

219 Harrill Road,
Lumberton, NC



September 2, 2021

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



U.S. Fish & Wildlife Service

National Wetlands Inventory

Ecological Services

Enter Classification code: **R2UBHx**

(Example: L1UB1Hx)

Optional: For geographically specific information*, please enter a State code:

[CLICK HERE TO DECODE](#)

Classification code: **R2UBHx**

System **Riverine (R)** : The Riverine System includes all wetlands and deepwater habitats contained within a channel, with two exceptions: (1) wetlands dominated by trees, shrubs, persistent emergents, emergent mosses, or lichens, and (2) habitats with water containing ocean-derived salts of 0.5 ppt or greater. A channel is an open conduit either naturally or artificially created which periodically or continuously contains moving water, or which forms a connecting link between two bodies of standing water.

Subsystem **Lower Perennial (2)** : This Subsystem is characterized by a low gradient. There is no tidal influence, and some water flows all year, except during years of extreme drought. The substrate consists mainly of sand and mud. Oxygen deficits may sometimes occur. The fauna is composed mostly of species that reach their maximum abundance in still water, and true planktonic organisms are common. The gradient is lower than that of the Upper Perennial Subsystem and the floodplain is well developed.

Class **Unconsolidated Bottom (UB)** : Includes all wetlands and deepwater habitats with at least 25% cover of particles smaller than stones (less than 6-7 cm), and a vegetative cover less than 30%.

Water Regime **Permanently Flooded (H)** : Water covers the substrate throughout the year in all years.

Special Modifier **Excavated (x)** : This Modifier is used to identify wetland basins or channels that were excavated by humans.



U.S. Fish & Wildlife Service

National Wetlands Inventory

Ecological Services

Enter Classification code: (Example: L1UB1Hx)

Optional: For geographically specific information*, please enter a State code: (Example: TX for Texas)

[CLICK HERE TO DECODE](#)

Description for code PUBHx:

P System PALUSTRINE: The Palustrine System includes all nontidal wetlands dominated by trees, shrubs, persistent emergents, emergent mosses or lichens, and all such wetlands that occur in tidal areas where salinity due to ocean-derived salts is below 0.5 ppt. It also includes wetlands lacking such vegetation, but with all of the following four characteristics: (1) area less than 8 ha (20 acres); (2) active wave-formed or bedrock shoreline features lacking; (3) water depth in the deepest part of basin less than 2.5 m (8.2 ft) at low water; and (4) salinity due to ocean-derived salts less than 0.5 ppt.

UB Class UNCONSOLIDATED BOTTOM: Includes all wetlands and deepwater habitats with at least 25% cover of particles smaller than stones (less than 6-7 cm), and a vegetative cover less than 30%.

H Water Regime Permanently Flooded : Water covers the substrate throughout the year in all years.

Other Modifier(s):

x SPECIAL MODIFIER Excavated : This Modifier is used to identify wetland basins or channels that were excavated by humans.

APPENDIX C

FEMA National Flood Hazard Layer FIRMette Map

National Flood Hazard Layer FIRMMette



78°58'50"W 34°37'41"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/7/2021 at 2:40 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

APPENDIX D

Historical Aerial Photographs & Topographic Maps



6.39 Acres on Harrill Road

219 Harrill Road

Lumberton, NC 28358

Inquiry Number: 6644708.5

September 01, 2021

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Aerial Photo Decade Package

09/01/21

Site Name:

6.39 Acres on Harrill Road
219 Harrill Road
Lumberton, NC 28358
EDR Inquiry # 6644708.5

Client Name:

Pyramid Environmental
P.O. Box 16265
Greensboro, NC 27401
Contact: Tamara Cagle



Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2016	1"=500'	Flight Year: 2016	USDA/NAIP
2012	1"=500'	Flight Year: 2012	USDA/NAIP
2009	1"=500'	Flight Year: 2009	USDA/NAIP
2006	1"=500'	Flight Year: 2006	USDA/NAIP
1999	1"=500'	Acquisition Date: January 01, 1999	USGS/DOQQ
1993	1"=500'	Acquisition Date: February 24, 1993	USGS/DOQQ
1983	1"=500'	Flight Date: March 22, 1983	USDA
1980	1"=500'	Flight Date: February 27, 1980	USGS
1979	1"=500'	Flight Date: March 28, 1979	USGS
1974	1"=500'	Flight Date: April 01, 1974	USGS
1964	1"=500'	Flight Date: September 25, 1964	USGS
1958	1"=500'	Flight Date: December 07, 1958	USGS
1951	1"=500'	Flight Date: March 22, 1951	USGS
1938	1"=500'	Flight Date: January 01, 1938	FirstSearch

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Subject Property

Google Earth

2018



800 ft



Subject Property

2016



800 ft

Google Earth



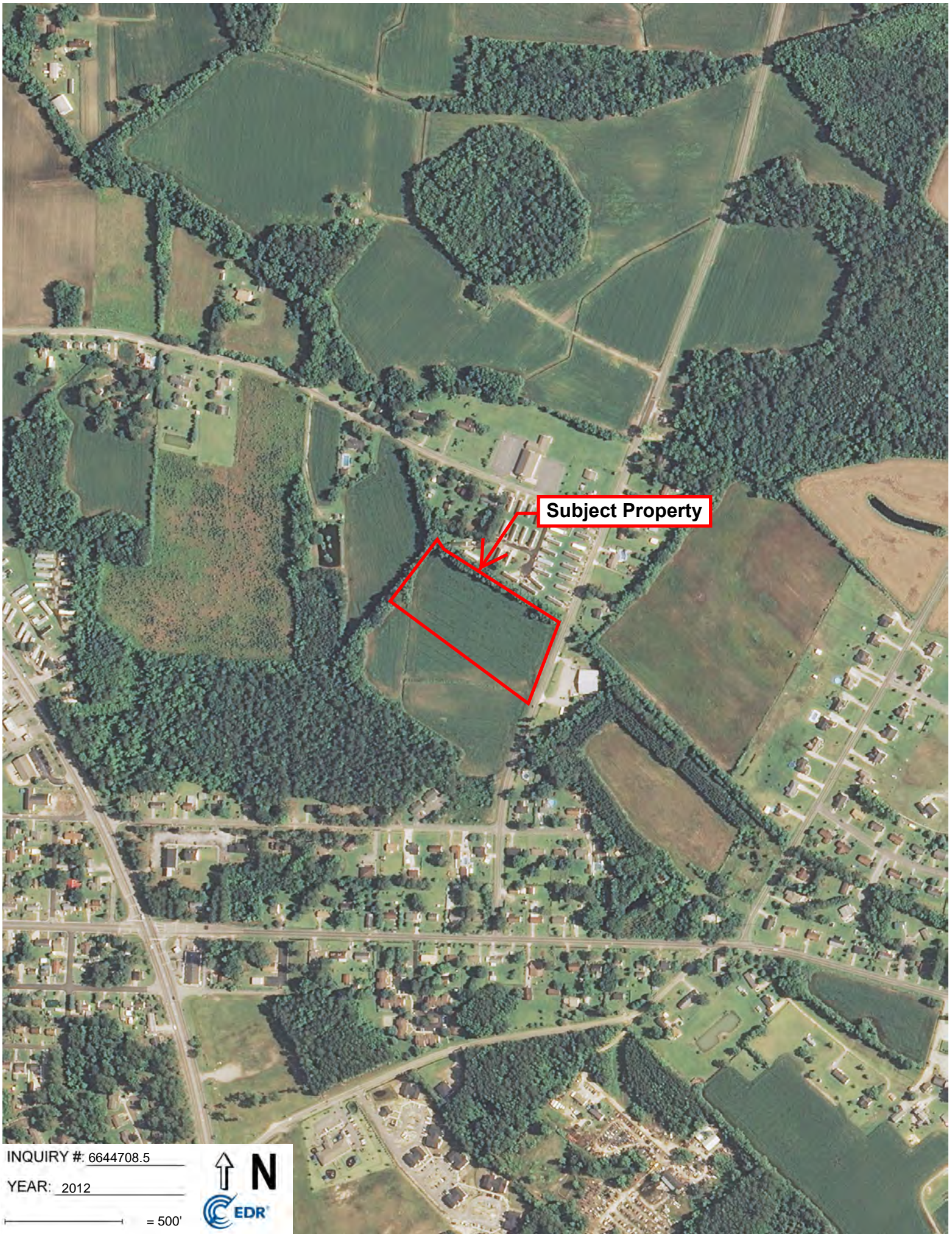
Subject Property

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YEAR: 2016

— = 500'





Subject Property

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YEAR: 2012

— = 500'





Subject Property

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YEAR: 2009

— = 500'





Subject Property

INQUIRY #: 6644708.5

YEAR: 2006

— = 500'



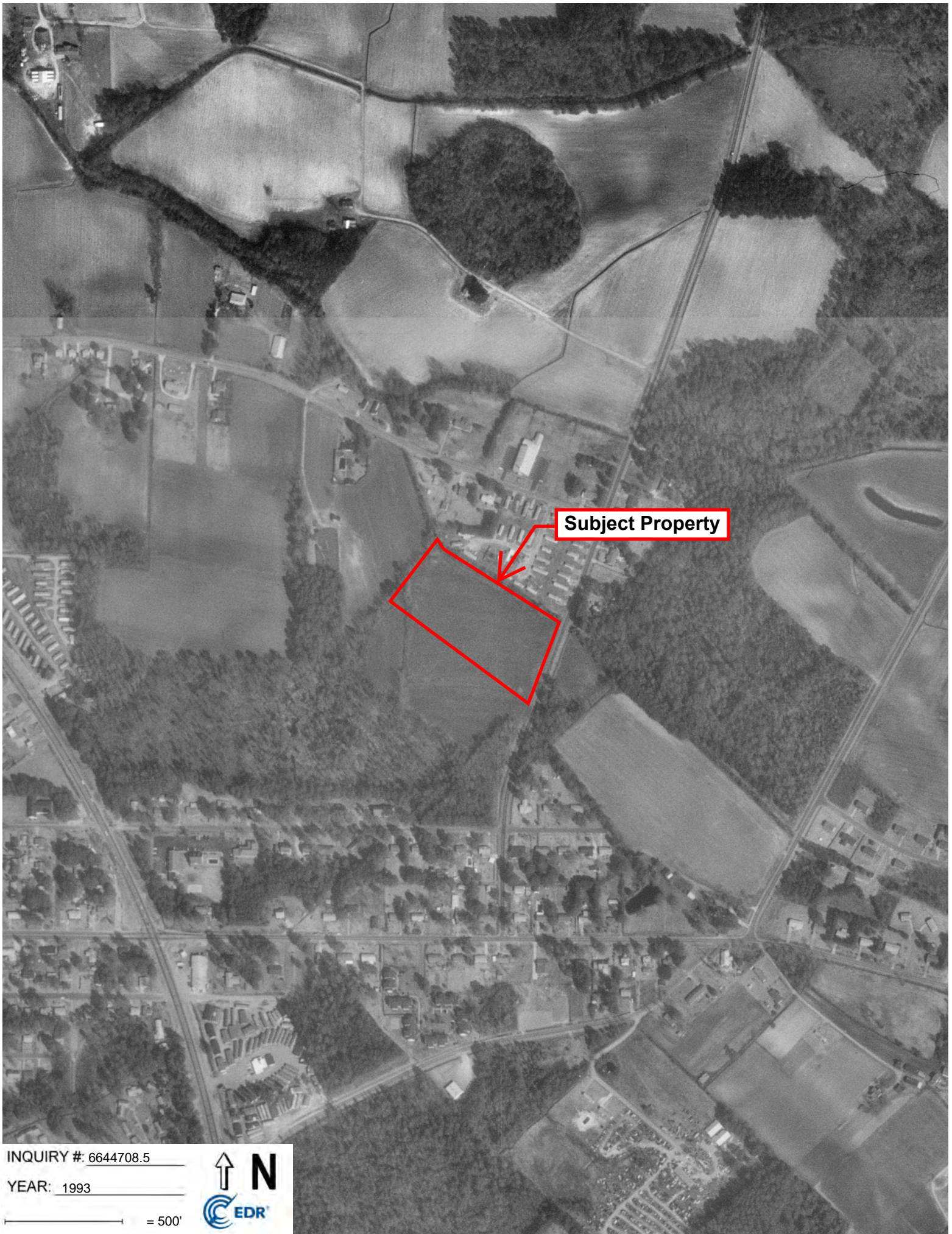


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YEAR: 1999

— = 500'





Subject Property

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YEAR: 1993

— = 500'





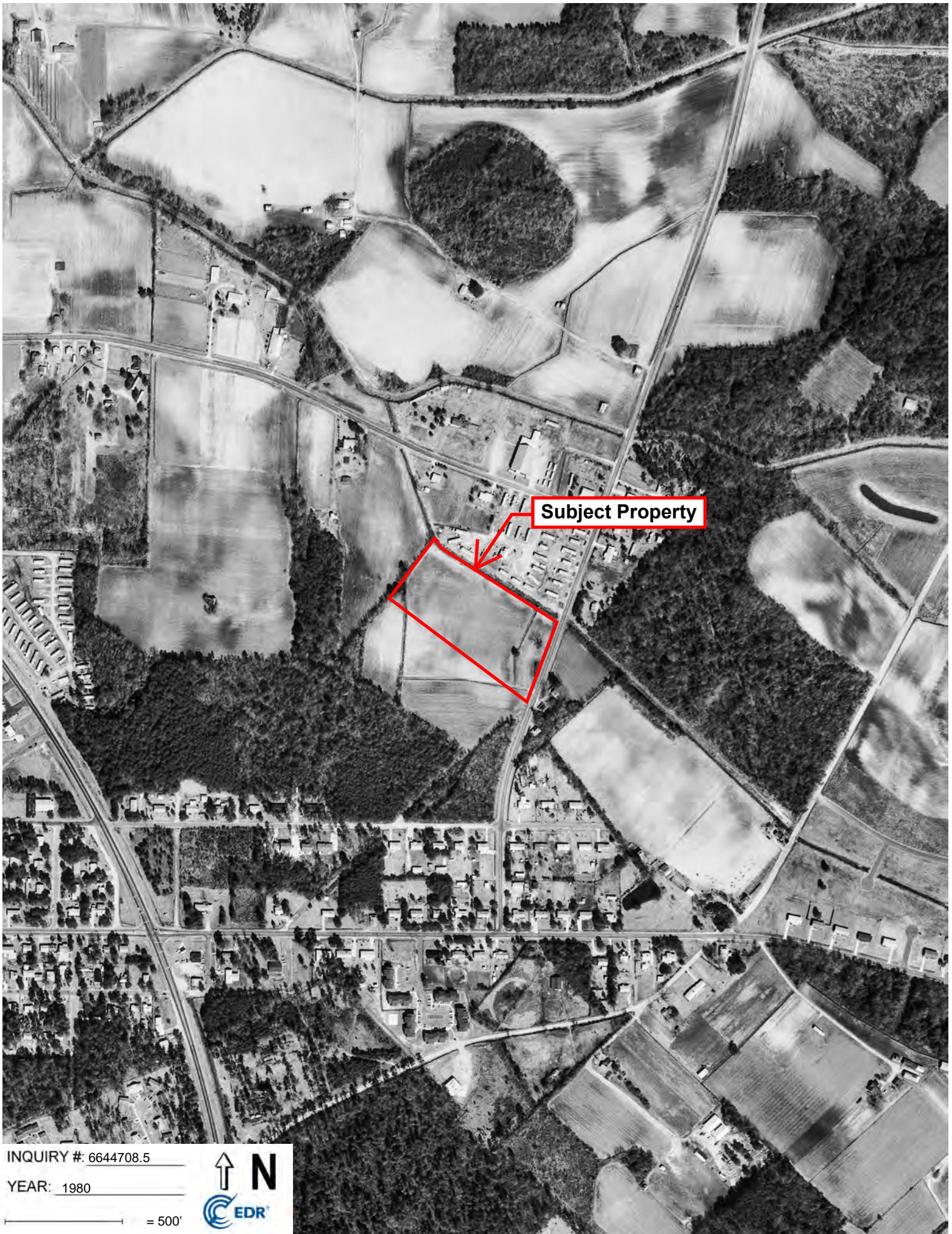
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INQUIRY #: 6644708.5

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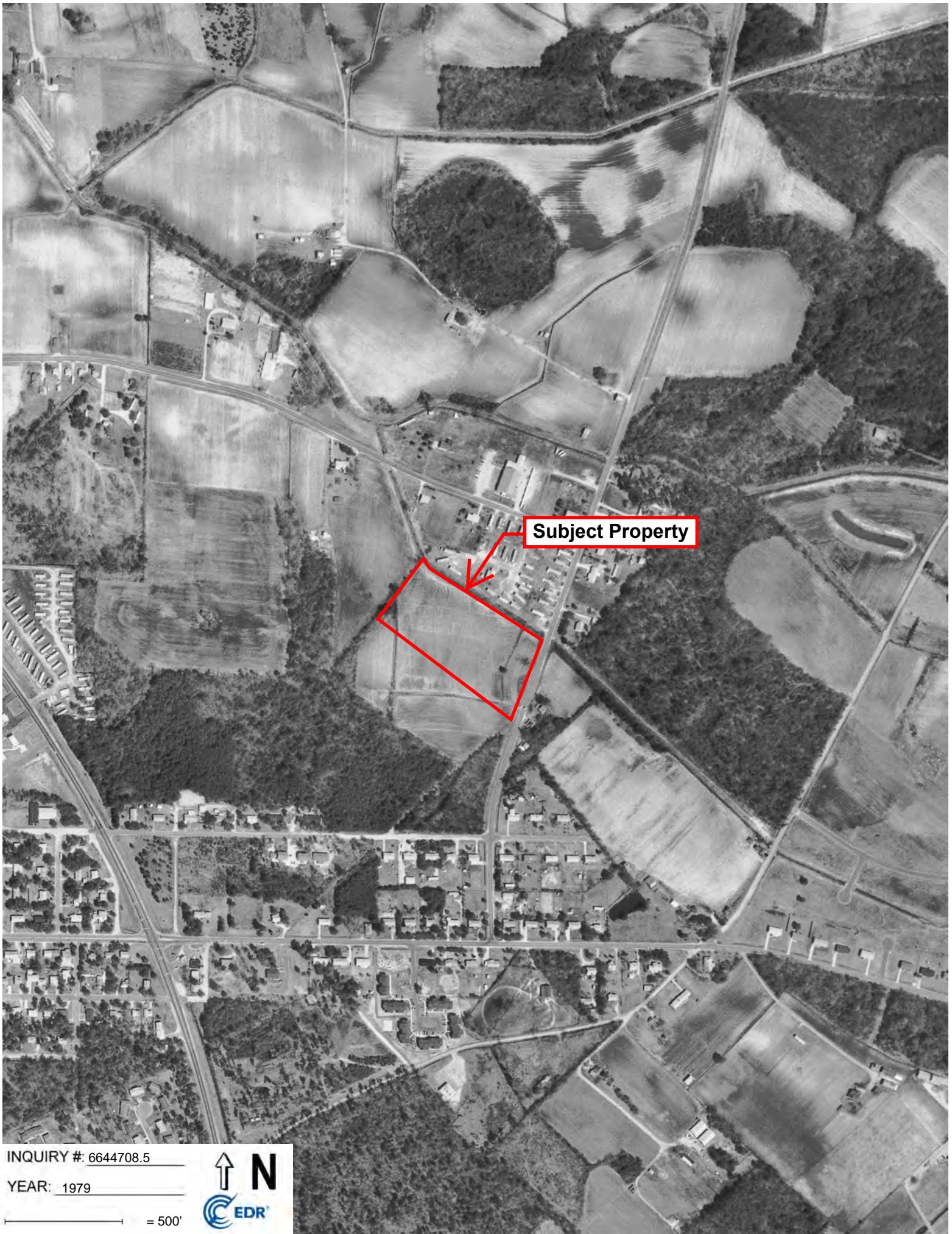
Subject Property

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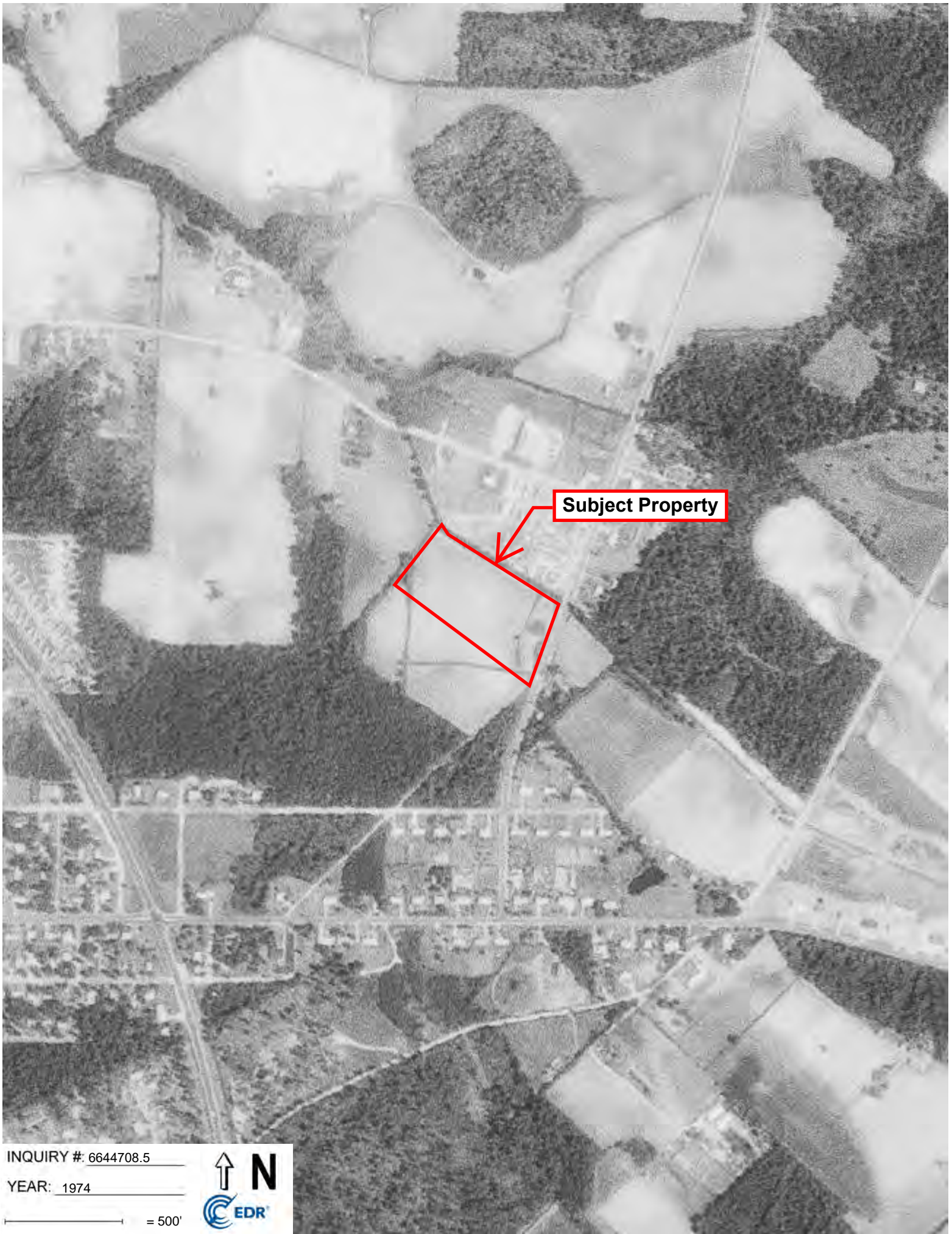
Subject Property

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YEAR: 1979

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Subject Property

INQUIRY #: 6644708.5

YEAR: 1974

— = 500'





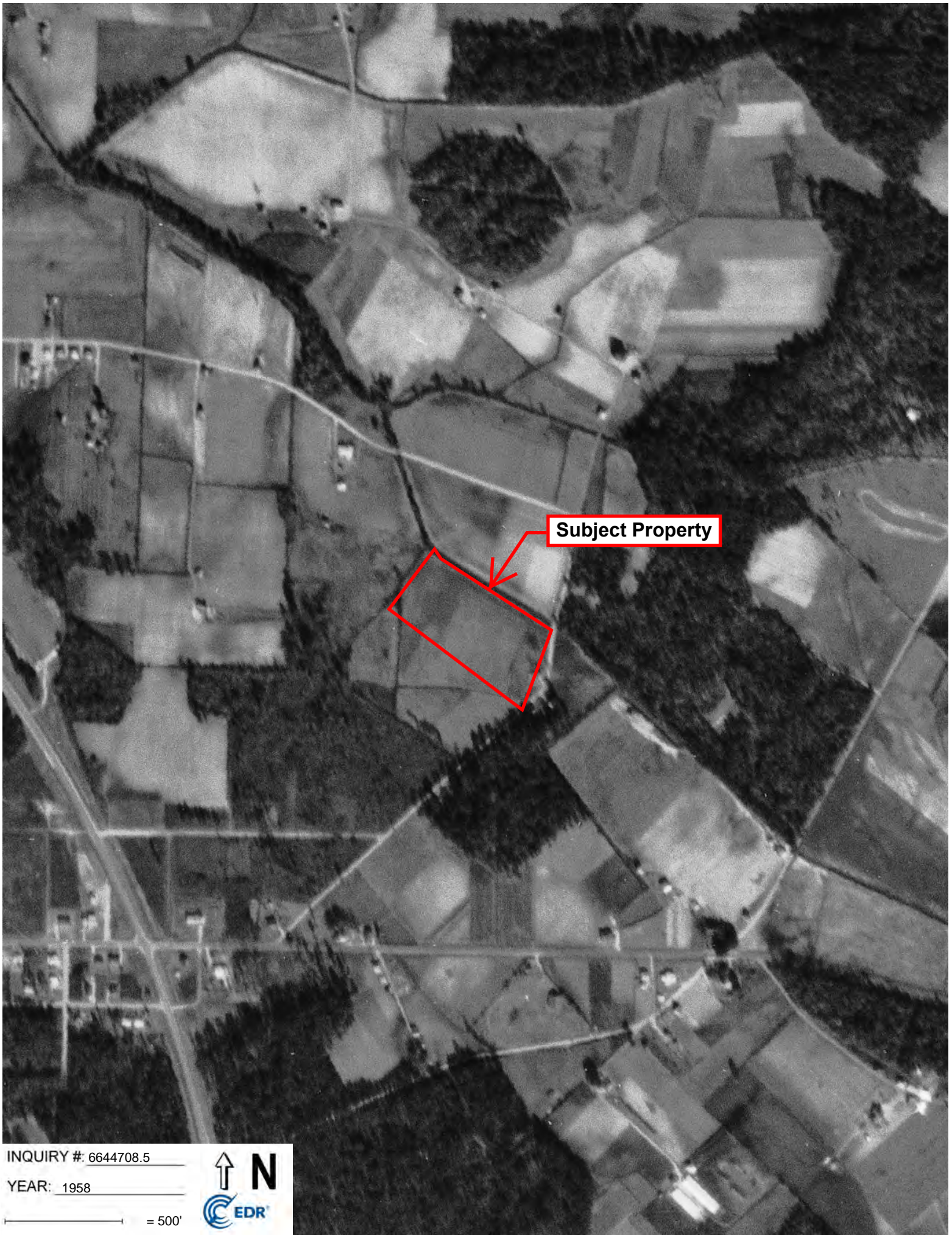
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INQUIRY #: 6644708.5

YEAR: 1964

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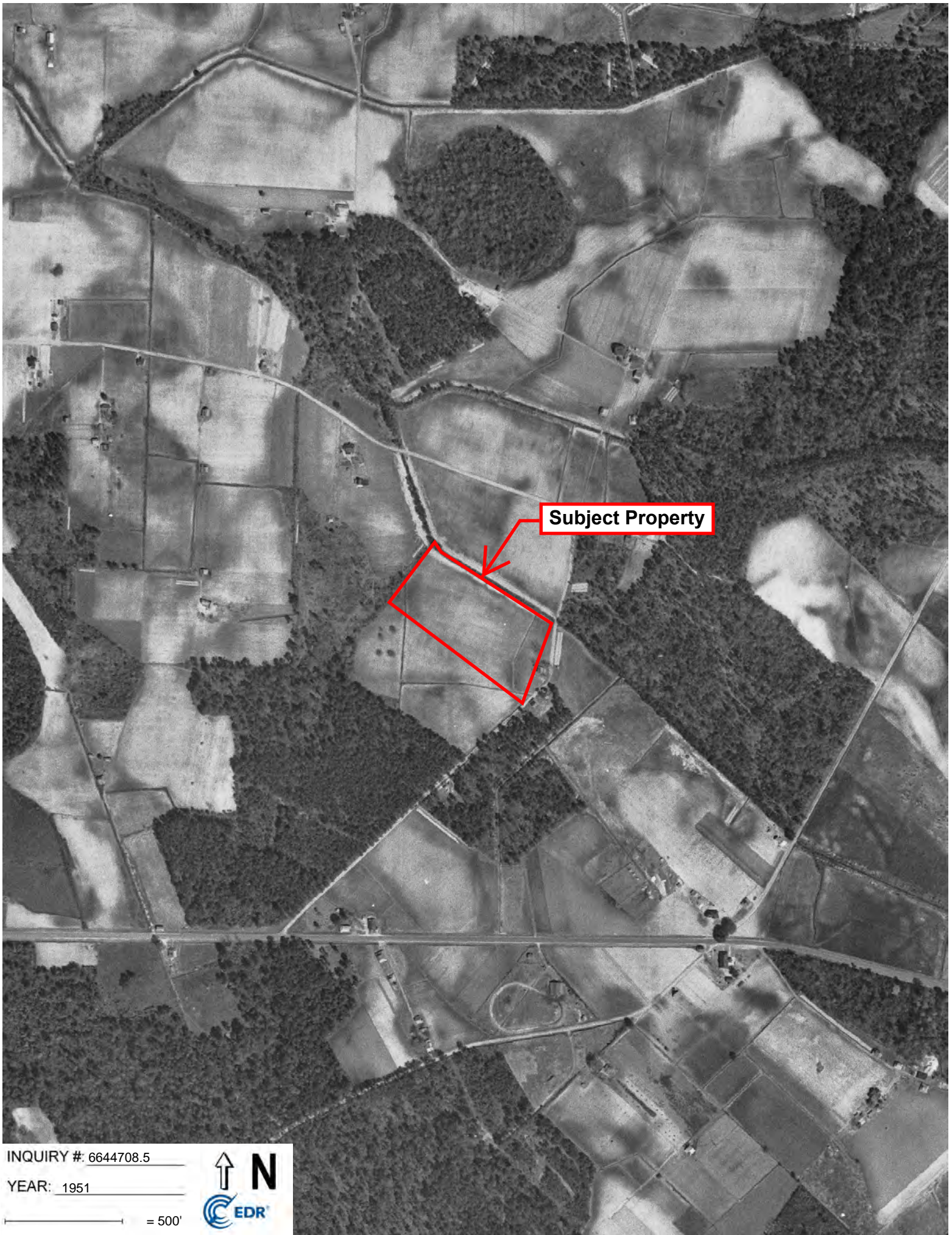
Subject Property

INQUIRY #: 6644708.5

YEAR: 1958

— = 500'





Subject Property

INQUIRY #: 6644708.5

YEAR: 1951

— = 500'





Subject Property

INQUIRY #: 6644708.5

YEAR: 1938

— = 500'



6.39 Acres on Harrill Road

219 Harrill Road

Lumberton, NC 28358

Inquiry Number: 6644708.8

September 01, 2021

EDR Historical Topo Map Report

with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Historical Topo Map Report

09/01/21

Site Name:

6.39 Acres on Harrill Road
219 Harrill Road
Lumberton, NC 28358
EDR Inquiry # 6644708.8

Client Name:

Pyramid Environmental
P.O. Box 16265
Greensboro, NC 27401
Contact: Tamara Cagle



EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by Pyramid Environmental were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDR's Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:**Coordinates:**

P.O.# 2021-258
Project: 219 Harrill Road

Latitude: 34.624784 34° 37' 29" North
Longitude: -78.976287 -78° 58' 35" West
UTM Zone: Zone 17 North
UTM X Meters: 685519.94
UTM Y Meters: 3833296.39
Elevation: 141.22' above sea level

Maps Provided:

2013
2000
1986
1957

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Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

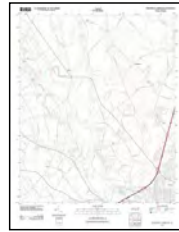
2013 Source Sheets



Southeast Lumberton
2013
7.5-minute, 24000



Northeast Lumberton
2013
7.5-minute, 24000



Northwest Lumberton
2013
7.5-minute, 24000

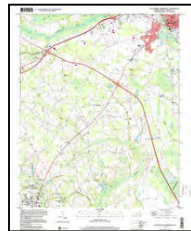


Southwest Lumberton
2013
7.5-minute, 24000

2000 Source Sheets



Southeast Lumberton
2000
7.5-minute, 24000
Aerial Photo Revised 1979



Southwest Lumberton
2000
7.5-minute, 24000
Aerial Photo Revised 1981



Northwest Lumberton
2000
7.5-minute, 24000
Aerial Photo Revised 1981

1986 Source Sheets



Southeast Lumberton
1986
7.5-minute, 24000
Aerial Photo Revised 1980

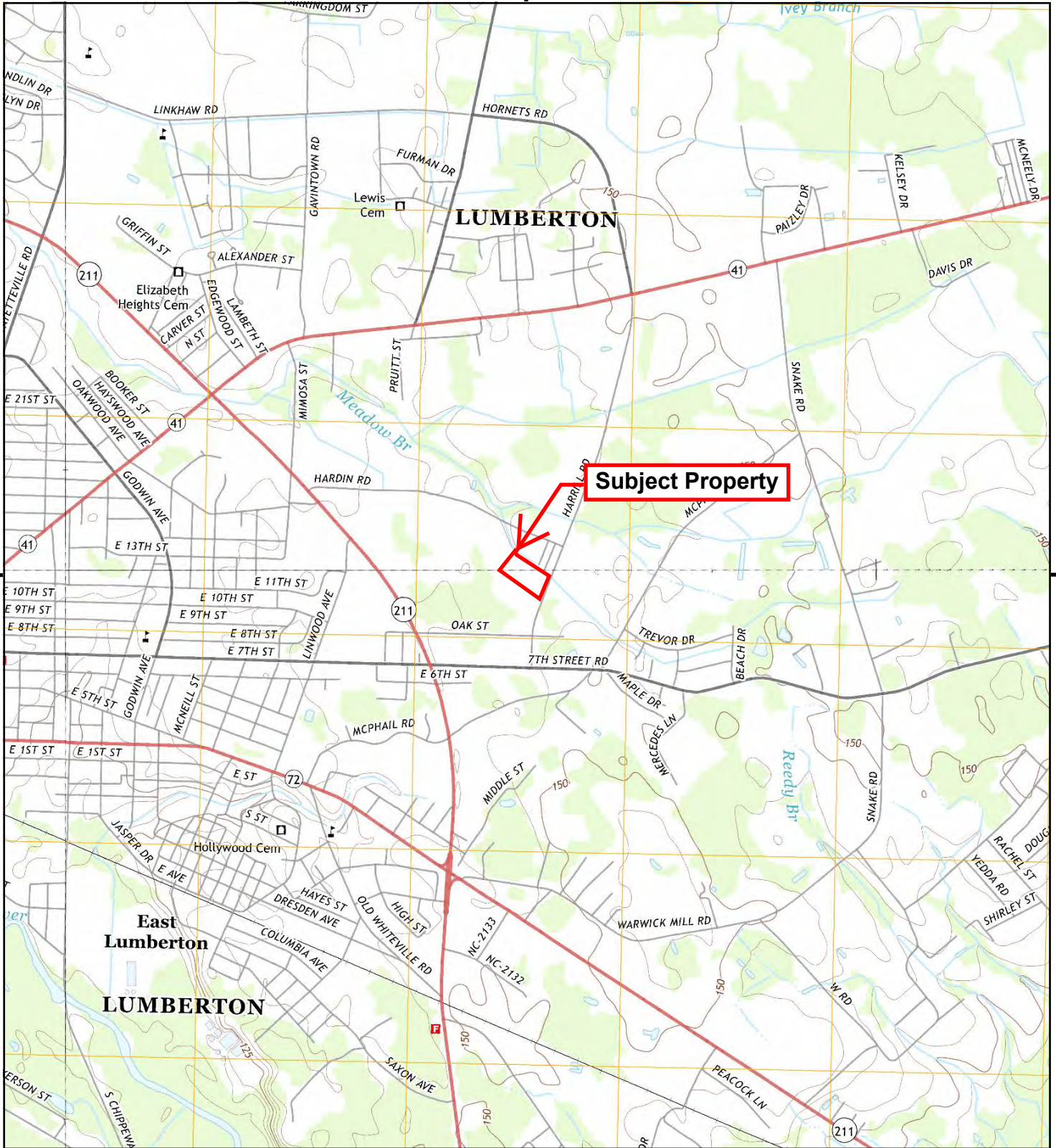


Northeast Lumberton
1986
7.5-minute, 24000
Aerial Photo Revised 1980

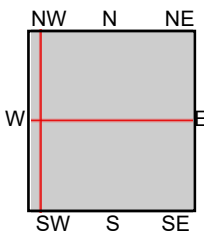
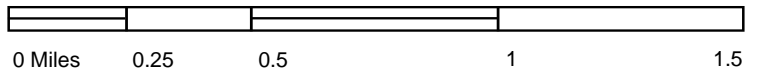
1957 Source Sheets



Bladenboro
1957
15-minute, 62500
Aerial Photo Revised 1951



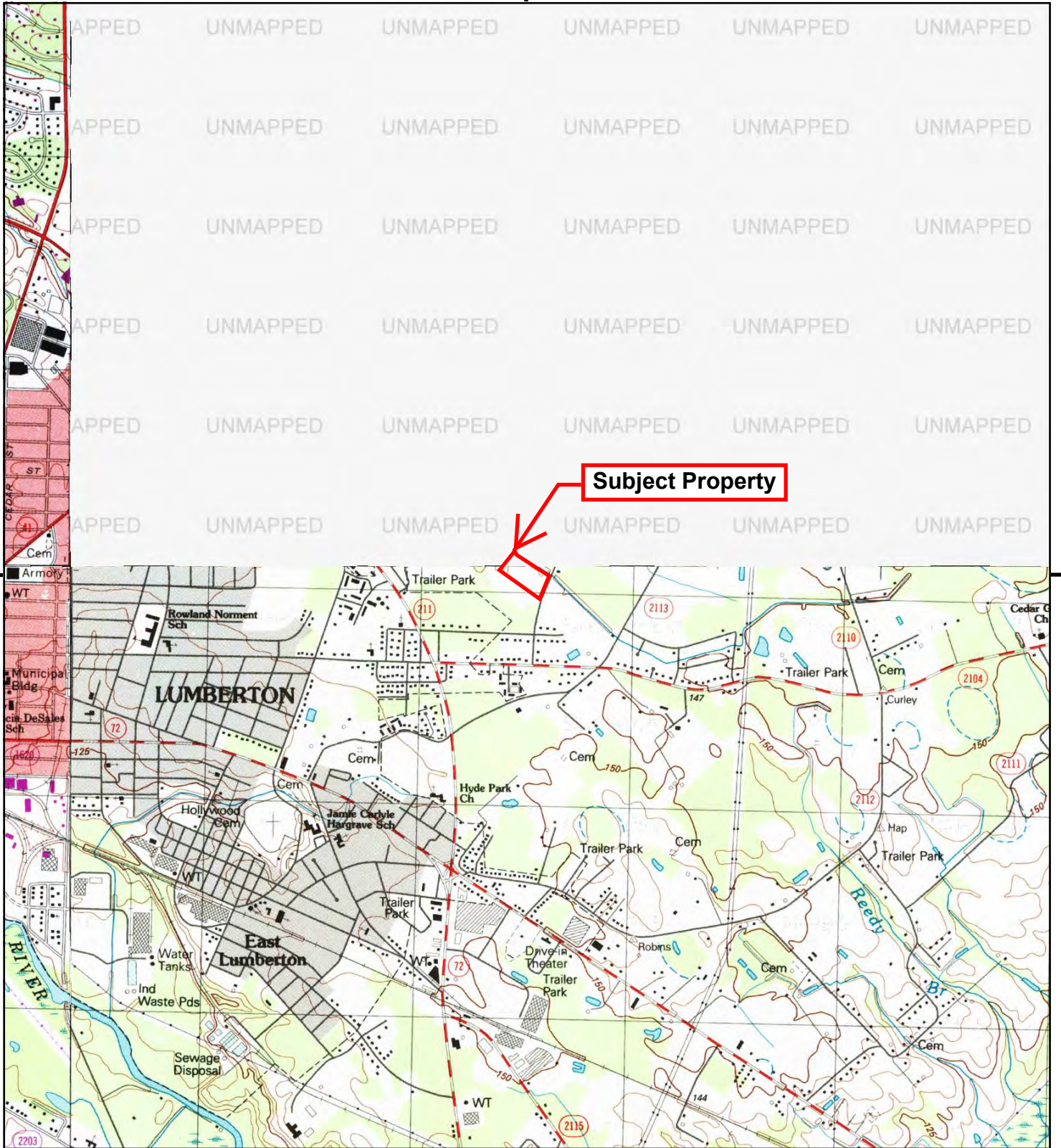
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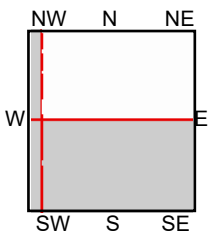
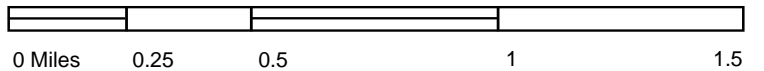
TP, Southeast Lumberton, 2013, 7.5-minute
 NE, Northeast Lumberton, 2013, 7.5-minute
 SW, Southwest Lumberton, 2013, 7.5-minute
 NW, Northwest Lumberton, 2013, 7.5-minute

SITE NAME: 6.39 Acres on Harrill Road
ADDRESS: 219 Harrill Road
 Lumberton, NC 28358
CLIENT: Pyramid Environmental





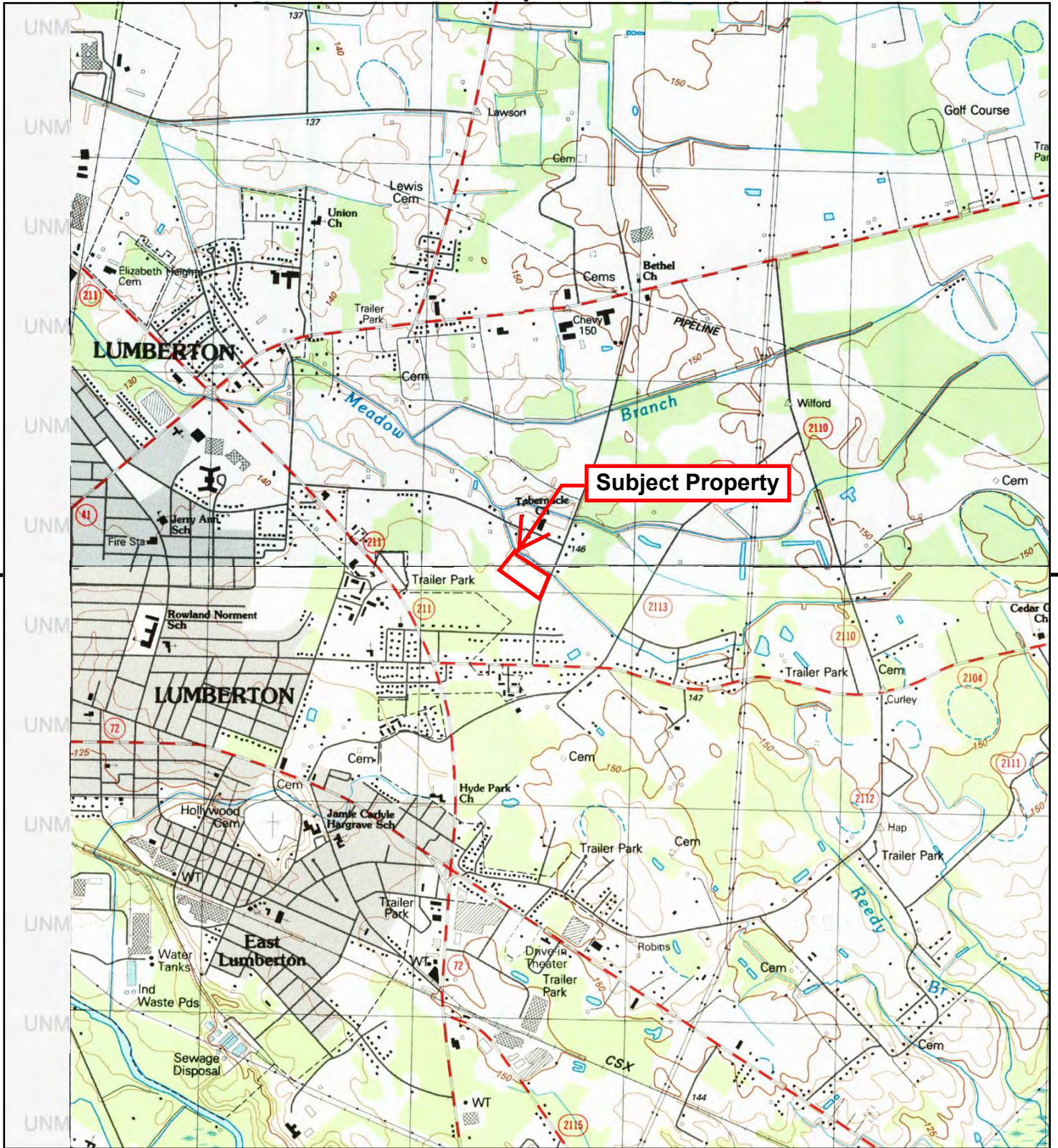
This report includes information from the following map sheet(s).



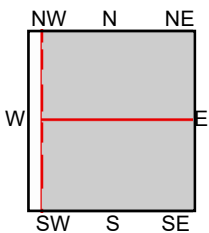
TP, Southeast Lumberton, 2000, 7.5-minute
 SW, Southwest Lumberton, 2000, 7.5-minute
 NW, Northwest Lumberton, 2000, 7.5-minute

SITE NAME: 6.39 Acres on Harrill Road
 ADDRESS: 219 Harrill Road
 Lumberton, NC 28358
 CLIENT: Pyramid Environmental





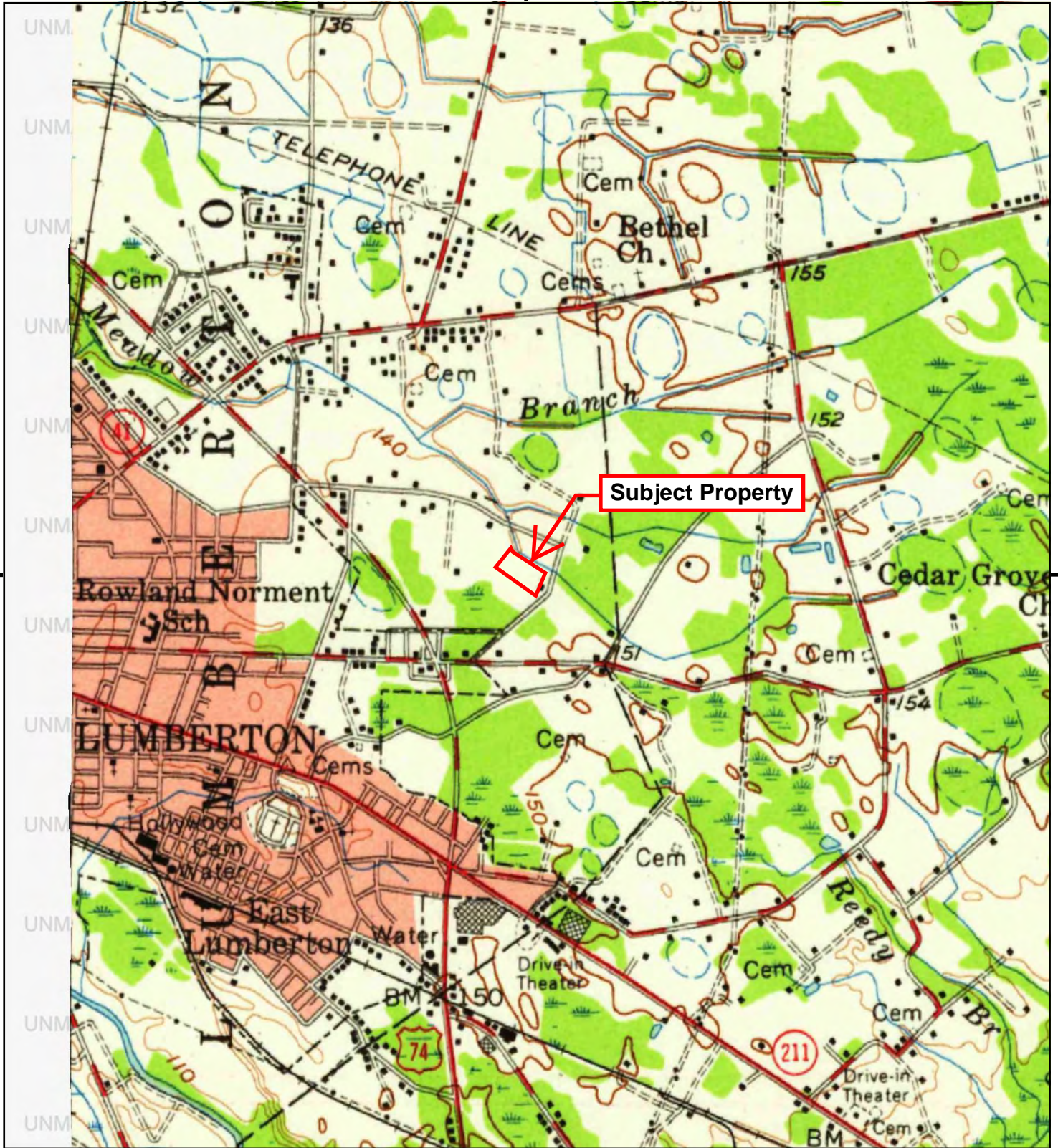
This report includes information from the following map sheet(s).



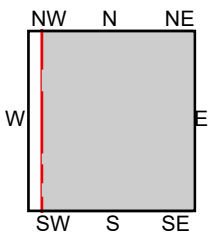
TP, Southeast Lumberton, 1986, 7.5-minute
 NE, Northeast Lumberton, 1986, 7.5-minute

SITE NAME: 6.39 Acres on Harrill Road
ADDRESS: 219 Harrill Road
 Lumberton, NC 28358
CLIENT: Pyramid Environmental





This report includes information from the following map sheet(s).



TP, Bladenboro, 1957, 15-minute

SITE NAME: 6.39 Acres on Harrill Road
 ADDRESS: 219 Harrill Road
 Lumberton, NC 28358
 CLIENT: Pyramid Environmental



APPENDIX E

EDR Certified Sanborn Map Report

6.39 Acres on Harrill Road

219 Harrill Road

Lumberton, NC 28358

Inquiry Number: 6644708.3

September 01, 2021

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

09/01/21

Site Name:

6.39 Acres on Harrill Road
219 Harrill Road
Lumberton, NC 28358
EDR Inquiry # 6644708.3

Client Name:

Pyramid Environmental
P.O. Box 16265
Greensboro, NC 27401
Contact: Tamara Cagle



The Sanborn Library has been searched by EDR and maps covering the target property location as provided by Pyramid Environmental were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting www.edrnet.com/sanborn.

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

Certified Sanborn Results:

Certification # A1E0-471B-90EC

PO # 2021-258

Project 219 Harrill Road

UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.



Sanborn® Library search results

Certification #: A1E0-471B-90EC

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

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APPENDIX F

Deed Records



Robeson County Government

PROPERTY REPORT - PRINT

Northeast Parcel

Property Owner WALTERS MICHAEL P & WF WALTERS BARBARA M	Owner's Mailing Address 1887 OAKTON CHURCH RD FAIRMONT, NC 28340	Property Location Address HARRILL RD						
Administrative Data Parcel Ref No. 10140100304 PIN 030178146500 Account No. 36821015 Tax District WISHART FIRE Land Use Code V-00 Land Use Desc UP TO 10 ACRES Subdiv Code Subdiv Desc Neighborhood 32055	Administrative Data Legal Desc AC WEST OF HARRILL RD Deed Bk/Pg 01827 / 0878 Plat Bk/Pg / Sales Information Grantor FOUR COUNTY COMMUNITY SERVICES Sold Date 2011-10-17 Sold Amount \$ 0	Valuation Information Market Value \$ 7,500 Market Value - Land and all permanent improvements, if any, effective January 1, 2010, date of County's most recent General Reappraisal Assessed Value \$ 7,500 If Assessed Value not equal Market Value then subject parcel designated as a special class -agricultural, horticultural, or forestland and thereby eligible for taxation on basis of Present-Use and/or reduction from a formal appeal procedure Land Supplemental Map Acres 4 Tax District Note Present-Use Info						
Improvement Detail (1st Major Improvement on Subject Parcel) Year Built 0 Built Use/Style Current Use / * Percent Complete 0 Heated Area (S/F) 0 ** Bathroom(s) 0 Full Bath(s) 0 Half Bath(s) ** Bedroom(s) 0 Fireplace (Y/N) N Basement (Y/N) N Attached Garage (Y/N) N *** Multiple Improvements 0 * Note - As of January 1 ** Note - Bathroom(s), Bedroom(s), shown for description only *** Note - If multiple improvements equal "MLT" then parcel includes additional major improvements								
Improvement Valuation (1st Major Improvement on Subject Parcel) <table style="width: 100%;"> <tr> <td style="text-align: center;">* Improvement Market Value \$</td> <td style="text-align: center;">** Improvement Assessed Value \$</td> </tr> <tr> <td style="text-align: center;">0</td> <td style="text-align: center;">0</td> </tr> </table> * Note - Market Value effective Date equal January 1, 2010, date of County's most recent General Reappraisal ** Note - If Assessed Value not equal Market Value then variance resulting from formal appeal procedure			* Improvement Market Value \$	** Improvement Assessed Value \$	0	0		
* Improvement Market Value \$	** Improvement Assessed Value \$							
0	0							
Land Value Detail (Effective Date January 1, 2010, date of County's most recent General Reappraisal) <table style="width: 100%;"> <tr> <td style="text-align: center;">Land Market Value (LMV) \$</td> <td style="text-align: center;">Land Present-Use Value (PUV) \$ **</td> <td style="text-align: center;">Land Total Assessed Value \$</td> </tr> <tr> <td style="text-align: center;">7,500</td> <td style="text-align: center;">7,500</td> <td style="text-align: center;">7,500</td> </tr> </table> ** Note: If PUV equal LMV then parcel has not qualified for present use program			Land Market Value (LMV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$	7,500	7,500	7,500
Land Market Value (LMV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$						
7,500	7,500	7,500						

Map Card

MAP NO	BLOCK	LOT	LOT SIZE or ACREAGE	NUMERIC INDEX		
14	1	3.4	4.00 AC	ROBESON COUNTY, NC		
DESCRIPTION West Of Harrill Rd				TAXING DISTRICT Lumberton Twp		
OWNER'S NAME		ADDRESS		DEED BOOK	PAGE NO	DATE
1	Walters Michael P & wf Barbara	PO Box 26 Procterville, NC 28375		1515	259	1-31-06
2	Four County Community Service	Po Box 988 Laurinburg, NC 28358		1528	214	4-5-06
3	Walters, Michael P. & Wf Walters, Barbara M.	1887 Oakton Church Rd. Fairmont, NC 28340		1827	878	10-17-11
4						
5						

2011008171

ROBESON CO, NC FEE \$26.00
NO TAXABLE CONSIDERATION
 PRESENTED & RECORDED:
 10-17-2011 03:19:31 PM
 VICKI L LOCKLEAR
 REGISTER OF DEEDS
 BY: TOMASA MORALES PEAVY
 ASSISTANT
BK:D 1827
PG:878-880

This certifies that PIN: 1014-01-00304
 is free of any delinquent ad valorem Tax liens
 charged to the Robeson County Tax Collector.
 Pin has been verified; the legal description
 therein matches the PIN.

James Clark
 Collection Agent/Mapping Signature Date 10/17/11 NCGS

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax:

Parcel Identifier No. 1014-01-00304 Verified by _____ County on the _____ day of _____, 20____
 By: _____

Mail/Box to: J. Gates Harris - P.O. Box 128, Red Springs, NC 28377

This instrument was prepared by: J. Gates Harris

Brief description for the Index: _____

THIS DEED made this 27th day of September, 2011, by and between

GRANTOR	GRANTEE
FOUR-COUNTY COMMUNITY SERVICE, INC., a North Carolina Non-Profit Corporation P.O. Box 988 Laurinburg, NC 28352	MICHAEL P. WALTERS and wife BARBARA M. WALTERS 1887 Oakton Church Road Fairmont, NC 28340

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of _____, Wishart Township, Robeson County, North Carolina and more particularly described as follows:

See Schedule A attached

The property hereinabove described was acquired by Grantor by instrument recorded in Book 1528 page 214.
 All or a portion of the property herein conveyed includes or x does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Book _____ page _____.
TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.
And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

IN WITNESS WHEREOF, the Grantor has caused this instrument to be duly executed and delivered.

FOUR-COUNTY COMMUNITY SERVICE, INC. (SEAL)
(Entity Name)
By: Richard Greene
Print/Type Name & Title: Richard Greene
Executive Director
By: _____
Print/Type Name & Title: _____
By: _____
Print/Type Name & Title: _____
By: _____
Print/Type Name & Title: _____

USE BLACK INK ONLY

Print/Type Name & Title: _____ (SEAL)
Print/Type Name & Title: _____ (SEAL)
Print/Type Name & Title: _____ (SEAL)
Print/Type Name & Title: _____ (SEAL)

SEAL-STAMP

USE BLACK INK ONLY

State of North Carolina - County or City of _____
I, the undersigned Notary Public of the County or City and State aforesaid, certify that _____
_____ personally appeared before me this day and
acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my
hand and Notarial stamp or seal this _____ day of _____, 20__.
My Commission Expires: _____
(Affix Seal) _____ Notary Public
Notary's Printed or Typed Name

SEAL-STAMP



USE BLACK INK ONLY

State of North Carolina - County or City of Scotland
I, the undersigned Notary Public of the County or City and State aforesaid, certify that _____
Richard Greene personally came before me this day and
acknowledged that he is the Executive Director of Four-County Community Service, Inc.
North Carolina or _____ corporation/~~limited liability company/general partnership/limited liability partnership~~
~~entity~~ (strike through the inapplicable), and that by authority duly given and as the act of such entity,
he signed the forgoing instrument in its name on its behalf as its act and deed. Witness my hand and
Notarial stamp or seal this 10 day of October, 2011.
My Commission Expires: 8-30-2015
(Affix Seal) Kim Ellis Clark Notary Public
Notary's Printed or Typed Name

SEAL-STAMP

USE BLACK INK ONLY

State of North Carolina - County or City of _____
I, the undersigned Notary Public of the County or City and State aforesaid, certify that _____

Witness my hand and Notarial stamp or seal this _____ day of _____, 20__.
My Commission Expires: _____
(Affix Seal) _____ Notary Public
Notary's Printed or Typed Name

SCHEDULE A

FOUR-COUNTY COMMUNITY SERVICES, INC., a NC Non-Profit Corporation, *Grantor*,
MICHAEL P. WALTERS and wife, BARBARA M. WALTERS, *Grantee*

Pin: 1014-01-00304

All that certain tract of land lying and being on the east side of the corporate limits of the City of Lumberton, NC, and on the west side of and adjacent to SR 2126, bounded on the west by the lands of Geneva Gilles and Annie Thompson (Book 13-L, Page 299) and on the north by Crestview Subdivision (Map Book 18, Page 34) and other lands of Mack White Investments, Inc. (Book 948, Page 17) on all other sides and being more particularly described as follows:

BEGINNING at a railroad spike found in the center of SR 2126 the northeast corner of the original 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., said spike being located North 22 degrees 34 minutes 08 seconds East 971.97 feet from a nail found where the centerline of SR 2126 intersects with the centerline of Oak Street, which is located North 05 degrees 58 minutes 15 seconds East 492.54 feet from a nail found at the centerline intersection of SR 2126 and 7th Street, and runs thence from the point of BEGINNING with the centerline of SR 2126 South 25 degrees 44 minutes 36 seconds West 287.00 feet to a nail set in said center; thence with a new line North 47 degrees 01 minutes 31 seconds West 773.34 feet to an iron rod set in the west line of the original tract; thence with said line North 41 degrees 41 minutes 23 seconds East 197.00 feet to a pump pipe found in the north corner of the original tract; thence with the north line of the original tract to and with a ditch South 53 degrees 22 minutes 54 seconds East 697.02 feet to the point of BEGINNING, containing **4.0 acres**, more or less.

Being a portion of that 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., by Deed recorded in Book 948, Page 17, Robeson County Registry.

And being the same tract or parcel of land conveyed from Mack White Investments, Inc. to Michael P. Walters and wife, Barbara M. Walters by Deed dated January 5, 2005, and recorded in Book 1515, Page 259, Robeson County Registry.

This being the same tract or parcel of land conveyed from Michael P. Walters and wife, Barbara M. Walters to Four-County Community Services, Inc., by Gift Deed dated January 9, 2006, recorded in Book 1528, Page 214, Robeson County Registry.

This Deed is given pursuant to an Agreement to Re-Convey Lands dated January 9, 2006, recorded in Book 1528, Page 217, Robeson County Registry.

2006004048

ROBESON CO, NC FEE \$20.00
NO TAXABLE CONSIDERATION
PRESENTED & RECORDED:
04-05-2006 04:12:04 PM
VICKI L LOCKLEAR
REGISTER OF DEEDS
BY: FRANKIE BRITT
ASSISTANT
BK:D 1528
PG:214-216

This certifies that PIN 1014-01-003 is free of any delinquent ad valorem Tax liens charged to the Robeson County Tax Collector but does not certify that the deed description matches this PIN.

[Signature] 4/5/06
Collection Agent Signature Date NCGS 161-31

Prepared by: J. Gates Harris, Attorney at Law (without title examination)

Hold / Return to: [Signature]

NORTH CAROLINA
ROBESON COUNTY

PIN: Portion of 1014-01-003

This **GIFT DEED** made as of the 9th day of January, 2006, between MICHAEL P. WALTERS and wife, BARBARA M. WALTERS, *Grantor*, and FOUR-COUNTY COMMUNITY SERVICES, INC., a North Carolina Non-Profit Corporation, whose mailing address is P.O. Box 988, Laurinburg, NC 28353, *Grantee*.

WITNESSETH:

That said *Grantor* in consideration of the sum of Ten Dollars (\$10.00) and other valuable considerations to them in hand paid, the receipt of which is hereby acknowledged, have bargaining and sold and by these presents do bargain, sell, and convey unto the *Grantee* that certain tract or parcel of land lying and being in Lumberton Township, Robeson County, North Carolina, and being more particularly described as follows:

All that certain tract of land lying and being on the east side of the corporate limits of the City of Lumberton, NC, and on the west side of and adjacent to SR 2126, bounded on the west by the lands of Geneva Gilles and Annie Thompson (Book 13-L, Page 299) and on the north by Crestview Subdivision (Map Book 18, Page 34) and other lands of Mack White Investments, Inc. (Book 948, Page 17) on all other sides and being more particularly described as follows:

BEGINNING at a railroad spike found in the center of SR 2126 the northeast corner of the original 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., said spike being located North 22 degrees 34 minutes 08 seconds East 971.97 feet from a nail found where the centerline of SR 2126 intersects with the centerline of Oak Street, which is located North 05 degrees 58 minutes 15 seconds East 492.54 feet from a nail found at the centerline intersection of SR 2126 and 7th Street, and runs thence from the

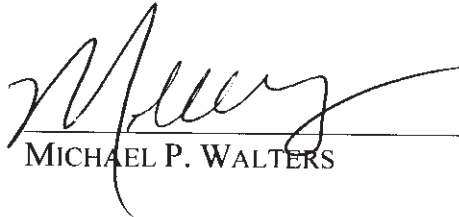
point of BEGINNING with the centerline of SR 2126 South 25 degrees 44 minutes 36 seconds West 287.00 feet to a nail set in said center; thence with a new line North 47 degrees 01 minutes 31 seconds West 773.34 feet to an iron rod set in the west line of the original tract; thence with said line North 41 degrees 41 minutes 23 seconds East 197.00 feet to a pump pipe found in the north corner of the original tract; thence with the north line of the original tract to and with a ditch South 53 degrees 22 minutes 54 seconds East 697.02 feet to the point of BEGINNING, containing **4.0 acres**, more or less.

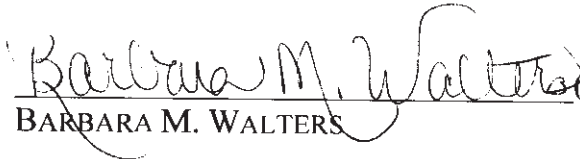
Being a portion of that 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., by Deed recorded in Book 948, Page 17, Robeson County Registry.

And being the same tract or parcel of land conveyed from Mack White Investments, Inc. to Michael P. Walters and wife, Barbara M. Walters by Deed dated January 5, 2005, and recorded in Book 1515, Page 259, Robeson County Registry.

TO HAVE AND TO HOLD the premises and all privileges and appurtenances thereunto belonging unto the *Grantee* and its successors and assigns, in fee simple forever.

IN TESTIMONY WHEREOF, the *Grantor* have hereunto set their hands and seals, as of the day and year first above written.

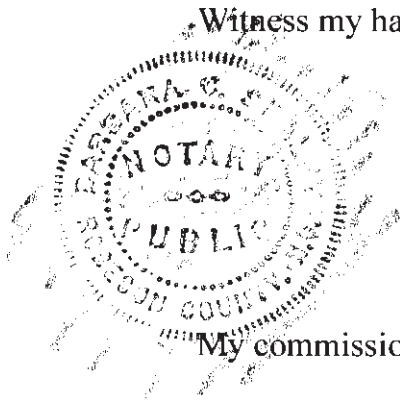

_____(SEAL)
MICHAEL P. WALTERS


_____(SEAL)
BARBARA M. WALTERS

NORTH CAROLINA
ROBESON COUNTY

I, a Notary Public, certify that MICHAEL P. WALTERS AND BARBARA M. WALTERS personally appeared before me and acknowledged the execution of the foregoing GIFT DEED.

Witness my hand and official seal this the 26 day of January, 2006.



Barbara E. Sealey
NOTARY PUBLIC

My commission expires: 4-2-2007.

2006004049

ROBESON CO, NC FEE \$23.00
 PRESENTED & RECORDED:
 04-05-2006 04:12:05 PM
 VICKI L LOCKLEAR
 REGISTER OF DEEDS
 BY: FRANKIE BRITT
 ASSISTANT
 BK:D 1528
 PG:217-220

Prepared by J. Gates Harris

return to J. Gates Harris

NORTH CAROLINA
ROBESON COUNTY

This AGREEMENT TO RE-CONVEY LANDS, made as of the 9th day of January, 2006, between FOUR-COUNTY COMMUNITY SERVICES, INC., a North Carolina Non-Profit Corporation, (herein "Four County") and MICHAEL P. WALTERS and wife, BARBARA M. WALTERS (herein "Walters").

WHEREAS, WALTERS have this date made a Gift Deed of a 4.0 Acre Tract to FOUR COUNTY; and

WHEREAS, it is an express condition of this Gift Deed that Four County shall begin construction of a day care center on this tract within five (5) years of the date of the Gift Deed;

NOW, THEREFORE, IT IS AGREED by the parties:

1. If Four County shall not begin construction of a day care center on this tract on or before January 9, 2011, then FOUR COUNTY agrees to re-convey the 4.0 acre tract to the WALTERS, without consideration.
2. If construction of this day care center is begun on or before January 9, 2011, then this condition shall be deemed satisfied, and WALTERS will release the 4.0 acre tract from this condition by a recordable instrument agreeable in form to Four County.

The 4.0 acre tract is more particularly described as follows:

All that certain tract of land lying and being on the east side of the corporate limits of the City of Lumberton, NC, and on the west side of and adjacent to SR 2126, bounded on the west by the lands of Geneva Gilles and Annie Thompson (Book 13-L, Page 299) and on the north by Crestview Subdivision (Map Book 18, Page 34) and other lands of Mack White Investments, Inc. (Book 948, Page 17) on all other sides and being more particularly described as follows:

BEGINNING at a railroad spike found in the center of SR 2126 the northeast corner of the original 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., said spike being located North 22 degrees 34 minutes 08 seconds East 971.97 feet from a nail found where the centerline of SR 2126 intersects with the centerline of Oak Street, which is located North 05 degrees 58 minutes 15 seconds East 492.54 feet from a nail found at the centerline intersection of SR 2126 and 7th Street, and runs thence from the point of BEGINNING with the centerline of SR 2126 South 25 degrees 44 minutes 36 seconds West 287.00 feet to a nail set in said center; thence with a new line North 47 degrees 01 minutes 31 seconds West 773.34 feet to an iron rod set in the west line of the original tract; thence with said line North 41 degrees 41 minutes 23 seconds East 197.00 feet to a pump pipe found in the north corner of the original tract; thence with the north line of the original tract to and with a ditch South 53 degrees 22 minutes 54 seconds East 697.02 feet to the point of BEGINNING, containing **4.0 acres**, more or less.

And being a portion of that 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., by Deed recorded in Book 948, Page 17, Robeson County Registry.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals, as of the day and year first above written.

FOUR-COUNTY COMMUNITY SERVICES, INC

By: Richard [Signature]

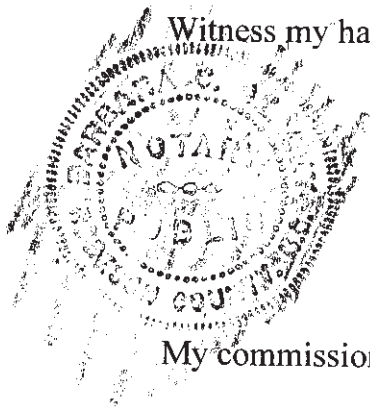
[Signature] (SEAL)
MICHAEL P. WALTERS

[Signature] (SEAL)
BARBARA M. WALTERS

NORTH CAROLINA
ROBESON COUNTY

I, a Notary Public, certify that MICHAEL P. WALTERS AND BARBARA M. WALTERS personally appeared before me and acknowledged the execution of the foregoing GIFT DEED.

Witness my hand and official seal this the 23rd day of March, 2006.



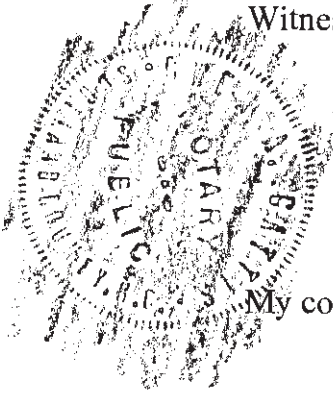
[Signature]
NOTARY PUBLIC

My commission expires: 4-2-2007.

STATE OF NORTH CAROLINA
COUNTY OF

I, a Notary Public, certify that Richard Luone personally appeared before me this day and acknowledged that he/she is the _____ of FOUR-COUNTY COMMUNITY SERVICES, INC, a North Carolina Non-Profit Corporation, and that by authority duly given and as the act of the corporation, the foregoing instrument was signed in its name by its Executive Director.

Witness my hand and Notarial seal, this the 3rd day of April, 2006.



Gwen A. Gattis
NOTARY PUBLIC

My commission expires: 3-14-08

2006001196

ROBESON CO, NC FEE \$20.00
NO TAXABLE CONSIDERATION
PRESENTED & RECORDED:
01-31-2006 10:32:42 AM
VICKI L LOCKLEAR
REGISTER OF DEEDS
BY: JENNIFER BRITT
DEPUTY II
BK:D 1515
PG:259-261

This certifies that PIN: 101401003
is free of any delinquent ad valorem Tax liens
charged to the Robeson County Tax Collector
but does not certify that the deed description
matches this PIN
[Signature] Date 31/1/2006
Collection Agent Signature NCGS 161-31

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$0.00

Parcel Identifier No. portion of 1014-01-003 Verified by _____ County on the _____ day of _____, 20____
By: _____

Mail/Box to: J. Gates Harris

This instrument was prepared by: J. Gates Harris (without title examination)

Brief description for the Index: 4.0 acres, Lumberton Township

THIS DEED made this 5th day of January, 2006, by and between

GRANTOR	GRANTEE
MACK WHITE INVESTMENTS, INC. A NORTH CAROLINA CORPORATION	MICHAEL P. WALTERS and wife, BARBARA M. WALTERS P.O. Box 26 Proctorville, NC 28375

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of _____, Lumberton Township, Robeson County, North Carolina and more particularly described as follows:

See SCHEDULE A attached

The property hereinabove described was acquired by Grantor by instrument recorded in Book 948 page 17.

A map showing the above described property is recorded in Plat Book _____ page _____.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple. And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

Mack White Investments, Inc. (SEAL)
By: [Signature] Title: President (SEAL)
By: Title: (SEAL)
By: Title: (SEAL)
USE BLACK INK ONLY

State of North Carolina - County of
I, the undersigned Notary Public of the County and State aforesaid, certify that
personally appeared before me this day and
acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my
hand and Notarial stamp or seal this day of , 20
My Commission Expires:
Notary Public

State of North Carolina - County of Robeson
I, the undersigned Notary Public of the County and State aforesaid, certify that Michael P. Walters
President personally came before me this day and
acknowledged that he is the President of Mack White Investments, Inc.,
a North Carolina or corporation/partnership/company/general partnership/limited
partnership (strike through the inapplicable), and that by authority duly given and as the act of each entity,
he signed the forgoing instrument in its name on its behalf as its act and deed. Witness my hand and
Notarial stamp or seal this 26 day of January, 2006
My Commission Expires: 4-2-2007
Notary Public
[Notary Seal: BARBARA G. SEALING, NOTARY PUBLIC, ROBESON COUNTY, N.C.]

State of North Carolina - County of
I, the undersigned Notary Public of the County and State aforesaid, certify that
Witness my hand and Notarial stamp or seal this day of , 20
My Commission Expires:
Notary Public

The foregoing Certificate(s) of is/are certified to be correct.
This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof.
Vicki L. Locklear Register of Deeds for Robeson County
By: Deputy/Assistant - Register of Deeds

SCHEDULE A

Mack White Investments, Inc., *Grantor*
Michael P. Walters and wife, Barbara M. Walters, *Grantee*

Pin: Portion of 1014-01-003

All that certain tract of land lying and being on the east side of the corporate limits of the City of Lumberton, NC, and on the west side of and adjacent to SR 2126, bounded on the west by the lands of Geneva Gilles and Annie Thompson (Book 13-L, Page 299) and on the north by Crestview Subdivision (Map Book 18, Page 34) and other lands of Mack White Investments, Inc. (Book 948, Page 17) on all other sides and being more particularly described as follows:

BEGINNING at a railroad spike found in the center of SR 2126 the northeast corner of the original 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., said spike being located North 22 degrees 34 minutes 08 seconds East 971.97 feet from a nail found where the centerline of SR 2126 intersects with the centerline of Oak Street, which is located North 05 degrees 58 minutes 15 seconds East 492.54 feet from a nail found at the centerline intersection of SR 2126 and 7th Street, and runs thence from the point of BEGINNING with the centerline of SR 2126 South 25 degrees 44 minutes 36 seconds West 287.00 feet to a nail set in said center; thence with a new line North 47 degrees 01 minutes 31 seconds West 773.34 feet to an iron rod set in the west line of the original tract; thence with said line North 41 degrees 41 minutes 23 seconds East 197.00 feet to a pump pipe found in the north corner of the original tract; thence with the north line of the original tract to and with a ditch South 53 degrees 22 minutes 54 seconds East 697.02 feet to the point of BEGINNING, containing **4.0 acres**, more or less.

And being a portion of that 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., by Deed recorded in Book 948, Page 17, Robeson County Registry.



Robeson County Government

PROPERTY REPORT - PRINT

Southwest Parcel

Property Owner WALTERS MICHAEL P & WF WALTERS BARBARA M	Owner's Mailing Address 1887 OAKTON CHURCH RD FAIRMONT, NC 28340	Property Location Address HARRILL RD						
Administrative Data Parcel Ref No. 101401003 PIN 030178023100 Account No. 36821015 Tax District TOWN LUMBERTON Land Use Code V-00 Land Use Desc UP TO 10 ACRES Subdiv Code Subdiv Desc Neighborhood 32055	Administrative Data Legal Desc A EAST & WEST SR 2113 Deed Bk/Pg 01998 / 0606 Plat Bk/Pg / Sales Information Grantor MACK WHITE INVESTMENTS INC Sold Date 2015-06-29 Sold Amount \$ 0	Valuation Information Market Value \$ 25,400 Market Value - Land and all permanent improvements, if any, effective January 1, 2010, date of County's most recent General Reappraisal Assessed Value \$ 25,400 If Assessed Value not equal Market Value then subject parcel designated as a special class -agricultural, horticultural, or forestland and thereby eligible for taxation on basis of Present-Use and/or reduction from a formal appeal procedure Land Supplemental Map Acres 2.39 Tax District Note Present-Use Info						
Improvement Detail (1st Major Improvement on Subject Parcel) Year Built 0 Built Use/Style Current Use / * Percent Complete 0 Heated Area (S/F) 0 ** Bathroom(s) 0 Full Bath(s) 0 Half Bath(s) ** Bedroom(s) 0 Fireplace (Y/N) N Basement (Y/N) N Attached Garage (Y/N) N *** Multiple Improvements 0 <small>* Note - As of January 1 ** Note - Bathroom(s), Bedroom(s), shown for description only *** Note - If multiple improvements equal "MLT" then parcel includes additional major improvements</small>								
Improvement Valuation (1st Major Improvement on Subject Parcel) <table> <tr> <td>* Improvement Market Value \$</td> <td>0</td> <td>** Improvement Assessed Value \$</td> <td>0</td> </tr> </table> <small>* Note - Market Value effective Date equal January 1, 2010, date of County's most recent General Reappraisal ** Note - If Assessed Value not equal Market Value then variance resulting from formal appeal procedure</small>			* Improvement Market Value \$	0	** Improvement Assessed Value \$	0		
* Improvement Market Value \$	0	** Improvement Assessed Value \$	0					
Land Value Detail (Effective Date January 1, 2010, date of County's most recent General Reappraisal) <table> <tr> <td>Land Market Value (LMV) \$</td> <td>Land Present-Use Value (PUV) \$ **</td> <td>Land Total Assessed Value \$</td> </tr> <tr> <td>25,400</td> <td>25,400</td> <td>25,400</td> </tr> </table> <small>** Note: If PUV equal LMV then parcel has not qualified for present use program</small>			Land Market Value (LMV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$	25,400	25,400	25,400
Land Market Value (LMV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$						
25,400	25,400	25,400						

MAP NO.	BLOCK	LOT	LOT SIZE or ACREAGE	NUMERIC INDEX
14	1	3	2.39 Acres	ROBESON COUNTY, N.C.

E & W SR 2113
PIN 0381 78 0231 00

TAXING DISTRICT
 Lumberton Township

OWNER'S NAME	ADDRESS	DEED BOOK	PAGE NO.	DATE
1. York, W. R.	CFO Bargain Barn Lumberton, N. C.	15E 15E	241 243	3-17-65 3-17-65
2. McGee, Ira Mac and Fesmire, Charles A.	3455 Holly Spring Road Ramseur, NC 27316 455 JC Teague Road Staley, NC 27355	943 943 943 943 943 943 943	881 881 881 881 881 881 881	3-24-97 3-24-97 3-24-97 3-24-97 3-24-97 3-24-97 3-24-97
3. MACK WHITE INVESTMENTS INC.	Rt. 2, Box 381-C Fairmont, NC 28340	948	17	4-21-97
4. Walters, Michael P. & Wf. Walters, Barbara M.	1887 Oakton Church Rd Fairmont NC 28340	1998	606	6-29-15
5.				

This certifies that PIN: 1014 01 003
 is free of any delinquent ad valorem Tax liens
 charged to the Robeson County Tax Collector,
 and does certify that the deed description
 matches this PIN.

Angela Jacoby 6/25/15
 Mapping Technician Signature Date NCGS 161-31

2015004912
 ROBESON CO, NC FEE \$26.00
NO TAXABLE CONSIDERATION
 PRESENTED & RECORDED:
06-29-2015 10:28:32 AM
 VICKI L LOCKLEAR
REGISTER OF DEEDS
 BY TOMASA MORALES PEAVY
ASSISTANT
BK: D 1998
PG: 606-608

Excise Tax \$ **0.00**

NORTH CAROLINA GENERAL WARRANTY DEED

Tax Block: _____ Lot: _____ Parcel No.: **1014-01-00309**

Prepared by: ERIC WEST, Attorney at Law, PLLC (** No Title Certification Given)
 HOLD FOR: ERIC WEST, Attorney at Law, PLLC

**** PROPERTY IS / xx IS NOT THE PRIMARY RESIDENCE OF THE GRANTOR.**

Brief Description for the Index:

8.84 Acres, SR 2113

THIS DEED made this 25th day of June, 2015, by and between

GRANTOR	GRANTEE
MACK WHITE INVESTMENTS, INC. (a NC corporation)	MICHAEL P. WALTERS and wife, BARBARA M. WALTERS
P.O. Box 26 Proctorville, NC 28375	1887 Oakton Church Road Fairmont, NC 28340

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all interest in that certain lot or parcel of land situated in Lumberton Township, **Robeson** County, North Carolina and more particularly described as follows:

FIRST TRACT: Situate East of the City of Lumberton, North Carolina and adjacent to the corporate limits and North of N.C. Rural Paved Road 2104 (Flowers Road) but not adjacent to said road and South of Wolf Branch Canal. Adjoining the lands of L.M. Huggins, Frank McLeod, Belle E. Rozier Estate, Rufus McLean Estate and Murch R. Butler. BEGINNING at an iron stake in Wolf Branch Canal where a ditch intersects the canal, said stake being L.M. Huggins corner, and runs thence with the center of the ditch and Huggins line and the line of the Frank McLeod lands, South 51 degrees 15 minutes West 11.65 chains to an iron stake in said ditch, a corner of the McLeod lands; thence continuing with said ditch, South 3 degrees West 5.15 chains to a concrete monument at the junction of two (2) ditches; another corner of the McLeod lands; thence with the center of a small ditch, North 48 degrees West 7.00 chains to a stake, McLeod's corner in a sand clay road in the Belle E. Rozier Estate line; thence with the road

and the Rozier Estate line, North 51 degrees 30 minutes East 3.92 chains to an iron stake, another corner of the Rozier Estate lands; thence North 51 degrees 30 minutes West 10.48 chains to an iron stake, a corner of the Rozier Estate and Rufus McLean Estate lands; thence with the McLean line, North 41 degrees 30 minutes East 11.00 chains to an iron stake on the South bank and in the bend of Wolf Branch Canal where a ditch intersects said canal; thence up the center of Wolf Branch Canal and with Murch R. Butler's line, South 58 degrees East 11.80 chains to a point in said canal; thence continuing with the center of said canal and the Butler line, South 41 degrees East 4.20 chains to the beginning, containing 20 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Paul H. Harrill et ux, Ruth McNeill Harrill to W.R. York et us, Hexie M. York and duly recorded in Book 15-E, at Page 241, Robeson County Registry.

LESS AND EXCEPT from the above described tract or parcel of land that certain .50 acre parcel as described in Deed recorded in Book 15-E, at Page 242, Robeson County Registry.

SECOND TRACT: Situate East of the City of Lumberton, North Carolina and North of N.C. Rural Paved Road Number 2102 (Flowers Road) and on the East side of Sand Clay Road, known as the Paul H. Harrill Road. ADJOINING other lands of Frank A. McLeod and lands of Belle E. Rozier Estate and W.R. York. BEGINNING at an iron stake in the northern right of way of Oak Street, at the junction of Oak Street and Harrill Road, said point of beginning being the Frank McLeod and Rozier Estate line and runs thence with the Rozier Estate and McLeod line along the Harrill Road, North 51 degrees 30 minutes East 134.0 feet to W.R. York and McLeod corner in the Rozier line; thence with York and McLeod line along the center of a ditch, South 48 degrees East 156.0 feet to a stake in the center of said ditch; thence North 85 degrees 30 minutes West 216.0 feet to the beginning, containing 0.2 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Frank A. McLeod et ux, Sara C. McLeod to W.R. York et ux, Hexie M. York and duly recorded in Book 15-E, at Page 243, Robeson County Registry.

**** LESS AND EXCEPT THE FOLLOWING TRACTS OF LAND:**

1. All of that 0.16 acre tract conveyed by Deed dated 18 December 1997 from Mack White Investments, Inc to Tarheel Specialties, Inc. and recorded in Deed Book 981, Page 638, Robeson County Registry.
2. All of that 4.00 acres conveyed by Deed dated 5 January 2006 from Mack White Investments, Inc. to Michael P. Walters and wife, Barbara M. Walters and recorded in Deed Book 1515, Page 259, Robeson County Registry.
3. All of that 2.89 acres conveyed by Deed dated 19 April, 2002 from Mack White Investments, Inc. to Heaven Bound New Vision Church, Inc. and recorded in Deed Book 1227, Page 294, Robeson County Registry.
4. All of that 2.11 acres conveyed by Deed dated 18 December 1997 from Mack White Investments, Inc. to Chris Oxendine, Trent Locklear, Raymond Cummings dba LOC Rentals, a North Carolina Partnership and recorded in Deed Book 983, Page 834, Robeson County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is SUBJECT to the following exceptions:

Subject to ad valorem taxes; all applicable zoning and land use ordinances, statutes and regulations; and to the provisions of all applicable restrictive covenants and utility easements of record.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers, the day and year first above written.

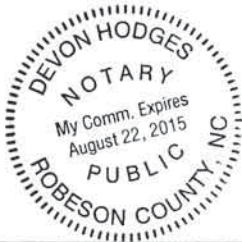
MACK WHITE INVESTMENTS, INC.

By: Michael P. Walters (Seal)
Michael P. Walters, President

STATE OF North Carolina
COUNTY OF Robeson

I, Devon Hodges, a Notary Public for said County and State, do hereby certify that **Michael P. Walters, President of Mack White Investments, Inc., a NC corporation** personally known to me and personally appeared before me this day and acknowledged the voluntary execution of the foregoing instrument on behalf of the corporation and in the capacity stated above.

Witness my hand and official seal this the 25th day of June, 2015.



Devon Hodges
Notary Public
My Commission Expires: 08/22/2015

The attorney preparing this instrument has made no record search or title examination of the property herein described

FILED R OF D
VICKI L. LOCKLEAR

ROBESON COUNTY NC 04/21/97
\$90.00

BOOK
948

PAGE
0017

APR 21 4 27 PM '97



Real Estate
Excise Tax

ROBESON COUNTY

Excise Tax \$ 0.00

Recording Time, Book and Page

Tax Lot No. _____ Parcel Identifier No. _____
Verified by _____ County on the _____ day of _____, 19____
by _____

Mall after recording to CARL STRICKLAND
~~_____~~, Attorney at Law, Lumberton NC
This instrument was prepared by Fred L. Musselwhite, Attorney at Law, Lumberton, NC

Brief Description for the index Acreage - Lumberton Township

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this April 2, 1997, by and between

GRANTOR	GRANTEE
IRA MAC MCGEE, TRUSTEE and 3455 Holly Springs Road Ramseur NC 27316 and CHARLES A. FESMIRE, TRUSTEE 455 JC Teague Road Staley, North Carolina 27355	MACK WHITE INVESTMENTS, INC. 100-Bidwellville Road, Hwy 66 Dixie, South Carolina 29535 <i>K12, Bx 381-C Fairmont, NC 28340</i>

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g., corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of , Lumberton Township, Robeson County, North Carolina and more particularly described as follows:

FIRST TRACT:

Situate East of the City of Lumberton, North Carolina and adjacent to the corporate limits and North of N.C. Rural Paved Road Number 2104 (Flowers Road) but not adjacent to said road and South of Wolf Branch Canal. Adjoining the lands of L. M. Huggins, Frank McLeod, Belle E. Rosier Estate, Rufus McLean Estate and Murch R. Butler. BEGINNING at an iron stake in Wolf Branch Canal where a ditch intersects the canal, said stake being L. M. Huggins corner, and runs thence with the center of the ditch and Huggins line and the line of the Frank McLeod lands South 51 degrees 15 minutes West 11.65 chains to an iron stake in said ditch, a corner of the McLeod lands; thence continuing with said ditch South 3 degrees West 5.15 chains to a concrete monument at the junction of two (2) ditches; another corner of the McLeod land; thence with the center of a small ditch North 48 degrees West 7.00 chains to a stake, McLeod's corner in a sand clay road in the Belle E. Rosier Estate line; thence with the road and the Rosier Estate line North 51 degrees 30 minutes East 3.92 chains to an iron stake, another corner of the Rosier Estate land; thence North 51 degrees 30 minutes West 10.48 chains to an iron stake, a corner of the Rosier Estate and Rufus McLean Estate lands; thence with the McLean line North 41 degrees 30 minutes East 11.00 chains to an iron stake on the South bank and in the bend of Wolf Branch Canal where a ditch intersects said canal; thence up the center of Wolf Branch Canal and with Murch R. Butler's line South 58 degrees East 11.80 chains to a point in said canal; thence continuing with the center of said canal and the Butler line South 41 degrees East 4.20 chains to the beginning, containing 20 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Paul H. Harrill et ux, Ruth McNeill Harrill to W. R. York et ux, Hexie M. York and duly recorded in Book 15-E, at Page 241, Robeson County Registry.

LESS AND EXCEPT from the above described tract or parcel of land that certain .50 Acre parcel as described in Deed recorded in Book 15-E, at Page 242, Robeson County Registry.

SECOND TRACT:

Situate East of the City of Lumberton, North Carolina and North of N.C. Rural Paved Road Number 2102 (Flowers Swamp) and on the East side of Sand Clay Road, known as the Paul H. Harrill Road. ADJOINING other lands of Frank A. McLeod and lands of Belle E. Rosier Estate and W. R. York. BEGINNING at an iron stake in the Northern right of way of Oak Street at the junction of Oak Street and Harrill Road, said point of beginning being the Frank McLeod and Rosier Estate line and runs thence with the Rosier Estate and McLeod line along the Harrill Road North 51 degrees 30 minutes East 134.0 feet to W. R. York and McLeod corner in the Rosier line; thence with York and McLeod line along the center of a ditch South 48 degrees East 156.0 feet to a stake in the center of said ditch; thence North 85 degrees 30 minutes West 216.0 feet to the beginning, containing 0.2 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Frank A. McLeod et ux, Sara C. McLeod to W. R. York et ux, Hesia M. York and duly recorded in Book 15-E, at Page 243, Robeson County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whatsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

BOOK PAGE
948 0018

(Corporate Name)

By: _____

President

ATTEST: _____

Secretary (Corporate Seal)

IRA Mac McGee, Trustee (SEAL)
IRA Mac McGee, Trustee

Charles A. Fesmire, Trustee (SEAL)
Charles A. Fesmire, Trustee

(SEAL)

(SEAL)

SEAL-STAMP NORTH CAROLINA, Robeson County.
I, a Notary Public of the County and State aforesaid, certify that IRA MAC MCGEE, TRUSTEE and CHARLES A. FESMIRE, TRUSTEE Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 4th day of April, 1997.

My commission expires: 12/11/98
Helen Locklear Notary Public

The foregoing Certificate(s) of Helen Locklear, Notary Public

is/are certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof.

REGISTER OF DEEDS FOR Robeson COUNTY
By: _____ Deputy/Assistant-Register of Deeds.

881

BOOK 943 The attorney preparing this instrument has made no record search or title examination of the property herein described	PAGE 0881 FILED R OF D VICKI L. LOCKLEAR Mar 24 3 03 PM '97 ROBESON COUNTY
Excise Tax \$ 0.00	Recording Time, Book and Page

Tax Lot No. _____ Parcel Identifier No. _____
 Verified by _____ County on the _____ day of _____, 19____
 by _____

Mail after recording to Attorney Fred L. Musselwhite, P.O. Box 1448, Lumberton NC
 This instrument was prepared by Attorney Fred L. Musselwhite, P.O. Box 1448, Lumberton NC

Brief Description for the index 4 Tracts - Lumberton and Maxton Townships

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this December 16, 1996, by and between

GRANTOR	GRANTEE
MYRTLE COWARD STEWART; WILLIAM L. COWARD ET UX, JAM COWARD; ERNEST W. YORK ET UX, ANN R. YORK; BROOKA Y. STOKES; ALLAN COWARD ET UX, GRACE COWARD	IRA MAC MCGEE, TRUSTEE 3455 Holly Spring Road Ramseur North Carolina 27316 and CHARLES A. FESMIRE, TRUSTEE 455 JC Teague Road Staley North Carolina 27355

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g., corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of _____ Township, Robeson County, North Carolina and more particularly described as follows:

ALL RIGHT, TITLE AND INTEREST OF GRANTORS IN AND TO ANY
 AND ALL PROPERTIES OWNED BY WALTER ROOSEVELT YORK AT THE
 TIME OF HIS DEATH, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

FIRST TRACT:

Lying and being in the Northwestern part of the Town of Lumberton, North Carolina, and in that section known as "Norwood" and being Lot No. Four (4), as shown and designated on a map made by F. F. Wetmore, Civil Engineer, said map being recorded in Book of Maps No. 2, at Page 8 in the Office of the Register of Deeds of Robeson County, North Carolina, to which said map reference is hereby made and the same is made a part hereof.

Said lot is located on the west side of Carthage Road, and on the North side of Poplar Street, being 60 feet on Carthage Road and 139 feet on Poplar Street.

And being the same property conveyed by Deed dated 5 April 1948 from Kelly F. Haman et ux, Victoria B. Haman to Walter R. York et ux, Hexie M. York and duly recorded in Book 10-L, at Page 494, Robeson County Registry.

SECOND TRACT:

In the City of Lumberton in the Northwestern Section thereof, and being all of Lot No. Three (3) as shown and designated on a Map of Norwood, prepared by F. F. Wetmore, dated 1916, which map is duly recorded in Book of Official Maps No. 2, at Page 8, Robeson County Registry, to which reference is hereby made for a more particular description of the lot herein conveyed, and which is made a part hereof.

Being the same property conveyed by Deed dated 20 June 1953 from W. I. Chappell et ux, Martha F. Chappell to Walter R. York et ux, Hexie M. York and duly recorded in Book 11-M, at Page 56, Robeson County Registry.

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THIRD TRACT:

Lying about three miles South of the Town of Maxton, adjoining the lands of the W. H. McCormick Estate, the Hamer lands, et als, BEGINNING at a stake, formerly a black gum, at or near a farm road in the edge of Little Branch, in the line of a black gum, at or near a farm road in the edge of Little Branch, in the line of a 30 acre tract conveyed by Ed Graham to Daniel Douglas (now owned by Stewart), and running thence with Stewart's line North 16 degrees 23 minutes East 1299 feet to a stake on a ditch bank, H. W. McLaurin's corner; thence with and beyond the ditch North 83 degrees East 528 feet to a stake, McLaurin's corner; thence South 13 degrees East 538.5 feet to a stake; thence with Hamer's line South 51 degrees 37 minutes East 1122 feet to a stake, Hamer's corner; thence with Hamer's line North 87 degrees 23 minutes East 792 feet to a stake, a corner of the W. H. McCormick lands, near the old Rockingham-Marion Courthouse Road; thence South 27 degrees 45 minutes West with the McCormick line approximately 6.5 chains to a stake near the Maxton-Clio Road; thence with the McCormick line and near or nearly with a farm road North 78 degrees 51 minutes West 2410 feet to the beginning, containing 48.8 acres, more or less, and being the same lands described in a Deed dated October 30, 1957 from Gus Speros, et als to W. R. McDuffie and wife, Thetis B. McDuffie, and recorded in Book 12-P, at Page 57, Robeson County Registry.

And being the same property conveyed by Deed dated 28 September 1960 from W. R. McDuffie and wife, Thetis B. McDuffie to Walter R. York et ux, Hexie M. York and duly recorded in Book 13-L, at Page 24, Robeson County Registry.

FOURTH TRACT:

Situate East of the City of Lumberton, North Carolina and adjacent to the corporate limits and North of M.C. Rural Paved Road Number 2104 (Flowers Road) but not adjacent to said road and South of Wolf Branch Canal. Adjoining the lands of L. M. Huggins, Frank McLeod, Belle E. Rosier Estate, Rufus McLean Estate and Murch R. Butler. BEGINNING at an iron stake in Wolf Branch Canal where a ditch intersects the canal, said stake being L. M. Huggins corner, and runs thence with the center of the ditch and Huggins line and the line of the Frank McLeod lands South 51 degrees 15 minutes West 11.65 chains to an iron stake in said ditch, a corner of the McLeod lands; thence continuing with said ditch South 3 degrees West 5.15 chains to a concrete monument at the junction of two (2) ditches; another corner of the McLeod land; thence with the center of a small ditch North 48 degrees West 7.00 chains to a stake, McLeod's corner in a sand clay road in the Belle E. Rosier Estate line; thence with the road and the Rosier Estate line North 51 degrees 30 minutes East 3.92 chains to an iron stake, another corner of the Rosier Estate land; thence North 51 degrees 30 minutes West 10.48 chains to an iron stake, a corner of the Rosier Estate and Rufus McLean Estate lands; thence with the McLean line North 41 degrees 30 minutes East 11.00 chains to an iron stake on the South bank and in the bend of Wolf Branch Canal where a ditch intersects said canal; thence up the center of Wolf Branch Canal and with Murch R. Butler's line South 58 degrees East 11.80 chains to a point in said canal; thence continuing with the center of said canal and the Butler line South 41 degrees East 4.20 chains to the beginning, containing 20 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Paul H. Harrill et ux, Ruth McNeill Harrill to W. R. York et ux, Hexie M. York and duly recorded in Book 15-E, at Page 241, Robeson County Registry.

LESS AND EXCEPT from the above described tract or parcel of land that certain .50 Acre parcel as described in Deed recorded in Book 15-E, at Page 242, Robeson County Registry.

FIFTH TRACT:

Situate East of the City of Lumberton, North Carolina and North of M.C. Rural Paved Road Number 2102 (Flowers Swamp) and on the East side of Sand Clay Road, known as the Paul H. Harrill Road. ADJOINING other lands of Frank A. McLeod and lands of Belle E. Rosier Estate and W. R. York. BEGINNING at an iron stake in the Northern right of way of Oak Street at the junction of Oak Street and Harrill Road, said point of beginning being the Frank McLeod and Rosier Estate line and runs thence with the Rosier Estate and McLeod line along the Harrill Road North 51 degrees 30 minutes East 134.0 feet to W. R. York and McLeod corner in the Rosier line; thence with York and McLeod line along the center of a ditch South 48 degrees East 156.0 feet to a stake in the center of said ditch; thence North 85 degrees 30 minutes West 216.0 feet to the beginning, containing 0.2 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Frank A. McLeod et ux, Sara C. McLeod to W. R. York et ux, Hexie M. York and duly recorded in Book 15-E, at Page 243, Robeson County Registry.

BOOK 943 ⁹⁰³ PAGE 882

BY THE EXECUTION OF THIS DEED, GRANTORS AUTHORIZE TRUSTEES ⁹⁴³ OR SURVIVORS ⁸² TO SELL THE ABOVE DESCRIBED PROPERTY AT SUCH PRICE AS IS RECOMMENDED BY REALTOR, WHICH THEY SHALL SELECT, AND AFTER DEDUCTION FOR REAL ESTATE COMMISSIONS, ATTORNEYS' FEES, REVENUE STAMPS, TAXES, COST OF REPAIRS, ETC. THE REMAINING PROCEEDS ARE TO BE DIVIDED AMONG THE HEIRS OF WALTER ROOSEVELT YORK.

The property hereinabove described was acquired by Grantors as heirs of the Estate of Walter Roosevelt York, Deceased.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

Notary Public, Houston County, Georgia
My Commission Expires May 28, 2000

(Corporate Name)

By: _____

President

ATTEST: _____

Secretary (Corporate Seal)

Myrtle Coward Stewart (SEAL)
Myrtle Coward Stewart

William L. Coward (SEAL)
William L. Coward

Jan Coward (SEAL)
Jan Coward

Ernest W. York (SEAL)
Ernest W. York

Ann R. York (SEAL)
Ann R. York

Brooks Y. Stokes (SEAL)
Brooks Y. Stokes

Allen Coward (SEAL)
Allen Coward

Grace Coward (SEAL)
Grace Coward

BOOK PAGE
943 0883

SEAL-STAMP GEORGIA, Houston County.
I, a Notary Public of the County and State aforesaid, certify that Myrtle Coward Stewart, Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 4th day of February, 1997.

My commission expires: 5/28/2000

Joan Rish Joan Rish Notary Public

SEAL-STAMP GEORGIA, LEE County.
I, a Notary Public of the County and State aforesaid, certify that William L. Coward et ux, Jan Coward, Grantors, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 5th day of FEBRUARY, 1997.

My commission expires: 2/5/1999

Janet A. Howard Notary Public

SEAL-STAMP TENNESSEE, Hamilton County.
I, a Notary Public of the County and State aforesaid, certify that Ernest W. York et ux, Ann R. York, Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 24 day of February, 1996.

My commission expires: 1/10/98

Evelyn Keel Evelyn Keel Notary Public

SEAL-STAMP ALABAMA, Lee County.
I, a Notary Public of the County and State aforesaid, certify that Brooks Y. Stokes, Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 10th day of February, 1997.

My commission expires: 12/30/2000

June B. Thomas Notary Public

884



Bergen County, New Jersey County.

I, a Notary Public of the County and State aforesaid, certify that Allen Coward et ux, Grace Coward, Grantors, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 22nd day of February, 1997.

My commission expires: 10/16/2000
JOAN M. SOMMERS
NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES OCT 16, 2000
Notary Public

The foregoing Certificate(s) of JOAN RISH, JAMES W. HARCROW, EVELYN KEEL, JUNE B. THOMAS AND JOAN M. SOMMERS NOTARIES PUBLIC

is/are certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof.

VICKI L. LOCKLEAR REGISTER OF DEEDS FOR ROBESON COUNTY
By Frankie C. Bird Deputy/Assistant Register of Deeds.

BOOK PAGE
943 0884

APPENDIX G

User Questionnaire

**PHASE I
USER QUESTIONNAIRE
Environmental Site Assessment (ESA)**

219 Harrill Road, Lumberton, NC
(Robeson County PIN #030178023100 & #030178146500)

(1.) Are you aware of any environmental cleanup liens against the *property* that are filed or recorded under federal, tribal, state or local law?

NO

(2.) Are you aware of any Authorized Use Lists, such as *engineering controls*, land use restrictions or *institutional controls* that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?

NO

(3.) As the *user* of this ESA, do you have any specialized knowledge or experience related to the *property* or nearby properties? For example, are you involved in the same line of business as the current or former *occupants* of the *property* or an adjoining *property* so that you would have specialized knowledge of the chemicals and processes used by this type of business?

Property was Agricultural fields.

(4.) Does the purchase price being paid for this *property* reasonably reflect the fair market value of the *property*? If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the *property*?

Property reflects fair market value

**PHASE I
USER QUESTIONNAIRE
Environmental Site Assessment (ESA)**
219 Harrill Road, Lumberton, NC
(Robeson County PIN #030178023100 & #030178146500)

(5.) Are you aware of commonly known or *reasonably ascertainable* information about the *property* that would help the *environmental professional* to identify conditions indicative of releases or threatened releases? For example, as *user*,

(a.) Do you know the past uses of the *property*?

Agricultural Row Crops.

(b.) Do you know of specific chemicals that are present or once were present at the *property*?

NO

(c.) Do you know of spills or other chemical releases that have taken place at the *property*?

NO

(d.) Do you know of any environmental cleanups that have taken place at the *property*?

NO

(6.) As the *User* of this *ESA*, based on your knowledge and experience related to the *property*, are there any *obvious* indicators that point to the presence or likely presence of contamination at the *property*?

NO

Printed Name: Michael Walters

Signature: 

Date: 9/10/2021

APPENDIX H

EDR Radius Report

6.39 Acres on Harrill Road

219 Harrill Road

Lumberton, NC 28358

Inquiry Number: 6644708.2s

September 01, 2021

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

219 HARRILL ROAD
LUMBERTON, NC 28358

COORDINATES

Latitude (North): 34.6247840 - 34° 37' 29.22"
Longitude (West): 78.9762870 - 78° 58' 34.63"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 685524.2
UTM Y (Meters): 3833100.0
Elevation: 141 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5945165 SOUTHEAST LUMBERTON, NC
Version Date: 2013

Northeast Map: 5944870 NORTHEAST LUMBERTON, NC
Version Date: 2013

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140519
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
 219 HARRILL ROAD
 LUMBERTON, NC 28358

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
Reg	CARDINAL CHEMICAL WA		NC HSDS	Same	4224, 0.800, SSW
A1	BUILDERS TRANSPORT I	RT 6 BOX 1014 I95 SE	RCRA-VSQQ	Higher	528, 0.100, SSW
A2	R. E. GORE	RT 9 BOX 230	LUST, IMD	Higher	534, 0.101, SSW
3	SUN DO KWIK SHOP 211	1145 ROBERTS AVENUE	LUST, LUST TRUST, UST, Financial Assurance	Higher	1645, 0.312, WSW
4	HUNTERS LANE FARM	700 ROBERTS AVE	LAST	Higher	1815, 0.344, SW
5	CASSON'S QUICK CHECK	602 ROBERTS AVENUE	LUST, INST CONTROL	Higher	1991, 0.377, SW
B6	HAPPY STORE #347	1302 ROBERTS AVENUE	LUST TRUST, IMD	Higher	2377, 0.450, WNW
B7	SPINX 347	1302 ROBERTS AVE.	LUST, UST	Higher	2377, 0.450, WNW
8	CARDINAL CHEMICAL WA	NC 211 & NC 72	SHWS	Higher	4302, 0.815, SSW

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing
SEMS..... Superfund Enterprise Management System

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System
US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROLS..... Institutional Controls Sites List

EXECUTIVE SUMMARY

Federal ERNS list

ERNS..... Emergency Response Notification System

State and tribal landfill and/or solid waste disposal site lists

SWF/LF..... List of Solid Waste Facilities
OLI..... Old Landfill Inventory
DEBRIS..... Solid Waste Active Disaster Debris Sites Listing
LCID..... Land-Clearing and Inert Debris (LCID) Landfill Notifications

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FEMA UST..... Underground Storage Tank Listing
UST..... Petroleum Underground Storage Tank Database
AST..... AST Database
INDIAN UST..... Underground Storage Tanks on Indian Land

State and tribal voluntary cleanup sites

VCP..... Responsible Party Voluntary Action Sites
INDIAN VCP..... Voluntary Cleanup Priority Listing

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields Projects Inventory

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY..... Recycling Center Listing
HIST LF..... Solid Waste Facility Listing
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
ODI..... Open Dump Inventory
IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register
US CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS 2..... CERCLA Lien Information

EXECUTIVE SUMMARY

Records of Emergency Release Reports

HMIRS.....	Hazardous Materials Information Reporting System
SPILLS.....	Spills Incident Listing
SPILLS 90.....	SPILLS 90 data from FirstSearch
SPILLS 80.....	SPILLS 80 data from FirstSearch

Other Ascertainable Records

RCRA NonGen / NLR.....	RCRA - Non Generators / No Longer Regulated
FUDS.....	Formerly Used Defense Sites
DOD.....	Department of Defense Sites
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR.....	Financial Assurance Information
EPA WATCH LIST.....	EPA WATCH LIST
2020 COR ACTION.....	2020 Corrective Action Program List
TSCA.....	Toxic Substances Control Act
TRIS.....	Toxic Chemical Release Inventory System
SSTS.....	Section 7 Tracking Systems
ROD.....	Records Of Decision
RMP.....	Risk Management Plans
RAATS.....	RCRA Administrative Action Tracking System
PRP.....	Potentially Responsible Parties
PADS.....	PCB Activity Database System
ICIS.....	Integrated Compliance Information System
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS.....	Material Licensing Tracking System
COAL ASH DOE.....	Steam-Electric Plant Operation Data
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
RADINFO.....	Radiation Information Database
HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
FINDS.....	Facility Index System/Facility Registry System
ECHO.....	Enforcement & Compliance History Information
UXO.....	Unexploded Ordnance Sites
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
FUELS PROGRAM.....	EPA Fuels Program Registered Listing
AIRS.....	Air Quality Permit Listing
ASBESTOS.....	ASBESTOS
COAL ASH.....	Coal Ash Disposal Sites
DRYCLEANERS.....	Drycleaning Sites
Financial Assurance.....	Financial Assurance Information Listing
NPDES.....	NPDES Facility Location Listing
UIC.....	Underground Injection Wells Listing

EXECUTIVE SUMMARY

AOP.....	Animal Operation Permits Listing
MINES MRDS.....	Mineral Resources Data System
PCSRP.....	Petroleum-Contaminated Soil Remediation Permits
CCB.....	Coal Ash Structural Fills (CCB) Listing
SEPT HAULERS.....	Permitted Septage Haulers Listing

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP.....	EDR Proprietary Manufactured Gas Plants
EDR Hist Auto.....	EDR Exclusive Historical Auto Stations
EDR Hist Cleaner.....	EDR Exclusive Historical Cleaners

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS.....	Recovered Government Archive State Hazardous Waste Facilities List
RGA LF.....	Recovered Government Archive Solid Waste Facilities List
RGA LUST.....	Recovered Government Archive Leaking Underground Storage Tank

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property. Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal RCRA generators list

RCRA-VSQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

A review of the RCRA-VSQG list, as provided by EDR, and dated 03/22/2021 has revealed that there is 1 RCRA-VSQG site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BUILDERS TRANSPORT I	RT 6 BOX 1014 I95 SE	SSW 0 - 1/8 (0.100 mi.)	A1	8

EXECUTIVE SUMMARY

EPA ID:: NCD982093973

State- and tribal - equivalent NPL

NC HSDS: The Hazardous Substance Disposal Sites list contains locations of uncontrolled and unregulated hazardous waste sites. The file contains sites on the national priority list as well as the state priority list. The data source is the North Carolina Center for Geographic Information and Analysis.

A review of the NC HSDS list, as provided by EDR, and dated 08/09/2011 has revealed that there is 1 NC HSDS site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CARDINAL CHEMICAL WA		SSW 1/2 - 1 (0.800 mi.)	0	8

State- and tribal - equivalent CERCLIS

SHWS: The State Hazardous Waste Sites records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. The data come from the Department of Environment & Natural Resources' Inactive Hazardous Sites Program.

A review of the SHWS list, as provided by EDR, and dated 03/01/2021 has revealed that there is 1 SHWS site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CARDINAL CHEMICAL WA Facility Id: NCD986209575	NC 211 & NC 72	SSW 1/2 - 1 (0.815 mi.)	8	32

State and tribal leaking storage tank lists

LAST: A listing of leaking aboveground storage tank site locations.

A review of the LAST list, as provided by EDR, and dated 04/30/2021 has revealed that there is 1 LAST site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HUNTERS LANE FARM Incident Number: 95983 Current Status: C	700 ROBERTS AVE	SW 1/4 - 1/2 (0.344 mi.)	4	21

EXECUTIVE SUMMARY

LUST: The Leaking Underground Storage Tank Incidents Management Database contains an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environment, & Natural Resources' Incidents by Address.

A review of the LUST list, as provided by EDR, and dated 04/30/2021 has revealed that there are 4 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
R. E. GORE Incident Phase: Response Product Type: PETROLEUM Incident Number: 8868 Current Status: File Located in House	RT 9 BOX 230	SSW 0 - 1/8 (0.101 mi.)	A2	12
SUN DO KWIK SHOP 211 Incident Phase: Closed Out Product Type: PETROLEUM Incident Number: 42057 Current Status: File Located in Archives	1145 ROBERTS AVENUE	WSW 1/4 - 1/2 (0.312 mi.)	3	15
CASSON'S QUICK CHECK Incident Phase: Closed Out Product Type: PETROLEUM Incident Number: 29450 Current Status: File Located in Archives	602 ROBERTS AVENUE	SW 1/4 - 1/2 (0.377 mi.)	5	22
SPINX 347 Incident Phase: Follow Up Product Type: PETROLEUM Incident Number: 5785 Current Status: File Located in House	1302 ROBERTS AVE.	WNW 1/4 - 1/2 (0.450 mi.)	B7	27

LUST TRUST: This database contains information about claims against the State Trust Funds for reimbursements for expenses incurred while remediating Leaking USTs.

A review of the LUST TRUST list, as provided by EDR, and dated 04/02/2021 has revealed that there are 2 LUST TRUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SUN DO KWIK SHOP 211 Facility Id: 0-023336 Site ID: 42057	1145 ROBERTS AVENUE	WSW 1/4 - 1/2 (0.312 mi.)	3	15
HAPPY STORE #347 Facility Id: 0-018416 Site ID: 5785	1302 ROBERTS AVENUE	WNW 1/4 - 1/2 (0.450 mi.)	B6	25

State and tribal institutional control / engineering control registries

INST CONTROL: No Further Action Sites With Land Use Restrictions Monitoring.

A review of the INST CONTROL list, as provided by EDR, and dated 09/04/2020 has revealed that there

EXECUTIVE SUMMARY

is 1 INST CONTROL site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CASSON'S QUICK CHECK	602 ROBERTS AVENUE	SW 1/4 - 1/2 (0.377 mi.)	5	22

ADDITIONAL ENVIRONMENTAL RECORDS

Records of Emergency Release Reports

IMD: Incident Management Database.

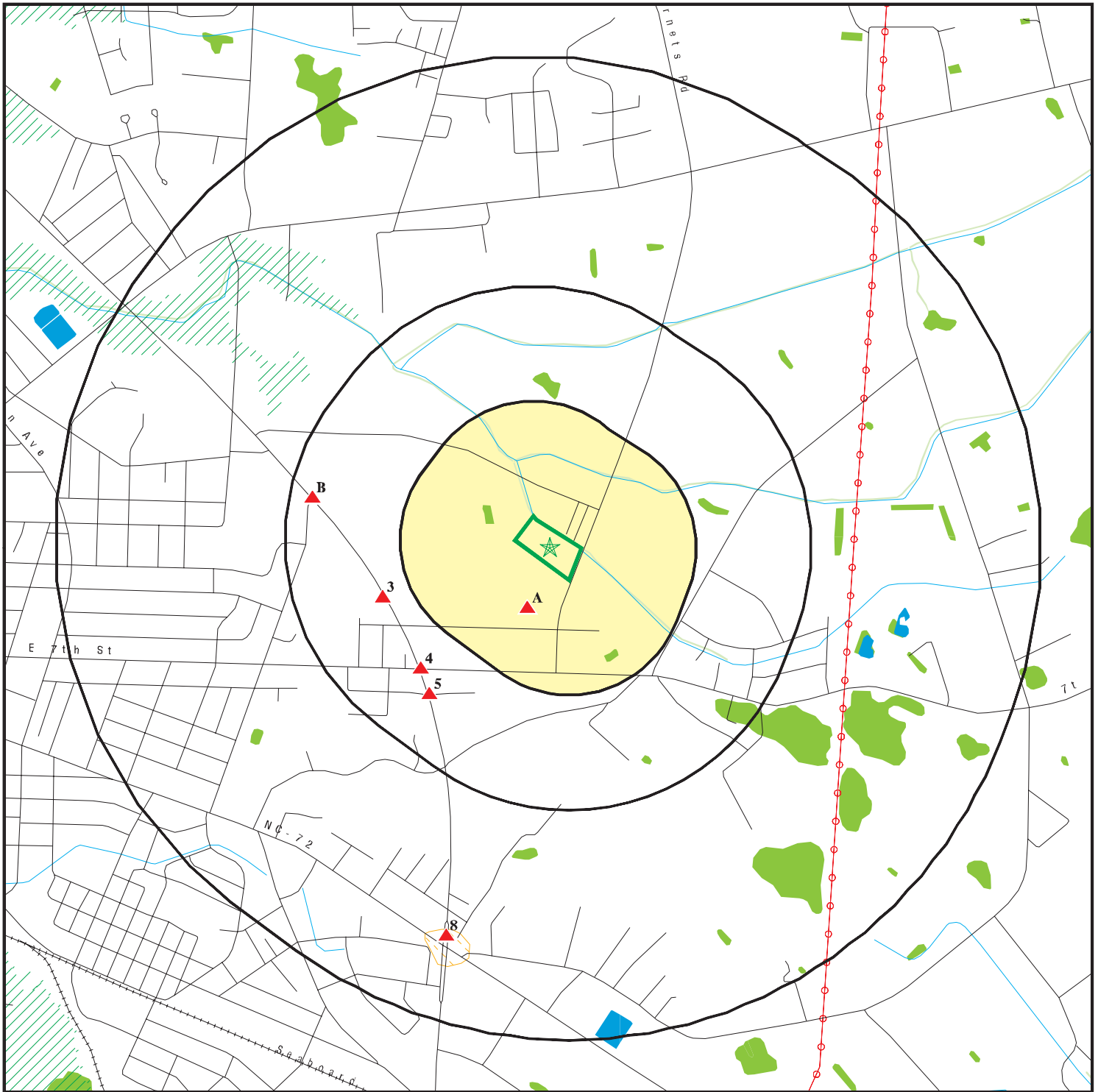
A review of the IMD list, as provided by EDR, and dated 07/30/2021 has revealed that there are 2 IMD sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
R. E. GORE Facility Id: 8868	RT 9 BOX 230	SSW 0 - 1/8 (0.101 mi.)	A2	12
HAPPY STORE #347 Facility Id: 5785	1302 ROBERTS AVENUE	WNW 1/4 - 1/2 (0.450 mi.)	B6	25

EXECUTIVE SUMMARY

There were no unmapped sites in this report.

OVERVIEW MAP - 6644708.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

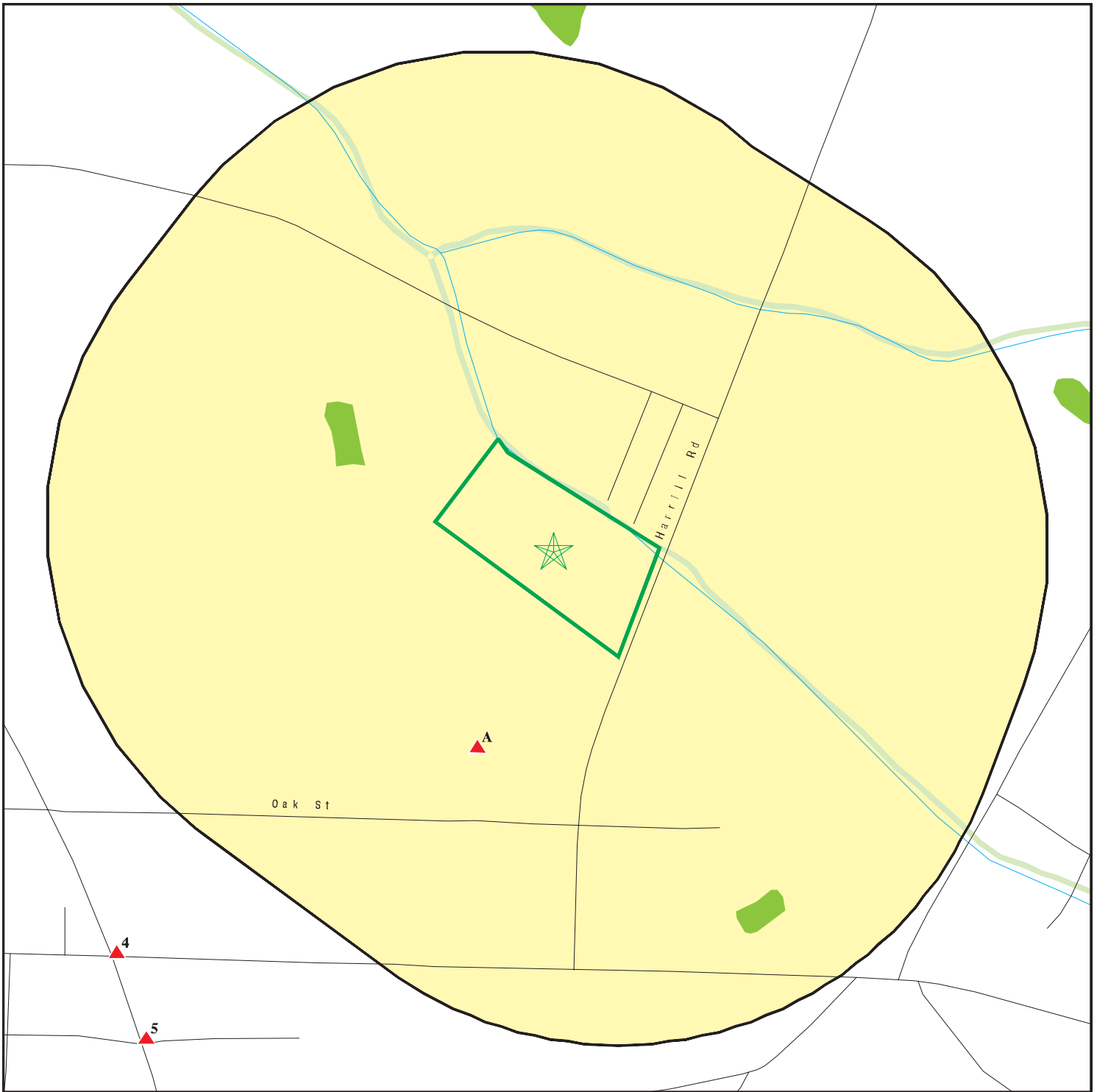
Hazardous Substance Disposal Sites








This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

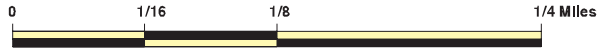
SITE NAME: 6.39 Acres on Harrill Road
 ADDRESS: 219 Harrill Road
 Lumberton NC 28358
 LAT/LONG: 34.624784 / 78.976287

CLIENT: Pyramid Environmental
 CONTACT: Tamara Cagle
 INQUIRY #: 6644708.2s
 DATE: September 01, 2021 11:19 am

DETAIL MAP - 6644708.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites



-  Indian Reservations BIA
-  National Wetland Inventory
-  State Wetlands
-  Hazardous Substance Disposal Sites



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 6.39 Acres on Harrill Road
 ADDRESS: 219 Harrill Road
 Lumberton NC 28358
 LAT/LONG: 34.624784 / 78.976287

CLIENT: Pyramid Environmental
 CONTACT: Tamara Cagle
 INQUIRY #: 6644708.2s
 DATE: September 01, 2021 11:20 am

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		1	0	NR	NR	NR	1
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent NPL</i>								
NC HSDS	1.000		0	0	0	1	NR	1
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	1	NR	1
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	0	NR	NR	0
OLI	0.500		0	0	0	NR	NR	0
DEBRIS	0.500		0	0	0	NR	NR	0
LCID	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<i>State and tribal leaking storage tank lists</i>								
LAST	0.500		0	0	1	NR	NR	1
LUST	0.500		1	0	3	NR	NR	4
INDIAN LUST	0.500		0	0	0	NR	NR	0
LUST TRUST	0.500		0	0	2	NR	NR	2
<i>State and tribal registered storage tank lists</i>								
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250		0	0	NR	NR	NR	0
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
<i>State and tribal institutional control / engineering control registries</i>								
INST CONTROL	0.500		0	0	1	NR	NR	1
<i>State and tribal voluntary cleanup sites</i>								
VCP	0.500		0	0	0	NR	NR	0
INDIAN VCP	0.500		0	0	0	NR	NR	0
<i>State and tribal Brownfields sites</i>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
<i>Local Brownfield lists</i>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Landfill / Solid Waste Disposal Sites</i>								
SWRCY	0.500		0	0	0	NR	NR	0
HIST LF	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Hazardous waste / Contaminated Sites</i>								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
<i>Local Land Records</i>								
LIENS 2	TP		NR	NR	NR	NR	NR	0
<i>Records of Emergency Release Reports</i>								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
IMD	0.500		1	0	1	NR	NR	2

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
SPILLS 90	TP		NR	NR	NR	NR	NR	0
SPILLS 80	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	0	NR	NR	NR	0
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
ASBESTOS	TP		NR	NR	NR	NR	NR	0
COAL ASH	0.500		0	0	0	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
Financial Assurance	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
AOP	TP		NR	NR	NR	NR	NR	0
MINES MRDS	TP		NR	NR	NR	NR	NR	0
PCSRP	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
CCB	0.500		0	0	0	NR	NR	0
SEPT HAULERS	TP		NR	NR	NR	NR	NR	0
<u>EDR HIGH RISK HISTORICAL RECORDS</u>								
<i>EDR Exclusive Records</i>								
EDR MGP	1.000		0	0	0	0	NR	0
EDR Hist Auto	0.125		0	NR	NR	NR	NR	0
EDR Hist Cleaner	0.125		0	NR	NR	NR	NR	0
<u>EDR RECOVERED GOVERNMENT ARCHIVES</u>								
<i>Exclusive Recovered Govt. Archives</i>								
RGA HWS	TP		NR	NR	NR	NR	NR	0
RGA LF	TP		NR	NR	NR	NR	NR	0
RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		0	3	0	8	2	0	13

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

HSDS
Region
SSW
1/2-1
4224 ft.

CARDINAL CHEMICAL WAREHOUSE FIRE
, NC

NC HSDS **S102442927**
N/A

HSDS:

Name:	CARDINAL CHEMICAL WAREHOUSE FIRE
Address:	Not reported
City:	Not reported
Site Type:	1
Superfun Number:	Not reported
Total area in coverage units:	15387.6152344
Total perimeter in coverage units:	463.37860107
X-value coordinate in feet:	2005900.375
Y-value coordinate in feet:	313752.09375
Sites designated as superfund cleanup sites:	825
Length of feature in internal units:	463.378637768
Area of feature in internal units squared:	15387.617225

A1
SSW
< 1/8
0.100 mi.
528 ft.

BUILDERS TRANSPORT INC
RT 6 BOX 1014 I95 SERVICE RD
LUMBERTON, NC 28358

RCRA-VSQG **1000278801**
NCD982093973

Site 1 of 2 in cluster A

Relative:
Higher
Actual:
145 ft.

RCRA-VSQG:

Date Form Received by Agency:	1996-08-01 00:00:00.0
Handler Name:	BUILDERS TRANSPORT INC
Handler Address:	RT 6 BOX 1014 I95 SERVICE RD
Handler City,State,Zip:	LUMBERTON, NC 28358
EPA ID:	NCD982093973
Contact Name:	JOHN IRELAND
Contact Address:	PO BOX 7005
Contact City,State,Zip:	CAMDEN, SC 29020-7005
Contact Telephone:	803-432-1400
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	04
Land Type:	Private
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	Handler Activities
State District Owner:	Not reported
State District:	Not reported
Mailing Address:	PO BOX 7005
Mailing City,State,Zip:	CAMDEN, SC 29020-7005
Owner Name:	BUILDERS TRANSPORT INC
Owner Type:	Private
Operator Name:	Not reported
Operator Type:	Not reported
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

BUILDERS TRANSPORT INC (Continued)

1000278801

Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2006-01-04 00:00:00.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE
Waste Code:	D039
Waste Description:	TETRACHLOROETHYLENE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUILDERS TRANSPORT INC (Continued)

1000278801

Handler - Owner Operator:

Owner/Operator Indicator:	Owner
Owner/Operator Name:	BUILDERS TRANSPORT INC
Legal Status:	Private
Date Became Current:	Not reported
Date Ended Current:	Not reported
Owner/Operator Address:	PO BOX 7005
Owner/Operator City,State,Zip:	CAMDEN, SC 29020-7005
Owner/Operator Telephone:	803-432-1400
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported

Historic Generators:

Receive Date:	1996-08-01 00:00:00.0
Handler Name:	BUILDERS TRANSPORT INC
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Not reported
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	Yes
Non Storage Recycler Activity:	Not reported
Electronic Manifest Broker:	Not reported

List of NAICS Codes and Descriptions:

NAICS Codes:	No NAICS Codes Found
--------------	----------------------

Facility Has Received Notices of Violation:

Found Violation:	No
Agency Which Determined Violation:	Not reported
Violation Short Description:	Not reported
Date Violation was Determined:	Not reported
Actual Return to Compliance Date:	Not reported
Return to Compliance Qualifier:	Not reported
Violation Responsible Agency:	Not reported
Scheduled Compliance Date:	Not reported
Enforcement Identifier:	Not reported
Date of Enforcement Action:	Not reported
Enforcement Responsible Agency:	Not reported
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	Not reported
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	Not reported
Enforcement Responsible Person:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BUILDERS TRANSPORT INC (Continued)

1000278801

Enforcement Responsible Sub-Organization: Not reported
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Found Violation: No
Agency Which Determined Violation: Not reported
Violation Short Description: Not reported
Date Violation was Determined: Not reported
Actual Return to Compliance Date: Not reported
Return to Compliance Qualifier: Not reported
Violation Responsible Agency: Not reported
Scheduled Compliance Date: Not reported
Enforcement Identifier: Not reported
Date of Enforcement Action: Not reported
Enforcement Responsible Agency: Not reported
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: Not reported
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: Not reported
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Evaluation Action Summary:

Evaluation Date: 1994-03-24 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: No
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

BUILDERS TRANSPORT INC (Continued)

1000278801

Evaluation Responsible Person Identifier:	NC036
Evaluation Responsible Sub-Organization:	07
Actual Return to Compliance Date:	Not reported
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	1989-10-10 00:00:00.0
Evaluation Responsible Agency:	State
Found Violation:	No
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	Not reported
Evaluation Responsible Sub-Organization:	Not reported
Actual Return to Compliance Date:	Not reported
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported

A2
SSW
 < 1/8
 0.101 mi.
 534 ft.

R. E. GORE
RT 9 BOX 230
LUMBERTON, NC 28358

Site 2 of 2 in cluster A

LUST S102868783
IMD N/A

Relative:
Higher

Actual:
145 ft.

LUST:

Name:	R. E. GORE
Address:	RT 9 BOX 230
City,State,Zip:	LUMBERTON, NC 28358
Facility ID:	Not reported
UST Number:	FA-413
Incident Number:	8868
Contamination Type:	Soil
Source Type:	Leak-underground
Product Type:	PETROLEUM
Date Reported:	07/29/1992
Date Occur:	07/29/1992
Cleanup:	07/29/1992
Closure Request:	Not reported
Close Out:	Not reported
Level Of Soil Cleanup Achieved:	Not reported
Tank Regulated Status:	NON REGULATED
# Of Supply Wells:	0
Commercial/NonCommercial UST Site:	NON COMMERCIAL
Risk Classification:	H
Risk Class Based On Review:	L
Corrective Action Plan Type:	Not reported
NOV Issue Date:	Not reported
NORR Issue Date:	Not reported
Site Priority:	Not reported
Phase Of LSA Req:	Not reported
Site Risk Reason:	Not reported
Land Use:	Residential
MTBE:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

R. E. GORE (Continued)

S102868783

MTBE1:	Unknown
Flag:	No
Flag1:	No
LUR Filed:	Not reported
Release Detection:	0
Current Status:	File Located in House
RBCA GW:	Not reported
PETOPT:	4
RPL:	False
CD Num:	0
Reel Num:	0
RPOW:	False
RPOP:	False
Error Flag:	0
Error Code:	N
Valid:	False
Lat/Long Decimal:	34.6181 -79.0086
Testlat:	Not reported
Regional Officer Project Mgr:	KEC
Region:	FAY
Company:	Not reported
Contact Person:	R E GORE
Telephone:	Not reported
RP Address:	RT 9 BOX 230
RP City,St,Zip:	LUMBERTON, NC 28358
RP County:	Not reported
Comments:	Not possible to accurately locate site due to lack of file information. PIRF states approximately 15 cu/yds of gasoline contaminated soil was removed during the abandonment of two 550 gallon USTs.
5 Min Quad:	Not reported
Last Modified:	Not reported
Incident Phase:	Response
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Signed:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	Not reported

Click here to access the North Carolina DEQ records for this facility:

IMD:

Facility ID:	8868
Name:	R. E. GORE
Address:	RT 9 BOX 230
City,State,Zip:	LUMBERTON, NC
Date Occurred:	7/29/1992
Submit Date:	8/10/1992
Incident Desc:	CONTAMINATION FOUND DURING ABANDONMENT OF UST
Operator:	R E GORE
UST ID:	Not reported
Incident ID:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

R. E. GORE (Continued)

S102868783

Initials of UST Regional Contact:	Not reported
Regional Office:	Not reported
Responsible Party/Company Name:	Not reported
Ownership:	Not reported
Responsible Party Contact Name:	Not reported
Operation:	Not reported
Responsible Party Mailing Address:	Not reported
Responsible Party City,State,Zip:	Not reported
Ownership:	Not reported
Operation Type:	Not reported
Responsible Party County:	Not reported
Source of Contamination:	GASOLINE/DIESEL/KEROSENE
Source:	3
Type:	3
Location:	7
Petroleum Type:	Not reported
Date Incident Reported:	Not reported
Whether Tank is Commercial or Non Commercial:	Not reported
Site Priority:	Not reported
Whether Tank is Regulated:	Not reported
Priority Update:	Not reported
Notice of Regulatory Requirement:	Not reported
Wells Affected:	Not reported
Notice of Violation:	Not reported
Phase 1 or Phase 2:	Not reported
Num Affected:	0
Site Priority:	Not reported
Type:	GASOLINE/DIESEL
Location:	Residence
Current Risk Condition:	Not reported
Sampled By:	Not reported
Samples Include:	Not reported
Initial reported risk of incident (never changes):	Not reported
7.5 Min Quad:	Not reported
5 Min Quad:	Not reported
Intermediate Condition Present:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Use of Land, Industrial:	Not reported
Corrective Action Plan Selected - up to 5:	Not reported
RBCA:	Not reported
Date Close Review Requested From RP or Owner:	Not reported
Date Case Closed:	Not reported
Extent of Contamination:	Not reported
Number of Supply Wells Located on Property:	Not reported
MTBE in Well Y/N/U Yes, No or Unknown:	Not reported
Facility Phone Number:	Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown:	Not reported
Date Land Use Restriction Filed:	Not reported
Date Cleanup Initiated:	Not reported
Record Status:	Not reported
RBCA GW Codes:	Not reported
RBCA GW:	Not reported
Pollutant Type Present:	Not reported
Reference Number for Media Disk for Archived Record:	Not reported
RP Owner?:	Not reported
RP Operator?:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

R. E. GORE (Continued)

S102868783

RP Landowner?: Not reported

Status:

Facility ID:	8868
Last Modified:	Not reported
Incident Phase:	RE
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Sighned:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	Not reported

3
WSW
1/4-1/2
0.312 mi.
1645 ft.

SUN DO KWIK SHOP 211
1145 ROBERTS AVENUE
LUMBERTON, NC 28358

LUST **U001200997**
LUST TRUST **N/A**
UST
Financial Assurance

Relative:
Higher
Actual:
146 ft.

LUST:

Name:	SUNDO KWIK SHOP 211
Address:	1145 ROBERTS AVENUE
City,State,Zip:	LUMBERTON, NC 28358
Facility ID:	0-023336
UST Number:	FA-7779
Incident Number:	42057
Contamination Type:	Groundwater/Both
Source Type:	Leak-underground
Product Type:	PETROLEUM
Date Reported:	06/01/2017
Date Occur:	04/03/2017
Cleanup:	06/01/2017
Closure Request:	Not reported
Close Out:	08/14/2017
Level Of Soil Cleanup Achieved:	Soil to Groundwater
Tank Regulated Status:	REGULATED
# Of Supply Wells:	0
Commercial/NonCommercial UST Site:	BOTH
Risk Classification:	L
Risk Class Based On Review:	L
Corrective Action Plan Type:	Not reported
NOV Issue Date:	Not reported
NORR Issue Date:	Not reported
Site Priority:	Not reported
Phase Of LSA Req:	Not reported
Site Risk Reason:	Not reported
Land Use:	Residential
MTBE:	No
MTBE1:	Unknown
Flag:	No
Flag1:	Not reported
LUR Filed:	Not reported
Release Detection:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

SUN DO KWIK SHOP 211 (Continued)

U001200997

<p>Current Status: RBCA GW: PETOPT: RPL: CD Num: Reel Num: RPOW: RPOP: Error Flag: Error Code: Valid: Lat/Long Decimal: Testlat: Regional Officer Project Mgr: Region: Company: Contact Person: Telephone: RP Address: RP City,St,Zip: RP County: Comments:</p>	<p>File Located in Archives Cleanups to 2L.0202 standards 3 True Not reported Not reported True True Not reported N False 34.6234 -78.9831 Not reported KEC FAY OLIVER OIL COMPANY, INC. CHRIS OLIVER 9107381401 1811 EAST 5TH STREET LUMBERTON, NC 28358 Not reported Release discovered during UST closure. /// IAAR received 7/28/17 -- Between 3/17/17 thru 4/5/17, a total of seven regulated USTs were excavated along with associated product piping and dispensers. A total of 1,188.52 tons of soil was removed for disposal at GTA Farms. Groundwater was encountered in the excavations completed for the gasoline USTs, diesel/kerosene USTs and for the diesel/kerosene product lines. Dewatering activities were necessary to accommodate excavation and a total of 14,430 gallons were removed for disposal during the event. SW-8 & SW-37 showed TPH detections. Subsequent risk-based analysis does not indicate the presence of petroleum hydrocarbons above the STG MSCCs. In all, the gasoline UST basin, kerosene/diesel UST basin and the kerosene/diesel dispenser areas were overexcavated to remove impacted soil. A total of three MWs were constructed in separate source areas and because groundwater was encountered during excavation. No petroleum VOCs were detected in excess of 2L. No further action is warranted (KEC).</p>
<p>5 Min Quad: PIRF: Facility Id: Date Occurred: Date Reported: Description Of Incident: Owner/Operator: Ownership: Operation Type: Type: Location: Site Priority: Priority Update: Wells Affected Y/N: Samples Include: 7#5 Minute Quad: 5 Minute Quad: Pirf/Min Soil: Release Code: Source Code:</p>	<p>Not reported 42057 Not reported Not reported Petroleum release discovered during UST closure. Not reported 4 6 3 1 Not reported Not reported N Not reported Y Not reported Not reported Not reported Not reported</p>

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUN DO KWIK SHOP 211 (Continued)

U001200997

Err Type: 2
Cause: 7
Source: 3
Ust Number: P

Last Modified: 8/14/2017
Incident Phase: Closed Out
NOV Issued: Not reported
NORR Issued: Not reported
45 Day Report: Not reported
Public Meeting Held: Not reported
Corrective Action Planned: Not reported
SOC Signed: Not reported
Reclassification Report: Not reported
RS Designation: Not reported
Closure Request Date: Not reported
Close-out Report: Not reported

[Click here to access the North Carolina DEQ records for this facility:](#)

LUST TRUST:

Name: SUNDO KWIK SHOP 211
Address: 1145 ROBERTS AVENUE
City,State,Zip: LUMBERTON, NC
Facility ID: 0-023336
Site ID: 42057
Site Note: commercial- \$30,000 - 100 % reimbursement after the deductible is satisfied. MP 3-20-2018

Site Eligible?: True
Commercial Find: 100% Commercial
Priority Rank: Not reported
Deductable Amount: 30000
3rd Party Deductable Amt: 0
Sum 3rd Party Amt Applied: 0

UST:

Name: SUN DO KWIK SHOP 211
Address: 1145 ROBERTS AVENUE
City,State,Zip: LUMBERTON, NC 28358
Facility Id: 00-0-0000023336
Contact: OLIVER OIL COMPANY
Contact Address1: PO BOX 1266
Contact Address2: Not reported
Contact City/State/Zip: LUMBERTON, NC 28359
FIPS County Desc: Robeson
Latitude: 34.62345
Longitude: -78.98310

Tank Id: 1
Tank Status: Current
Installed Date: 03/31/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 4000
Root Tank Id: Not reported
Main Tank: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUN DO KWIK SHOP 211 (Continued)

U001200997

Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Not reported
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Pressurized System

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 2
Tank Status: Current
Installed Date: 03/31/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 5000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Not reported
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Pressurized System

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 3
Tank Status: Current
Installed Date: 03/31/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 5000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Not reported
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: No Piping

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUN DO KWIK SHOP 211 (Continued)

U001200997

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 4
Tank Status: Current
Installed Date: 03/31/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 4000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Not reported
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: No Piping

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 5
Tank Status: Current
Installed Date: 03/31/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 4000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Not reported
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Pressurized System

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 6
Tank Status: Current
Installed Date: 06/30/1986
Perm Close Date: Not reported
Product Name: Diesel
Tank Capacity: 4000
Root Tank Id: Not reported
Main Tank: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUN DO KWIK SHOP 211 (Continued)

U001200997

Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Not reported
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall Steel
Decode for PSYS_KEY: Pressurized System

Click here to access the North Carolina DEQ records for this facility:

Tank Id: 7
Tank Status: Current
Installed Date: 06/30/1986
Perm Close Date: Not reported
Product Name: Kerosene, Kero Mix
Tank Capacity: 4000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Not reported
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall Steel
Decode for PSYS_KEY: Pressurized System

Click here to access the North Carolina DEQ records for this facility:

NC Financial Assurance 1:

Name: SUN DO KWIK SHOP 211
Address: 1145 ROBERTS AVENUE
City,State,Zip: LUMBERTON, NC 28358
Facility ID: 00-0-0000023336
Region: 1
Financial Responsibility Desc: Self-Insurance
Financial Responsibility Name: Oliver Oil Company
Started Date: Not reported
Ended Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

4
SW
1/4-1/2
0.344 mi.
1815 ft.

HUNTERS LANE FARM
700 ROBERTS AVE
LUMBERTON, NC 28358

LAST **S127470337**
N/A

Relative:
Higher
Actual:
146 ft.

LAST:
Name: HUNTERS LANE FARM
Address: 700 ROBERTS AVE
City,State,Zip: LUMBERTON, NC 28358
Facility ID: Not reported
UST Number: FA-92585
Incident Number: 95983
Contamination Type: SL
Source Type: 26
Product Type: P
Date Reported: 02/25/2021
Date Occur: 02/25/2021
Cleanup: 02/25/2021
Closure Request: Not reported
Close Out: Not reported
Level Of Soil Cleanup Achieved: Not reported
Tank Regulated Status: Not reported
Of Supply Wells: 0
Commercial/NonCommercial UST Site: Not reported
Risk Classification: Not reported
Risk Class Based On Review: U
Corrective Action Plan Type: Not reported
NOV Issue Date: Not reported
NORR Issue Date: Not reported
Site Priority: Not reported
Phase Of LSA Req: Not reported
Site Risk Reason: Not reported
Land Use: Not reported
MTBE: No
MTBE1: Unknown
Flag: Yes
Flag1: Not reported
LUR Filed: Not reported
Release Detection: Not reported
Current Status: C
RBCA GW: Not reported
PETOPT: 3
RPL: False
CD Num: Not reported
Reel Num: Not reported
RPOW: True
RPOP: True
Error Flag: Not reported
Error Code: N
Valid: False
Lat/Long: Not reported
Lat/Long Decimal: 34.62136 -78.98124
Testlat: Not reported
Regional Officer Project Mgr: sbb
Region: FAY
Company: Hunters Lane Farm
Contact Person: Not reported
Telephone: 9802397637

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

HUNTERS LANE FARM (Continued)

S127470337

RP Address: 3903 Sanford Lane
 RP City,St,Zip: Monroe, NC 28110
 RP County: Not reported
 Comments: 50-100gs onto road and roadside ditch
 5 Min Quad: Not reported

PIRF:

Facility Id: 95983
 Date Occurred: Not reported
 Date Reported: Not reported
 Description Of Incident: Not reported
 Owner/Operator: Not reported
 Ownership: 4
 Operation Type: 6
 Type: 3
 Location: 8
 Site Priority: Not reported
 Priority Update: Not reported
 Wells Affected Y/N: N
 Wells Affected Number: Not reported
 Samples Taken By: N
 Samples Include: Not reported
 7#5 Min Quad: Not reported
 5 Min Quad: Not reported
 Pirf/Min Soil: Not reported
 Release Code: 4
 Cause: 1
 Source: H
 Source Type: P

Last Modified: Not reported
Incident Phase: Not reported
 NOV Issued: Not reported
 NORR Issued: 3/1/2021
 45 Day Report: Not reported
 Public Meeting Held: Not reported
 Corrective Action Planned: Not reported
 SOC Signed: Not reported
 Reclassification Report: Not reported
 RS Designation: Not reported
 Closure Request Date: Not reported
 Close-out Report: Not reported

5
 SW
 1/4-1/2
 0.377 mi.
 1991 ft.

CASSON'S QUICK CHECK
602 ROBERTS AVENUE
LUMBERTON, NC 28358

LUST S120839743
INST CONTROL N/A

Relative:
Higher
Actual:
146 ft.

LUST:
 Name: CASSON'S QUICK CHECK
 Address: 602 ROBERTS AVENUE
 City,State,Zip: LUMBERTON, NC 28358
 Facility ID: 00-0-000
 UST Number: FA-3285
 Incident Number: 29450
 Contamination Type: Groundwater/Both
 Source Type: Leak-underground

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CASSON'S QUICK CHECK (Continued)

S120839743

Product Type: PETROLEUM
Date Reported: 03/19/2007
Date Occur: 03/19/2007
Cleanup: 03/19/2007
Closure Request: Not reported
Close Out: 06/25/2007
Level Of Soil Cleanup Achieved: Not reported
Tank Regulated Status: REGULATED
Of Supply Wells: 0
Commercial/NonCommercial UST Site: COMMERCIAL
Risk Classification: L
Risk Class Based On Review: L
Corrective Action Plan Type: Not reported
NOV Issue Date: Not reported
NORR Issue Date: Not reported
Site Priority: Not reported
Phase Of LSA Req: Not reported
Site Risk Reason: Not reported
Land Use: Residential
MTBE: No
MTBE1: Yes
Flag: No
Flag1: No
LUR Filed: 09/20/2007
Release Detection: 0
Current Status: File Located in Archives
RBCA GW: Cleanups to alternate standards
PETOPT: 3
RPL: False
CD Num: 596
Reel Num: 0
RPOW: True
RPOP: False
Error Flag: 0
Error Code: N
Valid: False
Lat/Long Decimal: 34.6207 -78.9808
Testlat: Not reported
Regional Officer Project Mgr: KEC
Region: FAY
Company: HARRINGTON OIL COMPANY, INC.
Contact Person: JAMES HARRINGTON, JR.
Telephone: 9107393900
RP Address: 2420 FAYETTEVILLE ROAD
RP City,St,Zip: LUMBERTON, NC 28358
RP County: Not reported
Comments: (Pulled for Archiving 9/25/2015)Groundwater contamination was reported subsequent to sampling 4 on site MWs for pre-UST closure in place activities. Worst case sample showed 29 ug/l benzene. Water table is 3' - 3.5' below land surface. Unsaturated soil samples for UST abandonment can
5 Min Quad: Not reported
PIRF:
Facility Id: 29450
Date Occurred: 5/1/2007
Date Reported: 5/1/2007
Description Of Incident: soil contamination discovered during UST removal

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

CASSON'S QUICK CHECK (Continued)

S120839743

Owner/Operator:	Not reported
Ownership:	4
Operation Type:	6
Type:	3
Location:	1
Site Priority:	Not reported
Priority Update:	Not reported
Wells Affected Y/N:	n
Samples Include:	Not reported
7#5 Minute Quad:	y
5 Minute Quad:	Not reported
Pirf/Min Soil:	Not reported
Release Code:	Not reported
Source Code:	Not reported
Err Type:	2
Cause:	Not reported
Source:	Not reported
Ust Number:	P

Last Modified:	6/25/2007
Incident Phase:	Closed Out
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Signed:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	Not reported

Click here to access the North Carolina DEQ records for this facility:

INST CONTROL:

Name:	CASSON'S QUICK CHECK
Address:	602 ROBERTS AVENUE
City,State,Zip:	LUMBERTON, NC
Project Number:	FA-3285
Object ID:	4088
DWM Contact:	Fayetteville Regional Office (910) 433-3300
DWM Program:	Underground Storage Tank Section
Project Status:	No Further Action
COC:	Multi COC
Contamination Source:	UST System
Received Date:	9/19/2007
Restricted Media:	Groundwater Only
Allowed Use:	Media Restrictions Only
Certification:	None
Plant Reception Date:	Not reported
Instrument Status:	Effective
Deed BK:	Not reported
Deed PG:	Not reported
Plat BK:	Not reported
Plat PG:	Not reported
Instrument:	Notice and Restriction
Deed:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CASSON'S QUICK CHECK (Continued)

S120839743

Deed Date: Recorded 9-19-2007
Plat: Not reported
Plat Date: Not reported
X Coord: 2005758.9915
Y Coord: 316924.66982

B6
WNW
1/4-1/2
0.450 mi.
2377 ft.

HAPPY STORE #347
1302 ROBERTS AVENUE
LUMBERTON, NC

LUST TRUST **S102868045**
IMD **N/A**

Site 1 of 2 in cluster B

Relative:
Higher

LUST TRUST:

Actual:
144 ft.

Name: HAPPY STORE #347
Address: 1302 ROBERTS AVENUE
City,State,Zip: LUMBERTON, NC
Facility ID: 0-018416
Site ID: 5785
Site Note: Not reported
Site Eligible?: True
Commercial Find: 100% Commercial
Priority Rank: Not reported
Deductable Amount: 50000
3rd Party Deductable Amt: 0
Sum 3rd Party Amt Applied: 0

IMD:

Facility ID: 5785
Name: HAPPY STORE #347 (SPINX 347)
Address: 1302 ROBERTS AVE.
City,State,Zip: LUMBERTON, NC
Date Occurred: 3/15/1990
Submit Date: 7/25/1990
Incident Desc: ENV. ASSESSMENT FOUND CONTAMINATION OF GW AND SOIL.
Operator: STEVE SPINX
UST ID: Not reported
Incident ID: Not reported
Initials of UST Regional Contact: Not reported
Regional Office: Not reported
Responsible Party/Company Name: Not reported
Ownership: 4
Responsible Party Contact Name: Not reported
Operation: 6
Responsible Party Mailing Address: Not reported
Responsible Party City,State,Zip: Not reported
Ownership: Private
Operation Type: Commercial
Responsible Party County: Not reported
Source of Contamination: GASOLINE/DIESEL/KEROSENE
Source: 3
Type: 3
Location: 1
Petroleum Type: Not reported
Date Incident Reported: Not reported
Whether Tank is Commercial or Non Commercial: Not reported
Site Priority: 070C
Whether Tank is Regulated: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HAPPY STORE #347 (Continued)

S102868045

Priority Update: 4/15/1998
Notice of Regulatory Requirement: Not reported
Wells Affected: N
Notice of Violation: Not reported
Phase 1 or Phase 2: Not reported
Num Affected: 0
Site Priority: Not reported
Type: GASOLINE/DIESEL
Location: Facility
Current Risk Condition: Not reported
Sampled By: 3
Samples Include: 1
Initial reported risk of incident (never changes): Not reported
7.5 Min Quad: Not reported
5 Min Quad: Not reported
Intermediate Condition Present: Not reported
Latitude: Not reported
Longitude: Not reported
Use of Land, Industrial: Not reported
Corrective Action Plan Selected - up to 5: Not reported
RBCA: Not reported
Date Close Review Requested From RP or Owner: Not reported
Date Case Closed: Not reported
Extent of Contamination: Not reported
Number of Supply Wells Located on Property: Not reported
MTBE in Well Y/N/U Yes, No or Unknown: Not reported
Facility Phone Number: Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown: Not reported
Date Land Use Restriction Filed: Not reported
Date Cleanup Initiated: Not reported
Record Status: Not reported
RBCA GW Codes: Not reported
RBCA GW: Not reported
Pollutant Type Present: Not reported
Reference Number for Media Disk for Archived Record: Not reported
RP Owner?: Not reported
RP Operator?: Not reported
RP Landowner?: Not reported

Status:

Facility ID: 5785
Last Modified: 1992-03-27 00:00:00
Incident Phase: FU
NOV Issued: 2020-05-20 00:00:00
NORR Issued: Not reported
45 Day Report: Not reported
Public Meeting Held: Not reported
Corrective Action Planned: Not reported
SOC Sighed: Not reported
Reclassification Report: Not reported
RS Designation: Not reported
Closure Request Date: Not reported
Close-out Report: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

B7
WNW
1/4-1/2
0.450 mi.
2377 ft.
SPINX 347
1302 ROBERTS AVE.
LUMBERTON, NC 28358
Site 2 of 2 in cluster B

LUST **U003136854**
UST **N/A**

Relative:
Higher
Actual:
144 ft.

LUST:
Name: HAPPY STORE 347 (SPINX 347)
Address: 1302 ROBERTS AVE.
City,State,Zip: LUMBERTON, NC 28358
Facility ID: 00-0-000
UST Number: FA-162
Incident Number: 5785
Contamination Type: Groundwater/Both
Source Type: Leak-underground
Product Type: PETROLEUM
Date Reported: 03/15/1990
Date Occur: 03/15/1990
Cleanup: 03/15/1990
Closure Request: Not reported
Close Out: Not reported
Level Of Soil Cleanup Achieved: Not reported
Tank Regulated Status: REGULATED
Of Supply Wells: 0
Commercial/NonCommercial UST Site: COMMERCIAL
Risk Classification: L
Risk Class Based On Review: I
Corrective Action Plan Type: pump and treat
NOV Issue Date: Not reported
NORR Issue Date: Not reported
Site Priority: 070C
Phase Of LSA Req: Not reported
Site Risk Reason: FG
Land Use: Residential
MTBE: Not reported
MTBE1: Yes
Flag: Yes
Flag1: No
LUR Filed: Not reported
Release Detection: 0
Current Status: File Located in House
RBCA GW: Not reported
PETOPT: 3
RPL: False
CD Num: 0
Reel Num: 0
RPOW: False
RPOP: False
Error Flag: 0
Error Code: N
Valid: False
Lat/Long Decimal: 34.6264 -78.9850
Testlat: Not reported
Regional Officer Project Mgr: KEC
Region: FAY
Company: SPINX OIL CO.
Contact Person: STEVE SPINX
Telephone: Not reported
RP Address: P.O. BOX 8624

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPINX 347 (Continued)

U003136854

RP City,St,Zip:

GREENVILLE, SC 29604

RP County:

Not reported

Comments:

Elevated levels of petroleum constituents were detected in the soil and groundwater. Data was obtained from an environmental assessment conducted during March 1990.>>>>Durign a recent file review during July 2014 for a potential real estate transaction it was realized that the level of contamination associated with this incident, based on the last available data from 1995, exceeds thr RBCA GCLs in current .0400 rules. Off-site MW-2 showed 6,780 ug/l benzene durign 1995 and on-site MW-3 showed 10,100 ug/l benzene. It should be noted that off-site MW-2 has historical results greater than 10,000 ug/l benzene since 1990 with one peak sampling event reporting 63,000 ug/l benzene in 1993. The original c-store kiosk has since been torn down and a new store built In 1995 there were 11 MWs and during a site visit in July 2014, I was only able to find 3, two of which are off-site. The incident is being reclassified and a funding resumed letter sent to the RP for a sampling event of remaining MWs.(KEC) /// CSA received 2/21/17 ---- No water supply wells within 1,000'. A total of 8 GeoProbe borings were constructed and sampled. Soil samples were also collected from 13 newly consructed MWs. All soil samples were collected between an average of 1' to 5' BLS given the static water table. GP-02 (collected at 3' BLS) on the SW side of the UST basin was the hottest soil sample showing 35 mg/kg benzene, 5200 mg/kg C5-C8 Aliphatics & 3300 mg/kg C9-C18 Aliphatics. The soil sample from MW-3R (collected at 5' BLS) showed 1800 mg/kg C5-C8 Aliphatics & 1400 mg/kg C9-C18 Aliphatics. These two samples were the only exceeding Residential MSCCs. The remaining boring samples were reported at either less than STG MSCCs or exceeding STG but below Residential. A sampling event was conducted on 10/28/15. Newly constructed MW-2R contained 0.02' of free product and was not sampled. MW-3R exceeded GCL showing 9000 ug/l benzene. All other wells sampled were less than GCL. The property owner immediately adjacent to the NW, where there are at least 4 existing MWs, would not allow access to sample the wells. It is quite possible for GCLs to be off-site on this property as it abuts the northwestern most edge of the UST basin. This relatively narrow property was skipped and wells on the other side were either less than 2L or had "J" value estimates. There may be a need for 2-3 additional Type II wells across Roberts Avenue since the plume is not reasonably defined in that direction and additional elevation data from that direction will aid in determining a more accurate flow direction. Consultant recommendations are to install Type II wells across Roberts Avenue, conduct AFVR for product recovery, sample and submit a report of findings. My approval will be to install the additional MWs, conduct an initial AFVR and only sample the on-site MWs plus the newly constructed MWs across Roberts Avenue and analyzing only using EPA 6200B. If FP remains after AFVR then a FP evaluation will be needed before additional aggressive methods of recovery will be approved. (KEC). //// FP recovery report submitted in the interim since it is taking so long with property access issues for additional MWs. AFVR event was conducted on 1/28/18 using MW-2R. FP was not detected before the event. The event was run for 8 hours and no product was measured afterwards. A total of 3.97 pounds of petroleum vapor was measured which is equivalent to approx. 0.63' gallons of product. Unless a more considerable quantity of product is measured in the future I feel this site is suited for absorbents between sampling events. With no more vapor emission than was observed I don't find

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPINX 347 (Continued)

U003136854

AFVR useful for contaminant reduction either. A total of 1,600 gallons of liquid were recovered for disposal during the event and lastly there was no adjacent well vacuum observed when gauging MW-3R, MW-6 or MW-11 during the event. /// MRP received 5/28/19 --- 8 hour AFVR using MW-2R was conducted during 1/2018 as was to be part of this current scope of work. The AFVR data was reported separately in a FPR dated 3/5/2018. KEC opinion was that this site is not suited for AFVR. MW-22, MW-23 & MW-24 were constructed across Roberts Avenue on 12/13/2018 to further define the groundwater plume. MW-23 showed 8.5 ug/l benzene and MW-24 showed 9.8 ug/l benzene. KEC considers this adequate delineation unless concentrations show a significant increase. MW-03R had a measured 0.45' of product. No GCLs were reported and highest analyzed constituent was 3,790 ug/l benzene in MW-02R. Asked the consultant again to seek access from the owner next door to sample up to 3 MWs currently on that parcel from earlier investigation work. Previously there was access refusal (KEC). /// MRP received 2/18/2021 --- On 7/9/2020, MW-02R and MW-03R wer gauged for free product. A sheen (0.01') wsa observed in MW-02R and approx. 2.13' ws measured in MW-03R. After gauging, Geotech Passive Recovery Cannisters were installed in each of the two wells. On 8/18/2020, 9/14/2020 and 10/12/2020, the skimmers were pulled from MW-02R & MW-03R, petroleum thickness was measured in the wells, contents of the cannisters emptied and skimmers reinstalled. On 12/14/2020, the skimmers were removed and were not reinstalled. The 0.5 liter cannister in MW-03R was full of free product each tiem the skimmer was removed. Free product thickness measurements in MW-03R were 0.43', 0.02', 0.72' and 0.64 ', respetively. Ten MWs were sampled for lab analysis on 12/14/2020. KEC requested an AFVR event, an additional attempt at an access agreement to sample the MWs located on the adjacent parcel, sampling event and MRP.

5 Min Quad:	Not reported
Last Modified:	3/27/1992
Incident Phase:	Follow Up
NOV Issued:	5/20/2020
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Signed:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	Not reported

[Click here to access the North Carolina DEQ records for this facility:](#)

UST:

Name:	SPINX 347
Address:	1302 ROBERTS AVE.
City,State,Zip:	LUMBERTON, NC 28358
Facility Id:	00-0-0000018416
Contact:	THE SPINX CO/ATTN: M. PETTY
Contact Address1:	PO BOX 8624-1409 EAST WASHINGTON
Contact Address2:	Not reported
Contact City/State/Zip:	GREENVILLE, SC 29604-8624
FIPS County Desc:	Robeson
Latitude:	34.62656

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPINX 347 (Continued)

U003136854

Longitude: -78.98497

Tank Id: 1
Tank Status: Current
Installed Date: 05/01/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 6000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: MLLD
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: SW Flexible Piping
Decode for PSYS_KEY: Pressurized System

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 2
Tank Status: Current
Installed Date: 05/01/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 6000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: MLLD
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: SW Flexible Piping
Decode for PSYS_KEY: Pressurized System

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 3
Tank Status: Current
Installed Date: 05/01/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 10000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPINX 347 (Continued)

U003136854

Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: MLLD
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: SW Flexible Piping
Decode for PSYS_KEY: Pressurized System

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 4
Tank Status: Current
Installed Date: 05/01/1980
Perm Close Date: Not reported
Product Name: Gasoline, Gas Mix
Tank Capacity: 8000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: MLLD
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: SW Flexible Piping
Decode for PSYS_KEY: Pressurized System

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 5
Tank Status: Current
Installed Date: 04/30/1985
Perm Close Date: Not reported
Product Name: Kerosene, Kero Mix
Tank Capacity: 4000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: 0
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: MLLD
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: SW Flexible Piping
Decode for PSYS_KEY: Pressurized System

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SPINX 347 (Continued)

U003136854

[Click here to access the North Carolina DEQ records for this facility:](#)

8
SSW
1/2-1
0.815 mi.
4302 ft.

CARDINAL CHEMICAL WAREHOUSE FIRE
NC 211 & NC 72
LUMBERTON, NC

SHWS 1000707260
N/A

Relative:
Higher
Actual:
146 ft.

SHWS:
Name: CARDINAL CHEMICAL WAREHOUSE FIRE
Address: NC 211 & NC 72
City,State,Zip: LUMBERTON, NC
EPAID: NCD986209575
Lat/Longitude: 34.61262 / -78.98024
Geolocation Method: On Screen Placement On Georeferenced Map

[Click here to access the North Carolina DEQ records for this facility:](#)

Count: 0 records.

ORPHAN SUMMARY

<u>City</u>	<u>EDR ID</u>	<u>Site Name</u>	<u>Site Address</u>	<u>Zip</u>	<u>Database(s)</u>
NO SITES FOUND					

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: N/A
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: N/A
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991
Date Data Arrived at EDR: 02/02/1994
Date Made Active in Reports: 03/30/1994
Number of Days to Update: 56

Source: EPA
Telephone: 202-564-4267
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 07/29/2021
Date Data Arrived at EDR: 08/04/2021
Date Made Active in Reports: 08/31/2021
Number of Days to Update: 27

Source: EPA
Telephone: N/A
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Quarterly

Federal CERCLIS list

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 02/22/2021
Date Data Arrived at EDR: 03/30/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 79

Source: Environmental Protection Agency
Telephone: 703-603-8704
Last EDR Contact: 06/23/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 07/29/2021
Date Data Arrived at EDR: 08/04/2021
Date Made Active in Reports: 08/31/2021
Number of Days to Update: 27

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Quarterly

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: 800-424-9346
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 10/25/2021
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 03/22/2021	Source: EPA
Date Data Arrived at EDR: 03/23/2021	Telephone: 800-424-9346
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/10/2021	Source: Department of the Navy
Date Data Arrived at EDR: 05/13/2021	Telephone: 843-820-7326
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 08/05/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/23/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Varies

US INST CONTROLS: Institutional Controls Sites List

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/23/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 06/14/2021

Date Data Arrived at EDR: 06/17/2021

Date Made Active in Reports: 08/17/2021

Number of Days to Update: 61

Source: National Response Center, United States Coast Guard

Telephone: 202-267-2180

Last EDR Contact: 06/17/2021

Next Scheduled EDR Contact: 10/04/2021

Data Release Frequency: Quarterly

State- and tribal - equivalent NPL

HSDS: Hazardous Substance Disposal Site

Locations of uncontrolled and unregulated hazardous waste sites. The file includes sites on the National Priority List as well as those on the state priority list.

Date of Government Version: 08/09/2011

Date Data Arrived at EDR: 11/08/2011

Date Made Active in Reports: 12/05/2011

Number of Days to Update: 27

Source: North Carolina Center for Geographic Information and Analysis

Telephone: 919-754-6580

Last EDR Contact: 07/13/2021

Next Scheduled EDR Contact: 11/01/2021

Data Release Frequency: No Update Planned

State- and tribal - equivalent CERCLIS

SHWS: Inactive Hazardous Sites Inventory

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 03/01/2021

Date Data Arrived at EDR: 03/10/2021

Date Made Active in Reports: 05/27/2021

Number of Days to Update: 78

Source: Department of Environment, Health and Natural Resources

Telephone: 919-508-8400

Last EDR Contact: 06/10/2021

Next Scheduled EDR Contact: 09/20/2021

Data Release Frequency: Quarterly

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: List of Solid Waste Facilities

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 09/10/2020

Date Data Arrived at EDR: 09/23/2020

Date Made Active in Reports: 12/14/2020

Number of Days to Update: 82

Source: Department of Environment and Natural Resources

Telephone: 919-733-0692

Last EDR Contact: 06/22/2021

Next Scheduled EDR Contact: 10/04/2021

Data Release Frequency: Varies

OLI: Old Landfill Inventory

Old landfill inventory location information. (Does not include no further action sites and other agency lead sites).

Date of Government Version: 09/11/2020

Date Data Arrived at EDR: 10/09/2020

Date Made Active in Reports: 12/30/2020

Number of Days to Update: 82

Source: Department of Environment & Natural Resources

Telephone: 919-733-4996

Last EDR Contact: 07/09/2021

Next Scheduled EDR Contact: 10/18/2021

Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEBRIS: Solid Waste Active Disaster Debris Sites Listing

NCDEQ Division of Waste Management Solid Waste Section Temporary Disaster Debris Staging Site (TDDSS) Locations which are available to be activated in a disaster or emergency.. Disaster Debris Sites can only be used for temporary disaster debris storage if the site's responsible party activates the site for use by notifying the NCDEQ DWM Solid Waste Section staff during an emergency

Date of Government Version: 01/06/2021	Source: Department of Environmental Quality
Date Data Arrived at EDR: 03/16/2021	Telephone: 919-707-8247
Date Made Active in Reports: 06/02/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Varies

LCID: Land-Clearing and Inert Debris (LCID) Landfill Notifications

A list all of the Land-Clearing and Inert Debris (LCID) Landfill Notification facilities (under 2 acres in size) in North Carolina.

Date of Government Version: 04/30/2020	Source: Department of Environmental Quality
Date Data Arrived at EDR: 07/09/2020	Telephone: 919-707-8248
Date Made Active in Reports: 09/23/2020	Last EDR Contact: 07/02/2021
Number of Days to Update: 76	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Varies

State and tribal leaking storage tank lists

LAST: Leaking Aboveground Storage Tanks

A listing of leaking aboveground storage tank site locations.

Date of Government Version: 04/30/2021	Source: Department of Environment & Natural Resources
Date Data Arrived at EDR: 05/03/2021	Telephone: 877-623-6748
Date Made Active in Reports: 07/20/2021	Last EDR Contact: 08/03/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

LUST: Regional UST Database

This database contains information obtained from the Regional Offices. It provides a more detailed explanation of current and historic activity for individual sites, as well as what was previously found in the Incident Management Database. Sites in this database with Incident Numbers are considered LUSTs.

Date of Government Version: 04/30/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 05/03/2021	Telephone: 919-707-8200
Date Made Active in Reports: 07/21/2021	Last EDR Contact: 08/03/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/12/2020	Source: EPA Region 10
Date Data Arrived at EDR: 12/16/2020	Telephone: 206-553-2857
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land

Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 10/07/2020	Source: EPA, Region 5
Date Data Arrived at EDR: 12/16/2020	Telephone: 312-886-7439
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 10/01/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/16/2020	Telephone: 415-972-3372
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 10/09/2020	Source: EPA Region 8
Date Data Arrived at EDR: 12/16/2020	Telephone: 303-312-6271
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 09/30/2020	Source: EPA Region 7
Date Data Arrived at EDR: 12/22/2020	Telephone: 913-551-7003
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 10/02/2020	Source: EPA Region 4
Date Data Arrived at EDR: 12/18/2020	Telephone: 404-562-8677
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2020	Source: EPA Region 1
Date Data Arrived at EDR: 12/16/2020	Telephone: 617-918-1313
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-6597
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 06/11/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

LUST TRUST: State Trust Fund Database

This database contains information about claims against the State Trust Funds for reimbursements for expenses incurred while remediating Leaking USTs.

Date of Government Version: 04/02/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 04/06/2021	Telephone: 919-733-1315
Date Made Active in Reports: 06/25/2021	Last EDR Contact: 07/02/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

State and tribal registered storage tank lists

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/29/2021	Source: FEMA
Date Data Arrived at EDR: 02/17/2021	Telephone: 202-646-5797
Date Made Active in Reports: 03/22/2021	Last EDR Contact: 06/29/2021
Number of Days to Update: 33	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Varies

UST: Petroleum Underground Storage Tank Database

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 04/30/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 05/03/2021	Telephone: 919-733-1308
Date Made Active in Reports: 07/20/2021	Last EDR Contact: 08/03/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

AST: AST Database

Facilities with aboveground storage tanks that have a capacity greater than 21,000 gallons.

Date of Government Version: 05/18/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 06/09/2021	Telephone: 919-715-6183
Date Made Active in Reports: 08/30/2021	Last EDR Contact: 06/08/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Semi-Annually

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 10/09/2020	Source: EPA Region 8
Date Data Arrived at EDR: 12/16/2020	Telephone: 303-312-6137
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 09/30/2020	Source: EPA Region 7
Date Data Arrived at EDR: 12/22/2020	Telephone: 913-551-7003
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 10/01/2020	Source: EPA Region 9
Date Data Arrived at EDR: 12/16/2020	Telephone: 415-972-3368
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2020	Source: EPA, Region 1
Date Data Arrived at EDR: 12/16/2020	Telephone: 617-918-1313
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 10/07/2020	Source: EPA Region 5
Date Data Arrived at EDR: 12/16/2020	Telephone: 312-886-6136
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-7591
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 06/11/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 10/02/2020	Source: EPA Region 4
Date Data Arrived at EDR: 12/18/2020	Telephone: 404-562-9424
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 11/12/2020	Source: EPA Region 10
Date Data Arrived at EDR: 12/16/2020	Telephone: 206-553-2857
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

State and tribal institutional control / engineering control registries

INST CONTROL: No Further Action Sites With Land Use Restrictions Monitoring

A land use restricted site is a property where there are limits or requirements on future use of the property due to varying levels of cleanup possible, practical, or necessary at the site.

Date of Government Version: 09/04/2020	Source: Department of Environmental Quality
Date Data Arrived at EDR: 09/09/2020	Telephone: 919-508-8400
Date Made Active in Reports: 12/03/2020	Last EDR Contact: 06/10/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 09/20/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

State and tribal voluntary cleanup sites

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 09/29/2015	Telephone: 617-918-1102
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 06/15/2021
Number of Days to Update: 142	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: No Update Planned

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 07/08/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: No Update Planned

VCP: Responsible Party Voluntary Action Sites

Responsible Party Voluntary Action site locations.

Date of Government Version: 05/12/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 06/07/2021	Telephone: 919-508-8400
Date Made Active in Reports: 08/30/2021	Last EDR Contact: 06/07/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 09/20/2021
	Data Release Frequency: Quarterly

State and tribal Brownfields sites

BROWNFIELDS: Brownfields Projects Inventory

A brownfield site is an abandoned, idled, or underused property where the threat of environmental contamination has hindered its redevelopment. All of the sites in the inventory are working toward a brownfield agreement for cleanup and liability control.

Date of Government Version: 03/01/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 03/30/2021	Telephone: 919-733-4996
Date Made Active in Reports: 06/23/2021	Last EDR Contact: 06/24/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Quarterly

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/10/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/10/2021	Telephone: 202-566-2777
Date Made Active in Reports: 08/17/2021	Last EDR Contact: 06/10/2021
Number of Days to Update: 68	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY: Recycling Center Listing

A listing of recycling center locations.

Date of Government Version: 01/28/2021
Date Data Arrived at EDR: 01/29/2021
Date Made Active in Reports: 04/23/2021
Number of Days to Update: 84

Source: Department of Environment & Natural Resources
Telephone: 919-707-8137
Last EDR Contact: 07/21/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

HIST LF: Solid Waste Facility Listing

A listing of solid waste facilities.

Date of Government Version: 11/06/2006
Date Data Arrived at EDR: 02/13/2007
Date Made Active in Reports: 03/02/2007
Number of Days to Update: 17

Source: Department of Environment & Natural Resources
Telephone: 919-733-0692
Last EDR Contact: 01/19/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: No Update Planned

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 07/13/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: No Update Planned

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014
Date Data Arrived at EDR: 08/06/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service
Telephone: 301-443-1452
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: No Update Planned

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Quarterly

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 07/29/2021
Date Data Arrived at EDR: 08/04/2021
Date Made Active in Reports: 08/31/2021
Number of Days to Update: 27

Source: Environmental Protection Agency
Telephone: 202-564-6023
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Semi-Annually

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/24/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 85

Source: U.S. Department of Transportation
Telephone: 202-366-4555
Last EDR Contact: 06/17/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

SPILLS: Spills Incident Listing

A listing spills, hazardous material releases, sanitary sewer overflows, wastewater treatment plant bypasses and upsets, citizen complaints, and any other environmental emergency calls reported to the agency.

Date of Government Version: 06/07/2021
Date Data Arrived at EDR: 06/08/2021
Date Made Active in Reports: 08/30/2021
Number of Days to Update: 83

Source: Department of Environment & Natural Resources
Telephone: 919-807-6308
Last EDR Contact: 06/02/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Quarterly

IMD: Incident Management Database

Groundwater and/or soil contamination incidents

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/30/2021
Date Data Arrived at EDR: 08/03/2021
Date Made Active in Reports: 08/06/2021
Number of Days to Update: 3

Source: Department of Environment and Natural Resources
Telephone: 877-623-6748
Last EDR Contact: 08/03/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: No Update Planned

SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 09/27/2012
Date Data Arrived at EDR: 01/03/2013
Date Made Active in Reports: 03/06/2013
Number of Days to Update: 62

Source: FirstSearch
Telephone: N/A
Last EDR Contact: 01/03/2013
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

SPILLS 80: SPILLS80 data from FirstSearch

Spills 80 includes those spill and release records available from FirstSearch databases prior to 1990. Typically, they may include chemical, oil and/or hazardous substance spills recorded before 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 80.

Date of Government Version: 06/14/2001
Date Data Arrived at EDR: 01/03/2013
Date Made Active in Reports: 03/06/2013
Number of Days to Update: 62

Source: FirstSearch
Telephone: N/A
Last EDR Contact: 01/03/2013
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/23/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 57

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 06/21/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 05/04/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 85

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 07/13/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 04/02/2018	Source: U.S. Geological Survey
Date Data Arrived at EDR: 04/11/2018	Telephone: 888-275-8747
Date Made Active in Reports: 11/06/2019	Last EDR Contact: 07/09/2021
Number of Days to Update: 574	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/03/2017	Telephone: 615-532-8599
Date Made Active in Reports: 04/07/2017	Last EDR Contact: 08/06/2021
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: 202-566-1917
Date Made Active in Reports: 06/17/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 07/26/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: No Update Planned

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/08/2018	Telephone: 703-308-4044
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 08/06/2021
Number of Days to Update: 73	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 06/17/2020	Telephone: 202-260-5521
Date Made Active in Reports: 09/10/2020	Last EDR Contact: 06/17/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2018	Source: EPA
Date Data Arrived at EDR: 08/14/2020	Telephone: 202-566-0250
Date Made Active in Reports: 11/04/2020	Last EDR Contact: 08/17/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/29/2021
	Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 04/19/2021	Source: EPA
Date Data Arrived at EDR: 04/20/2021	Telephone: 202-564-4203
Date Made Active in Reports: 07/16/2021	Last EDR Contact: 07/19/2021
Number of Days to Update: 87	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Annually

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: 703-416-0223
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 09/13/2021
	Data Release Frequency: Annually

RMP: Risk Management Plans

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 05/07/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/13/2021	Telephone: 202-564-8600
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 07/14/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 12/30/2020	Source: EPA
Date Data Arrived at EDR: 01/14/2021	Telephone: 202-564-6023
Date Made Active in Reports: 03/05/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 50	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/19/2020	Source: EPA
Date Data Arrived at EDR: 01/08/2021	Telephone: 202-566-0500
Date Made Active in Reports: 03/22/2021	Last EDR Contact: 07/09/2021
Number of Days to Update: 73	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 06/29/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 03/08/2021	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 03/11/2021	Telephone: 301-415-7169
Date Made Active in Reports: 05/11/2021	Last EDR Contact: 07/14/2021
Number of Days to Update: 61	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2019	Source: Department of Energy
Date Data Arrived at EDR: 12/01/2020	Telephone: 202-586-8719
Date Made Active in Reports: 02/09/2021	Last EDR Contact: 05/27/2021
Number of Days to Update: 70	Next Scheduled EDR Contact: 09/13/2021
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/05/2019	Telephone: N/A
Date Made Active in Reports: 11/11/2019	Last EDR Contact: 08/31/2021
Number of Days to Update: 251	Next Scheduled EDR Contact: 12/13/2021
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/06/2019	Telephone: 202-566-0517
Date Made Active in Reports: 02/10/2020	Last EDR Contact: 08/06/2021
Number of Days to Update: 96	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2019
Date Data Arrived at EDR: 07/01/2019
Date Made Active in Reports: 09/23/2019
Number of Days to Update: 84

Source: Environmental Protection Agency
Telephone: 202-343-9775
Last EDR Contact: 06/22/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: No Update Planned

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2007
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020
Date Data Arrived at EDR: 01/28/2020
Date Made Active in Reports: 04/17/2020
Number of Days to Update: 80

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 07/23/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Quarterly

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 06/30/2021
Date Data Arrived at EDR: 07/14/2021
Date Made Active in Reports: 07/16/2021
Number of Days to Update: 2

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2017
Date Data Arrived at EDR: 06/22/2020
Date Made Active in Reports: 11/20/2020
Number of Days to Update: 151

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 06/21/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014	Source: USGS
Date Data Arrived at EDR: 07/14/2015	Telephone: 202-208-3710
Date Made Active in Reports: 01/10/2017	Last EDR Contact: 07/02/2021
Number of Days to Update: 546	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Varies

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 08/08/2017	Source: Department of Energy
Date Data Arrived at EDR: 09/11/2018	Telephone: 202-586-3559
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 07/23/2021
Number of Days to Update: 3	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 08/30/2019	Source: Department of Energy
Date Data Arrived at EDR: 11/15/2019	Telephone: 505-845-0011
Date Made Active in Reports: 01/28/2020	Last EDR Contact: 08/12/2021
Number of Days to Update: 74	Next Scheduled EDR Contact: 11/29/2021
	Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 07/29/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/04/2021	Telephone: 703-603-8787
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001	Source: American Journal of Public Health
Date Data Arrived at EDR: 10/27/2010	Telephone: 703-305-6451
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/02/2009
Number of Days to Update: 36	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: No Update Planned

US AIRS MINOR: Air Facility System Data A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: No Update Planned

MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 05/27/2021
Date Data Arrived at EDR: 05/27/2021
Date Made Active in Reports: 06/10/2021
Number of Days to Update: 14

Source: DOL, Mine Safety & Health Admi
Telephone: 202-693-9424
Last EDR Contact: 08/25/2021
Next Scheduled EDR Contact: 12/13/2021
Data Release Frequency: Quarterly

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 05/03/2021
Date Data Arrived at EDR: 05/25/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 78

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 08/24/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Semi-Annually

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 05/06/2020
Date Data Arrived at EDR: 05/27/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 78

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011
Date Data Arrived at EDR: 06/08/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 97

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/15/2021
Date Data Arrived at EDR: 06/16/2021
Date Made Active in Reports: 08/17/2021
Number of Days to Update: 62

Source: Department of Interior
Telephone: 202-208-2609
Last EDR Contact: 08/31/2021
Next Scheduled EDR Contact: 12/20/2021
Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 05/05/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/17/2021
Number of Days to Update: 91

Source: EPA
Telephone: (404) 562-9900
Last EDR Contact: 08/31/2021
Next Scheduled EDR Contact: 12/13/2021
Data Release Frequency: Quarterly

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 04/04/2021
Date Data Arrived at EDR: 04/06/2021
Date Made Active in Reports: 06/25/2021
Number of Days to Update: 80

Source: Environmental Protection Agency
Telephone: 202-564-2280
Last EDR Contact: 07/01/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Quarterly

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/06/2021
Date Data Arrived at EDR: 05/21/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 82

Source: Environmental Protection Agency
Telephone: 202-564-0527
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 07/02/2020
Date Made Active in Reports: 09/17/2020
Number of Days to Update: 77

Source: Department of Defense
Telephone: 703-704-1564
Last EDR Contact: 07/07/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Varies

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 05/14/2021
Date Data Arrived at EDR: 05/14/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 81

Source: EPA
Telephone: 800-385-6164
Last EDR Contact: 08/13/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Quarterly

AIRS: Air Quality Permit Listing

A listing of facilities with air quality permits.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/07/2021
Date Data Arrived at EDR: 06/07/2021
Date Made Active in Reports: 08/27/2021
Number of Days to Update: 81

Source: Department of Environmental Quality
Telephone: 919-707-8726
Last EDR Contact: 06/07/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Varies

ASBESTOS: ASBESTOS

Asbestos notification sites

Date of Government Version: 04/30/2021
Date Data Arrived at EDR: 05/17/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 78

Source: Department of Health & Human Services
Telephone: 919-707-5973
Last EDR Contact: 07/14/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: Varies

COAL ASH: Coal Ash Disposal Sites

A listing of coal combustion products distribution permits issued by the Division for the treatment, storage, transportation, use and disposal of coal combustion products.

Date of Government Version: 09/10/2020
Date Data Arrived at EDR: 09/23/2020
Date Made Active in Reports: 12/14/2020
Number of Days to Update: 82

Source: Department of Environment & Natural Resources
Telephone: 919-807-6359
Last EDR Contact: 06/22/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Varies

DRYCLEANERS: Drycleaning Sites

Potential and known drycleaning sites, active and abandoned, that the Drycleaning Solvent Cleanup Program has knowledge of and entered into this database.

Date of Government Version: 03/31/2021
Date Data Arrived at EDR: 06/03/2021
Date Made Active in Reports: 08/26/2021
Number of Days to Update: 84

Source: Department of Environment & Natural Resources
Telephone: 919-508-8400
Last EDR Contact: 06/03/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: Varies

Financial Assurance 1: Financial Assurance Information Listing

A listing of financial assurance information for underground storage tank facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 04/30/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 07/20/2021
Number of Days to Update: 78

Source: Department of Environment & Natural Resources
Telephone: 919-733-1322
Last EDR Contact: 08/03/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Quarterly

Financial Assurance 2: Financial Assurance Information Listing

Information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 10/02/2012
Date Data Arrived at EDR: 10/03/2012
Date Made Active in Reports: 10/26/2012
Number of Days to Update: 23

Source: Department of Environment & Natural Resources
Telephone: 919-508-8496
Last EDR Contact: 06/15/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Varies

Financial Assurance 3: Financial Assurance Information

Hazardous waste financial assurance information.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/02/2021
Date Data Arrived at EDR: 06/03/2021
Date Made Active in Reports: 08/25/2021
Number of Days to Update: 83

Source: Department of Environment & Natural Resources
Telephone: 919-707-8222
Last EDR Contact: 06/02/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Varies

NPDES: NPDES Facility Location Listing

General information regarding NPDES(National Pollutant Discharge Elimination System) permits.

Date of Government Version: 04/02/2021
Date Data Arrived at EDR: 04/27/2021
Date Made Active in Reports: 07/15/2021
Number of Days to Update: 79

Source: Department of Environment & Natural Resources
Telephone: 919-733-7015
Last EDR Contact: 07/26/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

UIC: Underground Injection Wells Listing

A listing of uncerground injection wells locations.

Date of Government Version: 10/26/2020
Date Data Arrived at EDR: 11/30/2020
Date Made Active in Reports: 12/07/2020
Number of Days to Update: 7

Source: Department of Environment & Natural Resources
Telephone: 919-807-6412
Last EDR Contact: 06/04/2021
Next Scheduled EDR Contact: 09/13/2021
Data Release Frequency: Quarterly

AOP: Animal Operation Permits Listing

This listing includes animal operations that are required to be permitted by the state.

Date of Government Version: 04/01/2020
Date Data Arrived at EDR: 05/26/2020
Date Made Active in Reports: 05/27/2020
Number of Days to Update: 1

Source: Department of Environmental Quality
Telephone: 919-707-9129
Last EDR Contact: 06/10/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Varies

MINES MRDS: Mineral Resources Data System Mineral Resources Data System

Date of Government Version: 04/06/2018
Date Data Arrived at EDR: 10/21/2019
Date Made Active in Reports: 10/24/2019
Number of Days to Update: 3

Source: USGS
Telephone: 703-648-6533
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

CCB: Coal Ash Structural Fills (CCB) Listing

These are not permitted Coal Ash landfills A list all of the now closed Coal Ash Structural Fills (CCB) in North Carolina, in point data form. The purpose is to provide the public and other government entities a visual overview of coal ash structural fills throughout the state and increase public awareness of their current locations.

Date of Government Version: 02/27/2020
Date Data Arrived at EDR: 07/07/2020
Date Made Active in Reports: 09/23/2020
Number of Days to Update: 78

Source: Department of Environmental Quality
Telephone: 919-707-8248
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

PCS ENF: Enforcement data

No description is available for this data

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 02/05/2015
Date Made Active in Reports: 03/06/2015
Number of Days to Update: 29

Source: EPA
Telephone: 202-564-2497
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PCS INACTIVE: Listing of Inactive PCS Permits

An inactive permit is a facility that has shut down or is no longer discharging.

Date of Government Version: 11/05/2014
Date Data Arrived at EDR: 01/06/2015
Date Made Active in Reports: 05/06/2015
Number of Days to Update: 120

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

PCS: Permit Compliance System

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011
Date Data Arrived at EDR: 08/05/2011
Date Made Active in Reports: 09/29/2011
Number of Days to Update: 55

Source: EPA, Office of Water
Telephone: 202-564-2496
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

SEPT HAULERS: Permitted Septage Haulers Listing

This list of all active and permitted Septage Land Application Site (SLAS) and Septage Detention and Treatment Facility (SDTF) sites in North Carolina. The purpose of this map is to provide the public and government entities a visual overview of the businesses that manage septage and septage facilities throughout the state.

Date of Government Version: 03/25/2021
Date Data Arrived at EDR: 04/06/2021
Date Made Active in Reports: 06/24/2021
Number of Days to Update: 79

Source: Department of Environmental Quality
Telephone: 919-707-8248
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

PCSRP: Petroleum-Contaminated Soil Remediation Permits

To treat petroleum-contaminated soil in order to protect North Carolina's environment and the health of the citizens of North Carolina.

Date of Government Version: 04/05/2021
Date Data Arrived at EDR: 04/06/2021
Date Made Active in Reports: 06/24/2021
Number of Days to Update: 79

Source: Department of Environmental Quality
Telephone: 919-707-8248
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environment, Health and Natural Resources in North Carolina.

Date of Government Version: N/A	Source: Department of Environment, Health and Natural Resources
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 12/24/2013	Last EDR Contact: 06/01/2012
Number of Days to Update: 176	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environment, Health and Natural Resources in North Carolina.

Date of Government Version: N/A	Source: Department of Environment, Health and Natural Resources
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 01/13/2014	Last EDR Contact: 06/01/2012
Number of Days to Update: 196	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environment, Health and Natural Resources in North Carolina.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 12/20/2013
Number of Days to Update: 172

Source: Department of Environment, Health and Natural Resources
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 03/24/2021
Date Data Arrived at EDR: 05/11/2021
Date Made Active in Reports: 07/28/2021
Number of Days to Update: 78

Source: Department of Energy & Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 08/10/2021
Next Scheduled EDR Contact: 11/22/2021
Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 04/10/2019
Date Made Active in Reports: 05/16/2019
Number of Days to Update: 36

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019
Date Data Arrived at EDR: 04/29/2020
Date Made Active in Reports: 07/10/2020
Number of Days to Update: 72

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 07/29/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Quarterly

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 06/30/2018
Date Data Arrived at EDR: 07/19/2019
Date Made Active in Reports: 09/10/2019
Number of Days to Update: 53

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 07/07/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2019
Date Data Arrived at EDR: 02/11/2021
Date Made Active in Reports: 02/24/2021
Number of Days to Update: 13

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 08/11/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018
Date Data Arrived at EDR: 06/19/2019
Date Made Active in Reports: 09/03/2019
Number of Days to Update: 76

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 06/03/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Annually

Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Electric Power Transmission Line Data

Source: Endeavor Business Media

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Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.
Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services
Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health
Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics
Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics
Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Child Care Facility List

Source: Department of Health & Human Services
Telephone: 919-662-4499

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA
Telephone: 877-336-2627
Date of Government Version: 2003, 2015

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory
Source: US Fish & Wildlife Service
Telephone: 703-358-2171

Current USGS 7.5 Minute Topographic Map
Source: U.S. Geological Survey

STREET AND ADDRESS INFORMATION

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GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

6.39 ACRES ON HARRILL ROAD
219 HARRILL ROAD
LUMBERTON, NC 28358

TARGET PROPERTY COORDINATES

Latitude (North):	34.624784 - 34° 37' 29.22"
Longitude (West):	78.976287 - 78° 58' 34.63"
Universal Transverse Mercator:	Zone 17
UTM X (Meters):	685524.2
UTM Y (Meters):	3833100.0
Elevation:	141 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	5945165 SOUTHEAST LUMBERTON, NC
Version Date:	2013
Northeast Map:	5944870 NORTHEAST LUMBERTON, NC
Version Date:	2013

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

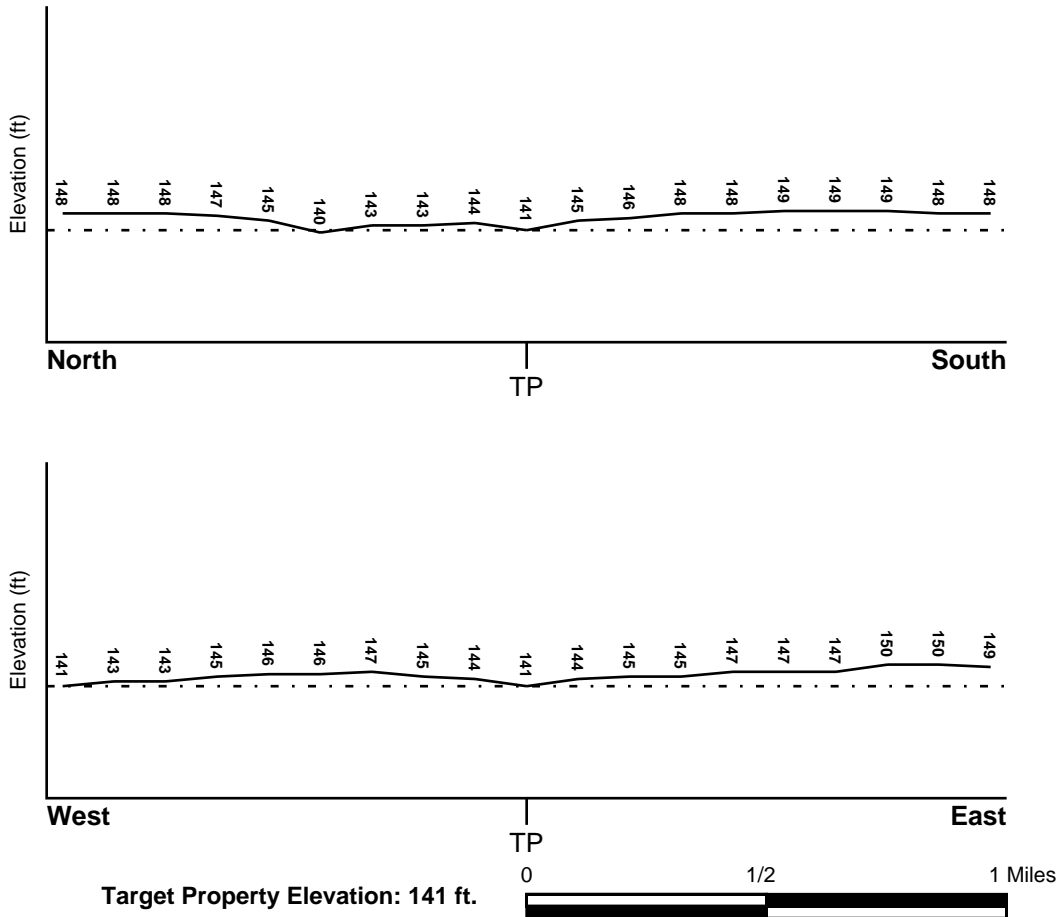
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General North

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
3720030100J	FEMA FIRM Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
37155C0179D	FEMA Q3 Flood data
3720030200J	FEMA FIRM Flood data
37155C0187D	FEMA Q3 Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
SOUTHEAST LUMBERTON	YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

Era: Mesozoic
System: Cretaceous
Series: Washita Group
Code: IK3 *(decoded above as Era, System & Series)*

GEOLOGIC AGE IDENTIFICATION

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps. The following information is based on Soil Conservation Service STATSGO data.

Soil Component Name: NORFOLK

Soil Surface Texture: loamy sand

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained. Soils have intermediate water holding capacity. Depth to water table is more than 6 feet.

Hydric Status: Soil does not meet the requirements for a hydric soil.

Corrosion Potential - Uncoated Steel: MODERATE

Depth to Bedrock Min: > 60 inches

Depth to Bedrock Max: > 60 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	14 inches	loamy sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 20.00 Min: 6.00	Max: 6.00 Min: 3.60
2	14 inches	38 inches	sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 2.00 Min: 0.60	Max: 5.50 Min: 3.60
3	38 inches	70 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 2.00 Min: 0.60	Max: 5.50 Min: 3.60
4	70 inches	99 inches	variable	Not reported	Not reported	Max: 0.00 Min: 0.00	Max: 0.00 Min: 0.00

OTHER SOIL TYPES IN AREA

Based on Soil Conservation Service STATSGO data, the following additional subordinant soil types may appear within the general area of target property.

Soil Surface Textures: sandy loam
loam
mucky - loam

Surficial Soil Types: sandy loam
loam
mucky - loam

Shallow Soil Types: fine sandy loam
sandy clay loam
clay loam

Deeper Soil Types: sandy clay loam
stratified
sandy clay

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
2	USGS40000882763	1/2 - 1 Mile WNW

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	NC0378477	1/2 - 1 Mile NNW

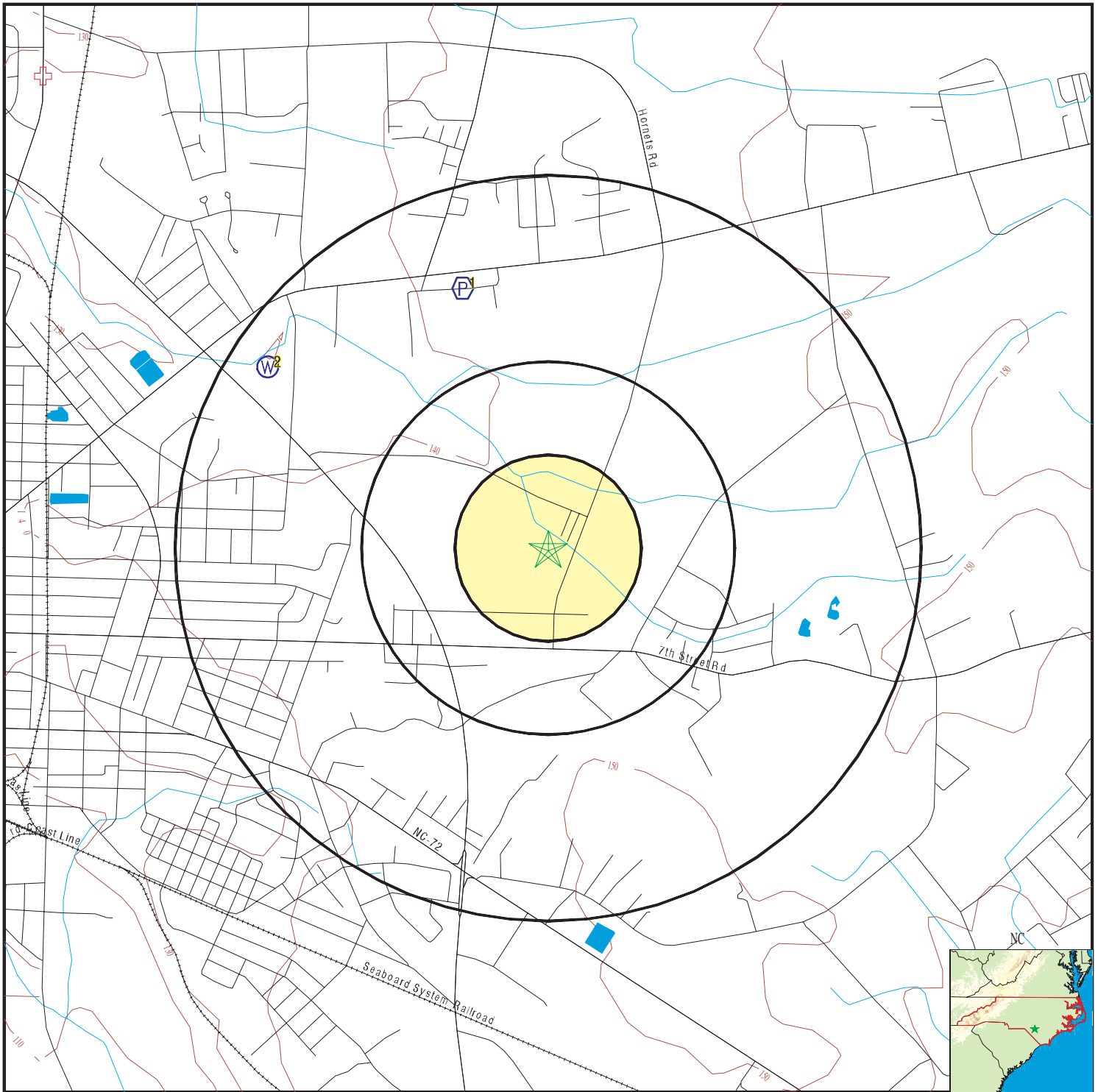
Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

OTHER STATE DATABASE INFORMATION

PHYSICAL SETTING SOURCE MAP - 6644708.2s



- | | | |
|--|--|---------------------------|
| County Boundary | Groundwater Flow Direction | Wildlife Areas |
| Major Roads | Indeterminate Groundwater Flow at Location | Natural Areas |
| Contour Lines | Groundwater Flow Varies at Location | Rare & Endangered Species |
| Earthquake epicenter, Richter 5 or greater | | |
| Water Wells | | |
| Public Water Supply Wells | | |
| Cluster of Multiple Icons | | |

SITE NAME: 6.39 Acres on Harrill Road
ADDRESS: 219 Harrill Road
 Lumberton NC 28358
LAT/LONG: 34.624784 / 78.976287

CLIENT: Pyramid Environmental
CONTACT: Tamara Cagle
INQUIRY #: 6644708.2s
DATE: September 01, 2021 11:20 am

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

1
NNW
1/2 - 1 Mile
Higher

FRDS PWS NC0378477

Epa region:	04	State:	NC
Pwsid:	NC0378477	Pwsname:	JONES BUICK
Cityserved:	Not Reported	Stateserved:	NC
Ziperved:	Not Reported	Fipscounty:	37155
Status:	Closed	Retpopsrvd:	30
Pwssvconn:	2	Psource longname:	Groundwater
Pwstype:	TNCWS	Owner:	Private
Contact:	MR DAVID A JONES OR MGR	Contactorgname:	Not Reported
Contactphone:	Not Reported	Contactaddress1:	Not Reported
Contactaddress2:	Not Reported	Contactcity:	LUMBERTON
Contactstate:	NC	Contactzip:	28358
Pwsactivitycode:	I		
PWS ID:	NC0378477	PWS type:	System Owner/Responsible Party
PWS name:	MR DAVID A JONES OR MGR	PWS address:	Not Reported
PWS city:	LUMBERTON	PWS state:	NC
PWS zip:	28358	PWS ID:	NC0378477
PWS type:	System Owner/Responsible Party	PWS address:	Not Reported
PWS name:	MR DAVID A JONES	PWS state:	NC
PWS city:	LUMBERTON	PWS ID:	NC0378477
PWS zip:	28358	Date system activated:	7706
Activity status:	Active	Retail population:	00000030
Date system deactivated:	Not Reported	System address:	Not Reported
System name:	JONES BUICK	System state:	NC
System city:	LUMBERTON		
System zip:	28358		
County FIPS:	078	City served:	LUMBERTON
Population served:	Under 101 Persons	Treatment:	Untreated
Latitude:	343805	Longitude:	0785850

2
WNW
1/2 - 1 Mile
Lower

FED USGS USGS40000882763

Organization ID:	USGS-NC		
Organization Name:	USGS North Carolina Water Science Center		
Monitor Location:	RB-058 ICE AND FUEL CO	Type:	Well
Description:	Not Reported	HUC:	03040203
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Unts:	Not Reported
Aquifer:	Northern Atlantic Coastal Plain aquifer system		
Formation Type:	Upper Cretaceous Series	Aquifer Type:	Not Reported
Construction Date:	Not Reported	Well Depth:	Not Reported
Well Depth Units:	Not Reported	Well Hole Depth:	Not Reported
Well Hole Depth Units:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance

Database EDR ID Number

Elclass:
Eostat:
Edr id:

P
H
NC50006513

Precision1:
Gisid:

NC_NHEO NC50006513
M
22459

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

State Database: NC Radon

Radon Test Results

Num Results	Avg pCi/L	Min pCi/L	Max pCi/L
1	0.30	0.3	0.3

Federal EPA Radon Zone for ROBESON County: 3

- Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for Zip Code: 28358

Number of sites tested: 6

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	0.350 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	Not Reported	Not Reported	Not Reported	Not Reported

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory

Source: US Fish & Wildlife Service

Telephone: 703-358-2171

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

North Carolina Public Water Supply Wells

Source: Department of Environmental Health

Telephone: 919-715-3243

OTHER STATE DATABASE INFORMATION

North Carolina Wildlife Resources/Game Lands

Source: Center for Geographic Information and Analysis

Telephone: 919-733-2090

All publicly owned game lands managed by the North Carolina Wildlife Resources Commission and as listed in Hunting and Fishing Maps.

NC Natural Heritage Sites: Natural Heritage Element Occurrence Sites

Source: Natural Heritage Occurrence Sites Center for Geographic Information and Analysis

Telephone: 919-733-2090

A point coverage identifying locations of rare and endangered species, occurrences of exemplary or unique natural ecosystems (terrestrial or aquatic), and special animal habitats (e.g., colonial waterbird nesting sites).

NC Natural Areas: Significant Natural Heritage Areas

Source: Center for Geographic Information and Analysis

Telephone: 919-733-2090

A polygon coverage identifying sites (terrestrial or aquatic) that have particular biodiversity significance.

A site's significance may be due to the presence of rare species, rare or high quality natural communities, or other important ecological features.

RADON

State Database: NC Radon

Source: Department of Environment & Natural Resources

Telephone: 919-733-4984

Radon Statistical and Non Statistical Data

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

STREET AND ADDRESS INFORMATION

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APPENDIX I

NC DEQ DWM Site Locator Tool Map

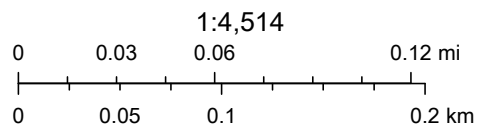
NC DWM Site Locator Tool



9/2/2021, 10:48:12 AM

 Parcels (Polygons) - Parcels

 County Boundary



NCDOT GIS Unit, NC CGIA, Maxar, Esri Community Maps Contributors, State of North Carolina DOT, BuildingFootprintUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

NC Division of Waste Management

APPENDIX J

Site Photographs



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.



13: Adjacent property to the northwest, showing agricultural and residential land use.



14: Tributary of Meadow Branch flowing along northeastern boundary of subject property.



15: Adjacent property to the northeast (Lone Oak Mobile Home Park).



16: Adjacent property to the east (Heaven Bound New Vision Church).



17: Adjacent property to the southwest (Northeast Pointe Apartments), facing NE along Harrill Road.



18: Northeast Pointe Liftstation #61 on adjacent property to the SW, facing south along Harrill Road.

APPENDIX K

EDR Vapor Encroachment Screen

6.39 Acres on Harrill Road

219 Harrill Road

Lumberton, NC 28358

Inquiry Number: 6644708.2s

September 16, 2021

EDR Vapor Encroachment Screen

Prepared using EDR's Vapor Encroachment Worksheet

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Secondary Map	3
Map Findings	4
Record Sources and Currency	GR-1

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by EDR. The report was designed to assist parties seeking to meet the search requirements of the ASTM Standard Practice for Assessment of Vapor Encroachment into Structures on Property Involved in Real Estate Transactions (E 2600).

STANDARD ENVIRONMENTAL RECORDS	Default Area of Concern (Miles)*	property	1/10	> 1/10
Federal NPL site list	1.0	0	0	0
Federal Delisted NPL site list	1.0	0	0	0
Federal CERCLIS list	0.5	0	0	0
Federal CERCLIS NFRAP site list	0.5	0	0	0
Federal RCRA CORRACTS facilities list	1.0	0	0	0
Federal RCRA non-CORRACTS TSD facilities list	0.5	0	0	0
Federal RCRA generators list	0.25	0	0	0
Federal institutional controls / engineering controls registries	0.5	0	0	0
Federal ERNS list	property	0	-	-
State- and tribal - equivalent NPL	1.0	0	0	0
State- and tribal - equivalent CERCLIS	1.0	0	0	0
State and tribal landfill and/or solid waste disposal site lists	0.5	0	0	0
State and tribal leaking storage tank lists	0.5	0	0	1
State and tribal registered storage tank lists	0.25	0	0	0
State and tribal institutional control / engineering control registries	0.5	0	0	0
State and tribal voluntary cleanup sites	0.5	0	0	0
State and tribal Brownfields sites	0.5	0	0	0

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists	0.5	0	0	0
Local Lists of Landfill / Solid Waste Disposal Sites	0.5	0	0	0
Local Lists of Hazardous waste / Contaminated Sites	property	0	-	-
Local Lists of Registered Storage Tanks	not searched	-	-	-
Local Land Records	property	0	-	-
Records of Emergency Release Reports	0.5	0	0	1
Other Ascertainable Records	1.0	0	0	0

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records	1.0	0	0	0
Exclusive Recovered Govt. Archives	property	0	-	-

EXECUTIVE SUMMARY

EDR RECOVERED GOVERNMENT ARCHIVES

EDR Exclusive Records	1.0	0	0	0
Exclusive Recovered Govt. Archives	property	0	-	-

*The Default Area of Concern may be adjusted by the environmental professional using experience and professional judgement. Each category may include several databases, and each database may have a different distance. A list of individual databases is provided at the back of this report.

EXECUTIVE SUMMARY

TARGET PROPERTY INFORMATION

ADDRESS

6.39 ACRES ON HARRILL ROAD
219 HARRILL ROAD
LUMBERTON, NC 28358

COORDINATES

Latitude (North):	34.624784 - 34° 37' 29.217224"
Longitude (West):	78.976287 - 78° 58' 34.63623"
Elevation:	141 ft. above sea level

EXECUTIVE SUMMARY

SEARCH RESULTS

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
R. E. GORE IMD: IMD LUST: LUST	RT 9 BOX 230	1/10 - 1/3 SSW	▲ 1	8

ADDITIONAL ENVIRONMENTAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
R. E. GORE IMD: IMD LUST: LUST	RT 9 BOX 230	1/10 - 1/3 SSW	▲ 1	8

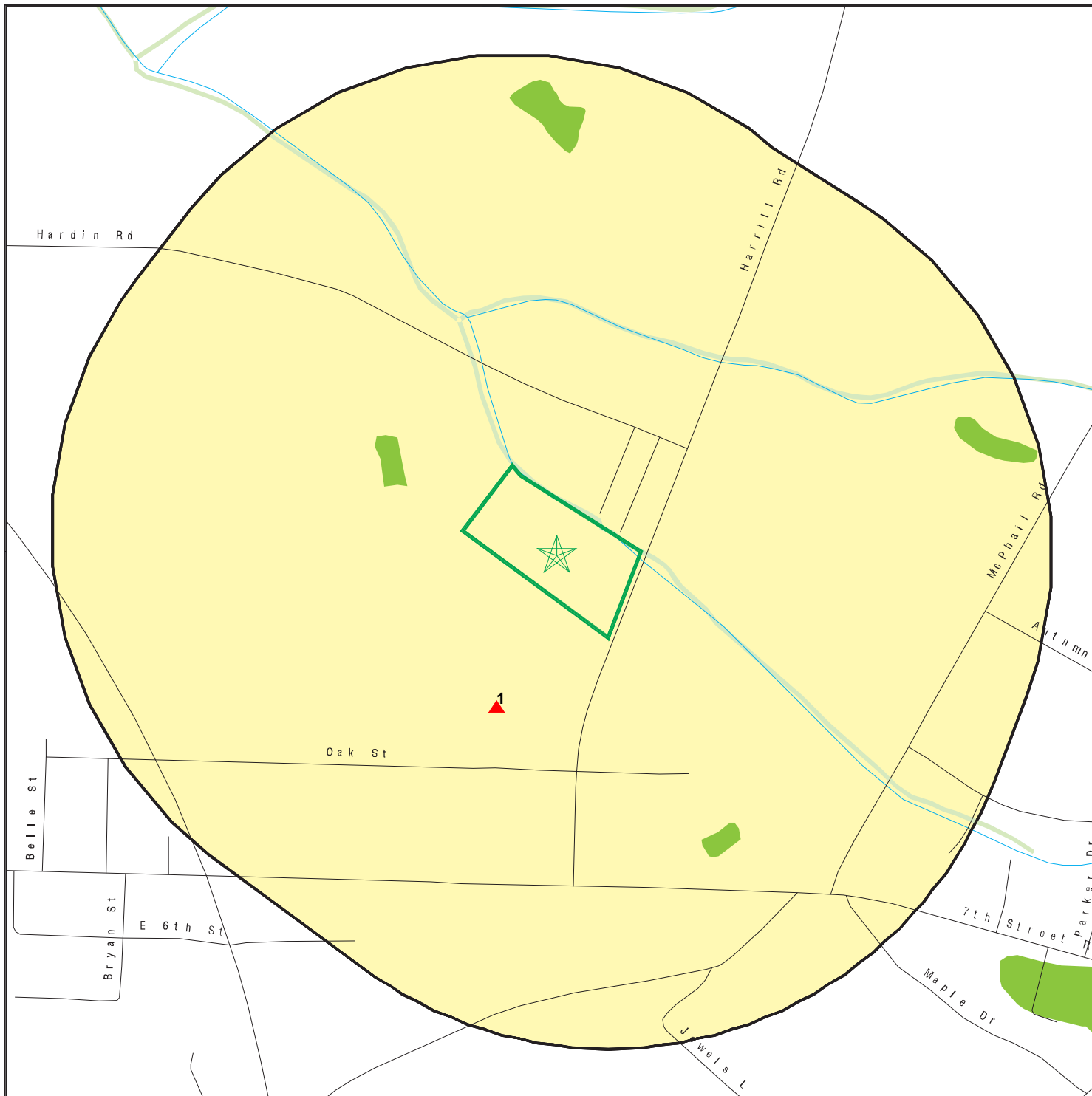
EDR HIGH RISK HISTORICAL RECORDS







<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
Not Reported				





EDR RECOVERED GOVERNMENT ARCHIVES

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
Not Reported				

PRIMARY MAP - 6644708.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  National Priority List Sites
-  Dept. Defense Sites

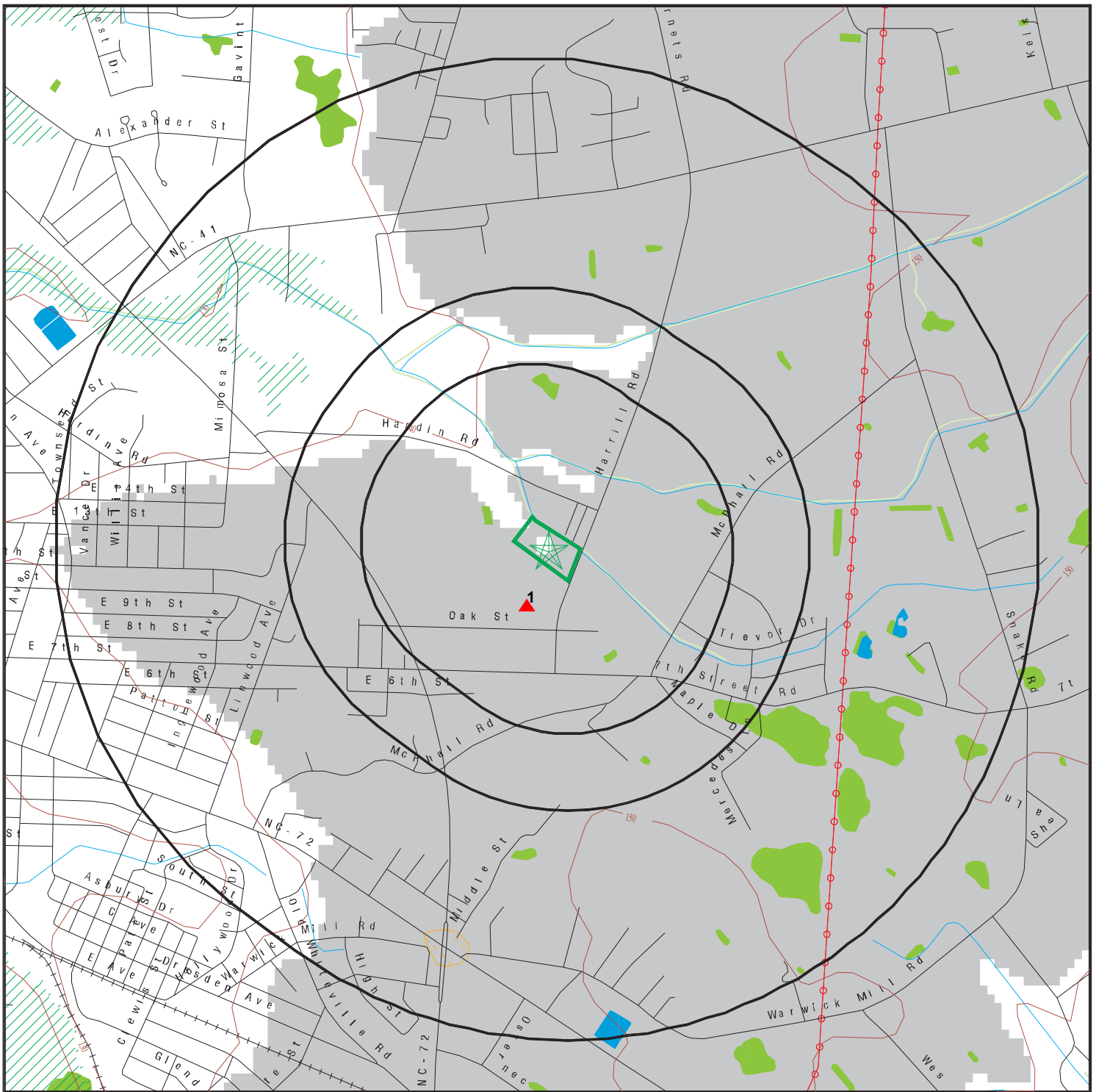
-  Indian Reservations BIA
-  National Wetland Inventory
-  State Wetlands
-  Hazardous Substance Disposal Sites

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 6.39 Acres on Harrill Road
 ADDRESS: 219 Harrill Road
 Lumberton NC 28358
 LAT/LONG: 34.624784 / 78.976287

CLIENT: Pyramid Environmental
 CONTACT: Tamara Cagle
 INQUIRY #: 6644708.2s
 DATE: September 01, 2021 11:19 am

SECONDARY MAP - 6644708.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

Upgradient Area

Hazardous Substance Disposal Sites



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 6.39 Acres on Harrill Road
 ADDRESS: 219 Harrill Road
 Lumberton NC 28358
 LAT/LONG: 34.624784 / 78.976287

CLIENT: Pyramid Environmental
 CONTACT: Tamara Cagle
 INQUIRY #: 6644708.2s
 DATE: September 01, 2021 11:19 am

MAP FINDINGS

LEGEND

FACILITY NAME FACILITY ADDRESS, CITY, ST, ZIP		EDR SITE ID NUMBER
◆ MAP ID#	Direction Distance Range (Distance feet / miles)	ASTM 2600 Record Sources found in this report. Each database searched has been assigned to one or more categories. For detailed information about categorization, see the section of the report Records Searched and Currency.
	Relative Elevation Feet Above Sea Level	
Worksheet:		
Comments: Comments may be added on the online Vapor Encroachment Worksheet.		

DATABASE ACRONYM: Applicable categories (A hoverbox with database description).

R. E. GORE RT 9 BOX 230, LUMBERTON, NC, 28358		S102868783
▲ 1	SSW 1/10 - 1/3 (534 ft. / 0.101 mi.)	State and tribal leaking storage tank lists Records of Emergency Release Reports
	4 ft. Higher Elevation 145 ft. Above Sea Level	

Worksheet:

Impact on Target Property: VEC does not exist

Conditions:

Petroleum Hydrocarbon Chemicals of Concern: YES

Groundwater Flow Gradient:

Upgradient or Indeterminate: YES

AQUIFLOW: YES

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
ENVIRONMENTAL RECORDS						
<i>Federal NPL site list</i>						
US	NPL	National Priority List	EPA	07/29/2021	08/04/2021	08/31/2021
US	Proposed NPL	Proposed National Priority List Sites	EPA	07/29/2021	08/04/2021	08/31/2021
US	NPL LIENS	Federal Superfund Liens	EPA	10/15/1991	02/02/1994	03/30/1994
<i>Federal CERCLIS list</i>						
US	SEMS	Superfund Enterprise Management System	EPA	07/29/2021	08/04/2021	08/31/2021
<i>Federal RCRA CORRACTS facilities list</i>						
US	CORRACTS	Corrective Action Report	EPA	03/22/2021	03/23/2021	05/19/2021
<i>Federal RCRA TSD facilities list</i>						
US	RCRA-TSDF	RCRA - Treatment, Storage and Disposal	Environmental Protection Agency	03/22/2021	03/23/2021	05/19/2021
<i>Federal RCRA generators list</i>						
US	RCRA-LQG	RCRA - Large Quantity Generators	Environmental Protection Agency	03/22/2021	03/23/2021	05/19/2021
US	RCRA-SQG	RCRA - Small Quantity Generators	Environmental Protection Agency	03/22/2021	03/23/2021	05/19/2021
US	RCRA-VSQG	RCRA - Very Small Quantity Generators (Formerly Conditionall	Environmental Protection Agency	03/22/2021	03/23/2021	05/19/2021
<i>Federal institutional controls / engineering controls registries</i>						
US	LUCIS	Land Use Control Information System	Department of the Navy	05/10/2021	05/13/2021	08/03/2021
US	US ENG CONTROLS	Engineering Controls Sites List	Environmental Protection Agency	05/17/2021	05/21/2021	08/11/2021
US	US INST CONTROLS	Institutional Controls Sites List	Environmental Protection Agency	05/17/2021	05/21/2021	08/11/2021
<i>Federal ERNS list</i>						
US	ERNS	Emergency Response Notification System	National Response Center, United States Coast	06/14/2021	06/17/2021	08/17/2021
<i>State and tribal - equivalent NPL</i>						
NC	HSDS	Hazardous Substance Disposal Site	North Carolina Center for Geographic Informat	08/09/2011	11/08/2011	12/05/2011
<i>State and tribal - equivalent CERCLIS</i>						
NC	SHWS	Inactive Hazardous Sites Inventory	Department of Environment, Health and Natural	03/01/2021	03/10/2021	05/27/2021
<i>State and tribal landfill / solid waste disposal</i>						
NC	SWF/LF	List of Solid Waste Facilities	Department of Environment and Natural Resourc	09/10/2020	09/23/2020	12/14/2020
NC	OLI	Old Landfill Inventory	Department of Environment & Natural Resources	09/11/2020	10/09/2020	12/30/2020
NC	DEBRIS	Solid Waste Active Disaster Debris Sites Listing	Department of Environmental Quality	01/06/2021	03/16/2021	06/02/2021
NC	LCID	Land-Clearing and Inert Debris (LCID) Landfill Notifications	Department of Environmental Quality	04/30/2020	07/09/2020	09/23/2020

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
State and tribal leaking storage tank lists						
NC	LUST	Regional UST Database	Department of Environment and Natural Resourc	04/30/2021	05/03/2021	07/21/2021
NC	LAST	Leaking Aboveground Storage Tanks	Department of Environment & Natural Resources	04/30/2021	05/03/2021	07/20/2021
US	INDIAN LUST R6	Leaking Underground Storage Tanks on Indian Land	EPA Region 6	04/08/2020	05/20/2020	08/12/2020
US	INDIAN LUST R1	Leaking Underground Storage Tanks on Indian Land	EPA Region 1	10/01/2020	12/16/2020	03/12/2021
US	INDIAN LUST R4	Leaking Underground Storage Tanks on Indian Land	EPA Region 4	10/02/2020	12/18/2020	03/12/2021
US	INDIAN LUST R7	Leaking Underground Storage Tanks on Indian Land	EPA Region 7	09/30/2020	12/22/2020	03/12/2021
US	INDIAN LUST R8	Leaking Underground Storage Tanks on Indian Land	EPA Region 8	10/09/2020	12/16/2020	03/12/2021
US	INDIAN LUST R9	Leaking Underground Storage Tanks on Indian Land	Environmental Protection Agency	10/01/2020	12/16/2020	03/12/2021
US	INDIAN LUST R10	Leaking Underground Storage Tanks on Indian Land	EPA Region 10	11/12/2020	12/16/2020	03/12/2021
US	INDIAN LUST R5	Leaking Underground Storage Tanks on Indian Land	EPA, Region 5	10/07/2020	12/16/2020	03/12/2021
NC	LUST TRUST	State Trust Fund Database	Department of Environment and Natural Resourc	04/02/2021	04/06/2021	06/25/2021
State and tribal registered storage tank lists						
NC	UST	Petroleum Underground Storage Tank Database	Department of Environment and Natural Resourc	04/30/2021	05/03/2021	07/20/2021
NC	AST	AST Database	Department of Environment and Natural Resourc	05/18/2021	06/09/2021	08/30/2021
US	INDIAN UST R6	Underground Storage Tanks on Indian Land	EPA Region 6	04/08/2020	05/20/2020	08/12/2020
US	INDIAN UST R1	Underground Storage Tanks on Indian Land	EPA, Region 1	10/01/2020	12/16/2020	03/12/2021
US	INDIAN UST R7	Underground Storage Tanks on Indian Land	EPA Region 7	09/30/2020	12/22/2020	03/12/2021
US	INDIAN UST R8	Underground Storage Tanks on Indian Land	EPA Region 8	10/09/2020	12/16/2020	03/12/2021
US	INDIAN UST R4	Underground Storage Tanks on Indian Land	EPA Region 4	10/02/2020	12/18/2020	03/12/2021
US	INDIAN UST R5	Underground Storage Tanks on Indian Land	EPA Region 5	10/07/2020	12/16/2020	03/12/2021
US	INDIAN UST R9	Underground Storage Tanks on Indian Land	EPA Region 9	10/01/2020	12/16/2020	03/12/2021
US	INDIAN UST R10	Underground Storage Tanks on Indian Land	EPA Region 10	11/12/2020	12/16/2020	03/12/2021
US	FEMA UST	Underground Storage Tank Listing	FEMA	01/29/2021	02/17/2021	03/22/2021
State and tribal institutional control / engineering control registries						
NC	INST CONTROL	No Further Action Sites With Land Use Restrictions Monitorin	Department of Environmental Quality	09/04/2020	09/09/2020	12/03/2020
State and tribal voluntary cleanup sites						
NC	VCP	Responsible Party Voluntary Action Sites	Department of Environment and Natural Resourc	05/12/2021	06/07/2021	08/30/2021
US	INDIAN VCP R1	Voluntary Cleanup Priority Listing	EPA, Region 1	07/27/2015	09/29/2015	02/18/2016
US	INDIAN VCP R7	Voluntary Cleanup Priority Lisitng	EPA, Region 7	03/20/2008	04/22/2008	05/19/2008
State and tribal Brownfields sites						
NC	BROWNFIELDS	Brownfields Projects Inventory	Department of Environment and Natural Resourc	03/01/2021	03/30/2021	06/23/2021
Other Records						
US	CONSENT	Superfund (CERCLA) Consent Decrees	Department of Justice, Consent Decree Library	06/30/2021	07/14/2021	07/16/2021
US	ROD	Records Of Decision	EPA	07/29/2021	08/04/2021	08/31/2021
US	LIENS 2	CERCLA Lien Information	Environmental Protection Agency	07/29/2021	08/04/2021	08/31/2021
US	DEBRIS REGION 9	Torres Martinez Reservation Illegal Dump Site Locations	EPA, Region 9	01/12/2009	05/07/2009	09/21/2009
NC	HIST LF	Solid Waste Facility Listing	Department of Environment & Natural Resource	11/06/2006	02/13/2007	03/02/2007
NC	SWRCY	Recycling Center Listing	Department of Environment & Natural Resources	01/28/2021	01/29/2021	04/23/2021
US	EPA WATCH LIST	EPA WATCH LIST	Environmental Protection Agency	08/30/2013	03/21/2014	06/17/2014
US	FUSRAP	Formerly Utilized Sites Remedial Action Program	Department of Energy	08/08/2017	09/11/2018	09/14/2018

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	US HIST CDL	National Clandestine Laboratory Register	Drug Enforcement Administration	05/18/2021	05/18/2021	08/03/2021
US	LEAD SMELTER 1	Lead Smelter Sites	Environmental Protection Agency	07/29/2021	08/04/2021	08/31/2021
US	COAL ASH DOE	Steam-Electric Plant Operation Data	Department of Energy	12/31/2019	12/01/2020	02/09/2021
US	LEAD SMELTER 2	Lead Smelter Sites	American Journal of Public Health	04/05/2001	10/27/2010	12/02/2010
US	2020 COR ACTION	2020 Corrective Action Program List	Environmental Protection Agency	09/30/2017	05/08/2018	07/20/2018
US	SCRD DRYCLEANERS	State Coalition for Remediation of Drycleaners Listing	Environmental Protection Agency	01/01/2017	02/03/2017	04/07/2017
US	US FIN ASSUR	Financial Assurance Information	Environmental Protection Agency	03/22/2021	03/23/2021	06/17/2021
US	PCB TRANSFORMER	PCB Transformer Registration Database	Environmental Protection Agency	09/13/2019	11/06/2019	02/10/2020
US	US AIRS MINOR	Air Facility System Data	EPA	10/12/2016	10/26/2016	02/03/2017
US	COAL ASH EPA	Coal Combustion Residues Surface Impoundments List	Environmental Protection Agency	01/12/2017	03/05/2019	11/11/2019
US	US AIRS (AFS)	Aerometric Information Retrieval System Facility Subsystem (EPA	10/12/2016	10/26/2016	02/03/2017
US	Delisted NPL	National Priority List Deletions	EPA	07/29/2021	08/04/2021	08/31/2021
US	SEMS-ARCHIVE	Superfund Enterprise Management System Archive	EPA	07/29/2021	08/04/2021	08/31/2021
US	RCRA NonGen / NLR	RCRA - Non Generators / No Longer Regulated	Environmental Protection Agency	03/22/2021	03/23/2021	05/19/2021
US	HMIRS	Hazardous Materials Information Reporting System	U.S. Department of Transportation	03/22/2021	03/24/2021	06/17/2021
US	DOT OPS	Incident and Accident Data	Department of Transportation, Office of Pipeli	01/02/2020	01/28/2020	04/17/2020
US	US CDL	Clandestine Drug Labs	Drug Enforcement Administration	05/18/2021	05/18/2021	08/03/2021
US	US BROWNFIELDS	A Listing of Brownfields Sites	Environmental Protection Agency	06/10/2021	06/10/2021	08/17/2021
US	DOD	Department of Defense Sites	USGS	12/31/2005	11/10/2006	01/11/2007
US	FEDLAND	Federal and Indian Lands	U.S. Geological Survey	04/02/2018	04/11/2018	11/06/2019
US	FUDS	Formerly Used Defense Sites	U.S. Army Corps of Engineers	05/04/2021	05/18/2021	08/11/2021
US	UMTRA	Uranium Mill Tailings Sites	Department of Energy	08/30/2019	11/15/2019	01/28/2020
US	ODI	Open Dump Inventory	Environmental Protection Agency	06/30/1985	08/09/2004	09/17/2004
US	MINES VIOLATIONS	MSHA Violation Assessment Data	DOL, Mine Safety & Health Admi	05/27/2021	05/27/2021	06/10/2021
US	US MINES	Mines Master Index File	Department of Labor, Mine Safety and Health A	05/03/2021	05/25/2021	08/11/2021
US	US MINES 2	Ferrous and Nonferrous Metal Mines Database Listing	USGS	05/06/2020	05/27/2020	08/13/2020
US	US MINES 3	Active Mines & Mineral Plants Database Listing	USGS	04/14/2011	06/08/2011	09/13/2011
US	PRP	Potentially Responsible Parties	EPA	12/30/2020	01/14/2021	03/05/2021
US	TRIS	Toxic Chemical Release Inventory System	EPA	12/31/2018	08/14/2020	11/04/2020
US	TSCA	Toxic Substances Control Act	EPA	12/31/2016	06/17/2020	09/10/2020
US	FTTS	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA/Office of Prevention, Pesticides and Toxi	04/09/2009	04/16/2009	05/11/2009
US	FTTS INSP	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA	04/09/2009	04/16/2009	05/11/2009
US	HIST FTTS	FIFRA/TSCA Tracking System Administrative Case Listing	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	HIST FTTS INSP	FIFRA/TSCA Tracking System Inspection & Enforcement Case Lis	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	SSTS	Section 7 Tracking Systems	EPA	04/19/2021	04/20/2021	07/16/2021
US	ICIS	Integrated Compliance Information System	Environmental Protection Agency	11/18/2016	11/23/2016	02/10/2017
US	PADS	PCB Activity Database System	EPA	11/19/2020	01/08/2021	03/22/2021
US	MLTS	Material Licensing Tracking System	Nuclear Regulatory Commission	03/08/2021	03/11/2021	05/11/2021
US	RADINFO	Radiation Information Database	Environmental Protection Agency	07/01/2019	07/01/2019	09/23/2019
US	FINDS	Facility Index System/Facility Registry System	EPA	05/05/2021	05/18/2021	08/17/2021
US	RAATS	RCRA Administrative Action Tracking System	EPA	04/17/1995	07/03/1995	08/07/1995
US	RMP	Risk Management Plans	Environmental Protection Agency	05/07/2021	05/13/2021	08/03/2021
US	BRS	Biennial Reporting System	EPA/NTIS	12/31/2017	06/22/2020	11/20/2020
US	PWS	Public Water System Data	EPA	12/17/2013	01/09/2014	10/15/2014
US	INDIAN RESERV	Indian Reservations	USGS	12/31/2014	07/14/2015	01/10/2017
US	INDIAN ODI	Report on the Status of Open Dumps on Indian Lands	Environmental Protection Agency	12/31/1998	12/03/2007	01/24/2008
US	IHS OPEN DUMPS	Open Dumps on Indian Land	Department of Health & Human Services, Indian	04/01/2014	08/06/2014	01/29/2015

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	ABANDONED MINES	Abandoned Mines	Department of Interior	06/15/2021	06/16/2021	08/17/2021
NC	AIRS	Air Quality Permit Listing	Department of Environmental Quality	06/07/2021	06/07/2021	08/27/2021
NC	ASBESTOS	ASBESTOS	Department of Health & Human Services	04/30/2021	05/17/2021	08/03/2021
NC	COAL ASH	Coal Ash Disposal Sites	Department of Environment & Natural Resources	09/10/2020	09/23/2020	12/14/2020
NC	DRYCLEANERS	Drycleaning Sites	Department of Environment & Natural Resources	03/31/2021	06/03/2021	08/26/2021
NC	Financial Assurance 1	Financial Assurance Information Listing	Department of Environment & Natural Resources	04/30/2021	05/03/2021	07/20/2021
NC	Financial Assurance 2	Financial Assurance Information Listing	Department of Environmental & Natural Resourc	10/02/2012	10/03/2012	10/26/2012
NC	Financial Assurance 3	Financial Assurance Information	Department of Environment & Natural Resources	06/02/2021	06/03/2021	08/25/2021
NC	IMD	Incident Management Database	Department of Environment and Natural Resourc	07/30/2021	08/03/2021	08/06/2021
NC	NPDES	NPDES Facility Location Listing	Department of Environment & Natural Resources	04/02/2021	04/27/2021	07/15/2021
NC	SPILLS	Spills Incident Listing	Department of Environment & Natural Resources	06/07/2021	06/08/2021	08/30/2021
NC	SPILLS 80	SPILLS80 data from FirstSearch	FirstSearch	06/14/2001	01/03/2013	03/06/2013
NC	SPILLS 90	SPILLS90 data from FirstSearch	FirstSearch	09/27/2012	01/03/2013	03/06/2013
NC	UIC	Underground Injection Wells Listing	Department of Environment & Natural Resources	10/26/2020	11/30/2020	12/07/2020
US	UXO	Unexploded Ordnance Sites	Department of Defense	12/31/2018	07/02/2020	09/17/2020
US	FUELS PROGRAM	EPA Fuels Program Registered Listing	EPA	05/14/2021	05/14/2021	08/03/2021
US	FEDERAL FACILITY	Federal Facility Site Information listing	Environmental Protection Agency	02/22/2021	03/30/2021	06/17/2021
NC	PCSRP	Petroleum-Contaminated Soil Remediation Permits	Department of Environmental Quality	04/05/2021	04/06/2021	06/24/2021
US	DOCKET HWC	Hazardous Waste Compliance Docket Listing	Environmental Protection Agency	05/06/2021	05/21/2021	08/11/2021
US	ECHO	Enforcement & Compliance History Information	Environmental Protection Agency	04/04/2021	04/06/2021	06/25/2021
NC	AOP	Animal Operation Permits Listing	Department of Environmental Quality	04/01/2020	05/26/2020	05/27/2020
NC	SEPT HAULERS	Permitted Septage Haulers Listing	Department of Environmental Quality	03/25/2021	04/06/2021	06/24/2021
US	MINES MRDS	Mineral Resources Data System	USGS	04/06/2018	10/21/2019	10/24/2019
NC	CCB	Coal Ash Structural Fills (CCB) Listing	Department of Environmental Quality	02/27/2020	07/07/2020	09/23/2020

HISTORICAL USE RECORDS

US	EDR MGP	EDR Proprietary Manufactured Gas Plants	EDR, Inc.			
US	EDR Hist Auto	EDR Exclusive Historical Auto Stations	EDR, Inc.			
US	EDR Hist Cleaner	EDR Exclusive Historical Cleaners	EDR, Inc.			
NC	RG A HWS	Recovered Government Archive State Hazardous Waste Facilitie	Department of Environment, Health and Natural		07/01/2013	12/24/2013
NC	RG A LF	Recovered Government Archive Solid Waste Facilities List	Department of Environment, Health and Natural		07/01/2013	01/13/2014
NC	RG A LUST	Recovered Government Archive Leaking Underground Storage Tan	Department of Environment, Health and Natural		07/01/2013	12/20/2013

STREET AND ADDRESS INFORMATION

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APPENDIX L

City of Lumberton Fire Department Correspondence

From: [West, Chris](#)
To: [Tamara Cagle](#); soxendine@ci.lumberton.nc.us
Subject: RE: Records Inquiry Follow-up
Date: Monday, September 20, 2021 10:31:03 AM

Good Morning,

I have pulled all fire incident records to see if there were any incidents at that location. The fire department has no recorded responses to that area.

Chris West, Interm Fire Chief

Lumberton Fire Department

PO Box 924

Lumberton, NC 28359

910-671-1607

From: Tamara Cagle <tamara@pyramidenvironmental.com>
Sent: Monday, September 20, 2021 10:24 AM
To: soxendine@ci.lumberton.nc.us
Cc: West, Chris <chris.west@ci.lumberton.nc.us>
Subject: Records Inquiry Follow-up

Good Morning, Ms. Oxendine,

On September 8, one of my colleagues sent a request for information about a property where we are performing a Phase I ESA (see below). He indicated that he had not heard back from your office, so I was hoping to follow-up with you. If you have a moment, could you please check your records for any Fire Department responses to 219 Harrill Road, in Lumberton, NC? Specifically, we are looking for any responses that may have been due to fires, hazardous materials/petroleum spills, or environmental incidents. Your help is much appreciated. Thank you for your time.

Sincerely,

Tamara Cagle

Pyramid Environmental & Engineering, P.C.

P.O. Box 16265, Greensboro, NC 27416-0265

Cell: 336-698-5613

Office: 336-335-3174 ext. 135

Fax: 336-691-0648

www.pyramidenvironmental.com



From: Joshua Dasnoit

To: soxendine@ci.lumberton.nc.us

Subject: Fire Department Records Request for 219 Harrill Road, Lumberton NC

Date: Wednesday, September 8, 2021 8:43:00 AM

Hello,

My name is Josh and I'm with Pyramid environmental and Engineers in Greensboro. Pyramid is conducting a Phase I ESA for the property at 219 Harrill Road, Lumberton NC. As part of this assessment, we contact local fire departments to search for records of responses to environmental incidents.

Could you please provide any records of fire department responses to environmental incidents

such as fires, hazardous materials, or petroleum spills for the property located at 219 Harrill Road in

Lumberton, NC. Thank you!

Sincerely,

Josh Dasnoit

From: [Joshua Dasnoit](#)
To: soxendine@ci.lumberton.nc.us
Subject: Fire Department Records Request for 219 Harrill Road, Lumberton NC
Date: Wednesday, September 8, 2021 8:43:00 AM

Hello,

My name is Josh and I'm with Pyramid environmental and Engineers in Greensboro. Pyramid is conducting a Phase I ESA for the property at 219 Harrill Road, Lumberton NC. As part of this assessment, we contact local fire departments to search for records of responses to environmental incidents.

Could you please provide any records of fire department responses to environmental incidents such as fires, hazardous materials, or petroleum spills for the property located at 219 Harrill Road in Lumberton, NC. Thank you!

Sincerely,

Josh Dasnoit



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Contamination and Toxic Substances (Multifamily and Non-Residential Properties) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/site-contamination>

1. How was site contamination evaluated? ¹ Select all that apply.

- ASTM Phase I ESA
- ASTM Phase II ESA
- Remediation or clean-up plan
- ASTM Vapor Encroachment Screening
- None of the above

→ Provide documentation and reports and include an explanation of how site contamination was evaluated in the Worksheet Summary.

Continue to Question 2.

2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)

- No → Explain below.

Based on conclusions made in the Phase I ESA, dated September 20, 2021, there were no on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property. No RECs were identified during the Phase I ESA investigation.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

¹ HUD regulations at 24 CFR § 58.5(i)(2)(ii) require that the environmental review for multifamily housing with five or more dwelling units or non-residential property include the evaluation of previous uses of the site or other evidence of contamination on or near the site. For acquisition and new construction of multifamily and nonresidential properties HUD strongly advises the review include an ASTM Phase I Environmental Site Assessment (ESA) to meet real estate transaction standards of due diligence and to help ensure compliance with HUD’s toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). Also note that some HUD programs require an ASTM Phase I ESA.

Yes → Describe the findings, including any recognized environmental conditions (RECs), in Worksheet Summary below. Continue to Question 3.

3. Can adverse environmental impacts be mitigated?

Adverse environmental impacts cannot feasibly be mitigated → HUD assistance may not be used for the project at this site. Project cannot proceed at this location.

Yes, adverse environmental impacts can be eliminated through mitigation.
→ Provide all mitigation requirements² and documents. Continue to Question 4.

4. Describe how compliance was achieved. Include any of the following that apply: State Voluntary Clean-up Program, a No Further Action letter, use of engineering controls³, or use of institutional controls⁴.

Click here to enter text.

If a remediation plan or clean-up program was necessary, which standard does it follow?

- Complete removal
 Risk-based corrective action (RBCA)

→ Continue to the Worksheet Summary.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

A Phase I ESA was conducted for the proposed subject site. The Phase I ESA was completed on September 20, 2021. During the investigation, a site inspection, regulatory records review, correspondence with local Fire Department, and ASTM Vapor Encroachment screen were completed. Based on the results of the

² Mitigation requirements include all clean-up actions required by applicable federal, state, tribal, or local law. Additionally, provide, as applicable, the long-term operations and maintenance plan, Remedial Action Work Plan, and other equivalent documents.

³ Engineering controls are any physical mechanism used to contain or stabilize contamination or ensure the effectiveness of a remedial action. Engineering controls may include, without limitation, caps, covers, dikes, trenches, leachate collection systems, signs, fences, physical access controls, ground water monitoring systems and ground water containment systems including, without limitation, slurry walls and ground water pumping systems.

⁴ Institutional controls are mechanisms used to limit human activities at or near a contaminated site, or to ensure the effectiveness of the remedial action over time, when contaminants remain at a site at levels above the applicable remediation standard which would allow for unrestricted use of the property. Institutional controls may include structure, land, and natural resource use restrictions, well restriction areas, classification exception areas, deed notices, and declarations of environmental restrictions.

reviews and interviews, no contamination or toxic substances were observed or discovered in connection with the proposed subject site. No on-site or nearby (off-site) toxic, hazardous, or radioactive substances were found that could affect the health and safety of project occupants or conflict with the intended use of the property. No RECs were identified during the Phase I ESA investigation. A copy of the Phase I ESA, dated September 20, 2021, including the regulatory EDR Radius Report and Vapor Encroachment Screen is attached.

ATTACHMENT G:

Endangered Species

Gievers, Andrea

From: Gievers, Andrea
Sent: Wednesday, October 26, 2022 1:30 PM
To: Raleigh@fws.gov
Cc: leigh_mann@fws.gov
Subject: Self-Certification Annual Update - Northeast Pointe II
Attachments: NCORR USFWS Self-Cert NE Pointe II Annual Update 10.26.22.pdf; Original NCORR USFWS Self-Cert NE Pointe II 10.8.21 rdcd.pdf

Hello:

Please accept this annual update of the Self-Certification Letter and supporting No Effect documentation for your records for the Northeast Pointe II Project located at 219 Harrill Road, Lumberton, Robeson County, NC 28358. The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is partially funding this proposed project. The proposed project will involve the construction of a 72-unit affordable multifamily apartment complex in a rapidly developing area of the City of Lumberton which has been identified as an area underserved with affordable rental housing.

The U.S. Fish and Wildlife Service (USFWS) requires that if the project activities (tree cutting, land disturbance) are not completed within one year of the Official Species List creation, then the information required must be updated and resubmitted. The NC Natural Heritage Program (NHP) requires that if the project activities (tree cutting, land disturbance) are not completed within one year of the database query, then the information required must be updated and resubmitted in the Element Occurrences database query. An updated USFWS Official Species List and NC NHP Element Occurrences database query were created on October 18, 2022. Please feel free to contact me if you have any questions. Thank you for your time and assistance!

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Raleigh Ecological Services Field Office
Post Office Box 33726
Raleigh, NC 27636-3726
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:
Project Code: 2023-0005686
Project Name: Northeast Pointe II

October 18, 2022

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*). If your project area contains suitable habitat for any of the federally-listed species on this species list, the proposed action has the potential to adversely affect those species. If suitable habitat is present, surveys should be conducted to determine the species' presence or absence within the project area. The use of this species list and/or North Carolina Natural Heritage program data should not be substituted for actual field surveys.

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered

species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

Migratory Birds: In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity, intentional or unintentional, resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the U.S. Fish and Wildlife Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). For more information regarding these Acts see <https://www.fws.gov/birds/policies-and-regulations.php>.

The MBTA has no provision for allowing take of migratory birds that may be unintentionally killed or injured by otherwise lawful activities. It is the responsibility of the project proponent to comply with these Acts by identifying potential impacts to migratory birds and eagles within applicable NEPA documents (when there is a federal nexus) or a Bird/Eagle Conservation Plan (when there is no federal nexus). Proponents should implement conservation measures to avoid or minimize the production of project-related stressors or minimize the exposure of birds and their resources to the project-related stressors. For more information on avian stressors and recommended conservation measures see <https://www.fws.gov/birds/bird-enthusiasts/threats-to-birds.php>.

In addition to MBTA and BGEPA, Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit <https://www.fws.gov/birds/policies-and-regulations/executive-orders/e0-13186.php>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Code in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
 - Migratory Birds
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Raleigh Ecological Services Field Office

Post Office Box 33726

Raleigh, NC 27636-3726

(919) 856-4520

Project Summary

Project Code: 2023-0005686

Project Name: Northeast Pointe II

Project Type: Residential Construction

Project Description: Northeast Pointe II (proposed project) involves new construction of a 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, 16 three-bedroom units, and a 2,092-square-foot community center building. Amenities will include a 250 square-foot multi-purpose room, resident computer center, playground and tot lot, covered picnic area with tables, a grill, and gazebo. The proposed project site consists of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358. The proposed project site consists of undeveloped land that is situated just east of downtown Lumberton.

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@34.6248101,-78.97622413059167,14z>



Counties: Robeson County, North Carolina

Endangered Species Act Species

There is a total of 5 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Birds

NAME	STATUS
Red-cockaded Woodpecker <i>Picoides borealis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/7614	Endangered
Wood Stork <i>Mycteria americana</i> Population: AL, FL, GA, MS, NC, SC No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8477	Threatened

Reptiles

NAME	STATUS
American Alligator <i>Alligator mississippiensis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/776	Similarity of Appearance (Threatened)

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Flowering Plants

NAME	STATUS
Michaux's Sumac <i>Rhus michauxii</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/5217	Endangered

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

Migratory Birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

-
1. The [Migratory Birds Treaty Act](#) of 1918.
 2. The [Bald and Golden Eagle Protection Act](#) of 1940.
 3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern \(BCC\) list](#) or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
American Kestrel <i>Falco sparverius paulus</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA https://ecos.fws.gov/ecp/species/9587	Breeds Apr 1 to Aug 31
Bald Eagle <i>Haliaeetus leucocephalus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.	Breeds Sep 1 to Jul 31

NAME	BREEDING SEASON
Brown-headed Nuthatch <i>Sitta pusilla</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA	Breeds Mar 1 to Jul 15
Chimney Swift <i>Chaetura pelagica</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds Mar 15 to Aug 25
Prothonotary Warbler <i>Protonotaria citrea</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds Apr 1 to Jul 31
Red-headed Woodpecker <i>Melanerpes erythrocephalus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds May 10 to Sep 10

Probability Of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.

Additional information can be found using the following links:

- Birds of Conservation Concern <https://www.fws.gov/program/migratory-birds/species>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>

Migratory Birds FAQ

Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and

how to interpret them, go the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the [RAIL Tool](#) and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

IPaC User Contact Information

Agency: State of North Carolina
Name: Andrea Gievers
Address: North Carolina Office of Recovery and Resiliency (NCORR)
Address Line 2: 200 Park Offices Drive
City: Durham
State: NC
Zip: 27713
Email: andrea.l.gievers@rebuild.nc.gov
Phone: 8456821700



Roy Cooper, Governor

D. Reid Wilson, Secretary

Misty Buchanan
Deputy Director, Natural Heritage Program

NCNHDE-19672

October 18, 2022

Andrea Gievers
NCORR
P.O. Box 110465
Durham, NC 27709
RE: Northeast Pointe II

Dear Andrea Gievers:

The North Carolina Natural Heritage Program (NCNHP) appreciates the opportunity to provide information about natural heritage resources for the project referenced above.

Based on the project area mapped with your request, a query of the NCNHP database indicates that there are no records for rare species, important natural communities, natural areas, and/or conservation/managed areas within the proposed project boundary. Please note that although there may be no documentation of natural heritage elements within the project boundary, it does not imply or confirm their absence; the area may not have been surveyed. The results of this query should not be substituted for field surveys where suitable habitat exists. In the event that rare species are found within the project area, please contact the NCNHP so that we may update our records.

The attached 'Potential Occurrences' table summarizes rare species and natural communities that have been documented within a one-mile radius of the property boundary. The proximity of these records suggests that these natural heritage elements may potentially be present in the project area if suitable habitat exists. Tables of natural areas and conservation/managed areas within a one-mile radius of the project area, if any, are also included in this report.

If a Federally-listed species is found within the project area or is indicated within a one-mile radius of the project area, the NCNHP recommends contacting the US Fish and Wildlife Service (USFWS) for guidance. Contact information for USFWS offices in North Carolina is found here: <https://www.fws.gov/offices/Directories/ListOffices.cfm?statecode=37>.

Please note that natural heritage element data are maintained for the purposes of conservation planning, project review, and scientific research, and are not intended for use as the primary criteria for regulatory decisions. Information provided by the NCNHP database may not be published without prior written notification to the NCNHP, and the NCNHP must be credited as an information source in these publications. Maps of NCNHP data may not be redistributed without permission.

The NC Natural Heritage Program may follow this letter with additional correspondence if a Dedicated Nature Preserve, Registered Heritage Area, Land and Water Fund easement, or Federally-listed species are documented near the project area.

If you have questions regarding the information provided in this letter or need additional assistance, please contact Rodney A. Butler at rodney.butler@ncdcr.gov or 919-707-8603.

Sincerely,
NC Natural Heritage Program

Natural Heritage Element Occurrences, Natural Areas, and Managed Areas Within a One-mile Radius of the Project Area
 Northeast Pointe II
 October 18, 2022
 NCNHDE-19672

Element Occurrences Documented Within a One-mile Radius of the Project Area

Taxonomic Group	EO ID	Scientific Name	Common Name	Last Observation Date	Element Occurrence Rank	Accuracy	Federal Status	State Status	Global Rank	State Rank
Dragonfly or Damselfly	33769	Somatochlora georgiana	Coppery Emerald	2004-Pre	H?	5-Very Low	---	Significantly Rare	G3G4	S1?
Dragonfly or Damselfly	33789	Triacanthagyna trifida	Phantom Darner	2004-Pre	H?	5-Very Low	---	Significantly Rare	G5	SH
Vascular Plant	19463	Xyris floridana	Florida Yellow-eyed-grass	1963-08-27	H	4-Low	---	Special Concern Vulnerable	G5T4T 5	S1

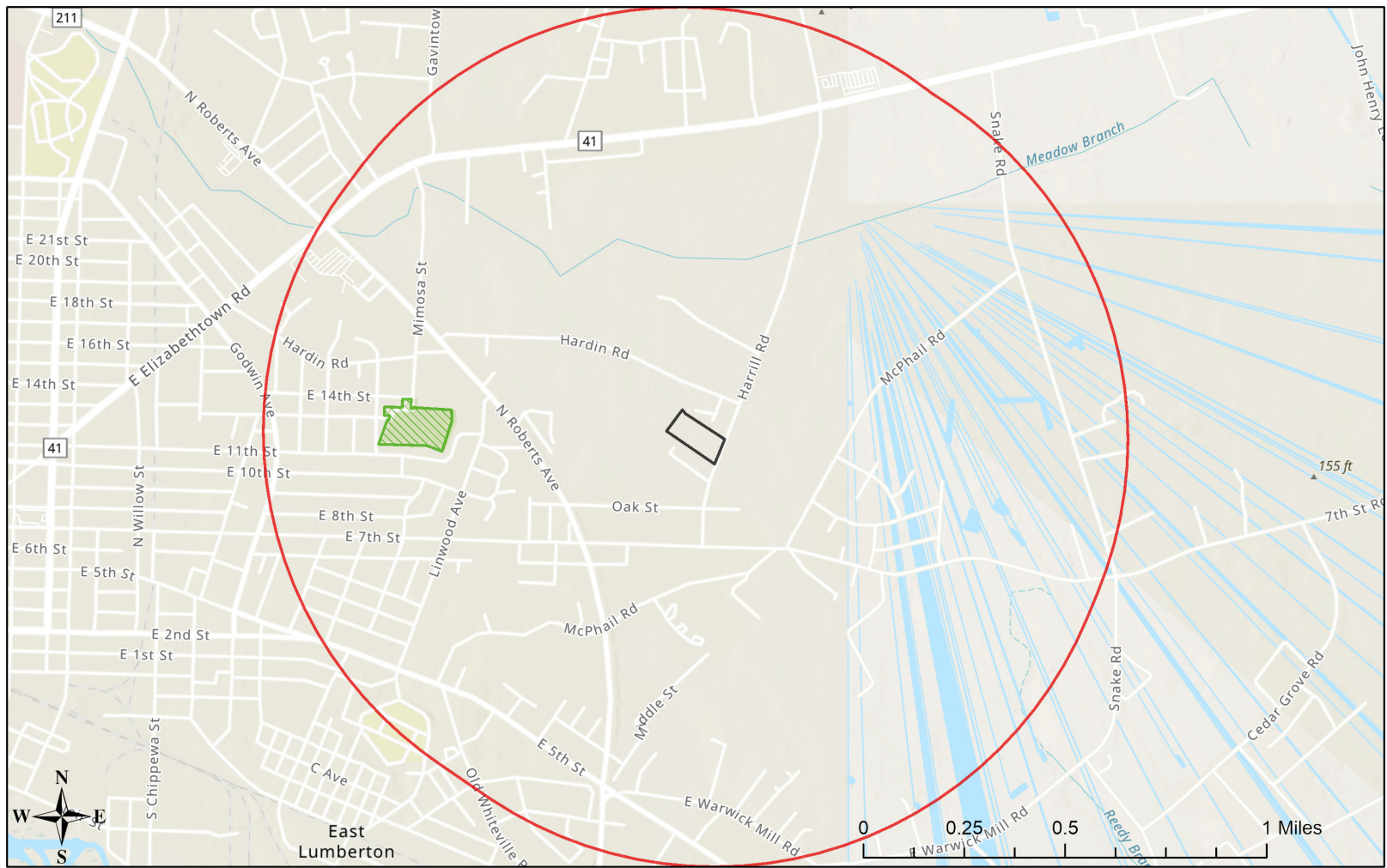
No Natural Areas are Documented Within a One-mile Radius of the Project Area

Managed Areas Documented Within a One-mile Radius of the Project Area




Managed Area Name	Owner	Owner Type
City of Lumberton - Godwin Heights Park	City of Lumberton	Local Government

Definitions and an explanation of status designations and codes can be found at <https://ncnhde.natureserve.org/help>. Data query generated on October 18, 2022; source: NCNHP, Q2, July 2022. Please resubmit your information request if more than one year elapses before project initiation as new information is continually added to the NCNHP database.

NCNHDE-19672: Northeast Pointe II



October 18, 2022

-  Managed Area (MAREA)
-  Buffered Project Boundary
-  Project Boundary

Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community
 Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Species Conclusions Table

Project Name: Northeast Pointe II

Date: 10/18/22

Species / Resource Name	Conclusion	ESA Section 7 / Eagle Act Determination	Notes / Documentation
Red-cockaded Woodpecker	No suitable habitat present	No Effect	No mature open stands of pine are present on site.
Wood Stork	No suitable habitat present	No Effect	No suitable habitat in the form of a freshwater marsh present on site. No tree clearing.
American Alligator	No suitable habitat present	No Effect	No suitable habitat. No species observed.
Monarch Butterfly	No suitable habitat present	No Effect	Agricultural land, see site photos.
Michaux's Sumac	No suitable habitat present	No Effect	No suitable habitat – species prefers basic soils. Agricultural land, see site photos.
Bald Eagle	Unlikely to disturb nesting bald eagles	No Eagle Act Permit Required	No tree clearing, no trees in building site and closest large waterbody is 1.75 miles SW of site.

Acknowledgement: I agree that the above information about my proposed project is true. I used all of the provided resources to make an informed decision about impacts in the immediate and surrounding areas.

Tamara Cagle
 Digitally signed by Tamara Cagle
 Date: 2022.10.26 11:56:27 -04'00'
 Signature /Title

10/26/22
 Date



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Raleigh Field Office
P.O. Box 33726
Raleigh, NC 27636-3726

Date: _____

Self-Certification Letter

Project Name _____

Dear Applicant:

Thank you for using the U.S. Fish and Wildlife Service (Service) Raleigh Ecological Services online project review process. By printing this letter in conjunction with your project review package, you are certifying that you have completed the online project review process for the project named above in accordance with all instructions provided, using the best available information to reach your conclusions. This letter, and the enclosed project review package, completes the review of your project in accordance with the Endangered Species Act of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as amended (ESA), and the Bald and Golden Eagle Protection Act (16 U.S.C. 668-668c, 54 Stat. 250), as amended (Eagle Act). This letter also provides information for your project review under the National Environmental Policy Act of 1969 (P.L. 91-190, 42 U.S.C. 4321-4347, 83 Stat. 852), as amended. A copy of this letter and the project review package must be submitted to this office for this certification to be valid. This letter and the project review package will be maintained in our records.

The species conclusions table in the enclosed project review package summarizes your ESA and Eagle Act conclusions. Based on your analysis, mark all the determinations that apply:

“no effect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, not likely to adversely affect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, likely to adversely affect” determination for the Northern long-eared bat (*Myotis septentrionalis*) and relying on the findings of the January 5, 2016, Programmatic Biological Opinion for the Final 4(d) Rule on the Northern long-eared bat;

“no Eagle Act permit required” determinations for eagles.

We certify that use of the online project review process in strict accordance with the instructions provided as documented in the enclosed project review package results in reaching the appropriate determinations. Therefore, we concur with the “no effect” or “not likely to adversely affect” determinations for proposed and listed species and proposed and designated critical habitat; the “may affect” determination for Northern long-eared bat; and/or the “no Eagle Act permit required” determinations for eagles. Additional coordination with this office is not needed. Candidate species are not legally protected pursuant to the ESA. However, the Service encourages consideration of these species by avoiding adverse impacts to them. Please contact this office for additional coordination if your project action area contains candidate species. Should project plans change or if additional information on the distribution of proposed or listed species, proposed or designated critical habitat, or bald eagles becomes available, this determination may be reconsidered. This certification letter is valid for 1 year. Information about the online project review process including instructions, species information, and other information regarding project reviews within North Carolina is available at our website <http://www.fws.gov>. If you have any questions, you can write to us at Raleigh@fws.gov or please contact Leigh Mann of this office at 919-856-4520, ext. 10.

Sincerely,

/s/Pete Benjamin

Pete Benjamin
Field Supervisor
Raleigh Ecological Services

Enclosures - project review package



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 2524 Reliance Avenue, Apex, North Carolina 27539
 Phone: 919.577.1080 Fax: 919.577.1081
 NGBELS FIRM No. C-2378

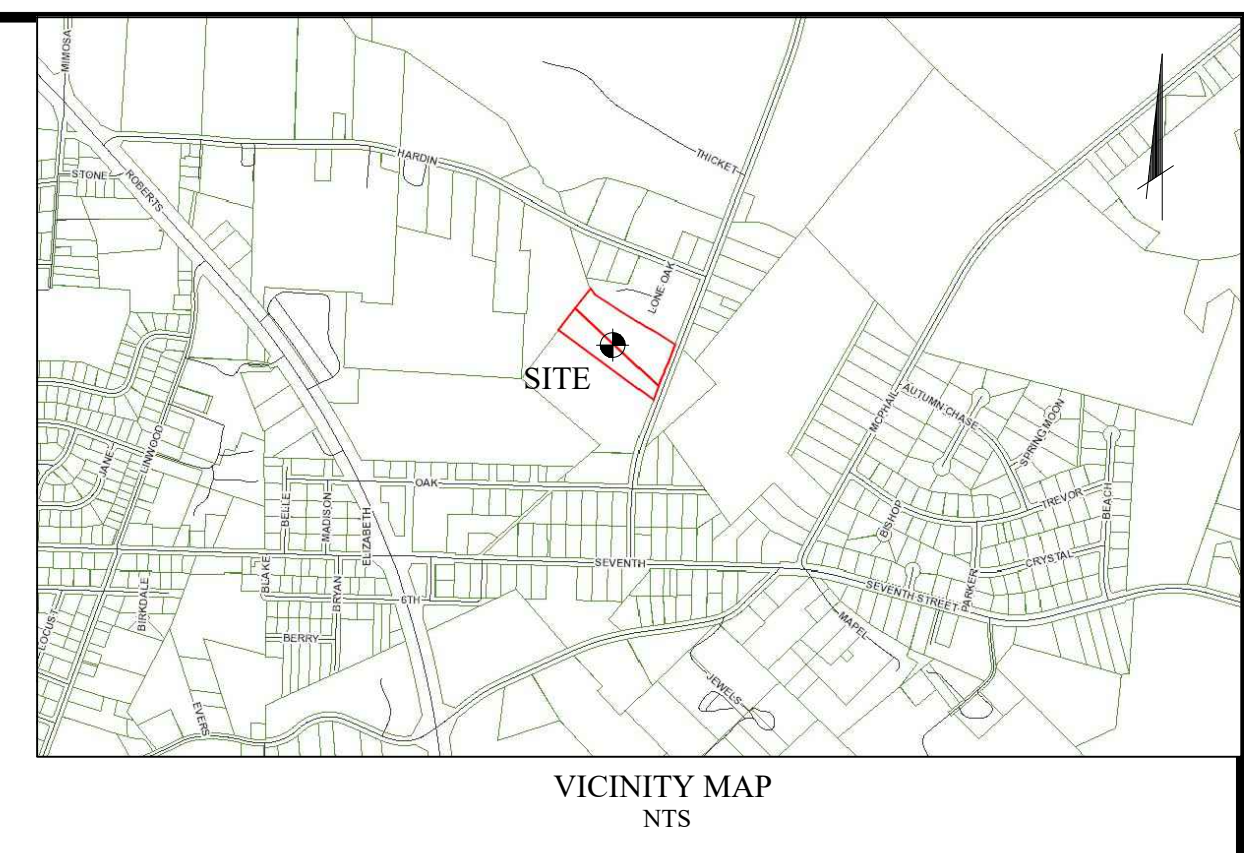


NORTHEAST POINTE PHASE II
SITE PLAN
 HARRILL ROAD
 LUMBERTON, NC 28588
 ROBESON COUNTY

SITE LAYOUT PLAN

Project Engineer: SSL
 Designed By: TSG
 Scale: 1"=40'
 Date: 04-01-2022
 Project #: P210678

SHEET
C2.01



VICINITY MAP
 NTS

SITE DATA

PROJECT:	NORTHEAST POINTE II
PLAN TYPE:	SITE PLAN
ENGINEER:	BATEMAN CIVIL SURVEY TIM GRISSINGER 2524 RELIANCE AVENUE APEX, NC 27539 PHONE: 919-577-1080 EMAIL: t.grissinger@tms.com
OWNER/DEVELOPER:	NORTHEAST POINTE II, LLC FRED G. MILLS JR. 1627 NAVANO DRIVE RALEIGH, NC 27609 PHONE: 919-621-9186 EMAIL: f.millsjr@millsconstructionco.com
ARCHITECT:	JONES ARCHITECTURE, PLLC WAYNE JONES 2005 BEECHAM CIRCLE RALEIGH, NC 27607 PHONE: 919-302-0404 EMAIL: wayne@jonesarchitecture.com
PROPERTY ADDRESS:	0 HARRILL ROAD
NC PIN:	030178034391 & 030178146500
ZONING:	B-2
PROPOSED USE:	RESIDENTIAL MULTIFAMILY
EXISTING TRACT AREA:	6.091 ACRES (COMBINED AREA TO CL) 5.822 ACRES (COMBINED AREA INSIDE RW)
CONSTRUCTION CLASSIFICATION:	WOOD FRAME
ROOF COVERING:	ASPHALT SHINGLES
PROPOSED # UNITS:	12 1-BEDROOM 44 2-BEDROOM 16 3-BEDROOM 72 TOTAL UNITS
BUILDING TYPE AREA:	BUILDING #1 COMM. CENTER = 3,157 GSF BUILDING #2 = 8,733 GSF BUILDING #3 - #6 = 15,255 GSF BUILDING #7 & #8 = 8,733 GSF
MIN. BUILDING SETBACKS:	90,376 TOTAL GSF STREET YARD: 20' FRONT: 10' REAR: 10' SIDE: 10'
MEAN BUILDING HEIGHT:	35'
RIVER BASIN:	LUMBER RIVER
WATERSHED CLASS:	NONE
DISTURBED AREA:	6.00 ACRES
IMPERVIOUS SURFACE AREAS:	EXISTING: 0.00 ACRES PROPOSED: 2.90 ACRES (49.81%)
PARKING REQUIREMENTS:	RESIDENTIAL BUILDINGS: 1.5 PER 1-2 BR UNIT, 2 PER 3-MORE UNIT PLUS 1 PER EVERY FOUR UNITS
PROPOSED:	56 / 1-2 BR UNITS: 84 16 / 3-MORE BR UNITS: 32 TOTAL # UNITS: 72 ADDITIONAL SPACES REQUIRED: 18 TOTAL PARKING PROVIDED: 134 ACCESSIBLE PARKING REQUIRED: 14 ACCESSIBLE PARKING PROVIDED: 14

KEY NOTES

- (A) ACCESSIBLE PARKING AND SIGNAGE, SEE DETAIL SHEET
 - (B) ACCESSIBLE WHEELCHAIR RAMP, SEE DETAIL SHEET
 - (C) DUMPSTER ENCLOSURE WITH GATES, SEE ARCHITECTURAL PLANS
 - (D) PROPOSED PROJECT SIGN, REFER TO ARCHITECTURAL PLANS
 - (E) CROSSWALK, SEE TRAFFIC CONTROL NOTES THIS SHEET
 - (F) GAZEBO, REFER TO ARCHITECTURAL PLANS
 - (G) PICNIC SHELTER, TABLES, GRILL, REFER TO ARCHITECTURAL PLANS
 - (H) 6" ORNAMENTAL ALUMINUM FENCE, COORDINATE SPECIFICS WITH OWNER
 - (I) 5' PEDESTRIAN ALUMINUM GATE, COORDINATE SPECIFICS WITH OWNER
 - (J) PERMANENTLY ANCHORED, WEATHER RESISTENT BENCH WITH A BACK, OWNER TO COORDINATE MANUFACTURER AND COLOR SPECIFICS
 - (K) 5-12 PLAY EQUIPMENT BY PALMETTO PLAYSETS, LLC (864-233-5867) MODEL J-1620 OR APPROVED EQUAL. EQUIPMENT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. OWNER TO COORDINATE FINAL SELECTION AND MANUFACTURER AND ENSURE REQUIREMENTS ARE MET. PLAYGROUND EQUIPMENT AND PLAYGROUND SURFACE MUST MEET ACCESSIBILITY CODE SECTION 1108
 - (L) 2-5 PLAY EQUIPMENT BY PALMETTO PLAYSETS, LLC (864-233-5867) MODEL J-1648 OR APPROVED EQUAL. EQUIPMENT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. OWNER TO COORDINATE FINAL SELECTION AND MANUFACTURER AND ENSURE REQUIREMENTS ARE MET. PLAYGROUND EQUIPMENT AND PLAYGROUND SURFACE MUST MEET ACCESSIBILITY CODE SECTION 1108
 - (M) STOP BAR WITH STOP SIGN, TRAFFIC CONTROL NOTES THIS SHEET
 - (N) LIGHT POLE, MAXIMUM POLE HEIGHT OF 25'-0". OWNER TO COORDINATE MANUFACTURER AND LIGHTING SPECIFICS
 - (O) END CURB AND GUTTER, SEE DETAIL SHEET
- CONCRETE SIDEWALK, SEE DETAIL SHEET
 - HEAVY-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - HEAVY-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET
 - LIGHT-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET

GENERAL NOTES

- ALL CURVE RADII ARE 5 FT AT FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL PARKING SPACES SHALL BE 9' WIDE X 19' DEEP MIN.
- VAC - VAN ACCESSIBLE PARKING SPACE.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO TOWN OF LUMBERTON STANDARDS AND SPECIFICATIONS.
- SOLID WASTE DUMPSTER AREAS WILL BE SCREENED WITH MATERIALS CONSISTENT WITH THE EXTERIOR MATERIALS OF THE PROPOSED STRUCTURES.
- ALL HVAC AND MECHANICAL EQUIPMENT WILL BE GROUND MOUNTED AND SHALL BE SCREENED FROM PUBLIC VIEW. REFER TO SHEET C6.01 AND ARCHITECTURAL PLANS.
- ALL CURBING SHALL BE 24" STANDARD CURB AND GUTTER. SEE DETAIL SHEET.
- ALL SIDEWALKS SHALL BE 5-FEET IN WIDTH, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, ALL SIDEWALK SHALL BE ADA COMPLIANT. (STEPS NOT APPLICABLE)
 - 5% MAX LONGITUDINAL SLOPE
 - 2% MAX CROSS SLOPE
 - 2% MAX SLOPE IN ANY DIRECTION AT LANDINGS AND TURNING AREAS.

TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

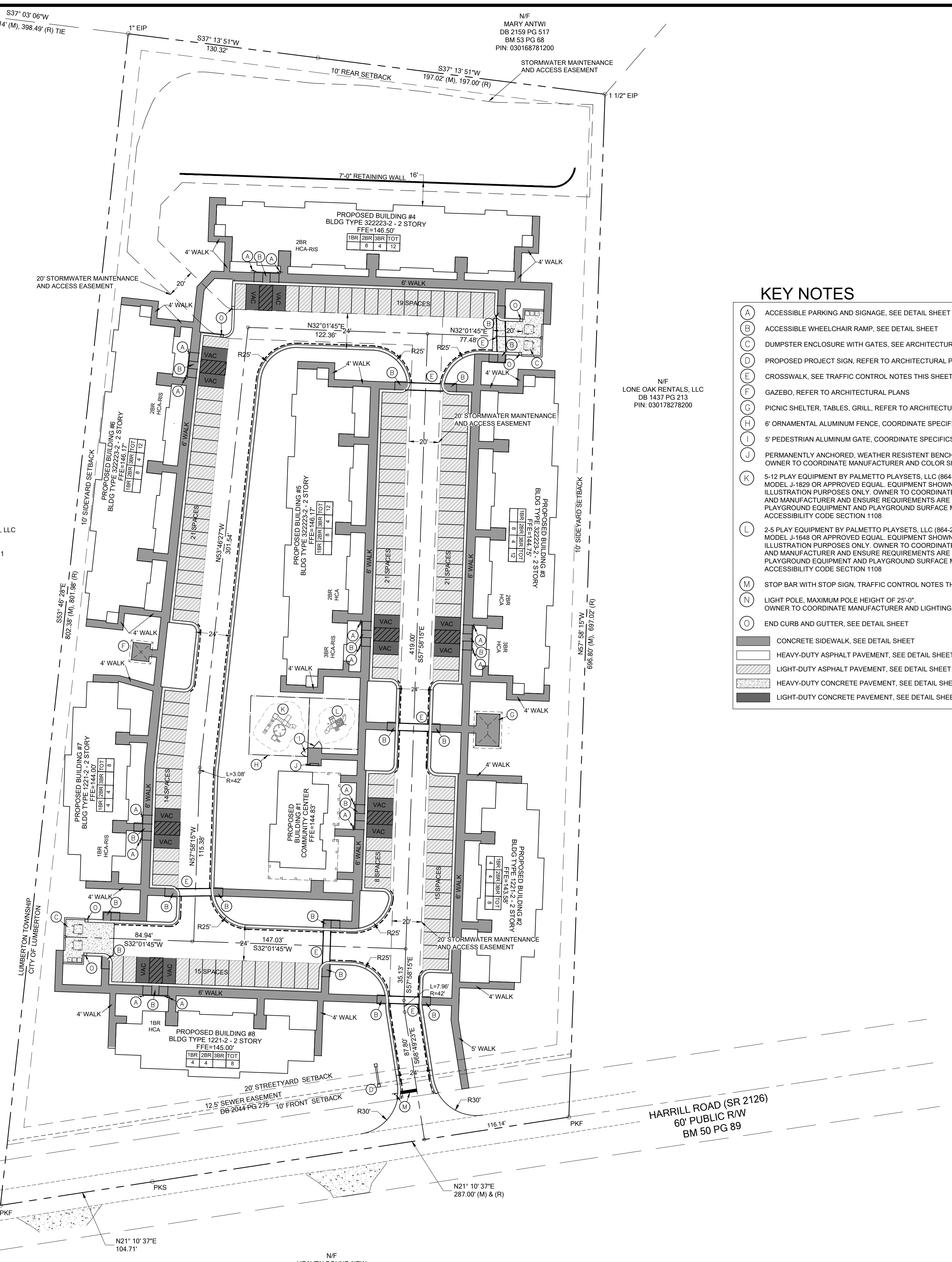
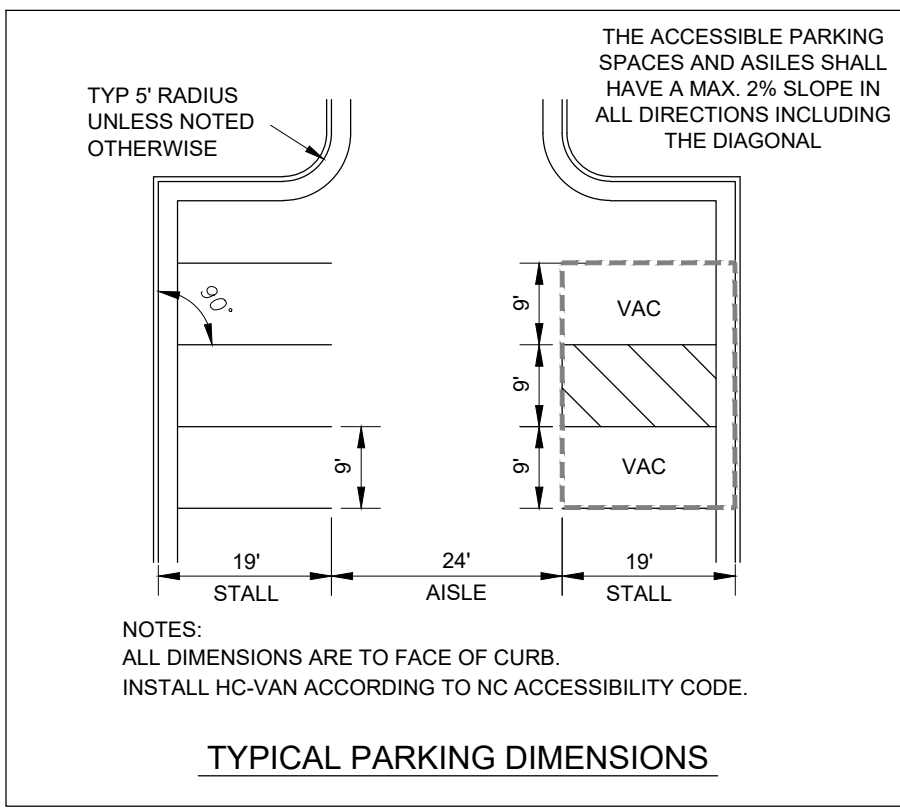
SIGN	MUTCD STD.	SIZE
VAN ACCESSIBLE	R7-8a	12"x6"
RESERVE PARKING	R7-8	12"x18"
STOP SIGN	R1-1	24"x24"
- ALL SIGNS SHALL BE MOUNTED WITH 5-FIT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB. GALV. STEEL U-CHANNEL POST SET IN 18-IN DEEP x 8-IN DIA. CONCRETE FOOTING. SIGNS MOUNTED ADJACENT TO SIDEWALKS MUST BE MOUNTED WITH 7-FIT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF SIGN.

MARKING	NCDOT STD.	SIZE	COLOR
PARKING SPACE	-	4-IN	WHT.
NO PARKING - FIRE LANE *	-	4-IN	YEL.
CROSSWALK	1205.07	4-IN	WHT.
STOP BAR	1205.01	24-IN	WHT.

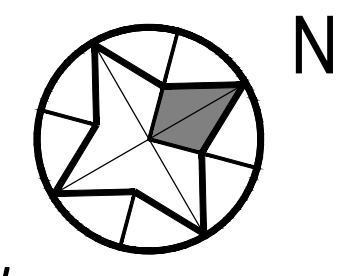
*NO PARKING - FIRE LANE MARKINGS SHALL CONSIST OF 4" SOLID YELLOW STRIPE AND 8" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS. STRIPING SHALL BE PLACED AS INDICATED BY THE FOLLOWING LINETYPE
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.

MARKING	NCDOT STD.	SIZE	COLOR
PARKING SPACE	-	4-IN	WHT.
NO PARKING - FIRE LANE *	-	4-IN	YEL.
CROSSWALK	1205.07	4-IN	WHT.
STOP BAR	1205.01	24-IN	WHT.

*NO PARKING - FIRE LANE MARKINGS SHALL CONSIST OF 4" SOLID YELLOW STRIPE AND 8" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS. STRIPING SHALL BE PLACED AS INDICATED BY THE FOLLOWING LINETYPE
- ALL PAVEMENT MARKINGS SHALL BE RESIN TYPE PAINT AS REQUIRED BY THE TOWN.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



SCALE 1"=40'
 0 40' 80'

1st REVISION	05/16/2022	NCDEQ COMMENTS
2nd REVISION	08/24/2022	REMOVED BIKE RACKS
3rd REVISION	09/14/2022	NCHFA COMMENTS

P:\2021 Projects\210678 Northeast Point Lumberton\ENGINEERING\210678 Northeast Point_Laying



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.



13: Adjacent property to the northwest, showing agricultural and residential land use.



14: Tributary of Meadow Branch flowing along northeastern boundary of subject property.



15: Adjacent property to the northeast (Lone Oak Mobile Home Park).



16: Adjacent property to the east (Heaven Bound New Vision Church).



17: Adjacent property to the southwest (Northeast Pointe Apartments), facing NE along Harrill Road.



18: Northeast Pointe Liftstation #61 on adjacent property to the SW, facing south along Harrill Road.

Gievers, Andrea

From: Ellis, John <john_ellis@fws.gov>
Sent: Tuesday, November 23, 2021 5:06 PM
To: Mann, Leigh; Gievers, Andrea
Subject: Re: [EXTERNAL] Confirmed on 11/8/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Northeast Pointe II Apts)

CAUTION: External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

As stated previously, the Service agrees with the determinations.

John

From: Mann, Leigh <leigh_mann@fws.gov>
Sent: Tuesday, November 23, 2021 9:08 AM
To: Ellis, John <john_ellis@fws.gov>
Subject: Fw: [EXTERNAL] Confirmed on 11/8/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Northeast Pointe II Apts)

I'm not sure exactly what she is looking for as far as a response but could you please look at this and respond as necessary?

Leigh Mann
Office Automation
USFWS Raleigh ES FO
551-F Pylon Drive
Raleigh, NC 27606
Office: 1-919-856-4520 ext. 10
Fax: 1-919-856-4556
leigh_mann@fws.gov

NOTE: This email correspondence and any attachments to and from this sender is subject to the Freedom of Information Act (FOIA) and may be disclosed to third parties.

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Thursday, November 18, 2021 1:11 PM
To: Raleigh, FW4 <raleigh@fws.gov>
Cc: Mann, Leigh <leigh_mann@fws.gov>
Subject: [EXTERNAL] Confirmed on 11/8/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Northeast Pointe II Apts)

This email has been received from outside of DOI - Use caution before clicking on links, opening attachments, or responding.

Hello:

This is a notification and confirmation for our records that the Northeast Pointe II Apartments proposed project located at 219 Harrill Road, Lumberton, NC is requesting that the North Carolina Office of Recovery and Resiliency (NCORR) as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) consider funding the proposed project in part by the North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

The 10-step Project Review Package and Request for Informal Consultation were prepared by Pyramid Environmental was **completed and submitted** to your office for review on October 8, 2021. John Ellis at USFWS – Raleigh ES Field Office responded that the proposed project is not likely to adversely affect any federally-listed endangered or threatened species, their formally designated critical habitat, or species currently proposed for listing under the ESA/BGEPA at this site. The 11/8/21 USFWS response is attached for your reference.

NCORR kindly requests *acknowledgement* from USFWS that they have received this determination *on behalf of NCORR* that the proposed project is **Not Likely to Adversely Affect** on migratory birds, endangered/threatened species, or critical habitat for species under USFWS jurisdiction.

If you have any questions or require additional information regarding this request, please feel free to contact me at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700

Email correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized state official.



United States Department of the Interior

FISH AND WILDLIFE SERVICE

Raleigh ES Field Office
551-F Pylon Drive
Raleigh, North Carolina 27606

November 8, 2021

Brett Higgins
Pyramid Environmental & Engineering, P.C.
PO Box 16265
Greensboro, NC 27416

Re: Northeast Pointe II Apartments – Robeson County

Dear Mr. Higgins:

This letter is to inform you that the Service has established an on-line project planning and consultation process which assists developers and consultants in determining whether a federally-listed species or designated critical habitat may be affected by a proposed project. For future projects, please visit the Raleigh Field Office's project planning website at <https://www.fws.gov/raleigh/pp.html>. If you are only searching for a list of species that may be present in the project's Action Area, then you may use the Service's Information, Planning, and Consultation System (IPaC) website to determine if any listed, proposed, or candidate species may be present in the Action Area and generate a species list. The IPaC website may be viewed at <https://ecos.fws.gov/ipac/>. The IPaC web site contains a complete and frequently updated list of all endangered threatened species protected by the provisions of the Endangered Species Act of 1973, as amended (16 U.S.C. 1531 et seq.)(Act), a list of federal species of concern¹ that are known to occur in each county in North Carolina, and other resources.

Section 7 of the Act requires that all federal agencies (or their designated non-federal representative), in consultation with the Service, insure that any action federally authorized, funded, or carried out by such agencies is not likely to jeopardize the continued existence of any federally-listed endangered or threatened species. A biological assessment or evaluation may be prepared to fulfill that requirement and in determining whether additional consultation with the Service is necessary. In addition to the federally-protected species list, information on the species' life histories and habitats and information on completing a biological assessment or

¹ The term "federal species of concern" refers to those species which the Service believes might be in need of concentrated conservation actions. Federal species of concern receive no legal protection and their designation does not necessarily imply that the species will eventually be proposed for listing as a federally endangered or threatened species. However, we recommend that all practicable measures be taken to avoid or minimize adverse impacts to federal species of concern.

evaluation and can be found on our web page at <http://www.fws.gov/raleigh>. Please check the web site often for updated information or changes.

If your project contains suitable habitat for any of the federally-listed species known to be present within the county where your project occurs, the proposed action has the potential to adversely affect those species. As such, we recommend that surveys be conducted to determine the species' presence or absence within the project area. The use of North Carolina Natural Heritage program data should not be substituted for actual field surveys.

If you determine that the proposed action may affect (i.e., likely to adversely affect or not likely to adversely affect) a federally-protected species, you should notify this office with your determination, the results of your surveys, survey methodologies, and an analysis of the effects of the action on listed species, including consideration of direct, indirect, and cumulative effects, before conducting any activities that might affect the species. If you determine that the proposed action will have no effect (i.e., no beneficial or adverse, direct or indirect effect) on federally listed species, then you are not required to contact our office for concurrence (unless an Environmental Impact Statement is prepared). However, you should maintain a complete record of the assessment, including steps leading to your determination of effect, the qualified personnel conducting the assessment, habitat conditions, site photographs, and any other related articles.

With regard to the above-referenced project, we offer the following remarks. Our comments are submitted pursuant to, and in accordance with, provisions of the Endangered Species Act.

Based on the information provided and other information available, it appears that the proposed action is not likely to adversely affect any federally-listed endangered or threatened species, their formally designated critical habitat, or species currently proposed for listing under the Act at these sites. We believe that the requirements of section 7(a)(2) of the Act have been satisfied for your project. Please remember that obligations under section 7 consultation must be reconsidered if: (1) new information reveals impacts of this identified action that may affect listed species or critical habitat in a manner not previously considered; (2) this action is subsequently modified in a manner that was not considered in this review; or, (3) a new species is listed or critical habitat determined that may be affected by the identified action.

However, the Service is concerned about the potential impacts the proposed action might have on aquatic species. Aquatic resources are highly susceptible to sedimentation. Therefore, we recommend that all practicable measures be taken to avoid adverse impacts to aquatic species, including implementing directional boring methods and stringent sediment and erosion control measures. An erosion and sedimentation control plan should be submitted to and approved by the North Carolina Division of Land Resources, Land Quality Section prior to construction. Erosion and sedimentation controls should be installed and maintained between the construction site and any nearby down-gradient surface waters. In addition, we recommend maintaining natural, vegetated buffers on all streams and creeks adjacent to the project site.

The North Carolina Wildlife Resources Commission has developed a Guidance Memorandum (a copy can be found on our website at (<http://www.fws.gov/raleigh>) to address and mitigate secondary and cumulative impacts to aquatic and terrestrial wildlife resources and water quality.

We recommend that you consider this document in the development of your projects and in completing an initiation package for consultation (if necessary).

We hope you find our web page useful and informative and that following the process described above will reduce the time required, and eliminate the need, for general correspondence for species' lists. If you have any questions or comments, please contact John Ellis of this office at (919) 856-4520 ext. 26.

Sincerely,

A handwritten signature in blue ink that reads "John Ellis for". The signature is written in a cursive, flowing style.

Pete Benjamin
Field Supervisor



October 8, 2021

Mr. John Ellis
 Fish & Wildlife Biologist
 U.S. Fish and Wildlife Service
 551-F Pylon Drive
 Raleigh, NC 27606

Email: john_ellis@fws.gov

**Re: Request for Informal Consultation
 Northeast Pointe II Proposed Apartments
 219 Harrill Road, Lumberton, NC**

Dear Mr. Ellis,

The developer of the Northeast Pointe II proposed apartments is applying for funding using the Low-Income Housing Tax Credits (LIHTC) and Community Development Block Grant (CDBG) Disaster Recovery Programs for the construction of the project known as Northeast Pointe II, a proposed 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed site consists of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina. The project will also include a 2,092-square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The location of the site is shown on the attached USGS map, tax map, aerial photograph, and preliminary site plan. The subject site is currently being used for agricultural purposes. Since at least 2011, a rotation of corn or soybean crops have been grown on the land. Photographs from the site inspection are also attached.

Based on the Official Species List, generated using the U.S. Fish and Wildlife Service IPaC planning tool (attached), obtained on September 27, 2021, candidate, threatened, or endangered species could potentially be impacted by the proposed development and are listed below.

Table of Candidate, Threatened, or Endangered Species
 Proposed Northeast Pointe II, Lumberton, NC

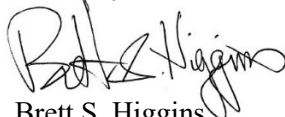
Species	Critical Habitat	Status	Notes
Birds			
Red-cockaded Woodpecker <i>(Picoides borealis)</i>	None	Endangered	No critical habitat has been designated for this species.
Wood Stork <i>(Mycteria americana)</i>	None	Threatened	No critical habitat has been designated for this species.

Species	Critical Habitat	Status	Notes
Reptiles			
American Alligator <i>(Alligator mississippiensis)</i>	None	Threatened (Similarity of Appearance)	No critical habitat has been designated for this species.
Insects			
Monarch Butterfly <i>(Danaus plexippus)</i>	None	Candidate	No critical habitat has been designated for this species.
Flowering Plants			
Michaux's Sumac <i>(Rhus michauxii)</i>	None	Endangered	No critical habitat has been designated for this species.

No species surveys, habitat evaluations, etc., have been conducted at the site. Species profiles, showing the species range information, were generated using the Environmental Conservation Online System (ECOS) and are also attached.

With this letter, we request your informal review and comment per Section 7 of the Endangered Species Act and seek your recommendations to prevent or minimize potential impacts to listed threatened or endangered species or their critical habitat. We respectfully request a response as soon as possible.

Sincerely,



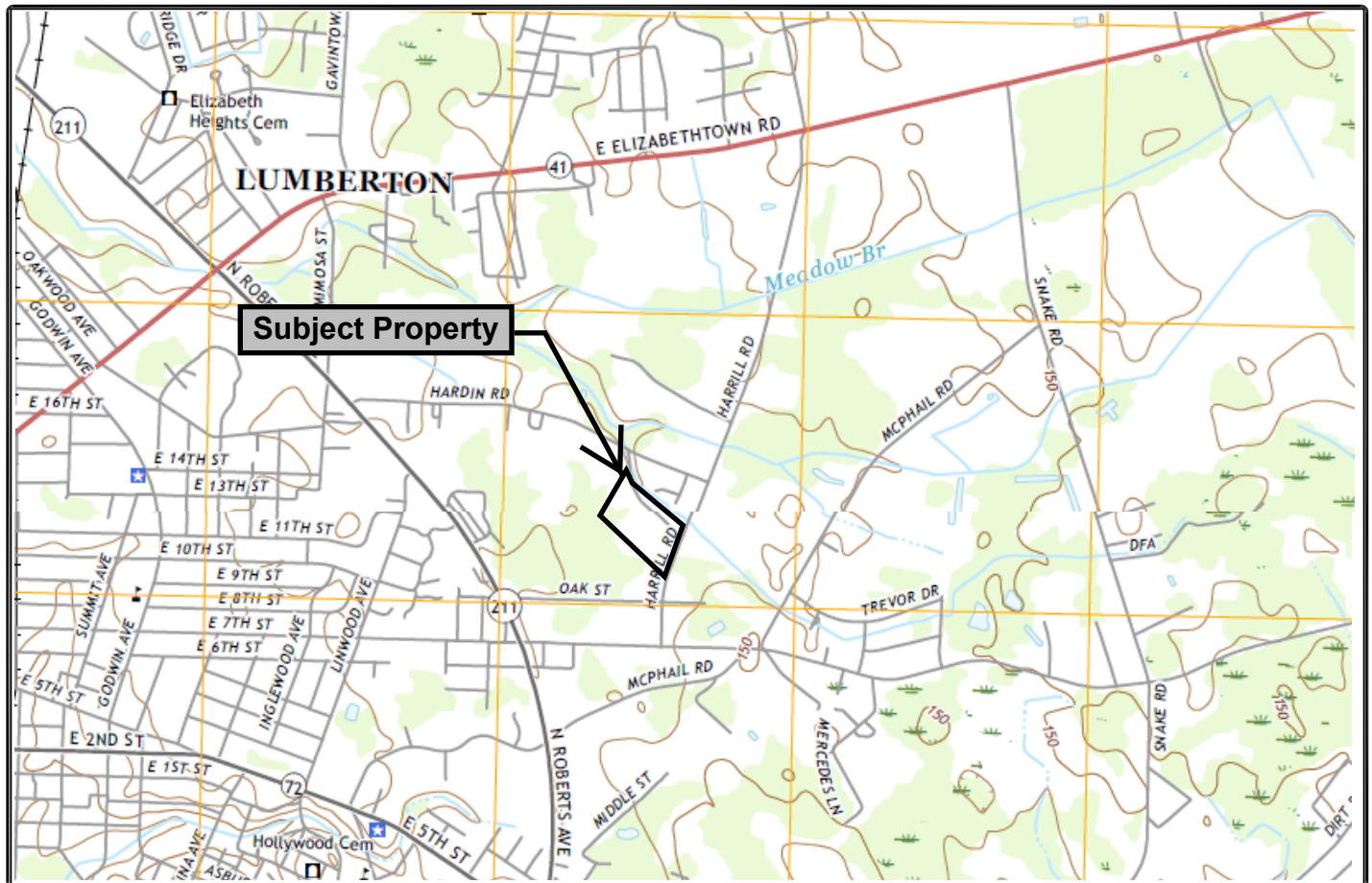
Brett S. Higgins
Sr. Project Manager

Attachments: As stated.

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina

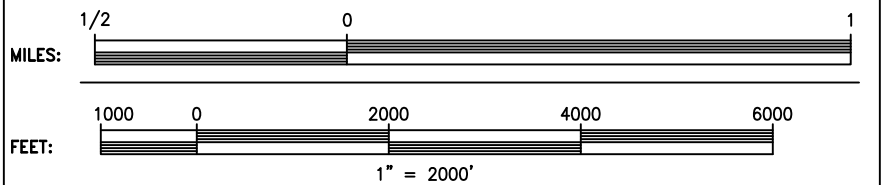


USGS IDENTIFICATION

SCALES

USGS 7.5 MINUTE MAP
 ORIGINAL DATE: 2019
 PHOTOREVISION DATE: N/A

Northeast & Southeast
 Lumberton, NC

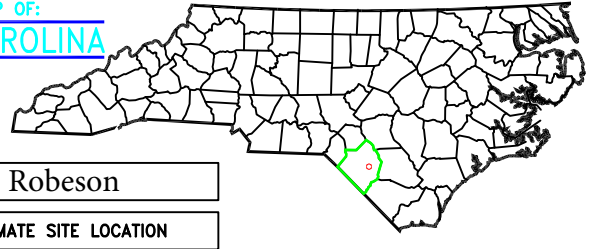


	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
 PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH

COUNTY MAP OF: NORTH CAROLINA



COUNTY: Robeson
 APPROXIMATE SITE LOCATION



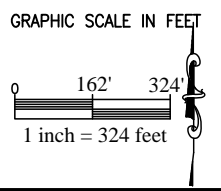
CLIENT: Mills Construction Co., Inc.
 PROPERTY NAME: 219 Harrill Road
 CITY: Lumberton STATE: North Carolina
 TITLE: Topographic Map

SCALE: 1" = 2,000'
 DATE: 09/02/21
 DRAWING NAME: USGSTOPO
 DRAWN BY: JRD
 CHECK BY: BSH
 JOB NO.: 2021-258
 TYPE: PHASE I
 FIGURE NUMBER: 1

NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

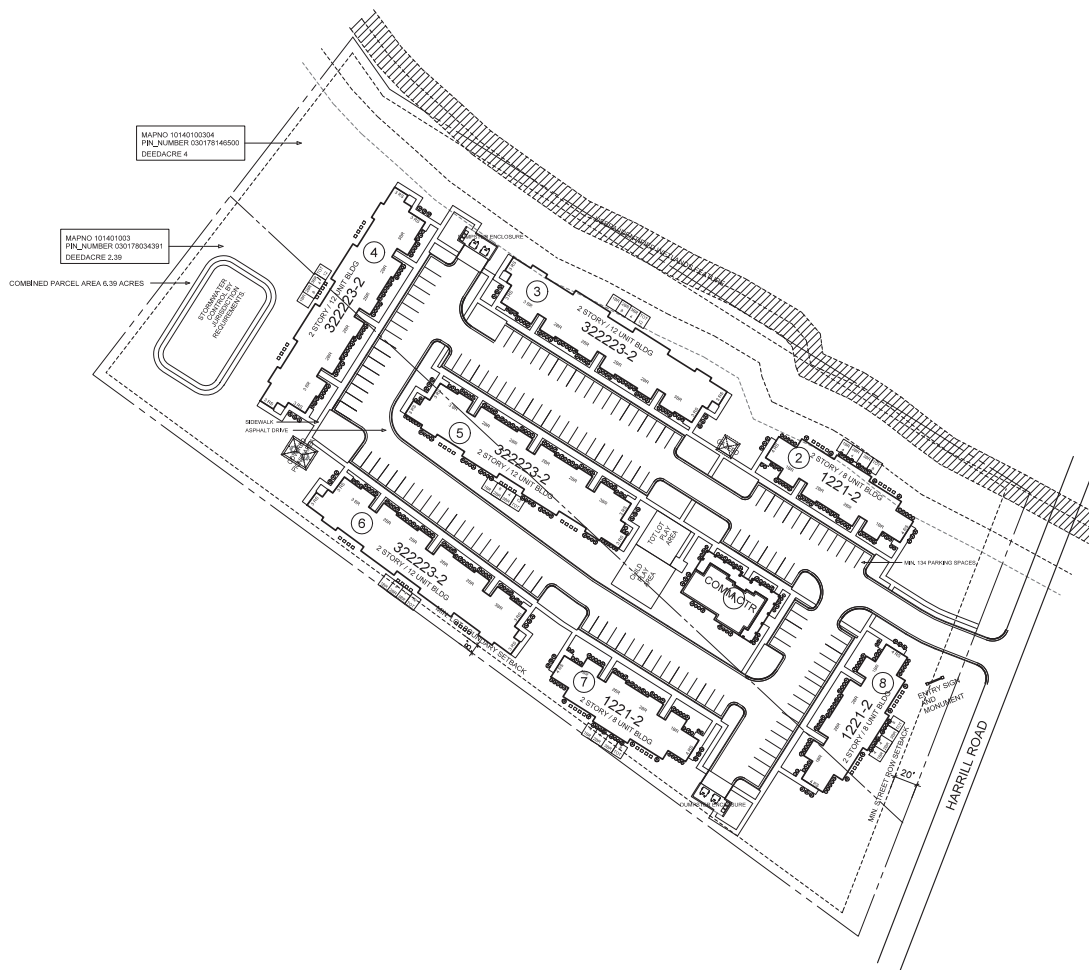


	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3
	<p>GRAPHIC SCALE IN FEET</p>			



MAPNO: 10140100304
 PPLNUMBER: 030178146500
 DEEDACRE: 4

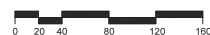
MAPNO: 101401003
 PPLNUMBER: 030178034391
 DEEDACRE: 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

THESE DRAWINGS ARE THE
 PROPERTY OF
 JONES ARCHITECTURE, PLLC
 AND MAY NOT BE REPRODUCED
 WITHOUT WRITTEN PERMISSION.

COPYRIGHT BY
 JONES ARCHITECTURE, PLLC
 ALL RIGHTS RESERVED.

JA JOB#: 2001.12
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00

NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS
 DISTRIBUTION WITHIN PROJECT, BY UNIT CLASS, ETC.), ACCESSIBLE ROUTES,
 AND ADA, ETC. REQUIREMENTS ARE NOT ILLUSTRATED ON THIS PLAN. FINAL
 CONSTRUCTION DOCUMENTS WILL BE PREPARED TO BE IN COMPLIANCE WITH
 THOSE REQUIREMENTS.

NOTE THAT THIS IS A PRELIMINARY SITE PLAN, AND IS AN APPROXIMATION OF
 EXISTING CONDITIONS BASED ON LIMITED INFORMATION.
 THE PROPERTY BOUNDARY, AND OTHER EXISTING SITE INFORMATION,
 MAY HAVE BEEN APPROXIMATED FROM GIS OR AERIAL INFORMATION
 PROVIDED BY OTHERS, THE ACCURACY OF WHICH IS UNKNOWN. THIS
 DOCUMENT IS NOT INTENDED FOR THE CONVEYANCE OF PROPERTY
 RIGHTS.

THIS IS A PRELIMINARY PLAN TO ILLUSTRATE A DESIGN CONCEPT ONLY.
 EXISTING BOUNDARY, RIGHTS OF WAY, EASEMENTS, ZONING CONDITIONS,
 SETBACKS, PARKING REQUIREMENTS, STORMWATER REQUIREMENTS,
 UTILITY ACCESS, SEWER ACCESS, WETLANDS, RETAINING WALLS,
 EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS
 AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.



13: Adjacent property to the northwest, showing agricultural and residential land use.



14: Tributary of Meadow Branch flowing along northeastern boundary of subject property.



15: Adjacent property to the northeast (Lone Oak Mobile Home Park).



16: Adjacent property to the east (Heaven Bound New Vision Church).



17: Adjacent property to the southwest (Northeast Pointe Apartments), facing NE along Harrill Road.



18: Northeast Pointe Liftstation #61 on adjacent property to the SW, facing south along Harrill Road.



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Raleigh Ecological Services Field Office
Post Office Box 33726
Raleigh, NC 27636-3726
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:
Consultation Code: 04EN2000-2021-SLI-2298
Event Code: 04EN2000-2021-E-04743
Project Name: Northeast Pointe II

September 27, 2021

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The species list generated pursuant to the information you provided identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

Section 7 of the Act requires that all federal agencies (or their designated non-federal representative), in consultation with the Service, insure that any action federally authorized, funded, or carried out by such agencies is not likely to jeopardize the continued existence of any federally-listed endangered or threatened species. A biological assessment or evaluation may be prepared to fulfill that requirement and in determining whether additional consultation with the Service is necessary. In addition to the federally-protected species list, information on the species' life histories and habitats and information on completing a biological assessment or

evaluation and can be found on our web page at <http://www.fws.gov/raleigh>. Please check the web site often for updated information or changes

If your project contains suitable habitat for any of the federally-listed species known to be present within the county where your project occurs, the proposed action has the potential to adversely affect those species. As such, we recommend that surveys be conducted to determine the species' presence or absence within the project area. The use of North Carolina Natural Heritage program data should not be substituted for actual field surveys.

If you determine that the proposed action may affect (i.e., likely to adversely affect or not likely to adversely affect) a federally-protected species, you should notify this office with your determination, the results of your surveys, survey methodologies, and an analysis of the effects of the action on listed species, including consideration of direct, indirect, and cumulative effects, before conducting any activities that might affect the species. If you determine that the proposed action will have no effect (i.e., no beneficial or adverse, direct or indirect effect) on federally listed species, then you are not required to contact our office for concurrence (unless an Environmental Impact Statement is prepared). However, you should maintain a complete record of the assessment, including steps leading to your determination of effect, the qualified personnel conducting the assessment, habitat conditions, site photographs, and any other related articles.

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

Not all Threatened and Endangered Species that occur in North Carolina are subject to section 7 consultation with the U.S Fish and Wildlife Service. Atlantic and shortnose sturgeon, sea turtles, when in the water, and certain marine mammals are under purview of the National Marine Fisheries Service. If your project occurs in marine, estuarine, or coastal river systems you should also contact the National Marine Fisheries Service, <http://www.nmfs.noaa.gov/>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office. If you have any questions or comments, please contact John Ellis of this office at john_ellis@fws.gov.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Raleigh Ecological Services Field Office

Post Office Box 33726

Raleigh, NC 27636-3726

(919) 856-4520

Project Summary

Consultation Code: 04EN2000-2021-SLI-2298

Event Code: Some(04EN2000-2021-E-04743)

Project Name: Northeast Pointe II

Project Type: DEVELOPMENT

Project Description: The developer of the Northeast Pointe II proposed apartments is applying for funding using the Low-Income Housing Tax Credits (LIHTC) and Community Development Block Grant (CDBG) Disaster Recovery Programs for the construction of the project known as Northeast Pointe II, a proposed 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed site consists of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina. The project will also include a 2,092-square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The site is adjacent to two City of Lumberton designated Opportunity Zones (Census Tracts: 9606 and 9608.01) and has been identified as an area under served with affordable rental housing. The proposed units will help fulfill the housing needs of the community.

The proposed site contains approximately 6.39 acres of undeveloped land and is situated just east of downtown Lumberton. The proposed Northeast Pointe II apartments will be compatible with the surrounding land use and will provide for the need for quality, affordable multi-family housing. The property is conveniently located within three miles of downtown Lumberton and is within one to two miles of many of the necessary services required by individuals and families, including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers.

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@34.6248277,-78.9762322993299,14z>



Counties: Robeson County, North Carolina

Endangered Species Act Species

There is a total of 5 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Birds

NAME	STATUS
Red-cockaded Woodpecker <i>Picoides borealis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/7614	Endangered
Wood Stork <i>Mycteria americana</i> Population: AL, FL, GA, MS, NC, SC No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8477	Threatened

Reptiles

NAME	STATUS
American Alligator <i>Alligator mississippiensis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/776	Similarity of Appearance (Threatened)

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Flowering Plants

NAME	STATUS
Michaux's Sumac <i>Rhus michauxii</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/5217	Endangered

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.



U.S. Fish & Wildlife Service

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Red-cockaded woodpecker (*Picoides borealis*)

[Range Information](#) | [Candidate Info](#) | [Federal Register](#)
| [Recovery](#) | [Critical Habitat](#) | [SSA](#) | [Conservation Plans](#)
| [Petitions](#) | [Biological Opinions](#) | [Life History](#)

Taxonomy: [View taxonomy in ITIS](#)

Listing Status: Endangered

Where Listed: **WHEREVER FOUND**



General Information

22 cm. Rather small black-and-white woodpecker with longish bill. Above black barred white. Below white with black spots on flanks. Black crown, nape and moustachial stripe border white cheeks and side of neck. Male has small red mark on the side of nape. Juvenile browner with variable extent of red on crown.

The species historical range included Alabama, Arkansas, Florida, Georgia, Louisiana, Mississippi, North Carolina, Oklahoma, South Carolina, Texas, Virginia. See below for information about where the species is known or believed to occur.

Current Listing Status Summary

Show entries

Status	Date Listed	Lead Region	Where
Endangered	10-13-1970	Southeast Region (Region 4)	Where

Showing 1 to 1 of 1 entries

< Previous 1 Next >

» Range Information

Current Range

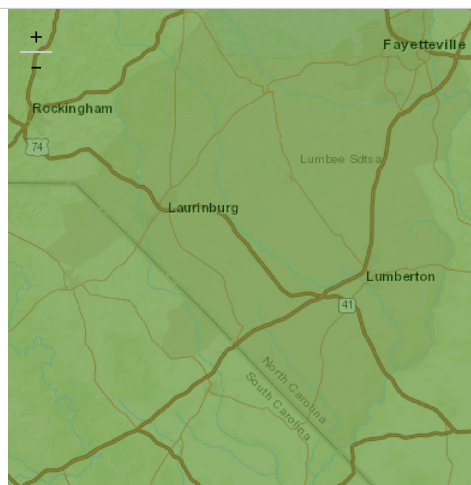
[Wherever found](#)

Last Updated: 07-09-2020

Zoom in! Some species' locations may be small and hard to see from a wide perspective. To narrow-in on locations, check the state and county lists (below) and then use the zoom tool.

Want the FWS's current range for all species? Click [here](#) to download a zip file containing all individual shapefiles and metadata for all species.

* For consultation needs do not use only this current range map, please use [IPaC](#).



• Wherever found

Listing status: Endangered

This population has been proposed for downlisting (Endangered -> Threatened)

- o **States/US Territories** in which this population is known to or is believed to occur:
- o **US Counties** in which this population is known to or is believed to occur: [View All](#)
- o **USFWS Refuges** in which this population is known to occur: Alligator River National Wildlife Refuge, Big Branch Marsh National Wildlife Refuge, Carolina Sandhills

National Wildlife Refuge ...[Show All Refuges](#)

» **Candidate Information**

No Candidate information available for this species.

No Candidate Assessments available for this species.

No Candidate Notice of Review Documents currently available for this species.

No Uplisting Documents currently available for this species.

» **Federal Register Documents**

Federal Register Documents

Show entries

Date	Citation Page	Title
10/08/2020	85 FR 63474 63499	Reclassification of the Red-Cockaded Woodpecker From En Section 4(d) Rule
08/06/2018	83 FR 38320 38323	5-Year Status Reviews for 42 Southeastern Species; Notice information
09/12/2005	70 FR 53807 53808	5-Year Review of Eight Southeastern Species
03/20/2003	68 FR 13719 13720	Notice of Availability of the Second Revision of the Recover Woodpecker (<i>Picoides borealis</i>)
11/21/2002	67 FR 70237 70240	Reopening of Public Comment Period for the Technical/Ag for the Red-Cockaded Woodpecker (<i>Picoides borealis</i>)
06/28/2002	67 FR 43678 43680	Availability of a Draft Environmental Assessment and Recei Incidental Take Permit by Woodlands Group L.L.C. in Living
04/17/2001	66 FR 19792 19794	Availability of a Draft Combined Environmental Assessmen Preliminary Finding of No Significant Impact, and Notice of Incidental Take Permit by Plum Creek Timber Company for Harvest on Plum Creek Lands in Arkansas and Louisiana

Showing 1 to 10 of 11 entries

< Previous 1 2 Next >

» **Species Status Assessments (SSAs)**

Species Status Assessments (SSAs)

Show entries

Document Title	Region
Species Status Assessment Report for the Red-cockaded Woodpecker (<i>Picoides borealis</i>)	Region:

Showing 1 to 1 of 1 entries

< Previous 1 Next >

Special Rule Publications

No Special Rule Publications currently available for this species.

» **Recovery**

- [Species with Recovery Documents Data Explorer](#)
- Recovery Priority Number: 8C

Current Recovery Plan(s)

Show entries

--

Date	Plan Stage	Recovery Plan	Implementation Status
01/27/2003	Final Revision 2	Red-cockaded Woodpecker Recovery Plan, Second Revision	View Implementation Progress

Showing 1 to 1 of 1 entries

< Previous 1 Next >

Other Recovery Documents

Note: This report includes actual Five Year Review completions and notices as well as records that act as Five Year Review completions and notices.

Show 10 entries

Date	Citation Page	Title
10/08/2020	85 FR 63474 63499	Reclassification of the Red-Cockaded Woodpecker From Endangered to Threatened With a Section 4(d) Rule
08/06/2018	83 FR 38320 38323	5-Year Status Reviews for 42 Southeastern Species; Notice and request for information
09/12/2005	70 FR 53807 53808	5-Year Review of Eight Southeastern Species
03/20/2003	68 FR 13719 13720	Notice of Availability of the Second Revision of the Red-cockaded Woodpecker (Picoides borealis)
09/13/2000	65 FR 55270 55269	Notice of Availability of a Technical/Agency Draft Recovery Plan for the Red-Cockaded Woodpecker (Picoides borealis)

Showing 1 to 5 of 5 entries

< Previous 1 Next >

Five Year Reviews

Note: This report includes actual Five Year Review completions as well as records that act as Five Year Review completions.

Show 10 entries

Date	Title
10/08/2020	Red-cockaded Woodpecker (Picoides borealis) 5-Year Review - Proposed
10/08/2020	Reclassification of the Red-Cockaded Woodpecker From Endangered to Threatened
10/05/2006	Red-cockaded woodpecker (Picoides borealis) 5-Year Review

Showing 1 to 3 of 3 entries

< Previous 1 Next >

No Delisting Documents currently available for this species.

» Critical Habitat

No Critical Habitat Documents currently available for this species.

» Conservation Plans

Habitat Conservation Plans (HCP) ([learn more](#))

Show 10 entries

HCP Plan Summaries
Windover Farms/Pineda Crossing
Virginia-Carolina Properties RCW HCP

Virginia McIntosh
Vestcor Fund XV, Limited
State of Georgia
Red Oak Timber Co.
Potlatch
Plum Creek Timber Company
Oncor HCP

Showing 1 to 10 of 22 entries

< Previous 1 2 3 Next >

Safe Harbor Agreements (SHA): ([learn more](#))

Show entries

SHA Plan Summaries

SHA - TPWD & TFS Texas State-wide Red-Cockaded Woodpecker
SC DNR Statewide RCW
NC Statewide RCW
NC Sandhills RCW
MSU Safe Harbor for RCW on the John W. Starr Memorial Forest
Martin Branch Woodland Tract (Lambert) SHA
LA DWF Statewide RCW
GA DNR Statewide RCW HCP & SHA - Amendment #2
GA DNR Statewide RCW Amendment 1

Showing 1 to 10 of 13 entries

< Previous 1 2 Next >

» Petitions

Show entries

Petition Title	Date Received by the FWS	Where the species is believed to or known to occur	Petitioner Name	Requested Action
Red-cockaded woodpecker (Picoides borealis); Delisting	08/22/1995		<ul style="list-style-type: none"> National Wilderness Institute 	<ul style="list-style-type: none"> Delisting; to error informa
Red-cockaded woodpecker (Picoides borealis); Delist	08/22/1995		<ul style="list-style-type: none"> 15 Members of Congress House of Representatives Congress of the United States 	<ul style="list-style-type: none"> Delisting; to error informa

Showing 1 to 2 of 2 entries

< Previous 1 Next >

» Biological Opinions

Show entries

--

BO date	Lead Office	Title	Activity Code	Project Type	Loc
10/21/2020	Arlington Ecological Services Field Office	Crest Natural Resources RCW Habitat Improvement Project - PFW	02ETAR00-2020-F-2546	Forestry - Weed Control / Vegetation Management, Land Restoration / Enhancement - Forest, Veg Management - Mechanical - Forest	N
10/16/2020	Branch of National Consultations	Reinitiation formal consultation: OSMRE's regulatory program - SMCRA Title V	09E31000-2020-F-0001	Mining - Subsurface Exploration - Coal, Mining - Subsurface Extraction - Coal, Mining - Subsurface Leasing - Coal, Mining - Subsurface Reclamation - Coal, Mining - Surface Exploration - Coal, Mining - Surface Extraction - Coal, Mining - Surface	

Showing 1 to 10 of 32 entries

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To see all Issued Biological Opinions please [visit the report](#)

» **Life History**

No Life History information has been entered into this system for this species.

» **Other Resources**

NatureServe Explorer Species Reports-- NatureServe Explorer is a source for authoritative conservation information on more than 50,000 plants, animals and ecological communities of the U.S and Canada. NatureServe Explorer provides in-depth information on rare and endangered species, but includes common plants and animals too. NatureServe Explorer is a product of NatureServe in collaboration with the Natural Heritage Network.

ITIS Reports-- ITIS (the Integrated Taxonomic Information System) is a source for authoritative taxonomic information on plants, animals, fungi, and microbes of North America and the world.

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Wood stork (*Mycteria americana*)

[Range Information](#) | [Candidate Info](#) | [Federal Register](#) | [Recovery](#) | [Critical Habitat](#) | [SSA](#) | [Conservation Plans](#) | [Petitions](#) | [Biological Opinions](#) | [Life History](#)

Taxonomy: [View taxonomy in ITIS](#)

Listing Status: Threatened



General Information

Wood storks are large, long-legged wading birds, about 50 inches tall, with a wingspan of 60 to 65 inches. The plumage is white except for black primaries and secondaries and a short black tail. The head and neck are largely unfeathered and dark gray in color. The bill is black, thick at the base, and slightly decurved. Immature birds are dingy gray and have a yellowish bill.

The species historical range included Alabama, Arizona, California, Florida, Georgia, South Carolina, Texas. See below for information about where the species is known or believed to occur.

Current Listing Status Summary

Show entries

Status	Date Listed	Lead Region	Where Listed
Threatened	03-28-1984	Southeast Region (Region 4)	U.S.A. (AL, FL, GA, MS, NC, SC)

Showing 1 to 1 of 1 entries

< Previous 1 Next >

» Range Information

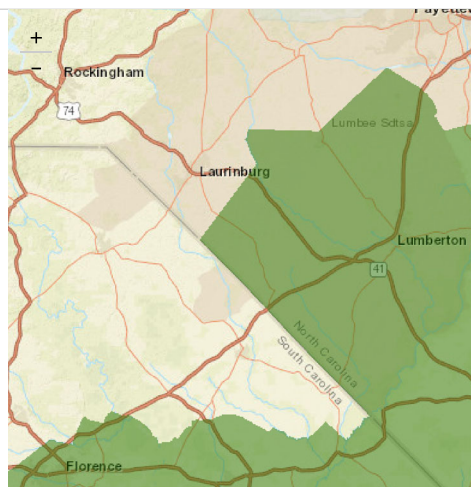
Current Range

U.S.A. (AL, FL, GA, MS, NC, SC)
Last Updated: 03-30-2020

Zoom in! Some species' locations may be small and hard to see from a wide perspective. To narrow-in on locations, check the state and county lists (below) and then use the zoom tool.

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* For consultation needs do not use only this current range map, please use [IPaC](#).



- **U.S.A. (AL, FL, GA, MS, NC, SC)**

Listing status: Threatened

- **States/US Territories** in which this population is known to or is believed to occur: Alabama, Florida, Georgia, Mississippi, North Carolina, South Carolina
- **US Counties** in which this population is known to or is believed to occur: [View All](#)
- **USFWS Refuges** in which this population is known to occur: Archie Carr National Wildlife Refuge, Arthur R. Marshall Loxahatchee National Wildlife Refuge, Banks Lake

National Wildlife Refuge ...[Show All Refuges](#)

» Candidate Information

No Candidate information available for this species.

No Candidate Assessments available for this species.

Candidate Notice of Review Documents

Show entries

Date	Citation Page	Title
12/20/1982	47 FR 59454-59460	Review of Vertebrate Wildlife for List

Showing 1 to 1 of 1 entries

< Previous 1 Next >

No Uplisting Documents currently available for this species.

» Federal Register Documents

Federal Register Documents

Show entries

Date	Citation Page	Title
06/20/2019	84 FR 28850-28853	Initiation of 5-Year Status Reviews for 53 Southeastern Species; request for information
06/30/2014	79 FR 37077-37103	Reclassification of the U.S. Breeding Population of the Wood Stork as Threatened
01/03/2013	78 FR 278-279	Reclassification of the Continental United States Breeding Population of the Wood Stork From Endangered to Threatened; Correction
12/26/2012	77 FR 75947-75966	Reclassification of the Continental U.S. Breeding Population of the Wood Stork From Endangered to Threatened; Proposed Rule and Notice of Availability
09/21/2010	75 FR 57426-57431	90-Day Finding on a Petition To Reclassify the U.S. Breeding Population of the Wood Stork From Endangered to Threatened
09/27/2006	71 FR 56545-56547	Endangered and Threatened Wildlife and Plants; 5-Year Review of the Status of the Wood Stork
02/28/1984	49 FR 7332-7335	US Breeding Population of Wood Stork Determined to be Endangered
02/28/1983	48 FR 8402-8404	Proposed End. Status for US Breeding Population of Wood Stork

Showing 1 to 9 of 9 entries

< Previous 1 Next >

» Species Status Assessments (SSAs)

Species Status Assessments (SSAs)

No Species Status Assessments (SSA's) are currently available for this species.

Special Rule Publications

No Special Rule Publications currently available for this species.

» Recovery

- [Species with Recovery Documents Data Explorer](#)
- Recovery Priority Number: 5C

Current Recovery Plan(s)

Show entries

--

Date	Plan Stage	Recovery Plan	Implementation Status
01/27/1997	Final Revision 1	Revised Recovery Plan for the U.S. Breeding Population of the Wood Stork	View Implementation Progress

Showing 1 to 1 of 1 entries < Previous 1 Next >

Other Recovery Documents

Note: This report includes actual Five Year Review completions and notices as well as records that act as Five Year Review completions and notices.

Show entries

Date	Citation Page	Title
06/20/2019	84 FR 28850 28853	Initiation of 5-Year Status Reviews for 53 Southeastern Wood Stork Breeding Populations; Notice of reviews; request for information
12/26/2012	77 FR 75947 75966	Reclassification of the Continental U.S. Breeding Population of the Wood Stork From Endangered to Threatened; Proposed Notice of Petition Finding
09/21/2010	75 FR 57426 57431	90-Day Finding on a Petition To Reclassify the U.S. Breeding Population of Wood Storks From Endangered to Threatened
09/27/2006	71 FR 56545 56547	Endangered and Threatened Wildlife and Plants; 5-Year Review of the Status of the Wood Stork (Mycteria americana)

Showing 1 to 4 of 4 entries < Previous 1 Next >

Five Year Reviews

Note: This report includes actual Five Year Review completions as well as records that act as Five Year Review completions.

Show entries

Date	Title
06/30/2014	Reclassification of the U.S. Breeding Population of the Wood Stork From Endangered to Threatened
12/26/2012	Reclassification of the Continental U.S. Breeding Population of the Wood Stork From Endangered to Threatened and Notice of Petition Finding
09/21/2010	90-Day Finding on a Petition To Reclassify the U.S. Breeding Population of Wood Storks From Endangered to Threatened

Showing 1 to 3 of 3 entries < Previous 1 Next >

No Delisting Documents currently available for this species.

» Critical Habitat

No Critical Habitat Documents currently available for this species.

» Conservation Plans

No Conservation Plans currently available for this species.

» Petitions

Show entries

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Petition Title	Date Received by the FWS	Where the species is believed to or known to occur	Petitioner Name	Requested Action
Stork, Wood (Mycteria americana); Reclassify from Endangered to Threatened	05/28/2009	AL, FL, GA, MS, NC, SC	<ul style="list-style-type: none"> Pacific Legal Foundation (behalf of FL Homebuilder's Assoc.) 	<ul style="list-style-type: none"> Reclassif Downlist Threater

Showing 1 to 1 of 1 entries

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» **Biological Opinions**

Show 10 entries

BO date	Lead Office	Title	Activity Code	Project Type
06/03/2021	South Florida Ecological Services Field Office	ENP Vegetation Maintenance as facilities	04EF2000-2021-F-0216	
05/28/2021	South Florida Ecological Services Field Office	State Road 70 from County Road 29 to Lonesome Island Road	04EF2000-2019-F-0187	Transport - Road / Hwy - M / M / R / U - Federal
07/15/2020	South Florida Ecological Services Field Office	SAJ-2019-01196 Westview	04EF2000-2019-F-0931	Development - Residential
05/06/2020	South Florida Ecological Services	APAFR Range Operations	04EF2000-2020-F-0408	Development - Government / Military, Fire - Prescribed Burn, Fire - Wildland Fire Use, Forestry

Showing 1 to 10 of 67 entries

< Previous 1 2 3 4 5 6 7 Next >

To see all Issued Biological Opinions please [visit the report](#)

» **Life History**

Habitat Requirements

The southeast United States breeding population of the wood stork declined from an estimated 20,000 pairs in the 1930's to about 10,000 pairs by 1960, and to a low of approximately 5,000 pairs in the late 1970s. Nesting primarily occurred in the Everglades. The generally accepted explanation for the decline of the wood stork is the reduction in food base (primarily small fish) necessary to support breeding colonies. This reduction is attributed to loss of wetland habitat as well as to changes in water hydroperiods from draining wetlands and changing water regimes by constructing levees, canals, and floodgates to alter water flow in south Florida. Wood storks have a unique feeding technique and require higher prey concentrations than other wading birds. Optimal water

regimes for the wood stork involve periods of flooding, during which prey (fish) populations increase, alternating with dryer periods, during which receding water levels concentrate fish at higher densities coinciding with the stork's nesting season. Loss of nesting habitat (primarily cypress swamps) may be affecting wood storks in central Florida, where nesting in non-native trees and in man-made impoundments has been occurring recently. Less significant factors known to affect nesting success include prolonged drought and flooding, raccoon predation on nests, and human disturbance of rookeries.

Food Habits

Small fish from 1 to 6 inches long, especially topminnows and sunfish, provide this bird's primary diet. Wood storks capture their prey by a specialized technique known as grope-feeding or tacto-location. Feeding often occurs in water 6 to 10 inches deep, where a stork probes with the bill partly open. When a fish touches the bill it quickly snaps shut. The average response time of this reflex is 25 milliseconds, making it one of the fastest reflexes known in vertebrates. Wood storks use thermals to soar as far as 80 miles from nesting to feeding areas. Since thermals do not form in early morning, wood storks may arrive at feeding areas later than other wading bird species such as herons. Energy requirements for a pair of nesting wood storks and their young is estimated at 443 pounds of fish for the breeding season (based on an average production of 2.25 fledglings per nest).

Movement / Home Range

The current population of adult birds is difficult to estimate, since not all nest each year. Presently, the wood stork breeding population is believed to be greater than 8,000 nesting pairs (16,000 breeding adults). Nesting has been restricted to Florida, Georgia, and South Carolina, however they may have formerly bred in most of the southeastern United States and Texas. A second distinct, non-endangered population of wood storks breeds from Mexico to northern Argentina. Storks from both populations move northward after breeding, with birds from the southeastern United States population moving as far north as North Carolina on the Atlantic coast and into Alabama and eastern Mississippi along the Gulf coast, and storks from Mexico moving up into Texas and Louisiana and as far north as Arkansas and Tennessee along the Mississippi River Valley. There have been occasional sightings in all States along and east of the Mississippi River, and sporadic sightings in some States west of the Mississippi and in Ontario.

Reproductive Strategy

The wood stork is a highly colonial species usually nesting in large rookeries and feeding in flocks. Age at first breeding is 3 years but typically do so at 4. Nesting periods vary geographically. In South Florida, wood storks lay eggs as early as October and fledge in February or March. However, in north and central Florida, Georgia, and South Carolina, storks lay eggs from March to late May, with fledging occurring in July and August. Nests are frequently located in the upper branches of large cypress trees or in mangroves on islands. Several nests are usually located in each tree. Wood storks have also nested in man-made structures. Storks lay two to five eggs, and average two young fledged per successful nest under good conditions.

» Other Resources

[NatureServe Explorer Species Reports](#)-- NatureServe Explorer is a source for authoritative conservation information on more than 50,000 plants, animals and ecological communities of the U.S and Canada. NatureServe Explorer provides in-depth information on rare and endangered species, but includes common plants and animals too. NatureServe Explorer is a product of NatureServe in collaboration with the Natural Heritage Network.

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American alligator (*Alligator mississippiensis*)

[Range Information](#) | [Candidate Info](#) | [Federal Register](#) | [Recovery](#) | [Critical Habitat](#) | [SSA](#) | [Conservation Plans](#) | [Petitions](#) | [Biological Opinions](#) | [Life History](#)



Taxonomy: [View taxonomy in ITIS](#)

Listing Status: Similarity of Appearance (Threatened)

General Information

The American alligator is a large, semi-aquatic, armored reptile that is related to crocodiles. Their body alone ranges from 6 - 14 feet long. Almost black in color, the it has prominent eyes and nostrils with coarse scales over the entire body. It has a large, long head with visible upper teeth along the edge of the jaws. Its front feet have 5 toes, while rear feet have 4 toes that are webbed.

Current Listing Status Summary

Show entries

Status	Date Listed	Lead Region
Similarity of Appearance (Threatened)	02-11-1967	Southeast Region (Region)

Showing 1 to 1 of 1 entries

< Previous 1 Next >

» Range Information

Current Range

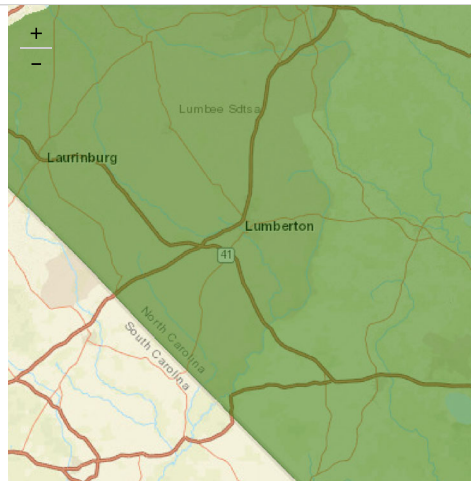
Wherever found

Last Updated: 12-02-2019

Zoom in! Some species' locations may be small and hard to see from a wide perspective. To narrow-in on locations, check the state and county lists (below) and then use the zoom tool.

Want the FWS's current range for all species? Click [here](#) to download a zip file containing all individual shapefiles and metadata for all species.

* For consultation needs do not use only this current range map, please use [IPaC](#).



• Wherever found

Listing status: Similarity of Appearance (Threatened)

- **States/US Territories** in which this population is known to or is believed to occur: Florida, North Carolina, Oklahoma
- **US Counties** in which this population is known to or is believed to occur: [View All](#)
- **USFWS Refuges** in which this population is known to occur: Chassahowitzka National Wildlife Refuge, Crystal River National Wildlife Refuge, Santee National Wildlife Refuge

» Candidate Information

No Candidate information available for this species.

No Candidate Assessments available for this species.

No Candidate Notice of Review Documents currently available for this species.

No Uplisting Documents currently available for this species.

» Federal Register Documents

Federal Register Documents

Show entries

Date	Citation Page	Title
06/04/1987	52 FR 21059 21064	Reclassification of American Alligator to Thr. Due to Similarity of Appearance Throughout Remainder of its Range; 52 FR 21059-21064
06/02/1986	51 FR 19760 19963	Proposal to Reclassify Legal Status of American Alligator Range to Thr. Due to Similarity of Appearance; 51 FR 19760-19963
01/09/1986	51 FR 996 999	Findings on Pending Petitions & Description of Progress; 51 FR 996-999
10/31/1985	50 FR 45407 45409	Special Rule on American Alligator; 50 FR 45407-45409
06/20/1985	50 FR 25672 25678	Reclassification of American Alligator in Florida to Thr. Due to Similarity of Appearance; 50 FR 25672-25678
04/02/1985	50 FR 13054 13055	Notice of Findings on 4 Petitions & of Review of 1 Species; 50 FR 13054-13055
01/07/1985	50 FR 811 812	Export of American Alligators Taken in 1984-85 Harvest & Findings of Scientific & Mgmt. Authorities; 50 FR 811-812
10/23/1984	49 FR 42594 42597	Special Rule on American Alligator; 49 FR 42594-42597

Showing 1 to 10 of 30 entries

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» Species Status Assessments (SSAs)

Species Status Assessments (SSAs)

No Species Status Assessments (SSA's) are currently available for this species.

Special Rule Publications

Show entries

Date	Citation Page	Title
06/04/1987	52 FR 21059 21064	Reclassification of American Alligator to Thr. Due to Similarity of Appearance Throughout Remainder of its Range; 52 FR 21059-21064
10/31/1985	50 FR 45407 45409	Special Rule on American Alligator; 50 FR 45407-45409
06/20/1985	50 FR 25672 25678	Reclassification of American Alligator in Florida to Thr. Due to Similarity of Appearance; 50 FR 25672-25678
10/12/1983	48 FR 46332 46336	Change Status of Amer. Alligator in State of Texas; 48 FR 46332-46336
08/10/1981	46 FR 40664 40669	Reclassification of American Alligator in Louisiana
11/25/1980	45 FR 78153 78156	Revision of Special Rule on American Alligator
10/12/1979	44 FR 59080 59086	Changes to the Special Rule Concerning the American Alligator
09/06/1979	44 FR 51980 51982	Changes to the Special Rule Concerning the American Alligator
06/25/1979	44 FR 37130 37132	Reclassification of the American Alligator in Nine Parishes; 44 FR 37130-37132
01/10/1977	42 FR 2071 2076	Reclassification of American Alligator to Threatened Status; 42 FR 2071-2076

Showing 1 to 10 of 10 entries

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» Recovery

- [Species with Recovery Documents Data Explorer](#)

No Current Recovery Plans available for this species.

Other Recovery Documents

Note: This report includes actual Five Year Review completions and notices as well as records that act as Five Year Review completions and notices.

Show entries

Date	Citation Page	Title
06/04/1987	52 FR 21059 21064	Reclassification of American Alligator to Thr. Due to S Remainder of its Range; 52 FR 21059-21064
06/02/1986	51 FR 19760 19963	Proposal to Reclassify Legal Status of American Alliga Range to Thr. Due to Similarity of Appearance; 51 FR

Showing 1 to 2 of 2 entries

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No Five Year Reviews currently available for this species.

No Delisting Documents currently available for this species.

» Critical Habitat

No Critical Habitat Documents currently available for this species.

» Conservation Plans

No Conservation Plans currently available for this species.

» Petitions

No Petitions currently available for this species.

» Biological Opinions

No Issued Biological Opinions have been entered into this system for this species.

» Life History

No Life History information has been entered into this system for this species.

» Other Resources

[NatureServe Explorer Species Reports](#)-- NatureServe Explorer is a source for authoritative conservation information on more than 50,000 plants, animals and ecological communities of the U.S and Canada. NatureServe Explorer provides in-depth information on rare and endangered species, but includes common plants and animals too. NatureServe Explorer is a product of NatureServe in collaboration with the Natural Heritage Network.

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monarch butterfly (*Danaus plexippus*)

[Range Information](#) | [Candidate Info](#) | [Federal Register](#) | [Recovery](#) | [Critical Habitat](#) | [SSA](#) | [Conservation Plans](#) | [Petitions](#) | [Biological Opinions](#) | [Life History](#)



Taxonomy: [View taxonomy in ITIS](#)

Listing Status: Candidate

General Information

Note - the monarch is a candidate species and not yet listed or proposed for listing. There are generally no section 7 requirements for candidate species (see our Section 7 Questions and Answers on the monarch here - <https://www.fws.gov/savethemonarch/FAQ-Section7.html>), but we encourage all agencies to take advantage of any opportunity they may have to conserve the species.

For information on monarch conservation, visit <https://www.fws.gov/savethemonarch/>, http://www.mafwa.org/?page_id=2347, and, for the West, <https://wafwa.org/committees-working-groups/monarch-working-group/>.

Adult monarch butterflies are large and conspicuous, with bright orange wings surrounded by a black border and covered with black veins. The black border has a double row of white spots, present on the upper side of the wings. Adult monarchs are sexually dimorphic, with males having narrower wing venation and scent patches. The bright coloring of a monarch serves as a warning to predators that eating them can be toxic.

During the breeding season, monarchs lay their eggs on their obligate milkweed host plant (primarily *Asclepias* spp.), and larvae emerge after two to five days. Larvae develop through five larval instars (intervals between molts) over a period of 9 to 18 days, feeding on milkweed and sequestering toxic chemicals (cardenolides) as a defense against predators. The larva then pupates into a chrysalis before emerging 6 to 14 days later as an adult butterfly. There are multiple generations of monarchs produced during the breeding season, with most adult butterflies living approximately two to five weeks; overwintering adults enter into reproductive diapause (suspended reproduction) and live six to nine months.

In many regions where monarchs are present, monarchs breed year-round. Individual monarchs in temperate climates, such as eastern and western North America, undergo long-distance migration, and live for an extended period of time. In the fall, in both eastern and western North America, monarchs begin migrating to their respective overwintering sites. This migration can take monarchs distances of over 3,000 km and last for over two months. In early spring (February-March), surviving monarchs break diapause and mate at the overwintering sites before dispersing. The same individuals that undertook the initial southward migration begin flying back through the breeding grounds and their offspring start the cycle of generational migration over again.

Current Listing Status Summary

Show entries

Status	Date Listed	Lead Region	Where Li
Candidate	12-17-2020	Midwest Region (Region 3)	Where

Showing 1 to 1 of 1 entries


< Previous 1 Next >

» Range Information

Current Range

Wherever found
 Last Updated: 09-20-2021
 Zoom in! Some species' locations may be small and hard to see from a wide perspective. To narrow-in on locations, check the state and county lists (below) and then use the zoom tool.

Want the FWS's current range for all species? Click [here](#) to download a zip file containing all individual shapefiles and metadata for all species.
 * For consultation needs do not use only this current range map, please use [IPaC](#).



• **Wherever found**

Listing status: Candidate

- o **States/US Territories** in which this population is known to or is believed to occur:
- o **US Counties** in which this population is known to or is believed to occur: [View All](#)
- o **USFWS Refuges** in which this population is known to occur:

» **Candidate Information**

Current Candidate Status

Listing Priority: 8

Magnitude: Moderate to Low

Immediacy: Imminent

Taxonomy: Species

No Candidate Assessments available for this species.

No Candidate Notice of Review Documents currently available for this species.

No Uplisting Documents currently available for this species.

» **Federal Register Documents**

Federal Register Documents

Show entries

Date	Citation Page	Title
12/17/2020	85 FR 81813 81822	Endangered and Threatened Wildlife and Plants; 12-Monarch Butterfly.
12/31/2014	79 FR 78775 78778	90-Day Findings on Two Petitions

Showing 1 to 2 of 2 entries

< Previous 1 Next >

» **Species Status Assessments (SSAs)**

Species Status Assessments (SSAs)

Show entries

Document Title	Region	Species
Monarch (Danaus plexippus) Species Status Assessment Report, version 2.1	Region 3	Assist Sonic

Showing 1 to 1 of 1 entries

< Previous 1 Next >

Special Rule Publications

No Special Rule Publications currently available for this species.

» **Recovery**

- [Species with Recovery Documents Data Explorer](#)

No Current Recovery Plans available for this species.

No Other Recovery Documents currently available for this species.

No Five Year Reviews currently available for this species.

No Delisting Documents currently available for this species.

» Critical Habitat

No Critical Habitat Documents currently available for this species.

» Conservation Plans

Candidate Conservation Agreements with Assurances (CCAAs): [\(learn more\)](#)

Show entries

CCAAs Plan Summaries
Nationwide Candidate Conservation Agreement on Energy and Transportation Lands

Showing 1 to 1 of 1 entries < Previous 1 Next >

» Petitions

Show entries

Petition Title	Date Received by the FWS	Where the species is believed to or known to occur	Petitioner Name	Requested Action	Peti Find
Petition for Rulemaking for a Section 4(d) Rule for the Monarch Butterfly	11/18/2020		<ul style="list-style-type: none"> The University of Illinois Chicago 	<ul style="list-style-type: none"> APA: Promulgate new special 4(d) rule 	•
Butterfly, Monarch (Danaus plexippus plexippus); list T w/ CH	08/26/2014		<ul style="list-style-type: none"> Center for Food Safety Madison Audubon Society (secondary petitioner) Center for Biological Diversity Xerces Society Dr. Lincoln Brower 	<ul style="list-style-type: none"> Listing: Threatened APA: Designate Critical Habitat 	•

Showing 1 to 2 of 2 entries < Previous 1 Next >

» Biological Opinions

Show entries

BO date	Lead Office	Title	Activity Code	Project Type	Location
04/03/2020	Assistant	Nationwide	03E00000-	Land	Abbeville (SC), .

	Regional Director-Ecological Services	CCAA/CCA for Monarch Butterfly on Energy and Transportation Lands	2020-F-0001	Management Plans - Other	Accomack (VA), Adair (MO), Ad. Adams (ID), Ad Adams (MS), Ac (OH), Adams (P Addison (VT), A (FL), Alamance Alamosa (CO), . (WY), Albemarl Alexander (IL), Alexandria (VA), Allegany (MD), Alleghany (NC), Allegheny (PA), (IN), Allen (KY), Alpine (CA), Arr (VA), Amherst (Anderson (KY), Anderson (TN), Andrew (MO), /
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Showing 1 to 1 of 1 entries

< Previous 1 Next >

To see all Issued Biological Opinions please [visit the report](#)

» **Life History**

No Life History information has been entered into this system for this species.

» **Other Resources**

[NatureServe Explorer Species Reports](#)-- NatureServe Explorer is a source for authoritative conservation information on more than 50,000 plants, animals and ecological communities of the U.S and Canada. NatureServe Explorer provides in-depth information on rare and endangered species, but includes common plants and animals too. NatureServe Explorer is a product of NatureServe in collaboration with the Natural Heritage Network.

[ITIS Reports](#)-- ITIS (the Integrated Taxonomic Information System) is a source for authoritative taxonomic information on plants, animals, fungi, and microbes of North America and the world.

[FWS Digital Media Library](#) -- The U.S. Fish and Wildlife Service's National Digital Library is a searchable collection of selected images, historical artifacts, audio clips, publications, and video." +



U.S. Fish & Wildlife Service

ECOS Environmental Conservation Online System

Conserving the Nature of America

[ECOS](#) /

Michaux's sumac (*Rhus michauxii*)

[Range Information](#) | [Candidate Info](#) | [Federal Register](#) | [Recovery](#) | [Critical Habitat](#) | [SSA](#) | [Conservation Plans](#) | [Petitions](#) | [Biological Opinions](#) | [Life History](#)

Taxonomy: [View taxonomy in ITIS](#)

Listing Status: Endangered

Where Listed: **WHEREVER FOUND**

General Information

The species historical range included Georgia, North Carolina, South Carolina, Virginia. See below for information about where the species is known or believed to occur.



Current Listing Status Summary

Show entries

Status	Date Listed	Lead Region
Endangered	08-28-1989	Southeast Region (Region 4)

Showing 1 to 1 of 1 entries

< Previous 1 Next >

» Range Information

Current Range

Wherever found

Last Updated: 08-03-2020

Zoom in! Some species' locations may be small and hard to see from a wide perspective. To narrow-in on locations, check the state and county lists (below) and then use the zoom tool.

Want the FWS's current range for all species? Click [here](#) to download a zip file containing all individual shapefiles and metadata for all species.

* For consultation needs do not use only this current range map, please use [IPaC](#).

• **Wherever found**

Listing status: Endangered

- **States/US Territories** in which this population is known to or is believed to occur: Georgia, North Carolina, South Carolina, Virginia
- **US Counties** in which this population is known to or is believed to occur: [View All](#)
- **USFWS Refuges** in which this population is known to occur:

» Candidate Information

No Candidate information available for this species.

No Candidate Assessments available for this species.

No Candidate Notice of Review Documents currently available for this species.

No Uplisting Documents currently available for this species.

» **Federal Register Documents**

Federal Register Documents

Show entries

Date	Citation Page	Title
06/20/2019	84 FR 28850 28853	Initiation of 5-Year Status Reviews for 53 Southeastern request for information
07/29/2008	73 FR 43947 43948	5-Year Status Review of 20 Southeastern Species
09/28/1989	54 FR 39850 39857	ETWP; Determination of Endangered Status for Rhus r 54 FR 39850 39857
01/06/1989	54 FR 441 44	ETWP; Proposed Endangered Status for Rhus michauxi

Showing 1 to 4 of 4 entries

< Previous 1 Next >

» **Species Status Assessments (SSAs)**

Species Status Assessments (SSAs)

No Species Status Assessments (SSA's) are currently available for this species.

Special Rule Publications

No Special Rule Publications currently available for this species.

» **Recovery**

- [Species with Recovery Documents Data Explorer](#)
- Recovery Priority Number: 2

Current Recovery Plan(s)

Show entries

Date	Plan Stage	Recovery Plan	Implementation Status	SSAs/Biolo Reports
04/30/1993	Final	Michaux's Sumac	View Implementation Progress	

Showing 1 to 1 of 1 entries

< Previous 1 Next >

Other Recovery Documents

Note: This report includes actual Five Year Review completions and notices as well as records that act as Five Year Review completions and notices.

Show entries

Date	Citation Page	Title
06/20/2019	84 FR 28850 28853	Initiation of 5-Year Status Reviews for 53 Southeastern Notice of reviews; request for information
07/29/2008	73 FR 43947 43948	5-Year Status Review of 20 Southeastern Species

Showing 1 to 2 of 2 entries

< Previous 1 Next >

Five Year Reviews

Note: This report includes actual Five Year Review completions as well as records that act as Five Year Review completions.

Show entries

Date	Title
01/06/2021	Michaux's sumac(Rhus michauxii) 5-Year Review
09/02/2014	Michaux's sumac(Rhus michauxii) 5-Year Review

Showing 1 to 2 of 2 entries < Previous 1 Next >

No Delisting Documents currently available for this species.

» Critical Habitat

No Critical Habitat Documents currently available for this species.

» Conservation Plans

No Conservation Plans currently available for this species.

» Petitions

No Petitions currently available for this species.

» Biological Opinions

Show entries

BO date	Lead Office	Title	Activity Code	Project Type
03/10/2017	Virginia Ecological Services Field Office	Removal, Propagation, and Transplantation of Michaux's Sumac (Rhus michauxii) Colonies from	05E2VA00-2016-F-2468	MILITARY OPERATIONS MANEUVERS

Showing 1 to 1 of 1 entries < Previous 1 Next >

To see all Issued Biological Opinions please [visit the report](#)

» Life History

No Life History information has been entered into this system for this species.

» Other Resources

[NatureServe Explorer Species Reports](#)-- NatureServe Explorer is a source for authoritative conservation information on more than 50,000 plants, animals and ecological communities of the U.S and Canada. NatureServe Explorer provides in-depth information on rare and endangered species, but includes common plants and animals too. NatureServe Explorer is a product of NatureServe in collaboration with the Natural Heritage Network.

[ITIS Reports](#)-- ITIS (the Integrated Taxonomic Information System) is a source for authoritative taxonomic information on plants, animals, fungi, and microbes of North America and the world.

[FWS Digital Media Library](#) -- The U.S. Fish and Wildlife Service's National Digital Library is a searchable collection of selected images, historical artifacts, audio clips, publications, and video." +

ATTACHMENT H:

Explosive and Flammable Hazards

Thermal and Explosive Hazards

Project Name	Investigator(s)	Site Visit Date
Proposed Northeast Pointe II	Brett Higgins & Tamara Cagle	September 14, 2021

Part I –Above Ground Storage Tanks – Site Review

Are any above ground storage tanks visible from the site?

Yes No

If yes, are these tanks 100-gallons or larger?

Yes No

List visible tanks of 100-gallons or more						
Tank Identifier	Tank Distance (ft.)	Tank Size/Contents	Flammable? (Yes or No)	Pressurized? (Yes or No)	ASD ¹ (ft.) Thermal Radiation	ASD (ft.) Blast Pressure
LPG AST #1 (adjacent east neighbor)	180	120-150-gallon LPG	Yes	Yes	125.48	NA
LPG AST #2 (NEP I lift station to the south)	350	120-150-gallon LPG	Yes	Yes	125.48	NA

¹ASD = Acceptable Separation Distance as defined in "Siting of HUD-Assisted Projects Near Hazardous Facilities"

Is the project site within the ASD of any above ground storage tank visible from the site?

Yes **No**

If yes, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
No mitigation required. Copies of HUD Acceptable Separation Distance Assessment Tool pages are attached.

Part II –Above Ground Storage Tanks – Agency Consultation

Has consultation with the Local Public Safety or Fire Department indicated the presence of thermal/explosive hazards that may affect the site (Attach record of consultation)?

Yes No

If yes, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
Not Applicable

Part III – Above Ground Storage Tanks – Record Review

Are above ground storage tanks, which visible on aerial photographs and USGS topographic maps, located within 1-mile of the site (Attach copies of documents reviewed)?

Yes No

If yes, are these tanks 100-gallons or larger?

Yes No

List tanks of 100-gallons or more.						
Tank Identifier	Tank Distance (ft)	Tank Size/Contents	Flammable? (Yes or No)	Pressurized? (Yes or No)	ASD ¹ (ft) Thermal Radiation	ASD (ft) Blast Pressure
NA	NA	NA	NA	NA	NA	NA

¹ASD = Acceptable Separation Distance as defined in "Siting of HUD-Assisted Projects Near Hazardous Facilities"

Is the project site within the ASD of any above ground storage tank?

Yes No

If yes are there acceptable barriers (natural or manmade) between the site and the tank?

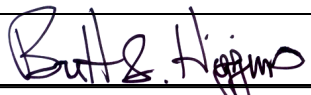
Yes No

Identify Acceptable Barriers²
Not Applicable

²Acceptable barriers must meet the conditions of 24 CFR § 51.205

If no, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
Additional Comments or Recommendations


 Lead Investigator's Signature

09/14/21
 Date

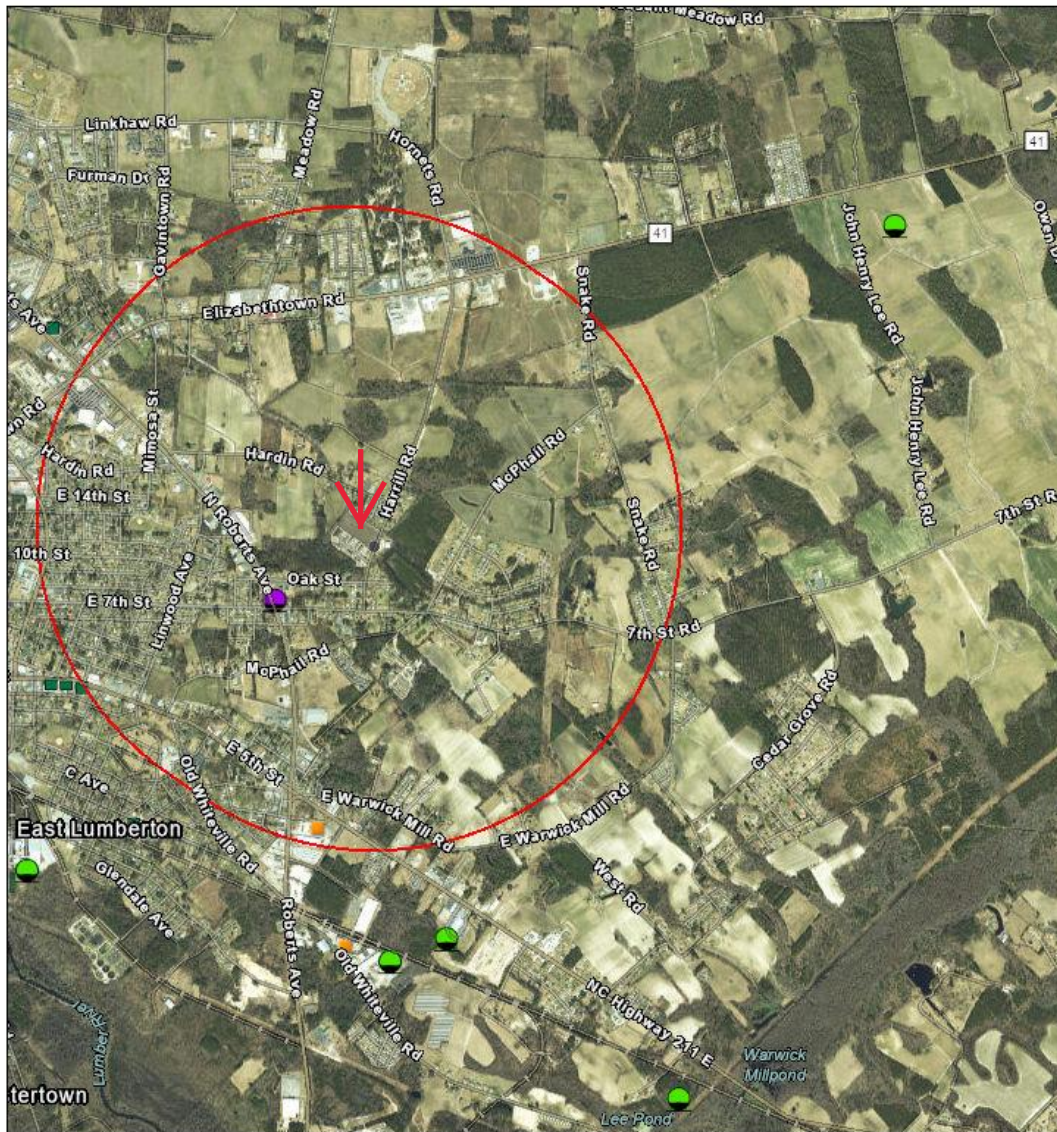


Northeast Pointe II - Screening Report 1-mile

Area of Interest (AOI) Information

Area : 99,060,144.66 ft²

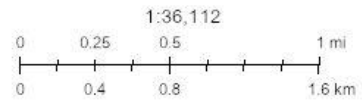
Oct 26 2022 14:20:51 Eastern Daylight Time



- Inactive Hazardous Sites
- DryCleaning City Directories

Non-UST Incidents

- Low Risk
- Unknown Risk



State of North Carolina: DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

AST search within 1-mile radius

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NCD986209575	CARDINAL CHEMICAL WAREHOUSE FIRE	1

UST Incidents

#	IncidentNumber	IncidentName	Count
1	3611	STEVENSON HONDA	1
2	5785	HAPPY STORE 347 (SPINX 347)	1
3	6427	BILLY SMITH'S C STORE	1
4	9446	FAHA - LUMBERTON	1
5	10918	JOLLEY'S C. STORE	1
6	11863	SCOTT BUICK-CADILLAC	1
7	17873	U-FILLER-UP	1
8	20139	LUMBERTON CONVIENCE MART	1
9	24522	LEGRAND PROPERTY	1
10	29003	NORRIS PROPERTY (VACANT LOT)	1
11	29450	CASSON'S QUICK CHECK	1
12	29514	211 QUICK CHECK	1
13	42024	EXXON SHOP 4	1
14	42057	SUNDO KWIK SHOP 211	1
15	42167	Ruby Rabon Property	1
16	No Data	SMITH'S REFRIGERATORS	1
17	No Data	K-MART STORE #9562	1
18	No Data	JERRY ANN SCHOOL	1

Non-UST Incidents

#	IncidentNumber	IncidentName	Count
1	95983	Hunters Lane Farm	1

UST Active Facilities

#	FACILID	FACILNAME	Count
1	00-0-0000003080	211 QUICK CHECK	1
2	00-0-0000003716	MINUTEMAN 2	1
3	00-0-0000018416	ATKINSON 1, LLC	1
4	00-0-0000019091	LUMBERTON QUICK CHECK	1
5	00-0-0000019193	WILLIAMSON MAZDA	1
6	00-0-0000019560	7TH ST. MINI MART	1
7	00-0-0000026302	MINUTEMAN FOOD MART #38	1
8	00-0-0000026672	SUNDO KWIK SHOP - E 5TH ST	1
9	00-0-0000032352	OLIVER OIL CO	1

Land Use Restriction and/or Notices

#	Prj_Number	Prj_Name	Count
1	FA-1056	LUMBERTON CONVIENCE MART	1
2	FA-3285	CASSON'S QUICK CHECK	1
3	FA-3478	211 QUICK CHECK	1
4	FA-7737	EXXON SHOP 4	1

Home (/) > Programs (/programs/) > Environmental Review (/programs/environmental-review/) > ASD Calculator

LPG #1 - Adjacent East Neighbor (180 feet from site)

Acceptable Separation Distance (ASD) Electronic Assessment Tool

The Environmental Planning Division (EPD) has developed an electronic-based assessment tool that calculates the Acceptable Separation Distance (ASD) from stationary hazards. The ASD is the distance from above ground stationary containerized hazards of an explosive or fire prone nature, to where a HUD assisted project can be located. The ASD is consistent with the Department's standards of blast overpressure (0.5 psi-buildings) and thermal radiation (450 BTU/ft² - hr - people and 10,000 BTU/ft² - hr - buildings). Calculation of the ASD is the first step to assess site suitability for proposed HUD-assisted projects near stationary hazards. Additional guidance on ASDs is available in the Department's guidebook "Siting of HUD- Assisted Projects Near Hazardous Facilities" and the regulation 24 CFR Part 51, Subpart C, Siting of HUD-Assisted Projects Near Hazardous Operations Handling Conventional Fuels or Chemicals of an Explosive or Flammable Nature.

Note: Tool tips, containing field specific information, have been added in this tool and may be accessed by hovering over the ASD result fields with the mouse.

Acceptable Separation Distance Assessment Tool

Is the container above ground?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Is the container under pressure?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the container hold a cryogenic liquified gas?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Is the container diked?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the volume (gal) of the container?	<input type="text" value="150"/>
What is the Diked Area Length (ft)?	<input type="text"/>
What is the Diked Area Width (ft)?	<input type="text"/>
<input type="button" value="Calculate Acceptable Separation Distance"/>	
Diked Area (sqft)	<input type="text"/>
ASD for Blast Over Pressure (ASDBOP)	<input type="text"/>

ASD for Thermal Radiation for People (ASDPPU)	125.48
ASD for Thermal Radiation for Buildings (ASDBPU)	20.92
ASD for Thermal Radiation for People (ASDPNPD)	
ASD for Thermal Radiation for Buildings (ASDBNPD)	

For mitigation options, please click on the following link: [Mitigation Options \(/resource/3846/acceptable-separation-distance-asd-hazard-mitigation-options/\)](/resource/3846/acceptable-separation-distance-asd-hazard-mitigation-options/)

Providing Feedback & Corrections

After using the ASD Assessment Tool following the directions in this User Guide, users are encouraged to provide feedback on how the ASD Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool.

Please send comments or other input using the **Contact Us** (<https://www.hudexchange.info/contact-us/>) form.

Related Information

- [ASD User Guide \(/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/\)](/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/)
- [ASD Flow Chart \(/resource/3840/acceptable-separation-distance-asd-flowchart/\)](/resource/3840/acceptable-separation-distance-asd-flowchart/)

Home (/) > Programs (/programs/) > Environmental Review (/programs/environmental-review/) > ASD Calculator

LPG #2 - NEP I Lift Station to South (350 feet from site)

Acceptable Separation Distance (ASD) Electronic Assessment Tool

The Environmental Planning Division (EPD) has developed an electronic-based assessment tool that calculates the Acceptable Separation Distance (ASD) from stationary hazards. The ASD is the distance from above ground stationary containerized hazards of an explosive or fire prone nature, to where a HUD assisted project can be located. The ASD is consistent with the Department's standards of blast overpressure (0.5 psi-buildings) and thermal radiation (450 BTU/ft² - hr - people and 10,000 BTU/ft² - hr - buildings). Calculation of the ASD is the first step to assess site suitability for proposed HUD-assisted projects near stationary hazards. Additional guidance on ASDs is available in the Department's guidebook "Siting of HUD- Assisted Projects Near Hazardous Facilities" and the regulation 24 CFR Part 51, Subpart C, Siting of HUD-Assisted Projects Near Hazardous Operations Handling Conventional Fuels or Chemicals of an Explosive or Flammable Nature.

Note: Tool tips, containing field specific information, have been added in this tool and may be accessed by hovering over the ASD result fields with the mouse.

Acceptable Separation Distance Assessment Tool

Is the container above ground?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Is the container under pressure?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Does the container hold a cryogenic liquified gas?	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Is the container diked?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
What is the volume (gal) of the container?	<input type="text" value="150"/>
What is the Diked Area Length (ft)?	<input type="text"/>
What is the Diked Area Width (ft)?	<input type="text"/>
<input type="button" value="Calculate Acceptable Separation Distance"/>	
Diked Area (sqft)	<input type="text"/>
ASD for Blast Over Pressure (ASDBOP)	<input type="text"/>

ASD for Thermal Radiation for People (ASDPPU)	125.48
ASD for Thermal Radiation for Buildings (ASDBPU)	20.92
ASD for Thermal Radiation for People (ASDPNPD)	
ASD for Thermal Radiation for Buildings (ASDBNPD)	

For mitigation options, please click on the following link: Mitigation Options
(</resource/3846/acceptable-separation-distance-asd-hazard-mitigation-options/>)

Providing Feedback & Corrections

After using the ASD Assessment Tool following the directions in this User Guide, users are encouraged to provide feedback on how the ASD Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool.

Please send comments or other input using the **Contact Us**
(<https://www.hudexchange.info/contact-us/>) form.

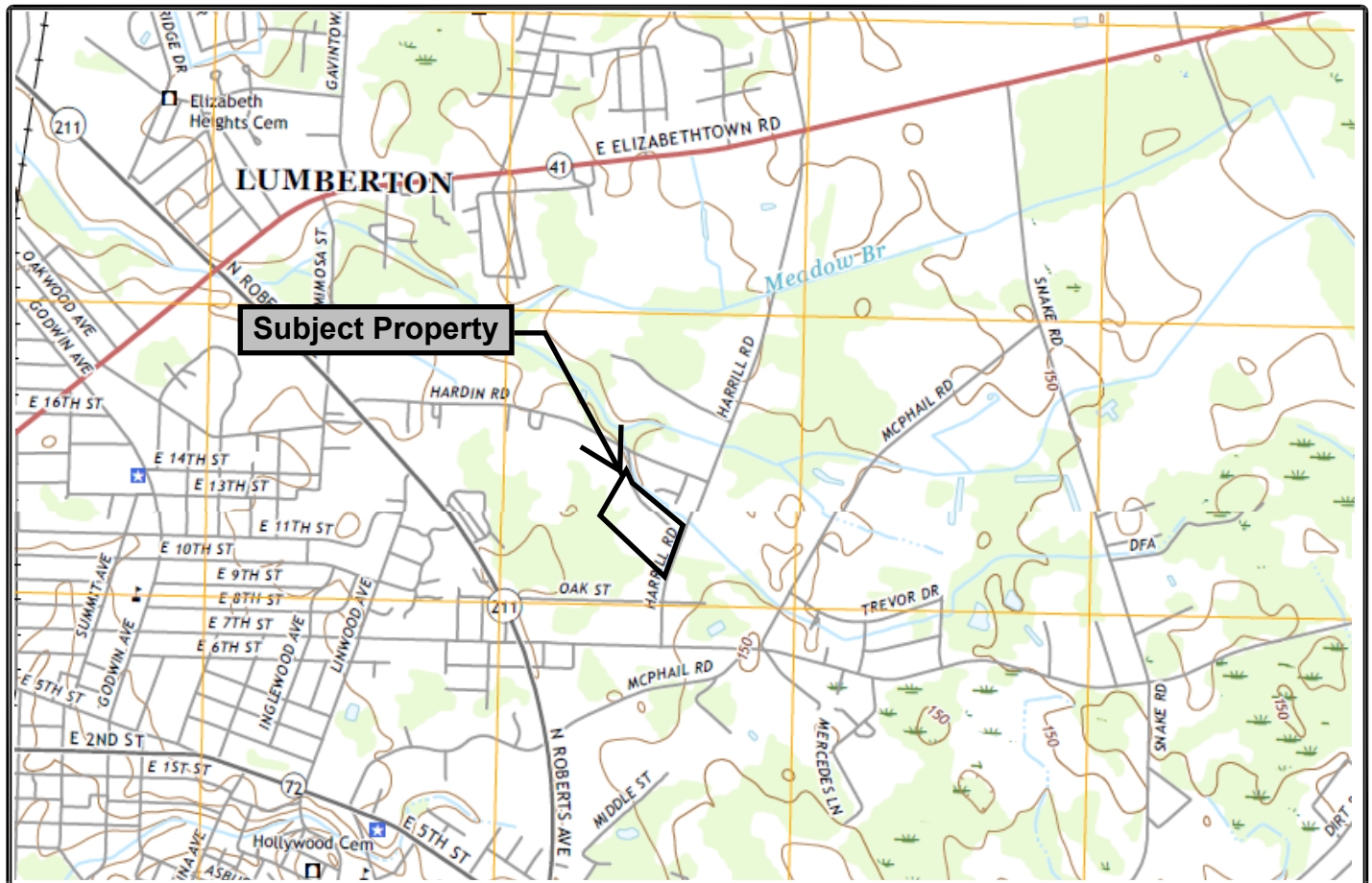
Related Information

- [ASD User Guide \(/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/\)](/resource/3839/acceptable-separation-distance-asd-assessment-tool-user-guide/)
- [ASD Flow Chart \(/resource/3840/acceptable-separation-distance-asd-flowchart/\)](/resource/3840/acceptable-separation-distance-asd-flowchart/)

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina

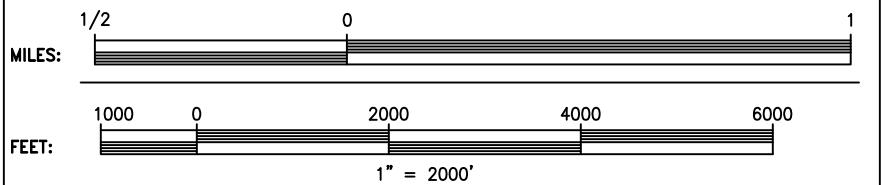


USGS IDENTIFICATION

SCALES

USGS 7.5 MINUTE MAP
 ORIGINAL DATE: 2019
 PHOTOREVISION DATE: N/A

Northeast & Southeast
 Lumberton, NC



	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
 PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH

COUNTY MAP OF: **NORTH CAROLINA**

COUNTY: Robeson

APPROXIMATE SITE LOCATION



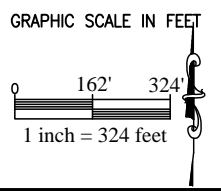
CLIENT: Mills Construction Co., Inc.
 PROPERTY NAME: 219 Harrill Road
 CITY: Lumberton STATE: North Carolina
 TITLE: Topographic Map

SCALE: 1" = 2,000'
 DATE: 09/02/21
 DRAWING NAME: USGSTOPO
 DRAWN BY: JRD
 CHECK BY: BSH
 JOB NO.: 2021-258
 TYPE: PHASE I
 FIGURE NUMBER: 1

NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

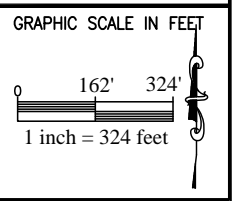


	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3



PHASE I ENVIRONMENTAL SITE ASSESSMENT

219 HARRILL ROAD
LUMBERTON, NORTH CAROLINA
September 20, 2021



503 Industrial Ave.
Greensboro, North Carolina 27406
(336) 335-3174
C-257 Geology
C-1251 Engineering

Prepared For:
Mr. Bobby Funk
Mills Construction Co., Inc.
P.O. Box 6171
Raleigh, NC 27628



September 20, 2021

Ref. No. 2021-258

Mr. Bobby Funk
Mills Construction Co., Inc.
P.O. Box 6171
Raleigh, NC 27628

**Re: Phase I Environmental Site Assessment
219 Harrill Road
Lumberton, North Carolina**

Dear Mr. Funk:

Pyramid Environmental & Engineering, P.C. (Pyramid) is pleased to submit our report describing the findings of the Phase I Environmental Site Assessment (ESA) for the property located at 219 Harrill Road in Lumberton, NC. This assessment was prepared in general accordance with the American Society of Testing and Materials (ASTM) Standard Practices for Environmental Site Assessments: Phase I ESA Process (ASTM Designation: E1527-13).

The purpose of the Phase I ESA was to gather sufficient information to render an independent professional opinion about the environmental condition of the properties. This assessment included a site reconnaissance as well as research and interviews with representatives of the public, property ownership, and regulatory agencies.

If you have any questions or require further clarification of the report findings, please contact Pyramid at 336-335-3174. Thank you for the opportunity to be of service to Mills Construction Co., Inc.

Yours very truly,

A handwritten signature in black ink that reads "Douglas Canavello". The signature is written in a cursive style with a large, prominent initial "D".

Douglas Canavello
Principal

A handwritten signature in black ink that reads "Brett S. Higgins". The signature is written in a cursive style with a large, prominent initial "B".

Brett S. Higgins
Senior Project Manager

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- A. Environmental Professional Qualifications
- B. National Wetlands Inventory Map & Map Code Interpreter Pages
- C. FEMA National Flood Hazard Layer FIRMette Map
- D. Historical Aerial Photographs & Topographic Maps
- E. EDR Certified Sanborn Map Report
- F. Deed Records
- G. User Questionnaire
- H. EDR Radius Report
- I. NC DEQ DWM Site Locator Tool Map
- J. Site Photographs
- K. EDR Vapor Encroachment Screen
- L. City of Lumberton Fire Department Correspondence

LIST OF ACRONYMS

AAI	all appropriate inquiry
ASTM	American Society for Testing and Materials
CERCLA	Comprehensive Environmental Response, Compensation, and Liability Act
DEQ	Department of Environmental Quality
EDR	Environmental Data Resources, Inc.
EP	Environmental Professional
EPA	Environmental Protection Agency
ESA	Environmental Site Assessment
FEMA	Federal Emergency Management Agency
GIS	Geographical Information System
LLP	Landowner Liability Protection
LUST	leaking underground storage tank
NRCS	Natural Resource Conservation Service
NPL	National Priority List
PCBs	polychlorinated biphenyls
Pyramid	Pyramid Environmental & Engineering, P.C.
RCRA	Resource Conservation Recovery Act
US FWS	United States Fish & Wildlife Service
USGS	United States Geological Survey
UST	underground storage tank
UVF	Ultra Violet Fluorescence

PHASE I ENVIRONMENTAL SITE ASSESSMENT
219 Harrill Road
Lumberton, Robeson County, North Carolina

EXECUTIVE SUMMARY

Pyramid Environmental & Engineering, P.C. conducted a Phase I Environmental Site Assessment, in general conformance with the scope and limitations of ASTM Practice E 1527-13, for the property located at 219 Harrill Road in Lumberton, NC. The subject property includes two parcels with a total of 6.39 acres. The northeast parcel is identified as Robeson County PIN #030178146500 and contains 4.0 acres. The southwest parcel is identified as Robeson County PIN #030178034391 and contains 2.39 acres. Both parcels were undeveloped at the time of the site inspection and were being used for agricultural purposes. According to the Robeson County tax records, both parcels of the subject property are currently owned by Michael P. Walters and Barbara M. Walters. Any exceptions to, or deletions from, this practice are described in **Section 1.4** of this report.

Historical information reviewed as part of this Phase I ESA indicates that both parcels of the subject property have been used for agricultural purposes from at least 1938, as shown on the earliest aerial photograph, until the present. From at least 1938 to 1964, the property appeared to have been associated with an adjacent home site, which is visible on the aerials to the east of the property boundary. By 1974, the road leading to the home site was re-routed and Harrill Road was constructed along the eastern boundary of the property. Since at least 2011, a rotation of corn or soybean crops have been grown on the land. At the time of the site inspection, the property was being used for agricultural purposes and a corn crop was in the process of being grown for harvest. The surrounding area includes residential, agricultural, and institutional land use and wooded/undeveloped properties.

Recognized Environmental Conditions

Recognized Environmental Conditions (RECs) are defined by the ASTM Standard Practice E1527-13 as the presence or likely presence of any hazardous substances or petroleum products in, at, or on a property: (1) due to any release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. *De minimis* conditions are not recognized environmental conditions.

This assessment did not reveal any recognized environmental conditions (RECs) associated with the subject property.

Historical Recognized Environmental Conditions (HRECs) are defined by the ASTM Standard Practice E1527-13 as a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any historical recognized environmental conditions (HRECs) associated with the subject property.

Controlled Recognized Environmental Conditions (CRECs) are defined by the ASTM Standard Practice E1527-13 as a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any controlled recognized environmental conditions (CRECs) associated with the subject property.

Observations

- At the time of the site inspection, the property was being used for agricultural purposes and a corn crop was in the process of being grown for harvest. The current property owner indicated that the land is being leased on a yearly basis and the lease expires either when the crop is harvested or no later than the last day of the lease year. The current lease is set to expire no later than December 31, 2021.
- A fenced-in retention pond is located on the adjacent property to the southwest (Northeast Pointe Apartments). The pond overflow drains toward drainage ditches that run along the southwestern and northwestern boundaries of the subject property. The ditches direct the overflow toward the unnamed tributary of Meadow Branch along the northeastern boundary of the property.

Recommendations

Based on the findings of this Phase I ESA, Pyramid did not identify potential RECs, HRECs, or CRECs associated with the subject property; therefore, further environmental investigation is not recommended at this time.

Gievers, Andrea

From: Gievers, Andrea
Sent: Wednesday, October 26, 2022 2:35 PM
To: samantha.oxendine@ci.lumberton.nc.us
Subject: Planned Above-ground Storage Tanks

Hello:

I am working on a proposed multifamily, affordable housing project, Northeast Pointe II, located at 219 Harrill Road, Lumberton, Robeson County, NC 28358. Are you aware of any planned/ future Above-ground Storage Tanks within one mile of this location? Thank you for your help.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700

ATTACHMENT I:

Farmland Protection



Natural Resources
Conservation Service

January 13, 2022

North Carolina
State Office

Tamara Cagle
Pyramid Environmental & Engineering, P.C.
P.O. Box 16265, Greensboro, NC 27416-0265
336-335-3174 ext. 135
tamara@pyramidenvironmental.com

4407 Bland Rd.
Suite 117
Raleigh, NC 27609
Voice (919) 873-2158
Fax (844) 325-6833

Dear Tamara Cagle,

The following information is in response to your request soliciting comments regarding the Northeast Pointe II Affordable Housing Project in Robeson County, NC.

Projects are subject to Farmland Protection Policy Act (FPPA) requirements if they may irreversibly convert farmland (directly or indirectly) to nonagricultural use and are completed by a Federal agency or with assistance from a Federal agency.

For the purpose of FPPA, farmland includes prime farmland, unique farmland, and land of statewide or local importance. Farmland subject to FPPA requirements does not have to be currently used for cropland. It can be forest land, pastureland, cropland, or other land, but not water or urban built-up land. Farmland means prime or unique farmlands as defined in section 1540(c)(1) of the Act or farmland that is determined by the appropriate state or unit of local government agency or agencies with concurrence of the Secretary to be farmland of statewide or local importance.

"Farmland" does not include land already in or committed to urban development or water storage. Farmland already in urban development or water storage includes all such land with a density of 30 structures per 40-acre area. Farmland already in urban development also includes lands identified as urbanized area (UA) on the Census Bureau Map, or as urban area mapped with a "tint overprint" on the USGS topographical maps, or as "urban-built-up" on the USDA Important Farmland Maps.

The area in question **is not** considered Prime Farmland, as the site is located within an Urban Cluster. There is no need to continue the AD-1006 form according to the Code of Federal Regulation 7CFR 658, Farmland Protection Policy Act. The project site in question is exempt from the FPPA regulations.

If you have any questions, please feel free to email me at Laura.Muzzy@usda.gov.

Sincerely,

Laurie F. Muzzy
Resource Soil Scientist

cc:

Michael Jones, State Soil Scientist, NRCS, Raleigh, NC
Joshua Davis, Soil conservationist, NRCS, Lumberton, NC

FARMLAND CONVERSION IMPACT RATING

PART I (To be completed by Federal Agency)		Date Of Land Evaluation Request September 27, 2021			
Name of Project Northeast Pointe II		Federal Agency Involved HUD & USDA			
Proposed Land Use Residential - Affordable Housing		County and State Robeson County, North Carolina			
PART II (To be completed by NRCS)		Date Request Received By NRCS 9/28/2021		Person Completing Form: Laurie F. Muzzy	
Does the site contain Prime, Unique, Statewide or Local Important Farmland? <i>(If no, the FPPA does not apply - do not complete additional parts of this form)</i>		YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	Acres Irrigated	
				Average Farm Size	
Major Crop(s)		Farmable Land In Govt. Jurisdiction Acres: %		Amount of Farmland As Defined in FPPA Acres: %	
Name of Land Evaluation System Used		Name of State or Local Site Assessment System		Date Land Evaluation Returned by NRCS 1/13/2022	
PART III (To be completed by Federal Agency)		Alternative Site Rating			
		Site A	Site B	Site C	Site D
A. Total Acres To Be Converted Directly					
B. Total Acres To Be Converted Indirectly					
C. Total Acres In Site					
PART IV (To be completed by NRCS) Land Evaluation Information					
A. Total Acres Prime And Unique Farmland					
B. Total Acres Statewide Important or Local Important Farmland					
C. Percentage Of Farmland in County Or Local Govt. Unit To Be Converted					
D. Percentage Of Farmland in Govt. Jurisdiction With Same Or Higher Relative Value					
PART V (To be completed by NRCS) Land Evaluation Criterion Relative Value of Farmland To Be Converted (Scale of 0 to 100 Points)					
PART VI (To be completed by Federal Agency) Site Assessment Criteria <i>(Criteria are explained in 7 CFR 658.5 b. For Corridor project use form NRCS-CPA-106)</i>		Maximum Points	Site A	Site B	Site C
1. Area In Non-urban Use		(15)			
2. Perimeter In Non-urban Use		(10)			
3. Percent Of Site Being Farmed		(20)			
4. Protection Provided By State and Local Government		(20)			
5. Distance From Urban Built-up Area		(15)			
6. Distance To Urban Support Services		(15)			
7. Size Of Present Farm Unit Compared To Average		(10)			
8. Creation Of Non-farmable Farmland		(10)			
9. Availability Of Farm Support Services		(5)			
10. On-Farm Investments		(20)			
11. Effects Of Conversion On Farm Support Services		(10)			
12. Compatibility With Existing Agricultural Use		(10)			
TOTAL SITE ASSESSMENT POINTS		160	0	0	0
PART VII (To be completed by Federal Agency)					
Relative Value Of Farmland (From Part V)		100	0	0	0
Total Site Assessment (From Part VI above or local site assessment)		160	0	0	0
TOTAL POINTS (Total of above 2 lines)		260	0	0	0
Site Selected:		Date Of Selection		Was A Local Site Assessment Used? YES <input type="checkbox"/> NO <input type="checkbox"/>	
Reason For Selection:					
Name of Federal agency representative completing this form:					Date:

STEPS IN THE PROCESSING THE FARMLAND AND CONVERSION IMPACT RATING FORM

- Step 1 - Federal agencies (or Federally funded projects) involved in proposed projects that may convert farmland, as defined in the Farmland Protection Policy Act (FPPA) to nonagricultural uses, will initially complete Parts I and III of the form. For Corridor type projects, the Federal agency shall use form NRCS-CPA-106 in place of form AD-1006. The Land Evaluation and Site Assessment (LESA) process may also be accessed by visiting the FPPA website, <http://fppa.nrcs.usda.gov/lesa/>.
- Step 2 - Originator (Federal Agency) will send one original copy of the form together with appropriate scaled maps indicating location(s) of project site(s), to the Natural Resources Conservation Service (NRCS) local Field Office or USDA Service Center and retain a copy for their files. (NRCS has offices in most counties in the U.S. The USDA Office Information Locator may be found at http://offices.usda.gov/scripts/ndISAPI.dll/oip_public/USA_map, or the offices can usually be found in the Phone Book under U.S. Government, Department of Agriculture. A list of field offices is available from the NRCS State Conservationist and State Office in each State.)
- Step 3 - NRCS will, within 10 working days after receipt of the completed form, make a determination as to whether the site(s) of the proposed project contains prime, unique, statewide or local important farmland. (When a site visit or land evaluation system design is needed, NRCS will respond within 30 working days.
- Step 4 - For sites where farmland covered by the FPPA will be converted by the proposed project, NRCS will complete Parts II, IV and V of the form.
- Step 5 - NRCS will return the original copy of the form to the Federal agency involved in the project, and retain a file copy for NRCS records.
- Step 6 - The Federal agency involved in the proposed project will complete Parts VI and VII of the form and return the form with the final selected site to the servicing NRCS office.
- Step 7 - The Federal agency providing financial or technical assistance to the proposed project will make a determination as to whether the proposed conversion is consistent with the FPPA.

INSTRUCTIONS FOR COMPLETING THE FARMLAND CONVERSION IMPACT RATING FORM

(For Federal Agency)

Part I: When completing the "County and State" questions, list all the local governments that are responsible for local land use controls where site(s) are to be evaluated.

Part III: When completing item B (Total Acres To Be Converted Indirectly), include the following:

1. Acres not being directly converted but that would no longer be capable of being farmed after the conversion, because the conversion would restrict access to them or other major change in the ability to use the land for agriculture.
2. Acres planned to receive services from an infrastructure project as indicated in the project justification (e.g. highways, utilities planned build out capacity) that will cause a direct conversion.

Part VI: Do not complete Part VI using the standard format if a State or Local site assessment is used. With local and NRCS assistance, use the local Land Evaluation and Site Assessment (LESA).

1. Assign the maximum points for each site assessment criterion as shown in § 658.5(b) of CFR. In cases of corridor-type project such as transportation, power line and flood control, criteria #5 and #6 will not apply and will, be weighted zero, however, criterion #8 will be weighed a maximum of 25 points and criterion #11 a maximum of 25 points.
2. Federal agencies may assign relative weights among the 12 site assessment criteria other than those shown on the FPPA rule after submitting individual agency FPPA policy for review and comment to NRCS. In all cases where other weights are assigned, relative adjustments must be made to maintain the maximum total points at 160. For project sites where the total points equal or exceed 160, consider alternative actions, as appropriate, that could reduce adverse impacts (e.g. Alternative Sites, Modifications or Mitigation).

Part VII: In computing the "Total Site Assessment Points" where a State or local site assessment is used and the total maximum number of points is other than 160, convert the site assessment points to a base of 160.

Example: if the Site Assessment maximum is 200 points, and the alternative Site "A" is rated 180 points:

$$\frac{\text{Total points assigned Site A}}{\text{Maximum points possible}} = \frac{180}{200} \times 160 = 144 \text{ points for Site A}$$

For assistance in completing this form or FPPA process, contact the local NRCS Field Office or USDA Service Center.

NRCS employees, consult the FPPA Manual and/or policy for additional instructions to complete the AD-1006 form.



September 27, 2021

Ms. Kristin May
Resource Soil Scientist
USDA NRCS - State Conservation Office
Raleigh Service Center
4407 Bland Road, Suite 117
Raleigh, NC 27609

Sent via email: Kristin.may@usda.gov


**Re: Northeast Pointe II Proposed Affordable Apartments
219 Harrill Road, Lumberton, NC**

Dear Ms. May:

Pyramid Environmental & Engineering, P.C. is preparing USDA and HUD Environmental Reviews for the developer of the project known as **Northeast Pointe II**, a proposed 72-unit affordable housing project. The proposed project is located at 219 Harrill Road, in Lumberton, Robeson County, North Carolina. The location of the site is shown on the attached maps. The project involves the development of approximately 6.39 acres of land including the construction of a community center building and seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. A conceptual site plan is enclosed for your review. The proposed site is currently undeveloped and is being used for seasonal farming; however, it is adjacent to a sister housing development, Northeast Pointe I (built in 2017-2018), to the south and a mobile home park to the north. Photographs of the site taken as part of the site investigation are attached. Pyramid has generated a USDA NRCS Web Soil Survey Report, which indicates that soils at the subject site are classified as prime farmland. A copy of this report is attached for your review. The Urbanized Areas Map (attached) indicates that the site is located outside of an area that is considered urbanized by the U.S. Census Bureau.

This letter is a formal request to determine what effect(s), if any, the proposed activity may have on prime or unique farmland, farmland of state or local importance, and compliance with the Farmlands Protection Act. Using your area of expertise as a guide, please reply as soon as possible by email to tamara@pyramidenvironmental.com. We have also included a copy of the AD-1006 form with the completed site information. Please contact me at your convenience if you have any questions.

Sincerely,


Tamara Cagle
Project Manager

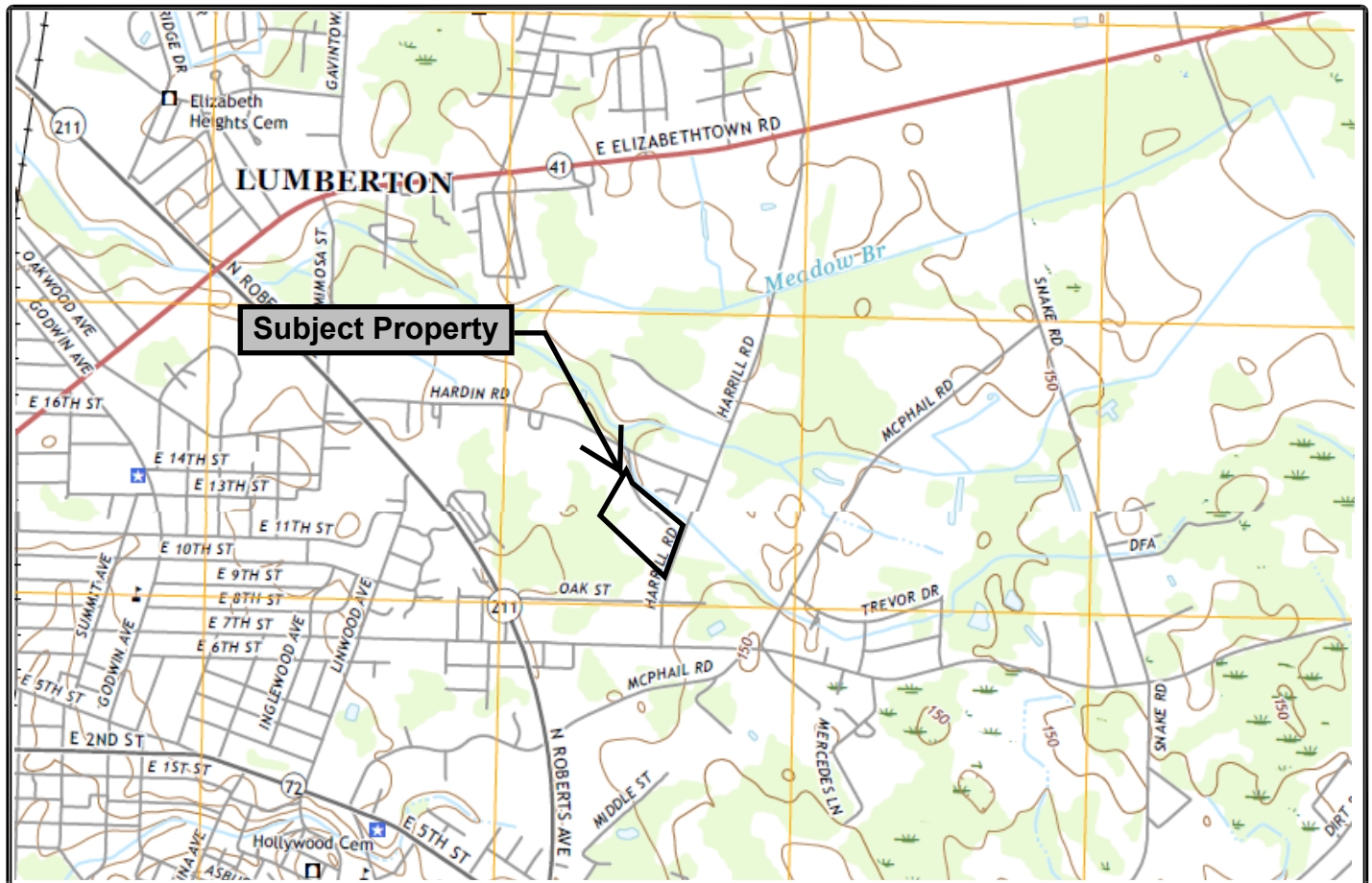
Enclosures as stated

P.O. Box 16265 • Greensboro, NC 27416
503 Industrial Ave • Greensboro, NC 27406
Phone (336)335-3174 • Fax (336)691-0648 • Toll Free (866)545-9507
Email: Info@pyramidenvironmental.com
www.pyramidenvironmental.com

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina



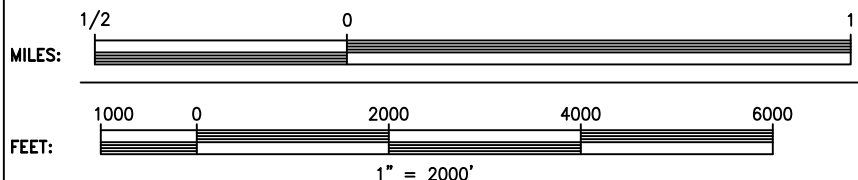
USGS IDENTIFICATION

USGS 7.5
MINUTE MAP
ORIGINAL DATE:
PHOTOREVISION
DATE:

Northeast & Southeast
Lumberton, NC
2019
N/A

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

SCALES

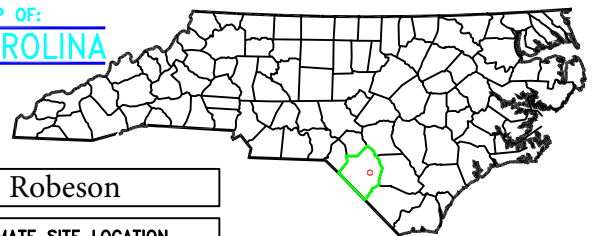


NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
► PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH



COUNTY MAP OF:
NORTH CAROLINA



COUNTY: Robeson

APPROXIMATE SITE LOCATION



CLIENT: Mills Construction Co., Inc.

PROPERTY NAME: 219 Harrill Road

CITY: Lumberton STATE: North Carolina

TITLE: Topographic Map

SCALE:
1" = 2,000'

DATE: 09/02/21

DRAWING NAME:
USGSTOPO

DRAWN BY: JRD

CHECK BY: BSH

JOB NO.: 2021-258

TYPE: PHASE I

FIGURE NUMBER:
1

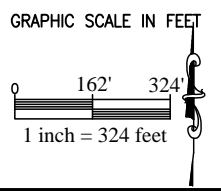
NOTES

TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

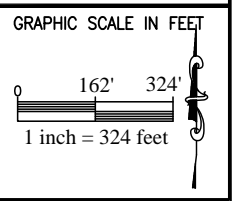


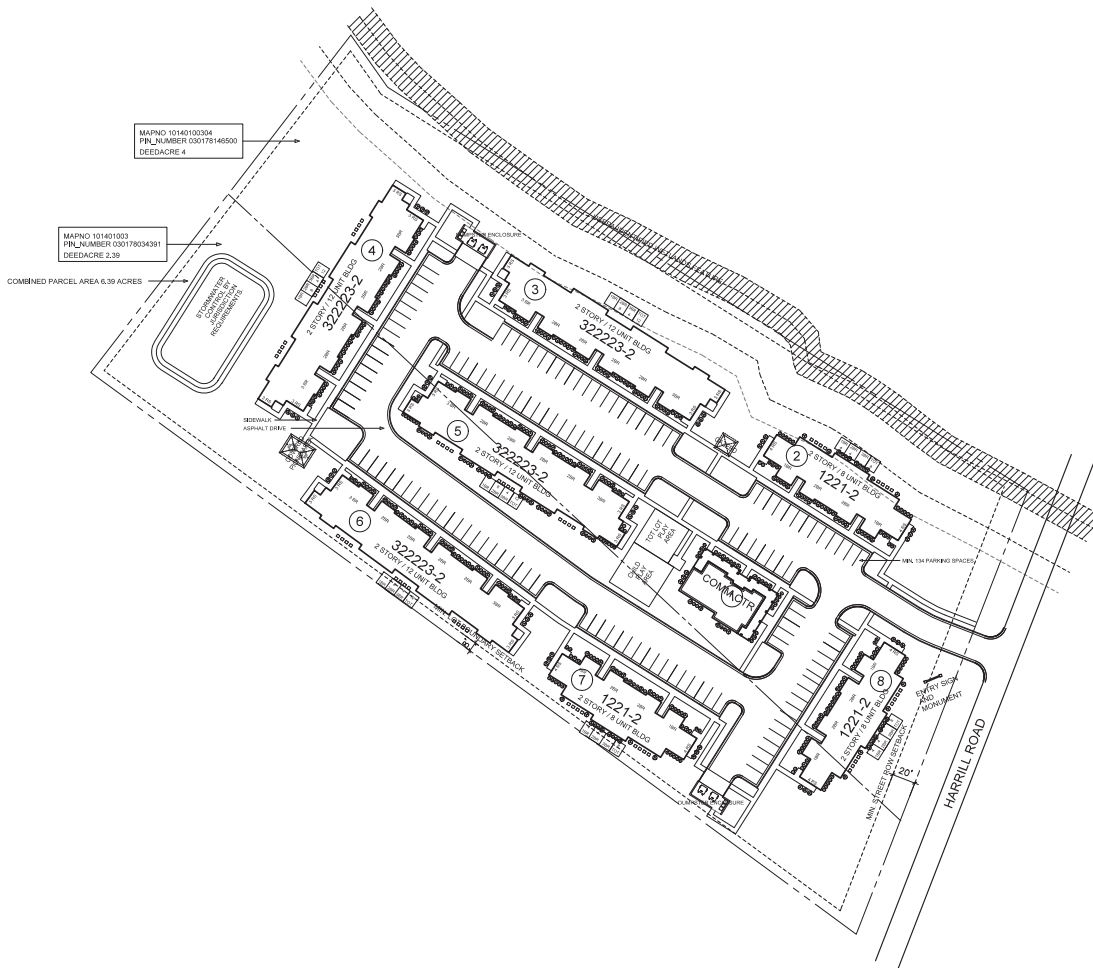
	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3





MAPNO: 10140100304
 PPLNUMBER: 030178146500
 DEEDACRE: 4

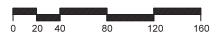
MAPNO: 101401003
 PPLNUMBER: 030178034391
 DEEDACRE: 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

THESE DRAWINGS ARE THE
 PROPERTY OF
 JONES ARCHITECTURE, PLLC
 AND MAY NOT BE REPRODUCED
 WITHOUT WRITTEN PERMISSION.

COPYRIGHT BY
 JONES ARCHITECTURE, PLLC
 ALL RIGHTS RESERVED.

JK JOB#: 2001.12
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS
 DISTRIBUTION WITHIN PROJECT, BY UNIT CLASS, ETC.), ACCESSIBLE ROUTES,
 AND ADA, ETC. REQUIREMENTS ARE NOT ILLUSTRATED ON THIS PLAN. FINAL
 CONSTRUCTION DOCUMENTS WILL BE PREPARED TO BE IN COMPLIANCE WITH
 THOSE REQUIREMENTS.

NOTE THAT THIS IS A PRELIMINARY SITE PLAN, AND IS AN APPROXIMATION OF
 EXISTING CONDITIONS BASED ON LIMITED INFORMATION.
 THE PROPERTY BOUNDARY, AND OTHER EXISTING SITE INFORMATION,
 MAY HAVE BEEN APPROXIMATED FROM GIS OR AERIAL INFORMATION
 PROVIDED BY OTHERS, THE ACCURACY OF WHICH IS UNKNOWN. THIS
 DOCUMENT IS NOT INTENDED FOR THE CONVEYANCE OF PROPERTY
 RIGHTS.

THIS IS A PRELIMINARY PLAN TO ILLUSTRATE A DESIGN CONCEPT ONLY.
 EXISTING BOUNDARY, RIGHTS OF WAY, EASEMENTS, ZONING CONDITIONS,
 SETBACKS, PARKING REQUIREMENTS, STORMWATER REQUIREMENTS,
 UTILITY ACCESS, SEWER ACCESS, WETLANDS, RETAINING WALLS,
 EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS
 AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



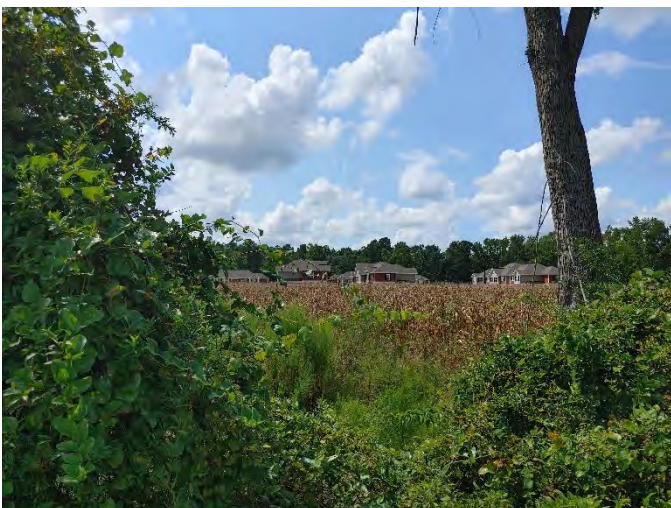
8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.



13: Adjacent property to the northwest, showing agricultural and residential land use.



14: Tributary of Meadow Branch flowing along northeastern boundary of subject property.



15: Adjacent property to the northeast (Lone Oak Mobile Home Park).



16: Adjacent property to the east (Heaven Bound New Vision Church).



17: Adjacent property to the southwest (Northeast Pointe Apartments), facing NE along Harrill Road.



18: Northeast Pointe Liftstation #61 on adjacent property to the SW, facing south along Harrill Road.



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Robeson County, North Carolina

Northeast Pointe II



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

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scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

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identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

Soil Map

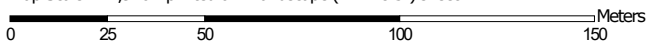
The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Soil Map may not be valid at this scale.

Map Scale: 1:1,940 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)


Soils


 Soil Map Unit Polygons


 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit


 Clay Spot


 Closed Depression

 Gravel Pit

 Gravelly Spot


 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water


 Perennial Water

 Rock Outcrop


 Saline Spot

 Sandy Spot

 Severely Eroded Spot


 Sinkhole


 Slide or Slip


 Sodic Spot


 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

Water Features

 Streams and Canals


Transportation

 Rails

 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Robeson County, North Carolina
 Survey Area Data: Version 18, Jun 3, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 22, 2015—Nov 28, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
GoA	Goldsboro loamy sand, 0 to 2 percent slopes, Southern Coastal Plain	2.6	44.5%
Ly	Lynchburg sandy loam, 0 to 2 percent slopes	1.9	32.7%
Ra	Rains sandy loam, 0 to 2 percent slopes	1.3	22.9%
Totals for Area of Interest		5.9	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or

Custom Soil Resource Report

landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Robeson County, North Carolina

GoA—Goldsboro loamy sand, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2v750

Elevation: 110 to 300 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Goldsboro and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Goldsboro

Setting

Landform: Flats on marine terraces, broad interstream divides on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 9 inches: loamy sand

E - 9 to 12 inches: loamy sand

Bt - 12 to 62 inches: sandy clay loam

Btg - 62 to 80 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
(0.57 to 1.98 in/hr)

Depth to water table: About 24 to 36 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Moderate (about 8.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: B

Hydric soil rating: No

Minor Components

Norfolk

Percent of map unit: 8 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

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Down-slope shape: Convex, linear
Across-slope shape: Convex, linear
Hydric soil rating: No

Lynchburg

Percent of map unit: 7 percent
Landform: Flats on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Ly—Lynchburg sandy loam, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 2vx8p
Elevation: 10 to 330 feet
Mean annual precipitation: 40 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 200 to 280 days
Farmland classification: Prime farmland if drained

Map Unit Composition

Lynchburg and similar soils: 84 percent
Minor components: 16 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Lynchburg

Setting

Landform: Flats on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: sandy loam
E - 8 to 11 inches: sandy loam
Bt - 11 to 21 inches: sandy clay loam
Btg - 21 to 65 inches: sandy clay loam
BCg - 65 to 85 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
(0.57 to 1.98 in/hr)
Depth to water table: About 6 to 18 inches
Frequency of flooding: None

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Frequency of ponding: None

Available water supply, 0 to 60 inches: Moderate (about 6.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: B/D

Hydric soil rating: No

Minor Components

Goldsboro

Percent of map unit: 8 percent

Landform: Flats on marine terraces, broad interstream divides on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Rains

Percent of map unit: 8 percent

Landform: Flats on marine terraces, broad interstream divides on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Ra—Rains sandy loam, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 2v760

Elevation: 30 to 330 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Rains, undrained, and similar soils: 58 percent

Rains, drained, and similar soils: 24 percent

Minor components: 18 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Rains, Undrained

Setting

Landform: Carolina bays on marine terraces, broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

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Parent material: Loamy marine deposits

Typical profile

A - 0 to 6 inches: sandy loam
Eg - 6 to 12 inches: sandy loam
Btg - 12 to 65 inches: sandy clay loam
BCg - 65 to 80 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
(0.20 to 1.98 in/hr)
Depth to water table: About 0 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 7.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: A/D
Hydric soil rating: Yes

Description of Rains, Drained

Setting

Landform: Carolina bays on marine terraces, broad interstream divides on marine terraces, flats on marine terraces
Landform position (three-dimensional): Dip, talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 6 inches: sandy loam
Eg - 6 to 12 inches: sandy loam
Btg - 12 to 65 inches: sandy clay loam
BCg - 65 to 80 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
(0.20 to 1.98 in/hr)
Depth to water table: About 12 to 36 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 7.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 3w
Hydrologic Soil Group: B
Hydric soil rating: Yes

Minor Components

Lynchburg

Percent of map unit: 10 percent

Landform: Flats on marine terraces, broad interstream divides on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Pantego, undrained

Percent of map unit: 8 percent

Landform: Stream terraces, flats, broad interstream divides

Landform position (three-dimensional): Tread, talf

Down-slope shape: Linear

Across-slope shape: Concave

Hydric soil rating: Yes

Soil Information for All Uses

Suitabilities and Limitations for Use

The Suitabilities and Limitations for Use section includes various soil interpretations displayed as thematic maps with a summary table for the soil map units in the selected area of interest. A single value or rating for each map unit is generated by aggregating the interpretive ratings of individual map unit components. This aggregation process is defined for each interpretation.

Land Classifications

Land Classifications are specified land use and management groupings that are assigned to soil areas because combinations of soil have similar behavior for specified practices. Most are based on soil properties and other factors that directly influence the specific use of the soil. Example classifications include ecological site classification, farmland classification, irrigated and nonirrigated land capability classification, and hydric rating.

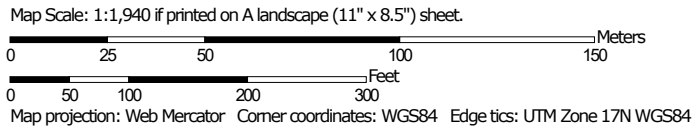
Farmland Classification (Northeast Pointe II)

Farmland classification identifies map units as prime farmland, farmland of statewide importance, farmland of local importance, or unique farmland. It identifies the location and extent of the soils that are best suited to food, feed, fiber, forage, and oilseed crops. NRCS policy and procedures on prime and unique farmlands are published in the "Federal Register," Vol. 43, No. 21, January 31, 1978.

Custom Soil Resource Report
Map—Farmland Classification (Northeast Pointe II)




Soil Map may not be valid at this scale.



Custom Soil Resource Report









MAP LEGEND








Area of Interest (AOI)






 Area of Interest (AOI)








Soils



Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60





































-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available

Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

Custom Soil Resource Report

 Prime farmland if subsoiled, completely removing the root inhibiting soil layer	 Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium	 Farmland of unique importance	 Prime farmland if subsoiled, completely removing the root inhibiting soil layer
 Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	 Farmland of statewide importance, if irrigated and drained	 Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	 Not rated or not available	 Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
 Prime farmland if irrigated and reclaimed of excess salts and sodium	 Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season	Soil Rating Points  Not prime farmland	 Prime farmland if irrigated and reclaimed of excess salts and sodium
 Farmland of statewide importance	 Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer	 Farmland of statewide importance, if warm enough	 All areas are prime farmland	 Farmland of statewide importance
 Farmland of statewide importance, if drained	 Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	 Farmland of statewide importance, if thawed	 Prime farmland if protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if drained
 Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	 Farmland of local importance	 Prime farmland if irrigated	 Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
 Farmland of statewide importance, if irrigated		 Farmland of local importance, if irrigated	 Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if irrigated
			 Prime farmland if irrigated and drained	
			 Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season	

Custom Soil Resource Report

<ul style="list-style-type: none"> Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season Farmland of statewide importance, if irrigated and drained Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60 	<ul style="list-style-type: none"> Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season Farmland of statewide importance, if warm enough Farmland of statewide importance, if thawed Farmland of local importance Farmland of local importance, if irrigated 	<ul style="list-style-type: none"> Farmland of unique importance Not rated or not available <p>Water Features</p> <ul style="list-style-type: none"> Streams and Canals <p>Transportation</p> <ul style="list-style-type: none"> Rails Interstate Highways US Routes Major Roads Local Roads <p>Background</p> <ul style="list-style-type: none"> Aerial Photography 	<p>The soil surveys that comprise your AOI were mapped at 1:20,000.</p> <div style="border: 1px solid black; padding: 5px; margin: 10px 0;"> <p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p> </div> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service Web Soil Survey URL: Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: Robeson County, North Carolina Survey Area Data: Version 18, Jun 3, 2020</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: Apr 22, 2015—Nov 28, 2017</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>
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Table—Farmland Classification (Northeast Pointe II)

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
GoA	Goldsboro loamy sand, 0 to 2 percent slopes, Southern Coastal Plain	All areas are prime farmland	2.6	44.5%
Ly	Lynchburg sandy loam, 0 to 2 percent slopes	Prime farmland if drained	1.9	32.7%
Ra	Rains sandy loam, 0 to 2 percent slopes	Prime farmland if drained	1.3	22.9%
Totals for Area of Interest			5.9	100.0%

Rating Options—Farmland Classification (Northeast Pointe II)

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Lower

Soil Reports

The Soil Reports section includes various formatted tabular and narrative reports (tables) containing data for each selected soil map unit and each component of each unit. No aggregation of data has occurred as is done in reports in the Soil Properties and Qualities and Suitabilities and Limitations sections.

The reports contain soil interpretive information as well as basic soil properties and qualities. A description of each report (table) is included.

Land Classifications

This folder contains a collection of tabular reports that present a variety of soil groupings. The reports (tables) include all selected map units and components for each map unit. Land classifications are specified land use and management groupings that are assigned to soil areas because combinations of soil have similar behavior for specified practices. Most are based on soil properties and other factors that directly influence the specific use of the soil. Example classifications include ecological site classification, farmland classification, irrigated and nonirrigated land capability classification, and hydric rating.

Prime and other Important Farmlands (Northeast Pointe II)

This table lists the map units in the survey area that are considered important farmlands. Important farmlands consist of prime farmland, unique farmland, and farmland of statewide or local importance. This list does not constitute a recommendation for a particular land use.

In an effort to identify the extent and location of important farmlands, the Natural Resources Conservation Service, in cooperation with other interested Federal, State, and local government organizations, has inventoried land that can be used for the production of the Nation's food supply.

Prime farmland is of major importance in meeting the Nation's short- and long-range needs for food and fiber. Because the supply of high-quality farmland is limited, the U.S. Department of Agriculture recognizes that responsible levels of government, as well as individuals, should encourage and facilitate the wise use of our Nation's prime farmland.

Prime farmland, as defined by the U.S. Department of Agriculture, is land that has the best combination of physical and chemical characteristics for producing food, feed, forage, fiber, and oilseed crops and is available for these uses. It could be cultivated land, pastureland, forestland, or other land, but it is not urban or built-up land or water areas. The soil quality, growing season, and moisture supply are those needed for the soil to economically produce sustained high yields of crops when proper management, including water management, and acceptable farming methods are applied. In general, prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation, a favorable temperature and

Custom Soil Resource Report

growing season, acceptable acidity or alkalinity, an acceptable salt and sodium content, and few or no rocks. The water supply is dependable and of adequate quality. Prime farmland is permeable to water and air. It is not excessively erodible or saturated with water for long periods, and it either is not frequently flooded during the growing season or is protected from flooding. Slope ranges mainly from 0 to 6 percent. More detailed information about the criteria for prime farmland is available at the local office of the Natural Resources Conservation Service.

For some of the soils identified in the table as prime farmland, measures that overcome a hazard or limitation, such as flooding, wetness, and droughtiness, are needed. Onsite evaluation is needed to determine whether or not the hazard or limitation has been overcome by corrective measures.

A recent trend in land use in some areas has been the loss of some prime farmland to industrial and urban uses. The loss of prime farmland to other uses puts pressure on marginal lands, which generally are more erodible, droughty, and less productive and cannot be easily cultivated.

Unique farmland is land other than prime farmland that is used for the production of specific high-value food and fiber crops, such as citrus, tree nuts, olives, cranberries, and other fruits and vegetables. It has the special combination of soil quality, growing season, moisture supply, temperature, humidity, air drainage, elevation, and aspect needed for the soil to economically produce sustainable high yields of these crops when properly managed. The water supply is dependable and of adequate quality. Nearness to markets is an additional consideration. Unique farmland is not based on national criteria. It commonly is in areas where there is a special microclimate, such as the wine country in California.

In some areas, land that does not meet the criteria for prime or unique farmland is considered to be *farmland of statewide importance* for the production of food, feed, fiber, forage, and oilseed crops. The criteria for defining and delineating farmland of statewide importance are determined by the appropriate State agencies. Generally, this land includes areas of soils that nearly meet the requirements for prime farmland and that economically produce high yields of crops when treated and managed according to acceptable farming methods. Some areas may produce as high a yield as prime farmland if conditions are favorable. Farmland of statewide importance may include tracts of land that have been designated for agriculture by State law.

In some areas that are not identified as having national or statewide importance, land is considered to be *farmland of local importance* for the production of food, feed, fiber, forage, and oilseed crops. This farmland is identified by the appropriate local agencies. Farmland of local importance may include tracts of land that have been designated for agriculture by local ordinance.

Report—Prime and other Important Farmlands (Northeast Pointe II)

Prime and other Important Farmlands—Robeson County, North Carolina		
Map Symbol	Map Unit Name	Farmland Classification
GoA	Goldsboro loamy sand, 0 to 2 percent slopes, Southern Coastal Plain	All areas are prime farmland
Ly	Lynchburg sandy loam, 0 to 2 percent slopes	Prime farmland if drained

Custom Soil Resource Report

Prime and other Important Farmlands–Robeson County, North Carolina		
Map Symbol	Map Unit Name	Farmland Classification
Ra	Rains sandy loam, 0 to 2 percent slopes	Prime farmland if drained

References

- American Association of State Highway and Transportation Officials (AASHTO). 2004. Standard specifications for transportation materials and methods of sampling and testing. 24th edition.
- American Society for Testing and Materials (ASTM). 2005. Standard classification of soils for engineering purposes. ASTM Standard D2487-00.
- Cowardin, L.M., V. Carter, F.C. Golet, and E.T. LaRoe. 1979. Classification of wetlands and deep-water habitats of the United States. U.S. Fish and Wildlife Service FWS/OBS-79/31.
- Federal Register. July 13, 1994. Changes in hydric soils of the United States.
- Federal Register. September 18, 2002. Hydric soils of the United States.
- Hurt, G.W., and L.M. Vasilas, editors. Version 6.0, 2006. Field indicators of hydric soils in the United States.
- National Research Council. 1995. Wetlands: Characteristics and boundaries.
- Soil Survey Division Staff. 1993. Soil survey manual. Soil Conservation Service. U.S. Department of Agriculture Handbook 18. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_054262
- Soil Survey Staff. 1999. Soil taxonomy: A basic system of soil classification for making and interpreting soil surveys. 2nd edition. Natural Resources Conservation Service, U.S. Department of Agriculture Handbook 436. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053577
- Soil Survey Staff. 2010. Keys to soil taxonomy. 11th edition. U.S. Department of Agriculture, Natural Resources Conservation Service. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053580
- Tiner, R.W., Jr. 1985. Wetlands of Delaware. U.S. Fish and Wildlife Service and Delaware Department of Natural Resources and Environmental Control, Wetlands Section.
- United States Army Corps of Engineers, Environmental Laboratory. 1987. Corps of Engineers wetlands delineation manual. Waterways Experiment Station Technical Report Y-87-1.
- United States Department of Agriculture, Natural Resources Conservation Service. National forestry manual. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/home/?cid=nrcs142p2_053374
- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>

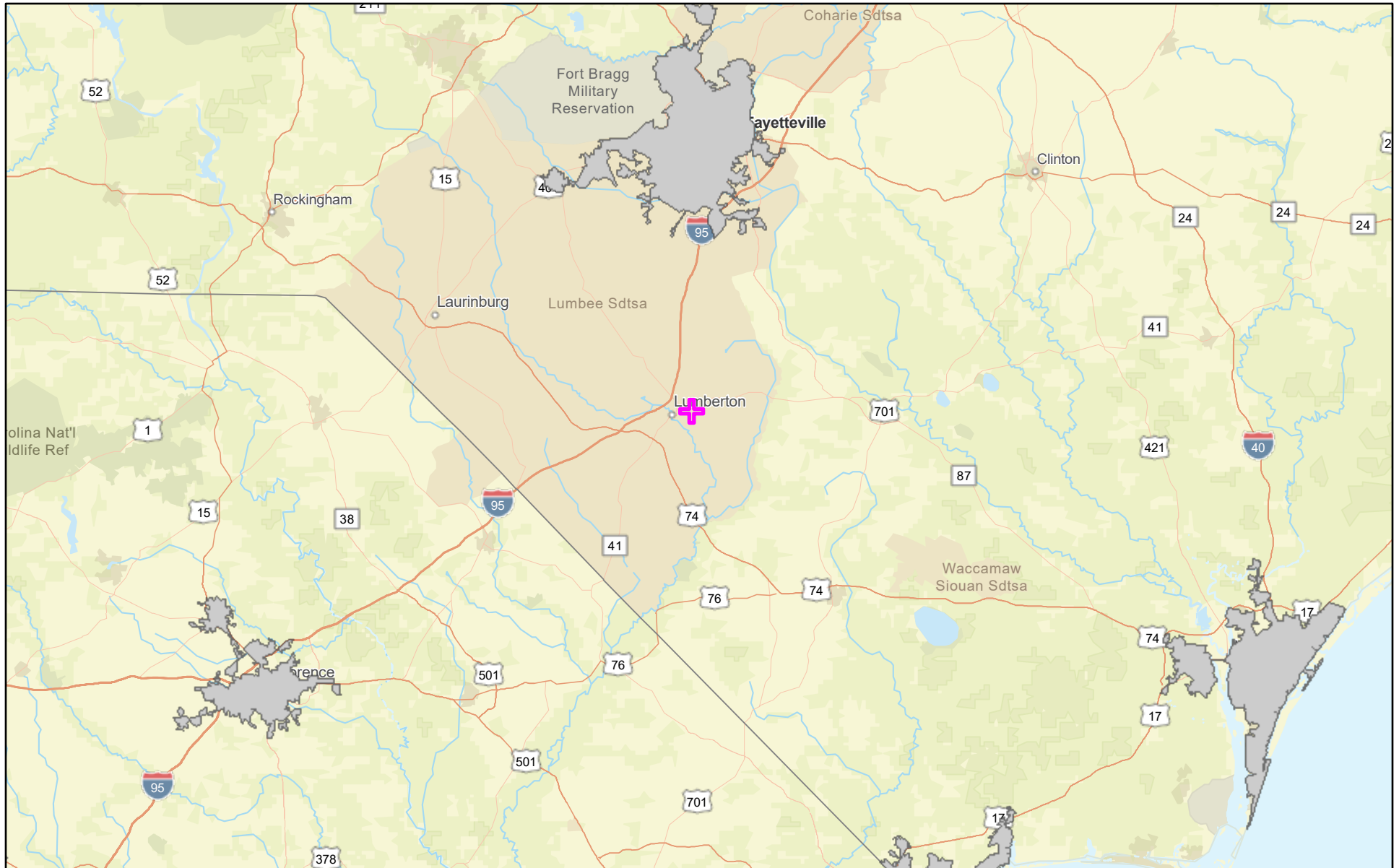
Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242

United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624


United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf

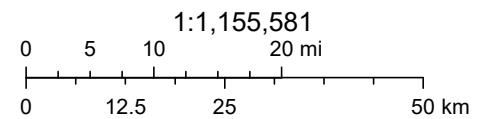
Urbanized Areas Map



September 23, 2021

 Site Location

 Urbanized Areas



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, EPA OEI

Map generated using the US EPA NEPAassist Tool online at <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>.

ATTACHMENT J:

FEMA FIRM

National Flood Hazard Layer FIRMette



78°58'50"W 34°37'41"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/7/2021 at 2:40 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

ATTACHMENT K:

Historic Preservation



**North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper
Secretary D. Reid Wilson

Office of Archives and History
Deputy Secretary, Darin J. Waters, Ph.D.

December 10, 2021

MEMORANDUM

TO: Andrea Gievers andrea.l.gievers@rebuild.nc.gov
N.C. Office of Recovery & Resiliency
Department of Community Development

FROM: Ramona Bartos *RMB for Ramona M. Bartos*

SUBJECT: Construct Northeast Pointe II Apartments, 219 Harrill Road, Lumberton, Robeson County,
ER 21-2702

Thank you for your email of November 3, 2021, concerning the above project.

We have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we have no comment on the project as proposed.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-814-6579 or environmental.review@ncdcr.gov. In all future communication concerning this project, please cite the above referenced tracking number.

Gievers, Andrea

From: Gievers, Andrea
Sent: Wednesday, November 3, 2021 4:06 PM
To: DCR - Environmental_Review
Cc: Gledhill-earley, Renee
Subject: Section 106 Review HUD CDBG-DR - Northeast Pointe II Apartments
Attachments: NCORR SHPO NEPointe II 11.3.21.pdf

Dear Ms. Gledhill-Earley:

Please find attached the request for your review and concurrence regarding the *Northeast Pointe II Apartments Proposed Project* in accordance with Section 106 of the National Historic Preservation Act (NHPA) and its implementing regulations, 36 CFR Part 800. Based on our research of the property performed by Pyramid Environmental & Engineering, P.C., we have defined the Area of Potential Effect (APE) as approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358. We have made a preliminary finding of “No Historic Properties Affected” pursuant to 36 CFR 800.4(d)(1). Your Office has likely received a submission on this proposed project from both Pyramid (SCH) and NCHFA’s Ms. Claudia Young. A separate environmental review is being performed by NCHFA for the Low-Income Housing Tax Credits (LIHTC) funding application.

NCORR respectfully requests your review of the proposed project described herein. In accordance with §800.4(d)(1)(i), your office has *thirty days* to object to this finding. If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor

Cassandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 3, 2021

Ms. Renee Gledhill-Earley
Environmental Review Coordinator
NC State Historic Preservation Office
4617 Mail Service Center
Raleigh, NC 27699-4617

Via email: renee.gledhill-earley@ncdcr.gov
Environmental.Review@ncdcr.gov

RE: State Historic Preservation Office Request for Concurrence
Section 106 Review - HUD CDBG-DR Program
Proposed Northeast Pointe II Apartments
219 Harrill Road
Lumberton, NC 28358

Dear Ms. Gledhill-Earley:

In accordance with Section 106 of the National Historic Preservation Act (NHPA) and its implementing regulations, 36 CFR Part 800, we are providing information for your review and concurrence regarding the above-referenced project. The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and request for consultation. *A separate environmental review is being performed by NCHFA for Low-Income Housing Tax Credits (LIHTC) funding application.*

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358. The proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

Proposed Project Description: Northeast Pointe II apartments is applying for funding using a combination of LIHTC and CDBG-DR funds and USDA Rural Development loan for the construction of a proposed 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed project will also include a 2,092-square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The Subject Property is adjacent to two City of Lumberton designated Opportunity Zones (Census Tracts: 9606 and 9608.01) and has been identified as an area underserved with affordable rental housing. The proposed units will help fulfill the affordable housing needs of the community. The proposed project preliminary site plan is included in **Attachment 2**.

We have made a Finding of “*No Historic Properties Affected*” pursuant to 36 CFR 800.4(d)(1) based on the following:

A review of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office’s HPOWEB, and site review performed by Pyramid Environmental & Engineering, P.C., identified no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. The Subject Property contains approximately 6.39 acres of undeveloped land and is situated just east of downtown Lumberton. The proposed Northeast Pointe II apartments will be compatible with the surrounding land use and will provide needed quality, affordable multi-family housing. The Subject Property is conveniently located within three miles of downtown Lumberton and is within one to two miles of many of the necessary services required by individuals and families, including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 3**.

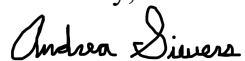
Attached for your review are copies of relevant documents supporting our finding, along with photographs and a map showing the location of the Subject Property. This documentation satisfies requirements set forth at §800.11(d).

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. A consultation request for the proposed project described herein is also being sent to the Catawba Indian Nation. The Lumbee Tribe is being sent a notification of the proposed project. In accordance with Section 101(d)(6)(B) of the NHPA of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action.

NCORR respectfully requests your review of the proposed project described herein. In accordance with §800.4(d)(1)(i), your office has *thirty days* to object to this finding. Please respond within this timeframe, otherwise we will assume that you concur with our finding. If you concur, please sign on the line below and return a copy of this letter by email to Andrea Gievers at Andrea.L.Gievers@Rebuild.NC.gov.

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Enclosures for *Proposed Northeast Pointe II Apartments*:

Attachment 1: Proposed Project Location Maps, County Parcel Data, and NRHP and NC
HPOWEB Maps

Attachment 2: Proposed Project Preliminary Site Plan

Attachment 3: Subject Property Photographs

Concurrence:

State Historic Preservation Officer

Date

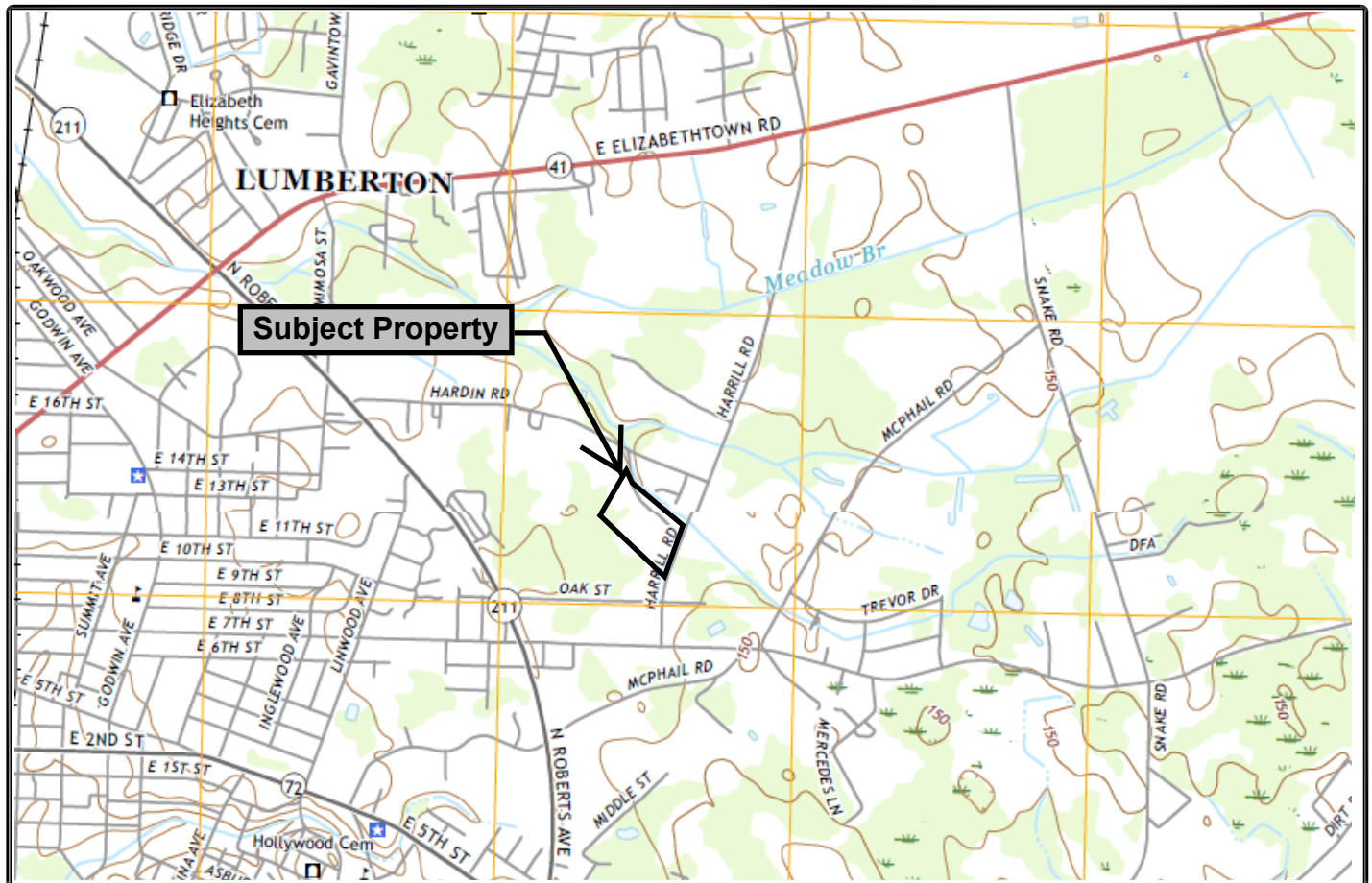
ATTACHMENT 1:

**Proposed Project Location Maps, County Parcel Data,
and NRHP and NC HPOWEB Maps**

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina

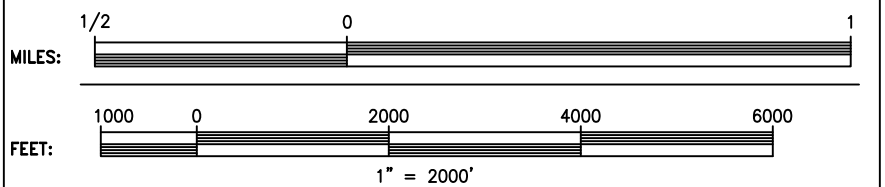


USGS IDENTIFICATION

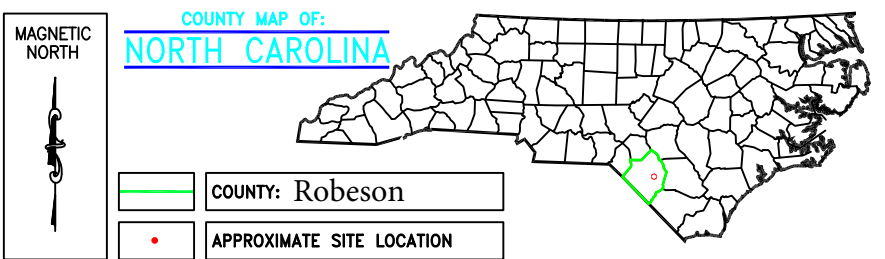
USGS 7.5 MINUTE MAP	Northeast & Southeast Lumberton, NC
ORIGINAL DATE: 2019	
PHOTOREVISION DATE: N/A	

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

SCALES



NOTES: ▶ TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
▶ PHOTOREVISIONS DENOTED IN PURPLE



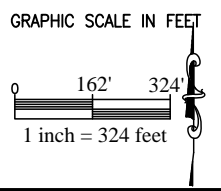
CLIENT: Mills Construction Co., Inc.
 PROPERTY NAME: 219 Harrill Road
 CITY: Lumberton STATE: North Carolina
 TITLE: Topographic Map

SCALE: 1" = 2,000'
 DATE: 09/02/21
 DRAWING NAME: USGSTOPO
 DRAWN BY: JRD
 CHECK BY: BSH
 JOB NO.: 2021-258
 TYPE: PHASE I
 FIGURE NUMBER: 1

NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

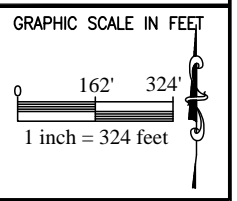


	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3





Robeson County Government

PROPERTY REPORT - PRINT

Property Owner WALTERS MICHAEL P & WF WALTERS BARBARA M	Owner's Mailing Address 1887 OAKTON CHURCH RD FAIRMONT, NC 28340	Property Location Address HARRILL RD
--	---	--

Administrative Data Parcel Ref No. 101401003 PIN 030178023100 Account No. 36821015 Tax District TOWN LUMBERTON Land Use Code V-00 Land Use Desc UP TO 10 ACRES Subdiv Code Subdiv Desc Neighborhood 32055	Administrative Data Legal Desc A EAST & WEST SR 2113 Deed Bk/Pg 01998 / 0606 Plat Bk/Pg / Sales Information Grantor MACK WHITE INVESTMENTS INC Sold Date 2015-06-29 Sold Amount \$ 0	Valuation Information Market Value \$ 25,400 Market Value - Land and all permanent improvements, if any, effective January 1, 2010, date of County's most recent General Reappraisal Assessed Value \$ 25,400 If Assessed Value not equal Market Value then subject parcel designated as a special class -agricultural, horticultural, or forestland and thereby eligible for taxation on basis of Present-Use and/or reduction from a formal appeal procedure Land Supplemental Map Acres 2.39 Tax District Note Present-Use Info
--	---	---

Improvement Detail (1st Major Improvement on Subject Parcel)	
Year Built	0
Built Use/Style	
Current Use	/
* Percent Complete	0
Heated Area (S/F)	0
** Bathroom(s)	0 Full Bath(s) 0 Half Bath(s)
** Bedroom(s)	0
Fireplace (Y/N)	N
Basement (Y/N)	N
Attached Garage (Y/N)	N
*** Multiple Improvements	0
<small>* Note - As of January 1 ** Note - Bathroom(s), Bedroom(s), shown for description only *** Note - If multiple improvements equal "MLT" then parcel includes additional major improvements</small>	

Improvement Valuation (1st Major Improvement on Subject Parcel)	
* Improvement Market Value \$	** Improvement Assessed Value \$
0	0
<small>* Note - Market Value effective Date equal January 1, 2010, date of County's most recent General Reappraisal ** Note - If Assessed Value not equal Market Value then variance resulting from formal appeal procedure</small>	

Land Value Detail (Effective Date January 1, 2010, date of County's most recent General Reappraisal)		
Land Market Value (LMV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$
25,400	25,400	25,400
<small>** Note: If PUV equal LMV then parcel has not qualified for present use program</small>		



Robeson County Government

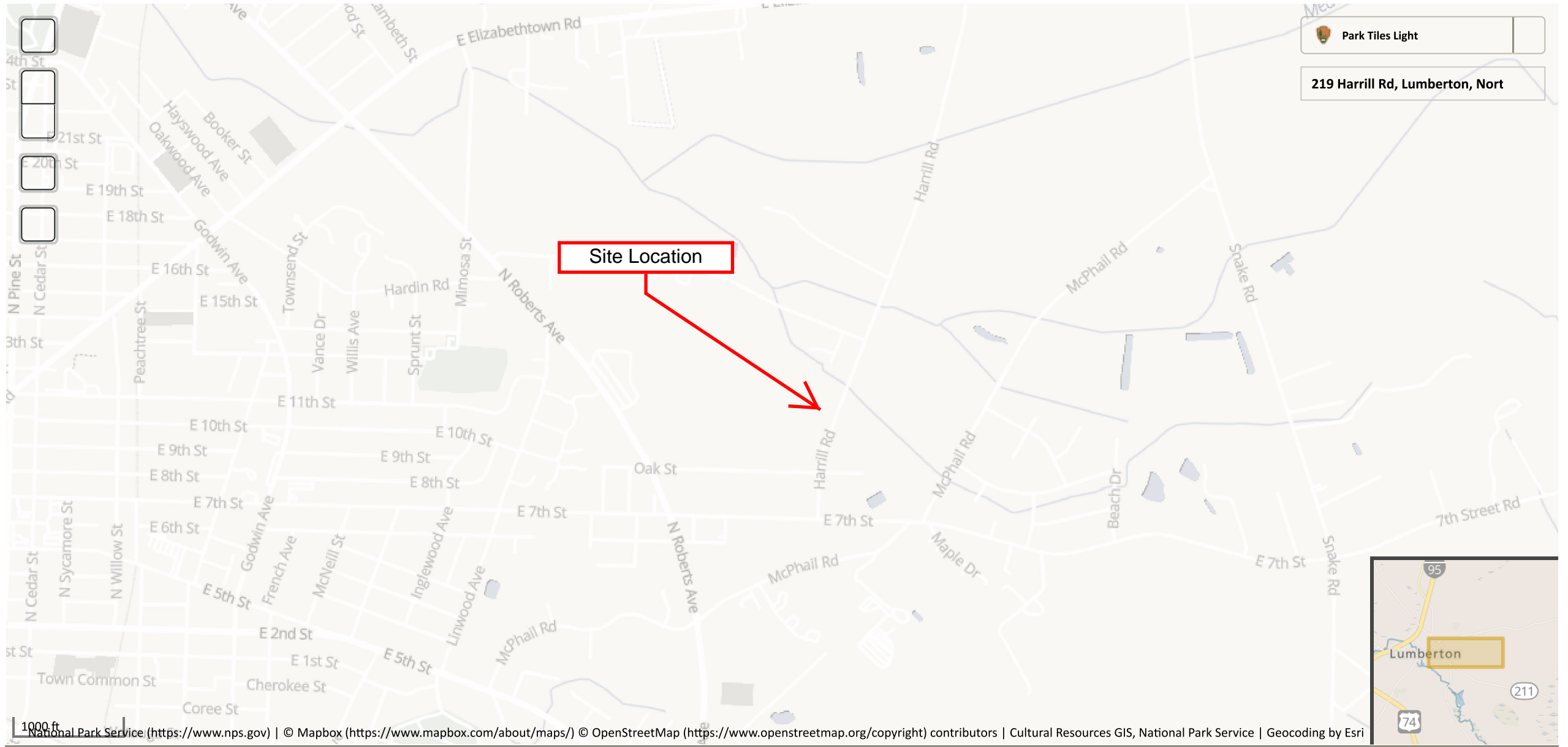
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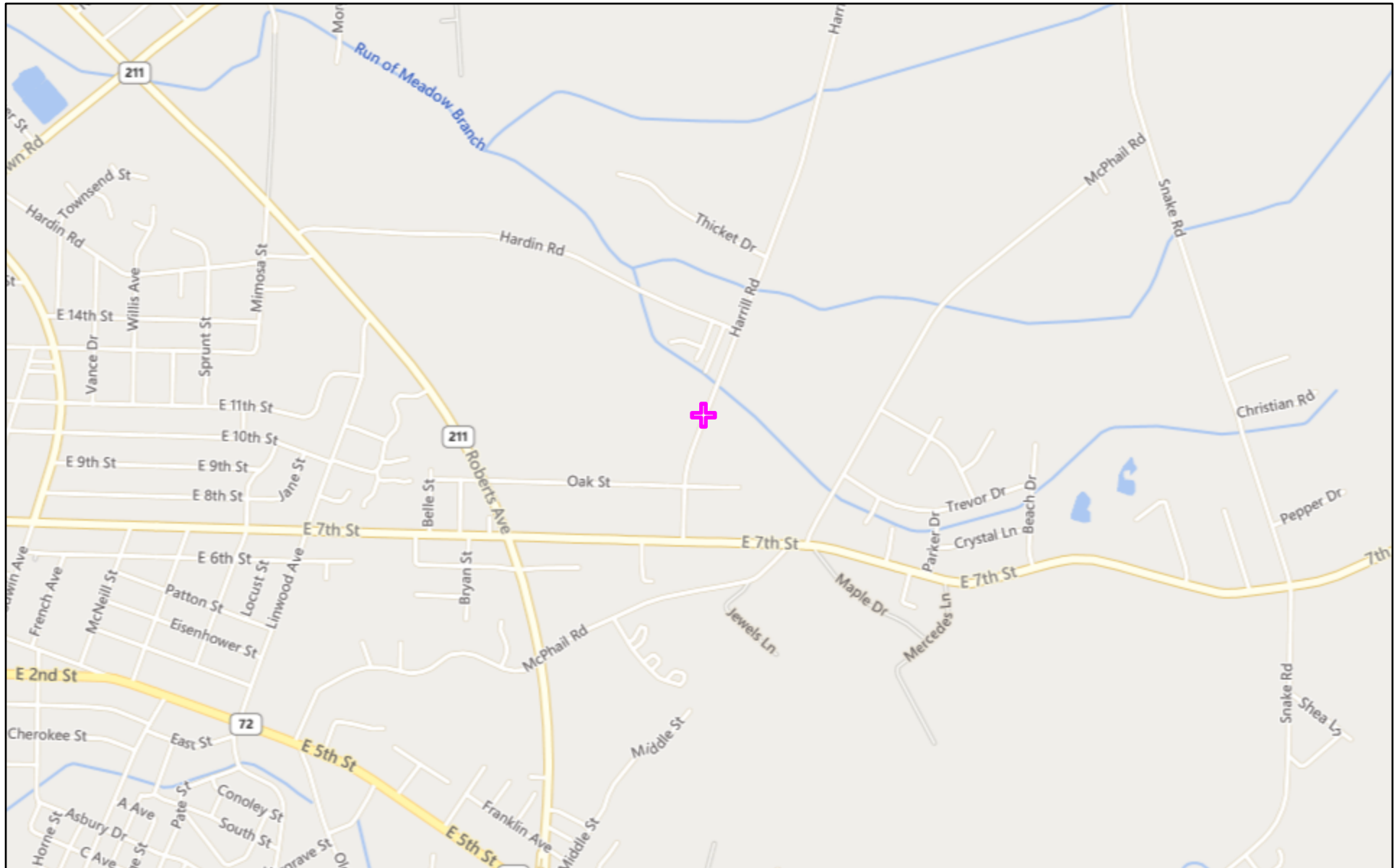
National Register of Historic Places

National Park Service
U.S. Department of the Interior

Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. Last minor update, September 2020.



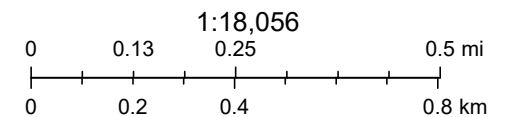
National Register of Historic Places



October 7, 2021

 Site Location

 National Register of Historic Places



© 2021 Microsoft Corporation © 2021 TomTom, EPA OEI, OFA

NCHPO HPOWEB



10/7/2021, 1:15:51 PM

Local districts & boundaries

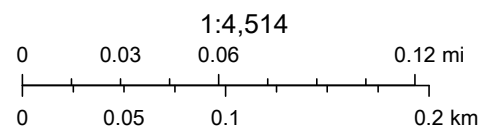
Local individual resources & centerpoints

- Local Landmark
- Local Landmark, Gone
- Local HD Center Point

Surveyed Only individual resources & centerpoints

- Surveyed Only

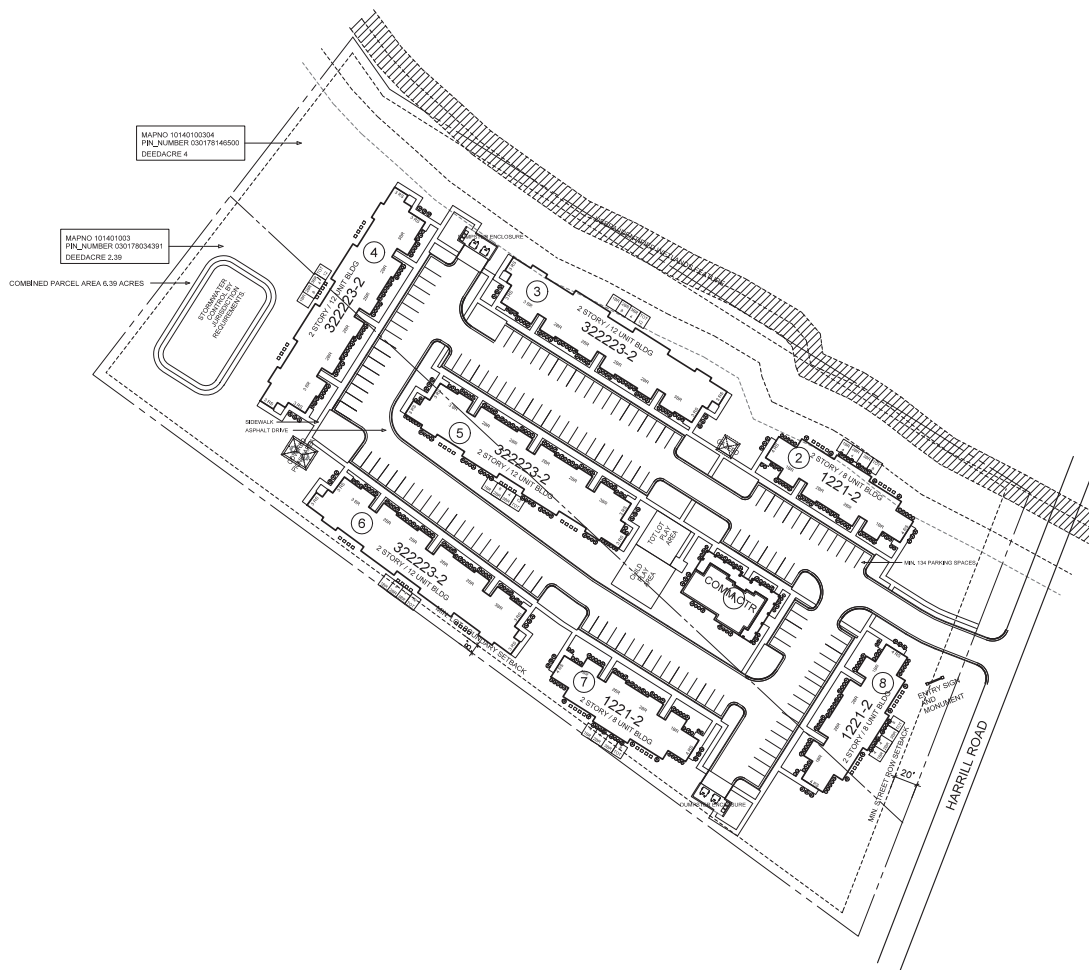
- Surveyed in NRHD
- Surveyed Only, Gone
- Surveyed in NRHD, Gone
- Blockface- Multiple properties
- Blockface in NRHD
- Surveyed Area, No designation
- Surveyed Area in NHRD



NC CGIA, Maxar

ATTACHMENT 2:

Proposed Project Preliminary Site Plan



MAPNO: 10140100304
 PPLNUMBER: 030178146500
 DEEDACRE: 4

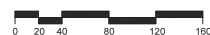
MAPNO: 101401003
 PPLNUMBER: 030178034391
 DEEDACRE: 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

THESE DRAWINGS ARE THE
 PROPERTY OF
 JONES ARCHITECTURE, PLLC
 AND MAY NOT BE REPRODUCED
 WITHOUT WRITTEN PERMISSION.

COPYRIGHT BY
 JONES ARCHITECTURE, PLLC
 ALL RIGHTS RESERVED.

JK JOB#: 2001.12
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00

NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS
 DISTRIBUTION WITHIN PROJECT, BY UNIT CLASS, ETC.), ACCESSIBLE ROUTES,
 AND ADA, ETC. REQUIREMENTS ARE NOT ILLUSTRATED ON THIS PLAN. FINAL
 CONSTRUCTION DOCUMENTS WILL BE PREPARED TO BE IN COMPLIANCE WITH
 THOSE REQUIREMENTS.

NOTE THAT THIS IS A PRELIMINARY SITE PLAN, AND IS AN APPROXIMATION OF
 EXISTING CONDITIONS BASED ON LIMITED INFORMATION.
 THE PROPERTY BOUNDARY, AND OTHER EXISTING SITE INFORMATION,
 MAY HAVE BEEN APPROXIMATED FROM GIS OR AERIAL INFORMATION
 PROVIDED BY OTHERS, THE ACCURACY OF WHICH IS UNKNOWN. THIS
 DOCUMENT IS NOT INTENDED FOR THE CONVEYANCE OF PROPERTY
 RIGHTS.

THIS IS A PRELIMINARY PLAN TO ILLUSTRATE A DESIGN CONCEPT ONLY.
 EXISTING BOUNDARY, RIGHTS OF WAY, EASEMENTS, ZONING CONDITIONS,
 SETBACKS, PARKING REQUIREMENTS, STORMWATER REQUIREMENTS,
 UTILITY ACCESS, SEWER ACCESS, WETLANDS, RETAINING WALLS,
 EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS
 AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.

ATTACHMENT 3:

Subject Property Photographs



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.



13: Adjacent property to the northwest, showing agricultural and residential land use.



14: Tributary of Meadow Branch flowing along northeastern boundary of subject property.



15: Adjacent property to the northeast (Lone Oak Mobile Home Park).



16: Adjacent property to the east (Heaven Bound New Vision Church).



17: Adjacent property to the southwest (Northeast Pointe Apartments), facing NE along Harrill Road.



18: Northeast Pointe Liftstation #61 on adjacent property to the SW, facing south along Harrill Road.



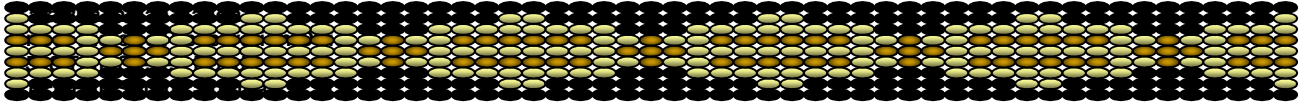
Tribal Directory Assessment Information



Contact Information for Tribes with Interests in Robeson County, North Carolina

Tribal Name				County Name			
- Catawba Indian Nation				Robeson			
Contact Name	Title	Mailing Address	Work Phone	Fax Number	Cell Phone	Email Address	URL
Dr. Wenonah G. Haire	THPO and Catawba Cultural Center Executive Director	1536 Tom Steven Road Rock Hill, SC 29730	(803) 328-2427 ext. 224	(803) 328-5791		wenonah.haire@catawba.com	http://www.catawba-indian.net/
Bill Harris	Chief	996 Avenue of the Nations Rock Hill, SC 29730	(803) 366-4792	(803) 327-4853		bill.harris@catawbaindian.net	http://www.catawba-indian.net/

1 - 1 of 1 results « < 1 > » 10 ▾



Office 803-328-2427
Fax 803-328-5791

December 8, 2021

Attention: Andrea Gievers
NCORR – Environmental
P.O. Box 110465
Durham, NC 27709

Re. THPO #	TCNS #	Project Description
2022-1119-3		Proposed Northeast Pointe II Apartments – 219 Harrill Road, Lumberton, NC

Dear Ms. Gievers,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail Caitlin.Rogers@catawba.com.

Sincerely,

Wenonah G. Haire
Tribal Historic Preservation Officer



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 3, 2021

Chief Bill Harris
Catawba Indian Nation
996 Avenue of the Nations
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program
Proposed Northeast Pointe II Apartments
219 Harrill Road
Lumberton, NC 28358

Dear Chief Bill Harris:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation. *A separate environmental review is being performed by NCHFA for the Low-Income Housing Tax Credits (LIHTC) funding application.*

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358. The proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Proposed Project Description: Northeast Pointe II apartments is applying for funding using a combination of LIHTC and CDBG-DR funds and USDA Rural Development loan for the construction of a proposed 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed project will also include a 2,092-square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The Subject Property is adjacent to two City of Lumberton designated Opportunity Zones (Census Tracts: 9606 and 9608.01) and has been identified as an area underserved with affordable rental housing. The proposed units will help fulfill the affordable housing needs of the community. The proposed project preliminary site plan is included in **Attachment 2**.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office's (NC SHPO) HPOWEB, and site review performed by Pyramid Environmental & Engineering, P.C., no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. The results are included in **Attachment 1**.

The proposed project information has been sent to the NC SHPO in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800. The Lumbee Tribe is being sent a notification of the proposed project. The Subject Property contains approximately 6.39 acres of undeveloped land and is situated just east of downtown Lumberton. The proposed Northeast Pointe II apartments will be compatible with the surrounding land use and will provide needed quality, affordable multi-family housing. The Subject Property is conveniently located within three miles of downtown Lumberton and is within one to two miles of many of the necessary services required by individuals and families, including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 3**.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at Andrea.L.Gievers@Rebuild.NC.gov or in writing to the address listed below.

Ms. Andrea Gievers
NCORR - Environmental
ATTN: THPO Comments
Post Office Box 110465
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Enclosures:

- Attachment 1: Proposed Project Location Maps, County Parcel Data, and NRHP and NC HPOWEB Maps
- Attachment 2: Proposed Project Preliminary Site Plan
- Attachment 3: Subject Property Photographs

cc: Dr. Wenonah George Haire, THPO, Catawba Indian Nation, 1536 Tom Steven Road, Rock Hill, SC 29730

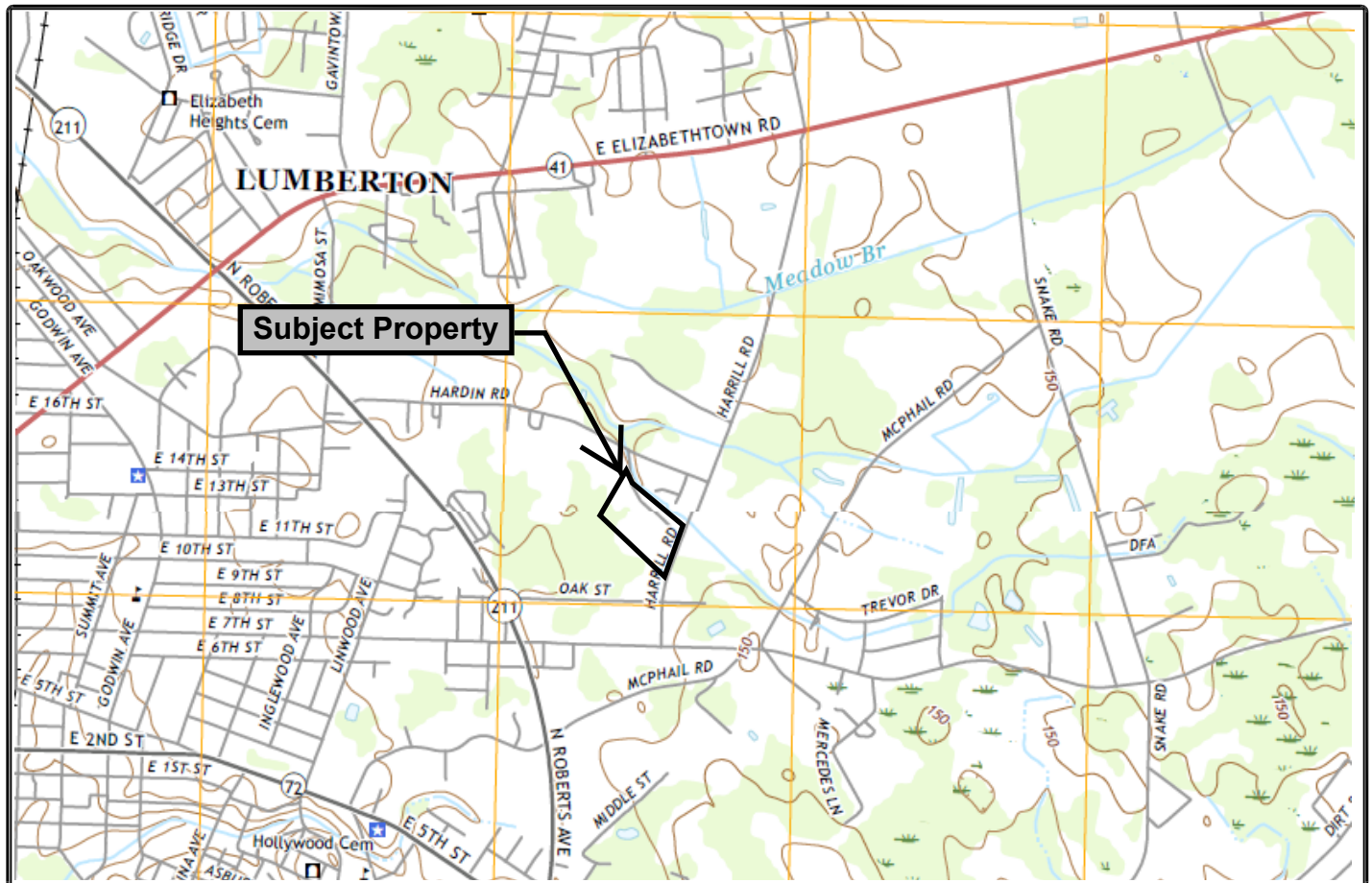
ATTACHMENT 1:

**Proposed Project Location Maps, County Parcel Data,
and NRHP and NC HPOWEB Maps**

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina

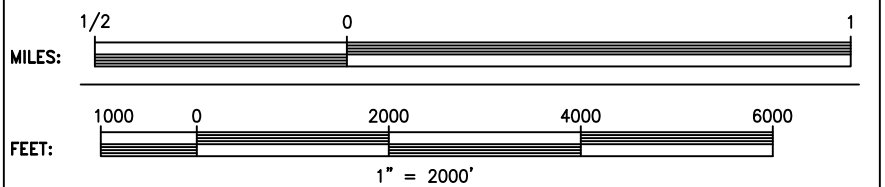


USGS IDENTIFICATION

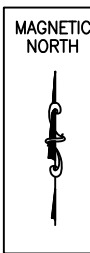
USGS 7.5 MINUTE MAP	Northeast & Southeast Lumberton, NC
ORIGINAL DATE: 2019	
PHOTOREVISION DATE: N/A	

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

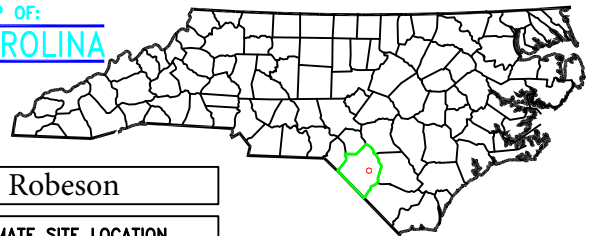
SCALES



NOTES: ▶ TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
▶ PHOTOREVISIONS DENOTED IN PURPLE



COUNTY MAP OF: NORTH CAROLINA



	COUNTY: Robeson
	APPROXIMATE SITE LOCATION

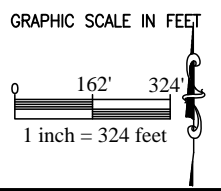


CLIENT: Mills Construction Co., Inc.	SCALE: 1" = 2,000'
PROPERTY NAME: 219 Harrill Road	DRAWN BY: JRD
CITY: Lumberton STATE: North Carolina	CHECK BY: BSH
TITLE: Topographic Map	DATE: 09/02/21
	JOB NO.: 2021-258
	TYPE: PHASE I
	DRAWING NAME: USGSTOPO
	FIGURE NUMBER: 1


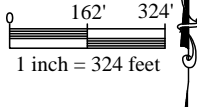
NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3
			GRAPHIC SCALE IN FEET 	



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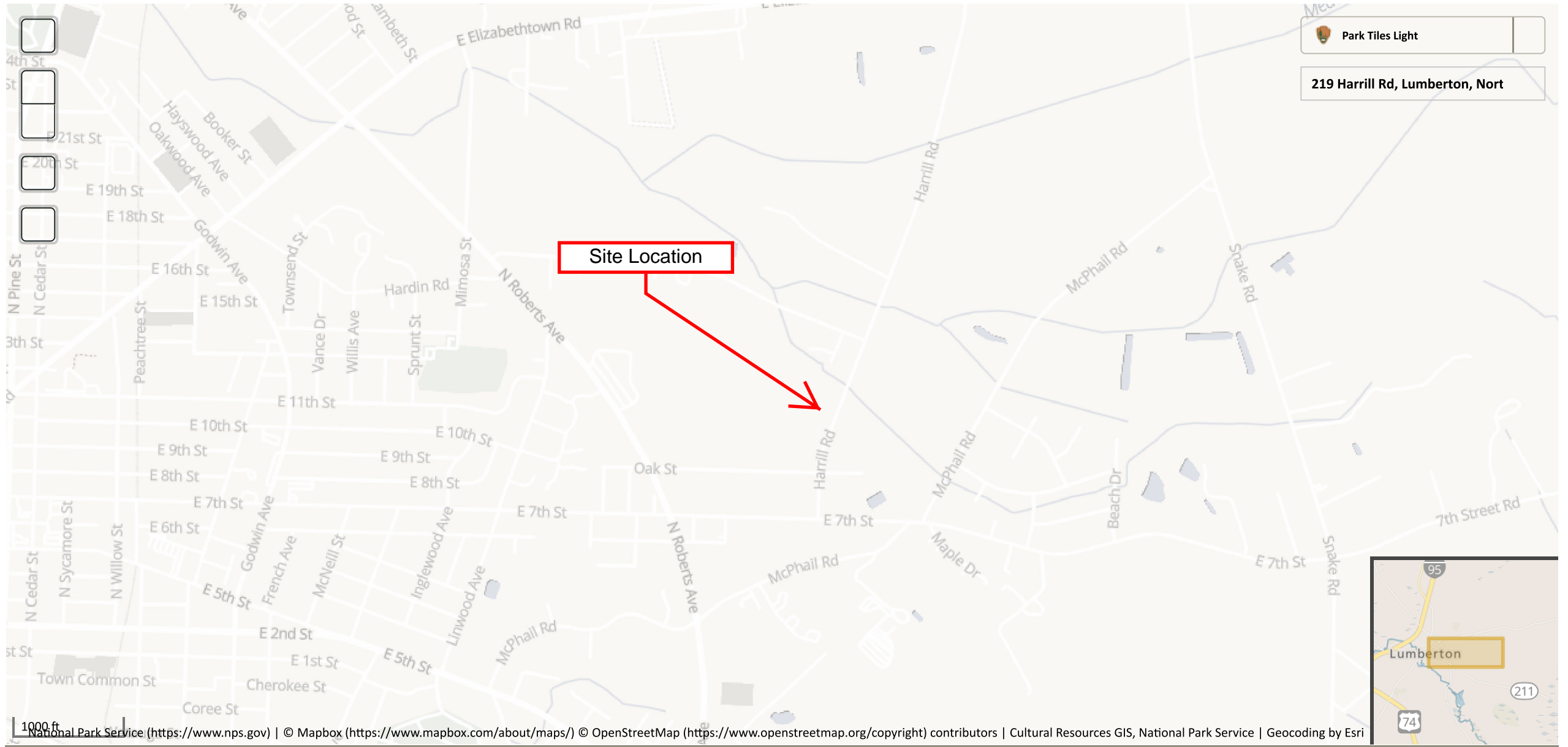
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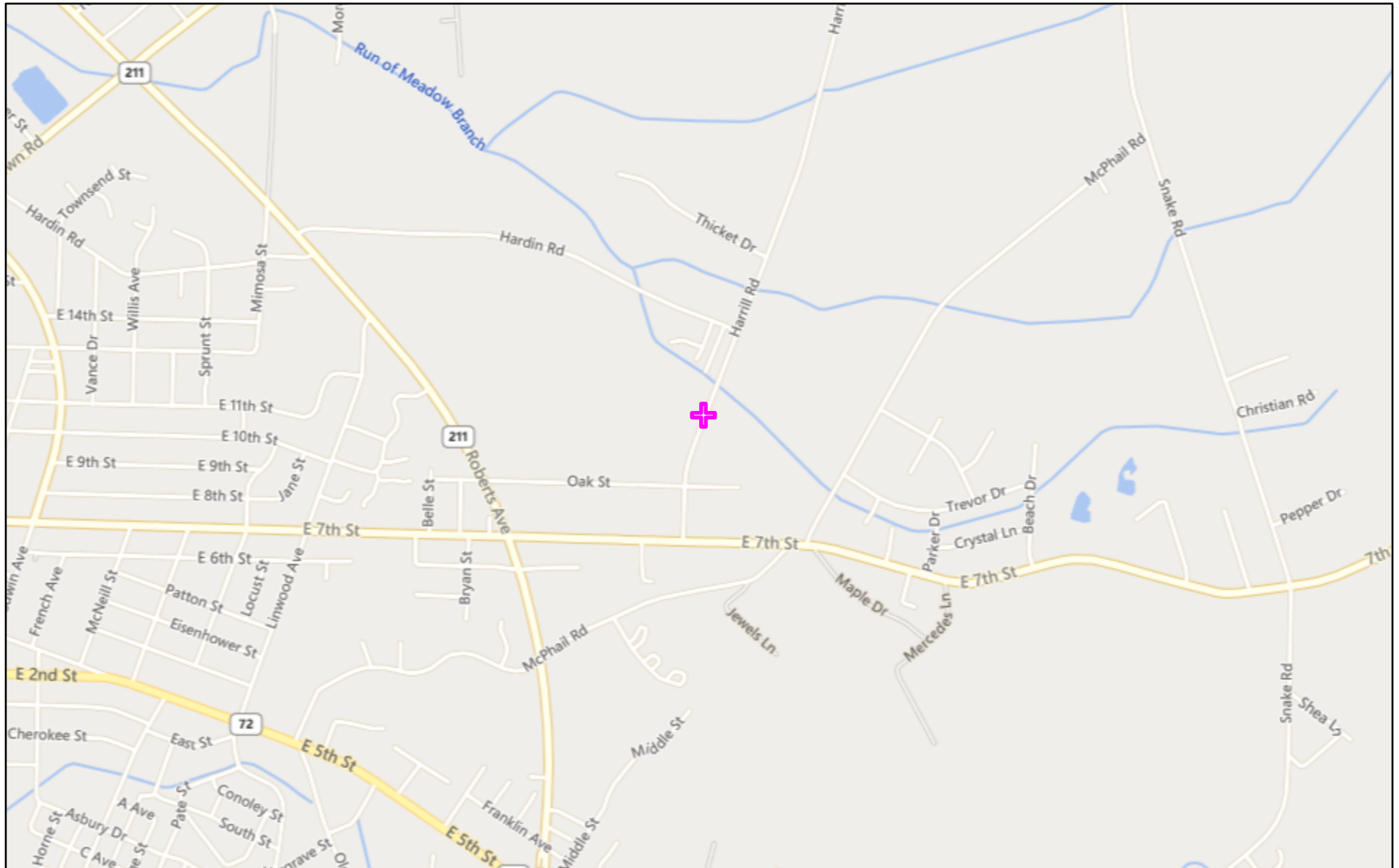
National Register of Historic Places

National Park Service
U.S. Department of the Interior

Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. Last minor update, September 2020.



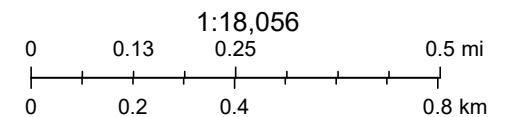
National Register of Historic Places



October 7, 2021

 Site Location

 National Register of Historic Places



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NCHPO HPOWEB



10/7/2021, 1:15:51 PM

Local districts & boundaries

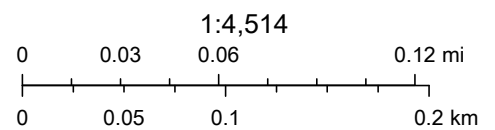
Local individual resources & centerpoints

- Local Landmark
- Local Landmark, Gone
- Local HD Center Point

Surveyed Only individual resources & centerpoints

- Surveyed Only

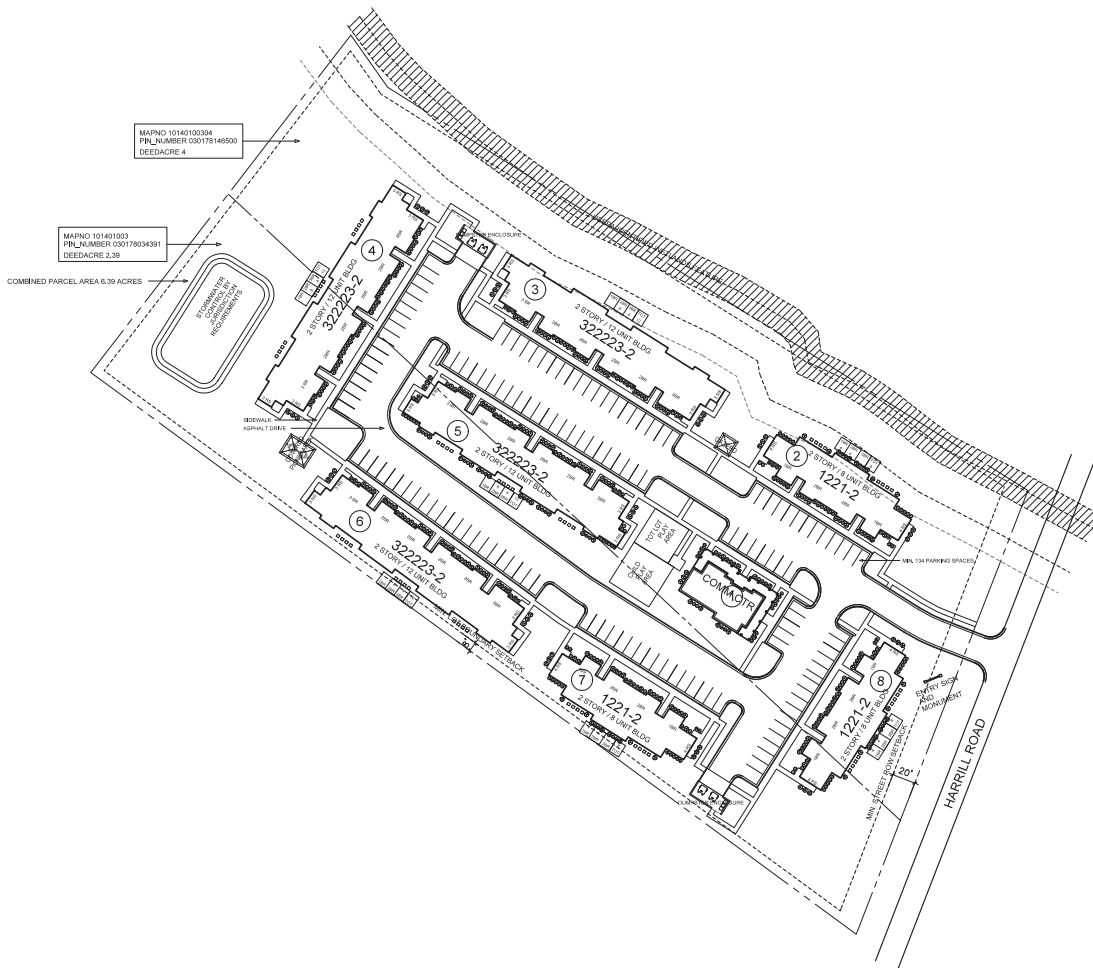
- Surveyed in NRHD
- Surveyed Only, Gone
- Surveyed in NRHD, Gone
- Blockface- Multiple properties
- Blockface in NRHD
- Surveyed Area, No designation
- Surveyed Area in NHRD



NC CGIA, Maxar

ATTACHMENT 2:

Proposed Project Preliminary Site Plan



MAPNO 10140100304
 PPLNUMBER 030178146500
 DEEDACRE 4

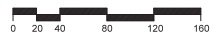
MAPNO 101401003
 PPLNUMBER 030178034391
 DEEDACRE 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

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 AND MAY NOT BE REPRODUCED
 WITHOUT WRITTEN PERMISSION.

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 ALL RIGHTS RESERVED.

JA JOB# 200112
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS
 DISTRIBUTION WITHIN PROJECT, BY UNIT CLASS, ETC.), ACCESSIBLE ROUTES,
 AND ADA, ETC. REQUIREMENTS ARE NOT ILLUSTRATED ON THIS PLAN. FINAL
 CONSTRUCTION DOCUMENTS WILL BE PREPARED TO BE IN COMPLIANCE WITH
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THIS IS A PRELIMINARY PLAN TO ILLUSTRATE A DESIGN CONCEPT ONLY.
 EXISTING BOUNDARY, RIGHTS OF WAY, EASEMENTS, ZONING CONDITIONS,
 SETBACKS, PARKING REQUIREMENTS, STORMWATER REQUIREMENTS,
 UTILITY ACCESS, SEWER ACCESS, WETLANDS, RETAINING WALLS,
 EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS
 AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00

ATTACHMENT 3:

Subject Property Photographs



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



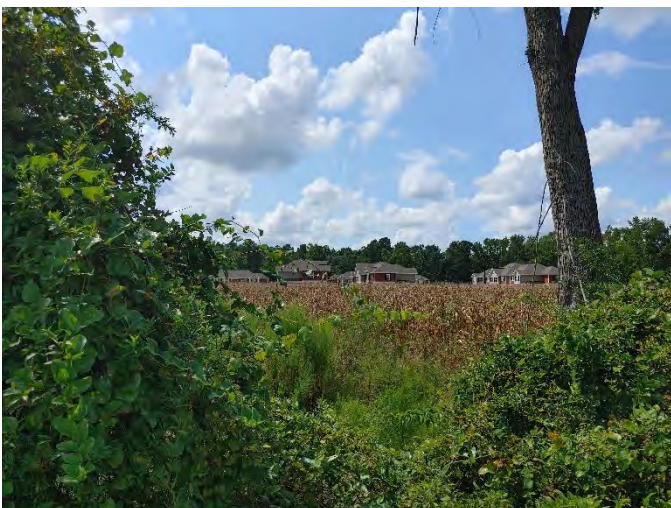
8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.



13: Adjacent property to the northwest, showing agricultural and residential land use.



14: Tributary of Meadow Branch flowing along northeastern boundary of subject property.



15: Adjacent property to the northeast (Lone Oak Mobile Home Park).



16: Adjacent property to the east (Heaven Bound New Vision Church).



17: Adjacent property to the southwest (Northeast Pointe Apartments), facing NE along Harrill Road.



18: Northeast Pointe Liftstation #61 on adjacent property to the SW, facing south along Harrill Road.



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 3, 2021

Dr. Wenonah George Haire
Tribal Historic Preservation Officer
ATTN: THPO Archaeology Dept.
Catawba Indian Nation
1536 Tom Steven Road
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program
Proposed Northeast Pointe II Apartments
219 Harrill Road
Lumberton, NC 28358

Dear Dr. Wenonah George Haire:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation. *A separate environmental review is being performed by NCHFA for the Low-Income Housing Tax Credits (LIHTC) funding application.*

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358. The proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Proposed Project Description: Northeast Pointe II apartments is applying for funding using a combination of LIHTC and CDBG-DR funds and USDA Rural Development loan for the construction of a proposed 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed project will also include a 2,092-square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The Subject Property is adjacent to two City of Lumberton designated Opportunity Zones (Census Tracts: 9606 and 9608.01) and has been identified as an area underserved with affordable rental housing. The proposed units will help fulfill the affordable housing needs of the community. The proposed project preliminary site plan is included in **Attachment 2**.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office's (NC SHPO) HPOWEB, and site review performed by Pyramid Environmental & Engineering, P.C., no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. The results are included in **Attachment 1**.

The proposed project information has been sent to the NC SHPO in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800. The Lumbee Tribe is being sent a notification of the proposed project. The Subject Property contains approximately 6.39 acres of undeveloped land and is situated just east of downtown Lumberton. The proposed Northeast Pointe II apartments will be compatible with the surrounding land use and will provide needed quality, affordable multi-family housing. The Subject Property is conveniently located within three miles of downtown Lumberton and is within one to two miles of many of the necessary services required by individuals and families, including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 3**.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at Andrea.L.Gievers@Rebuild.NC.gov or in writing to the address listed below.

Ms. Andrea Gievers
NCORR - Environmental
ATTN: THPO Comments
Post Office Box 110465
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Enclosures:

- Attachment 1: Proposed Project Location Maps, County Parcel Data, and NRHP and NC HPOWEB Maps
- Attachment 2: Proposed Project Preliminary Site Plan
- Attachment 3: Subject Property Photographs

cc: Chief Bill Harris, Catawba Indian Nation, 996 Avenue of the Nations, Rock Hill, SC 29730

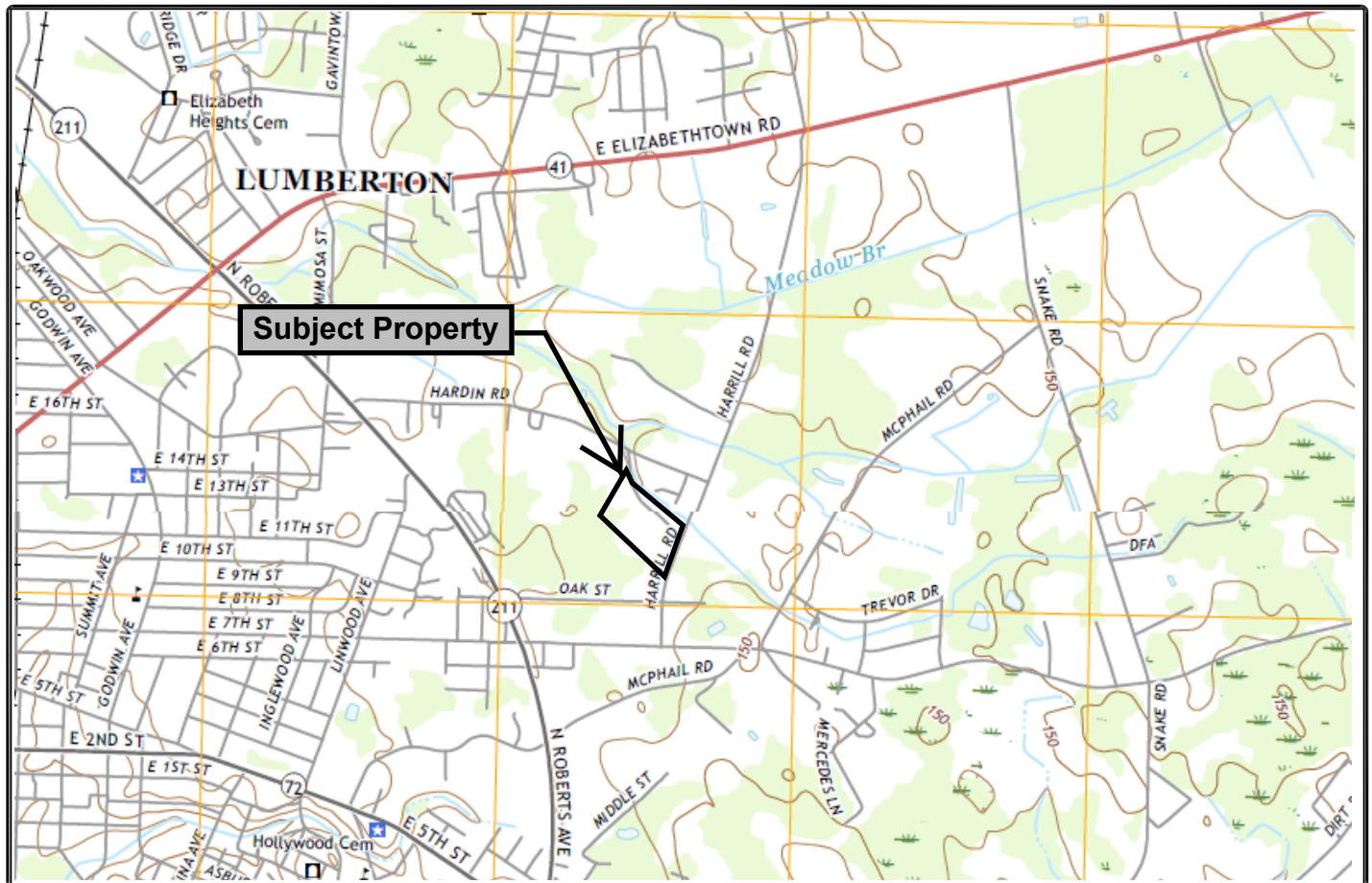
ATTACHMENT 1:

**Proposed Project Location Maps, County Parcel Data,
and NRHP and NC HPOWEB Maps**

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina

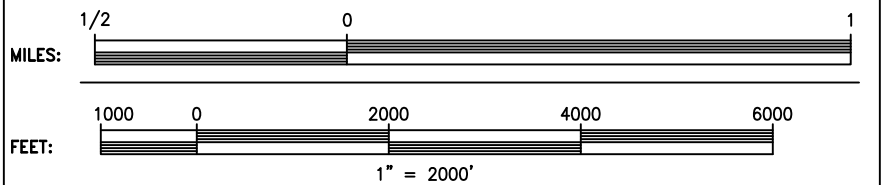


USGS IDENTIFICATION

SCALES

USGS 7.5 MINUTE MAP
 ORIGINAL DATE: 2019
 PHOTOREVISION DATE: N/A

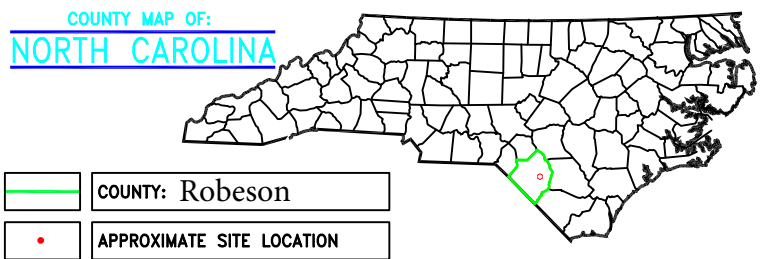
Northeast & Southeast
 Lumberton, NC



	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: ▶ TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
▶ PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH




CLIENT: Mills Construction Co., Inc.
 PROPERTY NAME: 219 Harrill Road
 CITY: Lumberton STATE: North Carolina
 TITLE: Topographic Map

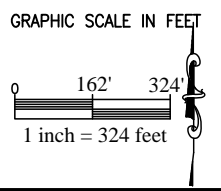
SCALE: 1" = 2,000'
 DATE: 09/02/21
 DRAWING NAME: USGSTOPO

DRAWN BY: JRD
 CHECK BY: BSH
 JOB NO.: 2021-258
 TYPE: PHASE I
 FIGURE NUMBER: 1


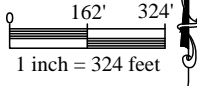
NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3
			GRAPHIC SCALE IN FEET 	



Robeson County Government

PROPERTY REPORT - PRINT

Property Owner WALTERS MICHAEL P & WF WALTERS BARBARA M	Owner's Mailing Address 1887 OAKTON CHURCH RD FAIRMONT, NC 28340	Property Location Address HARRILL RD
--	---	--

Administrative Data Parcel Ref No. 101401003 PIN 030178023100 Account No. 36821015 Tax District TOWN LUMBERTON Land Use Code V-00 Land Use Desc UP TO 10 ACRES Subdiv Code Subdiv Desc Neighborhood 32055	Administrative Data Legal Desc A EAST & WEST SR 2113 Deed Bk/Pg 01998 / 0606 Plat Bk/Pg / Sales Information Grantor MACK WHITE INVESTMENTS INC Sold Date 2015-06-29 Sold Amount \$ 0	Valuation Information Market Value \$ 25,400 Market Value - Land and all permanent improvements, if any, effective January 1, 2010, date of County's most recent General Reappraisal Assessed Value \$ 25,400 If Assessed Value not equal Market Value then subject parcel designated as a special class -agricultural, horticultural, or forestland and thereby eligible for taxation on basis of Present-Use and/or reduction from a formal appeal procedure Land Supplemental Map Acres 2.39 Tax District Note Present-Use Info
--	---	---

Improvement Detail (1st Major Improvement on Subject Parcel)	
Year Built	0
Built Use/Style	
Current Use	/
* Percent Complete	0
Heated Area (S/F)	0
** Bathroom(s)	0 Full Bath(s) 0 Half Bath(s)
** Bedroom(s)	0
Fireplace (Y/N)	N
Basement (Y/N)	N
Attached Garage (Y/N)	N
*** Multiple Improvements	0
<small>* Note - As of January 1 ** Note - Bathroom(s), Bedroom(s), shown for description only *** Note - If multiple improvements equal "MLT" then parcel includes additional major improvements</small>	

Improvement Valuation (1st Major Improvement on Subject Parcel)	
* Improvement Market Value \$	** Improvement Assessed Value \$
0	0
<small>* Note - Market Value effective Date equal January 1, 2010, date of County's most recent General Reappraisal ** Note - If Assessed Value not equal Market Value then variance resulting from formal appeal procedure</small>	

Land Value Detail (Effective Date January 1, 2010, date of County's most recent General Reappraisal)		
Land Market Value (LMV) \$	Land Present-Use Value (PUV) \$ **	Land Total Assessed Value \$
25,400	25,400	25,400
<small>** Note: If PUV equal LMV then parcel has not qualified for present use program</small>		



Robeson County Government

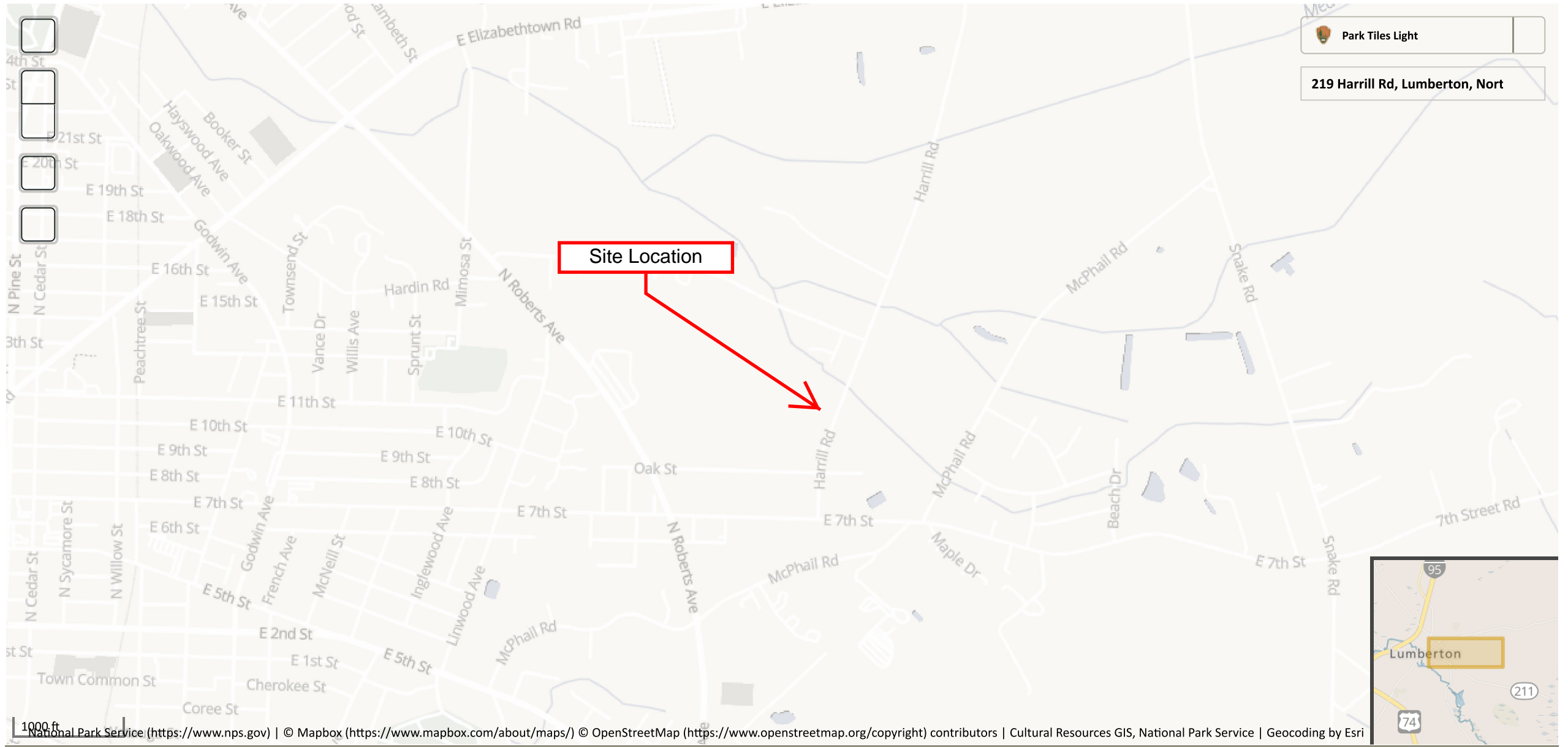
PROPERTY REPORT - PRINT

Property Owner WALTERS MICHAEL P & WF WALTERS BARBARA M	Owner's Mailing Address 1887 OAKTON CHURCH RD FAIRMONT, NC 28340	Property Location Address HARRILL RD
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Improvement Detail (1st Major Improvement on Subject Parcel) Year Built 0 Built Use/Style Current Use / * Percent Complete 0 Heated Area (S/F) 0 ** Bathroom(s) 0 Full Bath(s) 0 Half Bath(s) ** Bedroom(s) 0 Fireplace (Y/N) N Basement (Y/N) N Attached Garage (Y/N) N *** Multiple Improvements 0 * Note - As of January 1 ** Note - Bathroom(s), Bedroom(s), shown for description only *** Note - If multiple improvements equal "MLT" then parcel includes additional major improvements		
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Land Value Detail (Effective Date January 1, 2010, date of County's most recent General Reappraisal) Land Market Value (LMV) \$ 7,500 Land Present-Use Value (PUV) \$ ** 7,500 Land Total Assessed Value \$ 7,500 ** Note: If PUV equal LMV then parcel has not qualified for present use program		

National Register of Historic Places

National Park Service
U.S. Department of the Interior

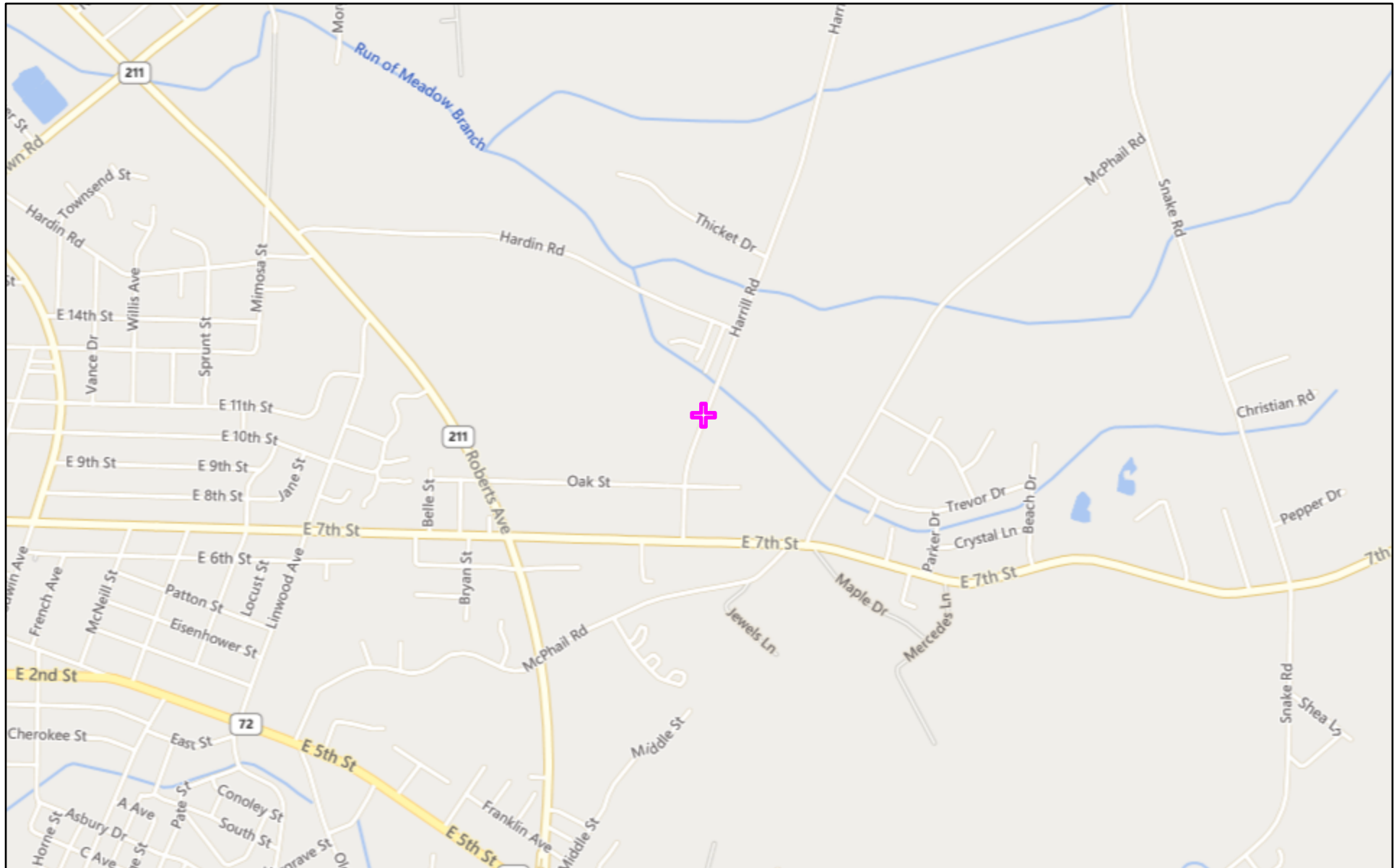
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1000 ft National Park Service (https://www.nps.gov) | © Mapbox (https://www.mapbox.com/about/maps/) | © OpenStreetMap (https://www.openstreetmap.org/copyright) contributors | Cultural Resources GIS, National Park Service | Geocoding by Esri

Home (https://www.nps.gov) | Frequently Asked Questions (https://www.nps.gov/faqs.htm) | Website Policies (https://www.nps.gov/aboutus/website-policies.htm) | Contact Us (https://www.nps.gov/contacts.htm)

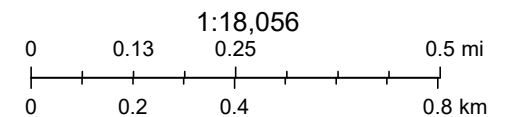
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October 7, 2021

 Site Location

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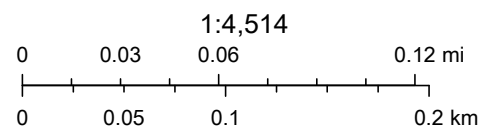
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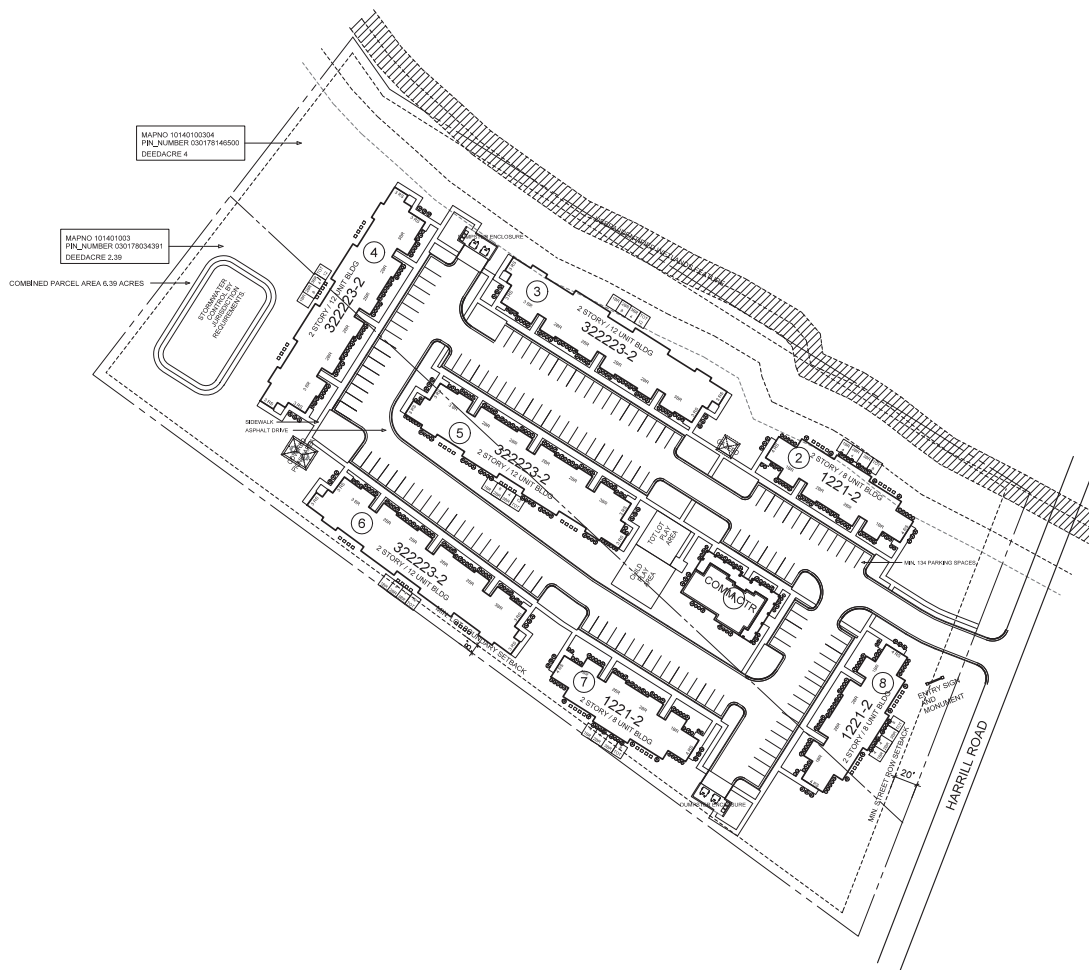
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NC CGIA, Maxar

ATTACHMENT 2:

Proposed Project Preliminary Site Plan



MAPNO: 10140100304
 PPLNUMBER: 030178146500
 DEEDACRE: 4

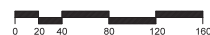
MAPNO: 101401003
 PPLNUMBER: 030178034391
 DEEDACRE: 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

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 WITHOUT WRITTEN PERMISSION.

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JK JOB#: 2001.12
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00

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North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

January 28, 2022

Chairman John Lowery
Lumbee Tribe of North Carolina
P.O. Box 2709
Pembroke, North Carolina 28372

RE: NCORR - HUD CDBG-DR Program
Proposed Northeast Pointe II Apartments
219 Harrill Road
Lumberton, NC 28358

Dear Chairman Lowery:

The North Carolina Office of Recovery and Resiliency (NCORR) is notifying you as a representative of the Lumbee Tribe of North Carolina that an affordable housing project is proposed within a potential area of interest to your Tribe. NCORR as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) is considering funding this proposed project, Northeast Pointe II Apartments located on approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina 28358. The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families. Therefore, funding for the proposed project will be provided in part by the HUD CDBG-DR program for Hurricane Florence storm recovery activities in North Carolina.

Northeast Pointe II Apartments is applying for funding using a combination of Low-Income Housing Tax Credits (LIHTC) and CDBG-DR funds and USDA Rural Development loan for the construction of a proposed 72-unit multifamily apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed project will also include a 2,092-square-foot community center

Mailing Address:
Post Office Box 110465
Durham, NC 27709



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www.ncdps.gov
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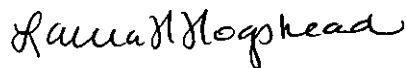
An Equal Opportunity Employer

building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The Subject Property is adjacent to two City of Lumberton designated Opportunity Zones (Census Tracts: 9606 and 9608.01) and has been identified as an area underserved with affordable rental housing. The proposed units will help fulfill the affordable housing needs of the community.

The proposed project has been officially reviewed by the NC State Historic Preservation Office (SHPO) Office of State Archaeology and the Catawba Indian Nation. The Subject Property contains approximately 6.39 acres of undeveloped land and is situated just east of downtown Lumberton. The proposed Northeast Pointe II Apartments will be compatible with the surrounding land use and will provide needed quality, affordable multifamily housing. The Subject Property is conveniently located within three miles of downtown Lumberton and is within one to two miles of many of the necessary services required by individuals and families, including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction.

We appreciate the support the Lumbee Tribe has provided to the efforts of ReBuild NC and look forward to a continued productive relationship as we assist North Carolinians.

Respectfully,

A handwritten signature in cursive script that reads "Laura H. Hogshead".

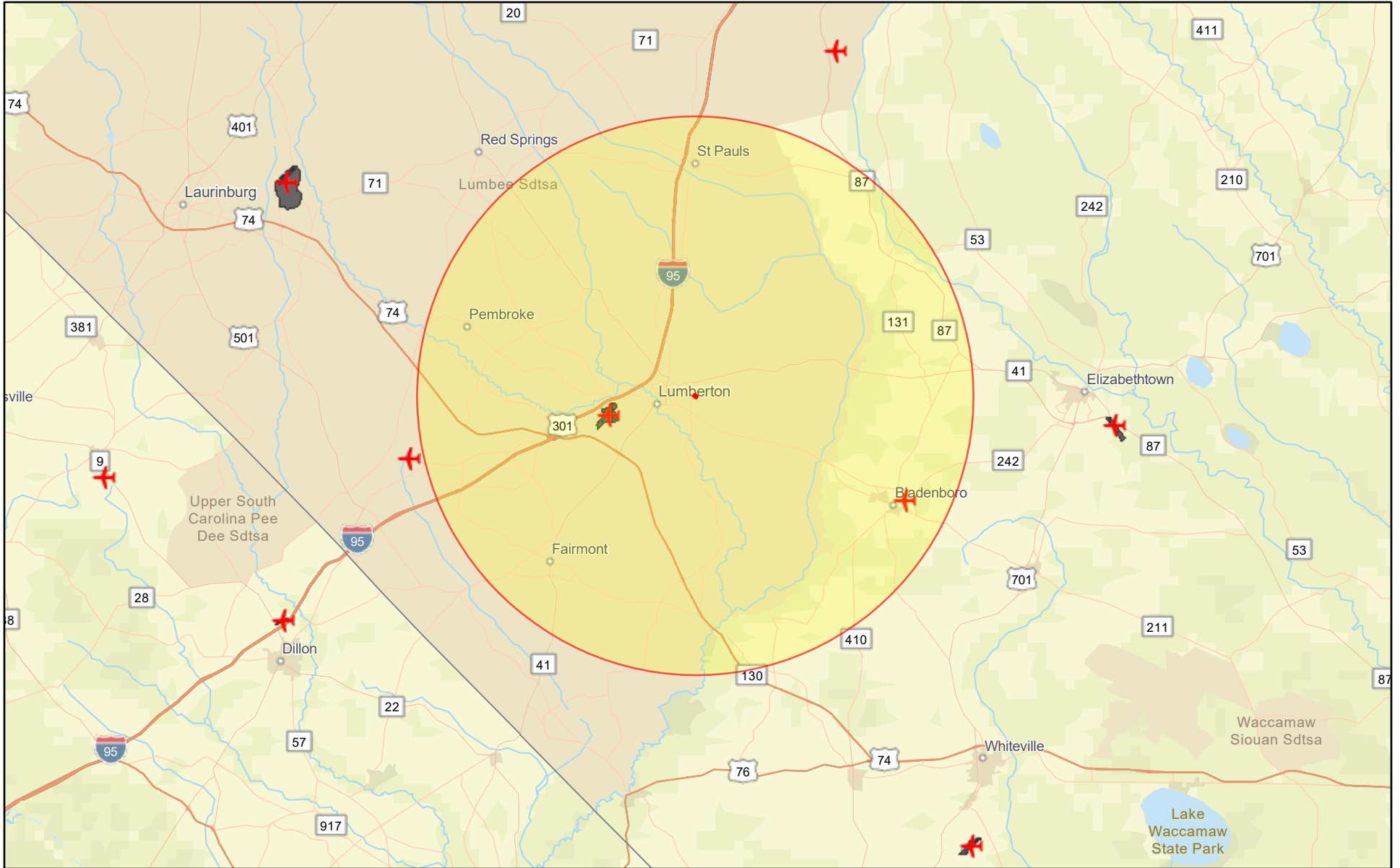
Laura H. Hogshead

ATTACHMENT L:





Noise Abatement and Control

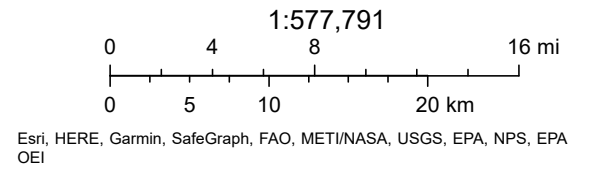
- Airport Maps Showing 15-mile Buffer,
- Airport Noise Worksheets,
- FAA 5010 Airport Records (Operations Data),
- Railroad Map Showing 3,000-foot Buffer,
- Road Map Showing 1,000-foot Buffer,
- NC DOT AADT Station Map Showing Roads over 1,000 feet,
- NC DOT AADT Data Map,
- NC Speed Limits Map,
- Noise Assessment Locations (NALs) Site Plan,
- NAL DNL Calculations Using Current and Future AADT Data with 10-year (2035) Projections,
- Current Year NC DOT AADT Maps,
- 10-year AADT Trend Analyses (NC DOT Workbooks) for Hardin and Harrill Roads,
- Stop Sign Distance Maps,
- Landscaping Site Plan,
- National Transportation Noise Map (Aviation, Road and Rail), and
- OSBM Projected Population Change in North Carolina Counties: 2030-2040

Northeast Pointe II - Airports 15-mile Buffer



November 9, 2022

-  Northeast Pointe II
-  Airport Points
-  Buffer graphics
-  Airport Polygons



Airport Noise Worksheet

Use this worksheet to identify information needed to evaluate a site's exposure to aircraft noise.

Name and Location of Project: Northeast Pointe II, 219 Harrill Road, Lumberton, Robeson County, NC 28358

Name of Airport: Lumberton Regional Airport (LBT)

Person completing worksheet: Andrea Gievers

Date: 11/9/22

1. Determine if the proposed site/project is within 15 miles of a civil or military airport.

No. Attach a map identifying the location of the proposed project site and the location of any airports. This worksheet is not required.

Yes. Attach a map identifying the location of the proposed project site and the location of any airports. Continue

2. Determine the number of operations at the airport by:

- Going to: <http://www.gcr1.com/5010web/>
- Type in the name of the city press search
- Find your airport.
- Open the report under "Print 5010"
- Complete section 3 below by using the information found in the report (see arrow #1 in the example below)

3. Determine if the annual number of operations for air carriers (#100), air taxis (#102), military (#105), and general aviation (#103 plus #104) exceeds thresholds.

Annual air carrier operations 0. Is this 9000 or more? Yes No

Annual air taxi operations 1,000. Is this 18,000 or more? Yes No

Annual general aviation operations 22,000. Is this 72000 or more? Yes No

Annual military operations 2,000. Is this 18,000 or more? Yes No

A. If you answer "No" on each of the questions above, it is assumed that the noise attributed to the airplanes will not extend beyond the boundaries of the airport. Maintain the documentation in your Environmental Review Record. You are finished with the evaluation of airport noise for this airport. If you have marked any question in #3 with "Yes," continue to 5.

B. Contact the airport manager, (see arrow #2 above) and ask them if the airport has noise contour maps. Are contour maps available?

Yes. Locate your project on the noise contour map. If there are no roads or railroads that are being considered for noise, utilize the information from the contour map to determine if the site is acceptable. If roads or railroads are being considered input the

Airport Noise Worksheet

information obtained from the airport noise contours, along with the road and railroad information in the HUD [Noise Assessment Guidelines](#) (NAG) or the online tool at <https://www.hudexchange.info/environmental-review/dnl-calculator>.

No. Construct the approximate DNL contours by using the guidance on page 52 and 53 of the [NAG](#). You will need to obtain the following information from the airport: 1). The number of nighttime jet operations (10pm to 7 am) 2). The number of daytime jet operations (7 am to 10 pm) 3). The flight paths of the major runways. 4). Any available information about expected changes in airport traffic (e.g. will the number of operations increase or decrease in the next 10 to 15 years).



> 1 ASSOC CITY: LUMBERTON 4 STATE: NC LOC ID: LBT FAA SITE NR: 16882.*A
> 2 AIRPORT NAME: LUMBERTON RGNL 5 COUNTY: ROBESON, NC
3 CBD TO AIRPORT (NM): 3 W 6 REGION/ADO: ASO /MEM 7 SECT AERO CHT: CHARLOTTE

GENERAL

10 OWNERSHIP: PUBLIC
> 11 OWNER: CITY OF LUMBERTON
> 12 ADDRESS: P. O. BOX 1388
LUMBERTON, NC 28359
> 13 PHONE NR: 910-671-3800
> 14 MANAGER: GARY LEWIS
> 15 ADDRESS: 163 AIRPORT BLVD
LUMBERTON, NC 28358
> 16 PHONE NR: 910-739-6480
> 17 ATTENDANCE SCHEDULE:

MONTHS	DAYS	HOURS
ALL	MON-FRI	0800-1700
ALL	SAT-SUN	1000-1700

SERVICES

> 70 FUEL: 100LL A1+
> 71 AIRFRAME RPRS: MAJOR
> 72 PWR PLANT RPRS: MAJOR
> 73 BOTTLE OXYGEN: NONE
> 74 BULK OXYGEN: NONE
75 TSNT STORAGE: HGR TIE
76 OTHER SERVICES: CHTR, INSTR, RNTL, SALES

BASED AIRCRAFT

90 SINGLE ENG:	31
91 MULTI ENG:	5
92 JET:	0
93 HELICOPTERS:	2
TOTAL:	38
94 GLIDERS:	0
95 MILITARY:	0
96 ULTRA-LIGHT:	0

18 AIRPORT USE: PUBLIC
19 ARPT LAT: 34-36-35.3N ESTIMATED
20 ARPT LONG: 79-3-34.4W
21 ARPT ELEV: 124.5 ESTIMATED
22 ACREAGE: 485
> 23 RIGHT TRAFFIC: NO
> 24 NON-COMM LANDING: NO
25 NPIAS/FED AGREEMENTS: YES / NGY3
> 26 FAR 139 INDEX: /

FACILITIES

> 80 ARPT BCN:
> 81 ARPT LGT SKED: SEE RMK
BCN LGT SKED: SS-SR
> 82 UNICOM: 122.800
> 83 WIND INDICATOR: YES-L
84 SEGMENTED CIRCLE: YES
85 CONTROL TWR: NO
86 FSS: RALEIGH
87 FSS ON ARPT: NO
88 FSS PHONE NR:
89 TOLL FREE NR: 1-800-WX-BRIEF

OPERATIONS

100 AIR CARRIER:	0
102 AIR TAXI:	1,000
103 G A LOCAL:	10,000
104 G A ITRNRT:	12,000
105 MILITARY:	2,000
TOTAL:	25,000

OPERATIONS FOR 12 MONTHS ENDING 11/11/2019

RUNWAY DATA

> 30 RUNWAY IDENT:
> 31 LENGTH:
> 32 WIDTH:
> 33 SURF TYPE-COND:
> 34 SURF TREATMENT:
35 GROSS WT: S
36 (IN THSDS) D
37 2D
38 2D/2DS
> 39 PCN / PCR:

13/31	05/23
5,003	5,502
75	150
ASPH-E	ASPH-E
8.0	15.0
	80.0
	22/F/C/X/T (PCN)

LIGHTING/APCH AIDS

> 40 EDGE INTENSITY:
> 42 RWY MARK TYPE-COND:
> 43 VGS:
44 THR CROSSING HGT:
45 VISUAL GLIDE ANGLE:
> 46 CNTRLN-TDZ:
> 47 RVR-RVV:
> 48 REIL:
> 49 APCH LIGHTS:

NPI- G / NPI- G	PIR- G / PIR- G
/	P4L / P2L
/	60 / 45
/	3.00 / 3.20
- / -	- / -
- / -	- / -
/	Y / Y
/	/

OBSTRUCTION DATA

50 FAR 77 CATEGORY:
> 51 DISPLACED THR:
> 52 CTLG OBSTN:
> 53 OBSTN MARKED/LGTD:
> 54 HGT ABOVE RWY END:
> 55 DIST FROM RWY END:
> 56 CNTRLN OFFSET:
57 OBSTN CLNC SLOPE:
58 CLOSE-IN OBSTN:

A(NP) / A(V)	PIR / C
/ 589	160 /
TREES / TREES	TREES / TREES
/	/
34 / 37	99 / 37
479 / 307	2,937 / 607
125L / 147R	603R / 249L
8:1 / 2:1	27:1 / 10:1
Y / Y	N / Y

DECLARED DISTANCES

> 60 TAKE OFF RUN AVBL (TORA):
> 61 TAKE OFF DIST AVBL (TODA):
> 62 ACLT STOP DIST AVBL (ASDA):
> 63 LNDG DIST AVBL (LDA):

/	/
/	/
/	/
/	/

(>) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS:

- A 017 UNATNDD CHRISTMAS & THANKSGIVING.
- A 057 RWY 05 APCH RATIO 29:1 AT DSPLCD THR.
- A 057 RWY 31 APCH RATIO 16:1 AT DSPLCD THR.
- A 058 RWY 31 15 FT ROAD 170 FT FM THR BOTH SIDES AND 10 FT FENCE 154 FT FM THR BOTH SIDES.
- A 058 RWY 23 56 FT TREES 0-200 FT FM THR OFFSET 288 FT L.
- A 058 RWY 13 9 FT FENCE 100 FT TO 200 FT FM THR OFFSET 240 FT L AND R OF CNTRLN.
- A 070 PPR FOR JET A FUEL AFTER HRS, CALL AMGR 910-608-1219.

111 INSPECTOR: (S) 112 LAST INSP: 11/11/2019 113 LAST INFO RES:



> 1 ASSOC CITY: LUMBERTON 4 STATE: NC LOC ID: LBT FAA SITE NR: 16882.*A
> 2 AIRPORT NAME: LUMBERTON RGNL 5 COUNTY: ROBESON, NC
3 CBD TO AIRPORT (NM): 3 W 6 REGION/ADO: ASO /MEM 7 SECT AERO CHT: CHARLOTTE

GENERAL			SERVICES		BASED AIRCRAFT	
10 OWNERSHIP:	PUBLIC		> 70 FUEL:	100LL A1+	90 SINGLE ENG:	31
> 11 OWNER:	CITY OF LUMBERTON		> 71 AIRFRAME RPRS:	MAJOR	91 MULTI ENG:	5
> 12 ADDRESS:	P. O. BOX 1388		> 72 PWR PLANT RPRS:	MAJOR	92 JET:	0
	LUMBERTON, NC 28359		> 73 BOTTLE OXYGEN:	NONE	93 HELICOPTERS:	2
> 13 PHONE NR:	910-671-3800		> 74 BULK OXYGEN:	NONE	TOTAL:	38
> 14 MANAGER:	GARY LEWIS		75 TSNT STORAGE:	HGR TIE	94 GLIDERS:	0
> 15 ADDRESS:	163 AIRPORT BLVD		76 OTHER SERVICES:	CHTR, INSTR, RNTL, SALES	95 MILITARY:	0
	LUMBERTON, NC 28358				96 ULTRA-LIGHT:	0
> 16 PHONE NR:	910-739-6480					
> 17 ATTENDANCE SCHEDULE:						
MONTHS	DAYS	HOURS				
ALL	MON-FRI	0800-1700				
ALL	SAT-SUN	1000-1700				

18 AIRPORT USE: PUBLIC
19 ARPT LAT: 34-36-35.3N ESTIMATED
20 ARPT LONG: 79-3-34.4W
21 ARPT ELEV: 124.5 ESTIMATED
22 ACREAGE: 485
> 23 RIGHT TRAFFIC: NO
> 24 NON-COMM LANDING: NO
25 NPIAS/FED AGREEMENTS: YES / NGY3
> 26 FAR 139 INDEX: /

FACILITIES		OPERATIONS	
> 80 ARPT BCN:		100 AIR CARRIER:	0
> 81 ARPT LGT SKED:	SEE RMK	102 AIR TAXI:	1,000
BCN LGT SKED:	SS-SR	103 G A LOCAL:	10,000
> 82 UNICOM:	122.800	104 G A ITRNRT:	12,000
> 83 WIND INDICATOR:	YES-L	105 MILITARY:	2,000
84 SEGMENTED CIRCLE:	YES	TOTAL:	25,000
85 CONTROL TWR:	NO		
86 FSS:	RALEIGH		
87 FSS ON ARPT:	NO	OPERATIONS FOR 12	
88 FSS PHONE NR:		MONTHS ENDING	11/11/2019
89 TOLL FREE NR:	1-800-WX-BRIEF		

RUNWAY DATA

> 30 RUNWAY IDENT:
> 31 LENGTH:
> 32 WIDTH:
> 33 SURF TYPE-COND:
> 34 SURF TREATMENT:
35 GROSS WT: S
36 (IN THSDS) D
37 2D
38 2D/2DS
> 39 PCN / PCR:

LIGHTING/APCH AIDS

> 40 EDGE INTENSITY:
> 42 RWY MARK TYPE-COND:
> 43 VGSi:
44 THR CROSSING HGT:
45 VISUAL GLIDE ANGLE:
> 46 CNTRLN-TDZ:
> 47 RVR-RVV:
> 48 REIL:
> 49 APCH LIGHTS:

OBSTRUCTION DATA

50 FAR 77 CATEGORY:
> 51 DISPLACED THR:
> 52 CTLG OBSTN:
> 53 OBSTN MARKED/LGTD:
> 54 HGT ABOVE RWY END:
> 55 DIST FROM RWY END:
> 56 CNTRLN OFFSET:
57 OBSTN CLNC SLOPE:
58 CLOSE-IN OBSTN:

DECLARED DISTANCES

> 60 TAKE OFF RUN AVBL (TORA):
> 61 TAKE OFF DIST AVBL (TODA):
> 62 ACLT STOP DIST AVBL (ASDA):
> 63 LNDG DIST AVBL (LDA):

(>) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS:

A 070 100LL FUEL 24 HR CREDIT CARD SVC AVBL.
A 081 ACTVT REIL RWY 05 & 23; PAPI RWY 05 & 23; MRL RWY 05/23 - CTAF.
A 110-001 RWYS 05/23 & 13/31 NO LN OF SIGHT BTN RWY ENDS.
A 110-003 DEER & BIRDS ON & INVOF ARPT.
A 110-004 FARMING OPS NEAR RWYS AND TWYS.
A 110-005 FOR CD CTC WASHINGTON ARTCC AT 703-771-3587.

111 INSPECTOR: (S) 112 LAST INSP: 11/11/2019 113 LAST INFO RES:

Airport Noise Worksheet

Use this worksheet to identify information needed to evaluate a site's exposure to aircraft noise.

Name and Location of Project: Northeast Pointe II, 219 Harrill Road, Lumberton, Robeson County, NC 28358

Name of Airport: Bladenboro Airport (3W6)

Person completing worksheet: Andrea Gievers

Date: 11/9/22

1. Determine if the proposed site/project is within 15 miles of a civil or military airport.

No. Attach a map identifying the location of the proposed project site and the location of any airports. This worksheet is not required.

Yes. Attach a map identifying the location of the proposed project site and the location of any airports. Continue

2. Determine the number of operations at the airport by:

- Going to: <http://www.gcr1.com/5010web/>
- Type in the name of the city press search
- Find your airport.
- Open the report under "Print 5010"
- Complete section 3 below by using the information found in the report (see arrow #1 in the example below)

3. Determine if the annual number of operations for air carriers (#100), air taxis (#102), military (#105), and general aviation (#103 plus #104) exceeds thresholds.

Annual air carrier operations 0. Is this 9000 or more? Yes No

Annual air taxi operations 0. Is this 18,000 or more? Yes No

Annual general aviation operations 2,200. Is this 72000 or more? Yes No

Annual military operations 100. Is this 18,000 or more? Yes No

A. If you answer "No" on each of the questions above, it is assumed that the noise attributed to the airplanes will not extend beyond the boundaries of the airport. Maintain the documentation in your Environmental Review Record. You are finished with the evaluation of airport noise for this airport. If you have marked any question in #3 with "Yes," continue to 5.

B. Contact the airport manager, (see arrow #2 above) and ask them if the airport has noise contour maps. Are contour maps available?

Yes. Locate your project on the noise contour map. If there are no roads or railroads that are being considered for noise, utilize the information from the contour map to determine if the site is acceptable. If roads or railroads are being considered input the

Airport Noise Worksheet

information obtained from the airport noise contours, along with the road and railroad information in the HUD [Noise Assessment Guidelines](#) (NAG) or the online tool at <https://www.hudexchange.info/environmental-review/dnl-calculator>.

No. Construct the approximate DNL contours by using the guidance on page 52 and 53 of the [NAG](#). You will need to obtain the following information from the airport: 1). The number of nighttime jet operations (10pm to 7 am) 2). The number of daytime jet operations (7 am to 10 pm) 3). The flight paths of the major runways. 4). Any available information about expected changes in airport traffic (e.g. will the number of operations increase or decrease in the next 10 to 15 years).



> 1 ASSOC CITY: BLADENBORO 4 STATE: NC LOC ID: 3W6 FAA SITE NR: 16557.*A
> 2 AIRPORT NAME: BLADENBORO 5 COUNTY: BLADEN, NC
3 CBD TO AIRPORT (NM): 0 E 6 REGION/ADO: ASO /MEM 7 SECT AERO CHT: CHARLOTTE

<u>GENERAL</u>		<u>SERVICES</u>	<u>BASED AIRCRAFT</u>
10 OWNERSHIP:	PRIVATE	> 70 FUEL:	90 SINGLE ENG: 5
> 11 OWNER:	REYNOLD HESTER	> 71 AIRFRAME RPRS:	91 MULTI ENG: 0
> 12 ADDRESS:	PO BOX 125	> 72 PWR PLANT RPRS:	92 JET: 0
	BLADENBORO, NC 28320	> 73 BOTTLE OXYGEN: NONE	93 HELICOPTERS: 0
> 13 PHONE NR:	910-876-4225	> 74 BULK OXYGEN: NONE	TOTAL: 5
> 14 MANAGER:	REYNOLD HESTER	75 TSNT STORAGE: TIE	94 GLIDERS: 0
> 15 ADDRESS:	13442 N.C. 131	76 OTHER SERVICES:	95 MILITARY: 0
	BLADENBORO, NC 28320-8906		96 ULTRA-LIGHT: 0
> 16 PHONE NR:	(910) 876-4225		
> 17 ATTENDANCE SCHEDULE:			
MONTHS	DAYS	HOURS	
UNATNDD			
18 AIRPORT USE:	PUBLIC		
19 ARPT LAT:	34-32-34.3N ESTIMATED		
20 ARPT LONG:	78-46-41.4W		
21 ARPT ELEV:	116.0 ESTIMATED		
22 ACREAGE:	20		
> 23 RIGHT TRAFFIC:	NO		
> 24 NON-COMM LANDING:	NO		
25 NPIAS/FED AGREEMENTS:			
> 26 FAR 139 INDEX:	/		

<u>RUNWAY DATA</u>		<u>FACILITIES</u>	<u>OPERATIONS</u>
> 30 RUNWAY IDENT:	02/20	> 80 ARPT BCN:	100 AIR CARRIER: 0
> 31 LENGTH:	2,850	> 81 ARPT LGT SKED:	102 AIR TAXI: 0
> 32 WIDTH:	135	BCN LGT SKED:	103 G A LOCAL: 2,000
> 33 SURF TYPE-COND:	TURF-G	> 82 UNICOM:	104 G A ITNRNT: 200
> 34 SURF TREATMENT:		> 83 WIND INDICATOR: YES	105 MILITARY: 100
35 GROSS WT: S		84 SEGMENTED CIRCLE: NONE	TOTAL: 2,300
36 (IN THSDS) D		85 CONTROL TWR: NO	
37 2D		86 FSS: RALEIGH	
38 2D/2DS		87 FSS ON ARPT: NO	
> 39 PCN / PCR:		88 FSS PHONE NR:	OPERATIONS FOR 12
		89 TOLL FREE NR: 1-800-WX-BRIEF	MONTHS ENDING 06/06/2022
LIGHTING/APCH AIDS			
> 40 EDGE INTENSITY:			
> 42 RWY MARK TYPE-COND:	- / -		
> 43 VGSi:	/		
44 THR CROSSING HGT:	/		
45 VISUAL GLIDE ANGLE:	/		
> 46 CNTRLN-TDZ:	- / -		
> 47 RVR-RVV:	- / -		
> 48 REIL:	/		
> 49 APCH LIGHTS:	/		
OBSTRUCTION DATA			
50 FAR 77 CATEGORY:	A(V) / A(V)		
> 51 DISPLACED THR:	/		
> 52 CTLG OBSTN:	TREES / TREES		
> 53 OBSTN MARKED/LGTD:	/		
> 54 HGT ABOVE RWY END:	47 / 94		
> 55 DIST FROM RWY END:	27 / 83		
> 56 CNTRLN OFFSET:	58R / 79R		
57 OBSTN CLNC SLOPE:	1:1 / 1:1		
58 CLOSE-IN OBSTN:	N / N		
DECLARED DISTANCES			
> 60 TAKE OFF RUN AVBL (TORA):	/		
> 61 TAKE OFF DIST AVBL (TODA):	/		
> 62 ACLT STOP DIST AVBL (ASDA):	/		
> 63 LNDG DIST AVBL (LDA):	/		

(>) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS:

A 032 RWY 02/20 USABLE RWY WIDTH IS 125 FT.

A 110-001 RWY 20 HAS 94 FT TREES 124 FT FROM THR OFFSET 32 FT RIGHT OF CNTRLN AND 96 FT TREES 260 FT FROM THR OFFSET 95 FT LEFT OF CNTRLN.

A 110-003 80 FT TREES WEST EDGE OF RWY THR TO THR & 80 FT TREES EAST EDGE OF RWY 02 FM THR TO 500 FT.

A 110-004 20 FT WIDE BY 10 FT DEEP DRAINAGE CANAL CROSSES RWY 02 10 FT SOUTH OF THR.

A 110-005 3 FT SIDE DRAINAGE DITCHES BOTH SIDES OF RWY AT RWY EDGES.

A 110-006 FOR CD CTC WASHINGTON ARTCC AT 703-771-3587.

111 INSPECTOR: (S) 112 LAST INSP: 06/06/2022 113 LAST INFO RES:

Airports Within 15 Miles of the Proposed Site



Google Earth

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> 1 ASSOC CITY: ST. PAULS 4 STATE: NC LOC ID: 06NC FAA SITE NR: 17077.1*A
 > 2 AIRPORT NAME: TAILWINDS 5 COUNTY: ROBESON, NC
 3 CBD TO AIRPORT (NM): 2 NE 6 REGION/ADO: ASO /MEM 7 SECT AERO CHT: CHARLOTTE

GENERAL		SERVICES	BASED AIRCRAFT
10 OWNERSHIP: PRIVATE		> 70 FUEL:	90 SINGLE ENG: 2
> 11 OWNER: ROBERT ROGERS		> 71 AIRFRAME RPRS:	91 MULTI ENG: 0
> 12 ADDRESS: 385 TAILWINDS LANE		> 72 PWR PLANT RPRS:	92 JET: 0
ST PAULS, NC 28384		> 73 BOTTLE OXYGEN:	93 HELICOPTERS: 0
> 13 PHONE NR: 910-865-5611		> 74 BULK OXYGEN:	TOTAL: 2
> 14 MANAGER: ROBERT ROGERS		75 TSNT STORAGE:	94 GLIDERS: 0
> 15 ADDRESS: 385 TAILWINDS LANE		76 OTHER SERVICES:	95 MILITARY: 0
ST PAULS, NC 28384			96 ULTRA-LIGHT: 0
> 16 PHONE NR: 910-865-5611			
> 17 ATTENDANCE SCHEDULE:			
MONTHS	DAYS	HOURS	
UNATNDD			
		FACILITIES	OPERATIONS
		> 80 ARPT BCN:	100 AIR CARRIER: 0
		> 81 ARPT LGT SKED:	102 AIR TAXI: 0
		BCN LGT SKED:	103 G A LOCAL: 0
		> 82 UNICOM:	104 G A ITNRNT: 0
		> 83 WIND INDICATOR:	105 MILITARY: 0
		84 SEGMENTED CIRCLE:	TOTAL: 0
		85 CONTROL TWR:	
		86 FSS:	
		87 FSS ON ARPT:	OPERATIONS FOR 12
		88 FSS PHONE NR:	MONTHS ENDING //
		89 TOLL FREE NR:	
18 AIRPORT USE: PRIVATE			
19 ARPT LAT: 34-49-39N ESTIMATED			
20 ARPT LONG: 78-55-49W			
21 ARPT ELEV: 163.0 ESTIMATED			
22 ACREAGE: 12			
> 23 RIGHT TRAFFIC: NO			
> 24 NON-COMM LANDING:			
25 NPIAS/FED AGREEMENTS:			
> 26 FAR 139 INDEX: /			

RUNWAY DATA

> 30 RUNWAY IDENT: 09/27
 > 31 LENGTH: 2,600
 > 32 WIDTH: 90
 > 33 SURF TYPE-COND: TURF-
 > 34 SURF TREATMENT:
 35 GROSS WT: S
 36 (IN THSDS) D
 37 2D
 38 2D/2DS
 > 39 PCN / PCR:
LIGHTING/APCH AIDS
 > 40 EDGE INTENSITY:
 > 42 RWY MARK TYPE-COND: -/-
 > 43 VGSI: /
 44 THR CROSSING HGT: /
 45 VISUAL GLIDE ANGLE: /
 > 46 CNTRLN-TDZ: -/-
 > 47 RVR-RVV: -/-
 > 48 REIL: /
 > 49 APCH LIGHTS: /
OBSTRUCTION DATA
 50 FAR 77 CATEGORY: A(V) / A(V)
 > 51 DISPLACED THR: / 500
 > 52 CTLG OBSTN: / PLINE
 > 53 OBSTN MARKED/LGTD: /
 > 54 HGT ABOVE RWY END: / 60
 > 55 DIST FROM RWY END: 0 / 100
 > 56 CNTRLN OFFSET: /
 57 OBSTN CLNC SLOPE: /
 58 CLOSE-IN OBSTN: N / N
DECLARED DISTANCES
 > 60 TAKE OFF RUN AVBL (TORA): /
 > 61 TAKE OFF DIST AVBL (TODA): /
 > 62 ACLT STOP DIST AVBL (ASDA): /
 > 63 LNDG DIST AVBL (LDA): /

(>) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS:
 A 013 CELL 910-778-6853
 A 016 CELL 910-778-6853
 A 110-001 FOR CD CTC WASHINGTON ARTCC AT 703-771-3587.

111 INSPECTOR: (N) 112 LAST INSP: 113 LAST INFO RES: 03/06/2020



> 1 ASSOC CITY: FAIRMONT 4 STATE: NC LOC ID: NC70 FAA SITE NR: 16711.*A
> 2 AIRPORT NAME: MCKEE 5 COUNTY: ROBESON, NC
3 CBD TO AIRPORT (NM): 0 E 6 REGION/ADO: ASO/MEM 7 SECT AERO CHT: CHARLOTTE

<u>GENERAL</u>		<u>SERVICES</u>	<u>BASED AIRCRAFT</u>
10 OWNERSHIP:	PRIVATE	> 70 FUEL:	90 SINGLE ENG: 0
> 11 OWNER:	LANNES K. MCKEE	> 71 AIRFRAME RPRS:	91 MULTI ENG: 0
> 12 ADDRESS:	806 TAYLOR ST	> 72 PWR PLANT RPRS:	92 JET: 0
	FAIRMONT, NC 28340	> 73 BOTTLE OXYGEN:	93 HELICOPTERS: 0
> 13 PHONE NR:	910-628-7157	> 74 BULK OXYGEN:	TOTAL: 0
> 14 MANAGER:	LANNES K. MCKEE	75 TSNT STORAGE:	94 GLIDERS: 0
> 15 ADDRESS:	806 TAYLOR ST	76 OTHER SERVICES:	95 MILITARY: 0
	FAIRMONT, NC 28340		96 ULTRA-LIGHT: 0
> 16 PHONE NR:	910-628-7157		
> 17 ATTENDANCE SCHEDULE:			
MONTHS	DAYS	HOURS	
UNATNDD			
		FACILITIES	OPERATIONS
18 AIRPORT USE:	PRIVATE	> 80 ARPT BCN:	100 AIR CARRIER: 0
19 ARPT LAT:	34-30-17.591N ESTIMATED	> 81 ARPT LGT SKED:	102 AIR TAXI: 0
20 ARPT LONG:	79-6-9.125W	BCN LGT SKED:	103 G A LOCAL: 0
21 ARPT ELEV:	110.0 ESTIMATED	> 82 UNICOM:	104 G A ITNRNT: 0
22 ACREAGE:	0	> 83 WIND INDICATOR:	105 MILITARY: 0
> 23 RIGHT TRAFFIC:	NO	84 SEGMENTED CIRCLE:	TOTAL: 0
> 24 NON-COMM LANDING:		85 CONTROL TWR:	
25 NPIAS/FED AGREEMENTS:		86 FSS:	
> 26 FAR 139 INDEX:	/	87 FSS ON ARPT:	OPERATIONS FOR 12
		88 FSS PHONE NR:	MONTHS ENDING //
		89 TOLL FREE NR:	1-800-WX-BRIEF

RUNWAY DATA

> 30 RUNWAY IDENT: 18/36
> 31 LENGTH: 3,300
> 32 WIDTH: 80
> 33 SURF TYPE-COND: TURF-G
> 34 SURF TREATMENT:
35 GROSS WT: S
36 (IN THSDS) D
37 2D
38 2D/2DS
> 39 PCN / PCR:
LIGHTING/APCH AIDS
> 40 EDGE INTENSITY:
> 42 RWY MARK TYPE-COND: -/-
> 43 VGSi: /
44 THR CROSSING HGT: /
45 VISUAL GLIDE ANGLE: /
> 46 CNTRLN-TDZ: -/-
> 47 RVR-RVV: -/-
> 48 REIL: /
> 49 APCH LIGHTS: /
OBSTRUCTION DATA
50 FAR 77 CATEGORY: A(V) / A(V)
> 51 DISPLACED THR: /
> 52 CTLG OBSTN: /
> 53 OBSTN MARKED/LGTD: /
> 54 HGT ABOVE RWY END: /20
> 55 DIST FROM RWY END: 0/0
> 56 CNTRLN OFFSET: /
57 OBSTN CLNC SLOPE: /
58 CLOSE-IN OBSTN: N/N
DECLARED DISTANCES
> 60 TAKE OFF RUN AVBL (TORA): /
> 61 TAKE OFF DIST AVBL (TODA): /
> 62 ACLT STOP DIST AVBL (ASDA): /
> 63 LNDG DIST AVBL (LDA): /

(>) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS:
A 110-001 FOR CD CTC WASHINGTON ARTCC AT 703-771-3587.

111 INSPECTOR: (N) 112 LAST INSP: 113 LAST INFO RES: 12/20/1993



> 1 ASSOC CITY: WHITE OAK 4 STATE: NC LOC ID: NC86 FAA SITE NR: 17204.8*A
> 2 AIRPORT NAME: ROCKING A FARM 5 COUNTY: BLADEN, NC
3 CBD TO AIRPORT (NM): 2 W 6 REGION/ADO: ASO /MEM 7 SECT AERO CHT: CHARLOTTE

GENERAL
> 10 OWNERSHIP: PRIVATE
> 11 OWNER: ROCKING A RANCH INC
> 12 ADDRESS: PO BOX 234
WHITE OAK, NC 28399
> 13 PHONE NR: 910-587-2699
> 14 MANAGER: GARDNER ALTMAN
> 15 ADDRESS: 600 WHITE OAK NATIONAL DR
WHITE OAK, NC 28339
> 16 PHONE NR: 910-876-7495
> 17 ATTENDANCE SCHEDULE:

MONTHS DAYS HOURS
UNATNDD

18 AIRPORT USE: PRIVATE
19 ARPT LAT: 34-44-1N ESTIMATED
20 ARPT LONG: 78-45-11W
21 ARPT ELEV: 58.0 ESTIMATED
22 ACREAGE: 153
> 23 RIGHT TRAFFIC: NO
> 24 NON-COMM LANDING:
25 NPIAS/FED AGREEMENTS:
> 26 FAR 139 INDEX: /

SERVICES
> 70 FUEL:
> 71 AIRFRAME RPRS:
> 72 PWR PLANT RPRS:
> 73 BOTTLE OXYGEN:
> 74 BULK OXYGEN:
75 TSNT STORAGE:
76 OTHER SERVICES:

BASED AIRCRAFT
90 SINGLE ENG: 1
91 MULTI ENG: 0
92 JET: 0
93 HELICOPTERS: 0
TOTAL: 1
94 GLIDERS: 0
95 MILITARY: 0
96 ULTRA-LIGHT: 0

FACILITIES
> 80 ARPT BCN:
> 81 ARPT LGT SKED:
BCN LGT SKED:
> 82 UNICOM:
> 83 WIND INDICATOR: YES
84 SEGMENTED CIRCLE: NONE
85 CONTROL TWR: NO
86 FSS: RALEIGH
87 FSS ON ARPT: NO
88 FSS PHONE NR:
89 TOLL FREE NR: 1-800-WX-BRIEF

OPERATIONS
100 AIR CARRIER: 0
102 AIR TAXI: 0
103 G A LOCAL: 0
104 G A ITNRNT: 0
105 MILITARY: 0
TOTAL: 0
OPERATIONS FOR 12 MONTHS ENDING //

RUNWAY DATA

> 30 RUNWAY IDENT: 05/23
> 31 LENGTH: 3,300
> 32 WIDTH: 25
> 33 SURF TYPE-COND: ASPH-
> 34 SURF TREATMENT:
35 GROSS WT: S
36 (IN THSDS) D
37 2D
38 2D/2DS
> 39 PCN / PCR:

LIGHTING/APCH AIDS

> 40 EDGE INTENSITY:
> 42 RWY MARK TYPE-COND: -/-
> 43 VGSI: /
44 THR CROSSING HGT: /
45 VISUAL GLIDE ANGLE: /
> 46 CNTRLN-TDZ: -/-
> 47 RVR-RVV: -/-
> 48 REIL: /
> 49 APCH LIGHTS: /

OBSTRUCTION DATA

50 FAR 77 CATEGORY: A(V) / A(V)
> 51 DISPLACED THR: 1000 / 1000
> 52 CTLG OBSTN: TREES / PLINE
> 53 OBSTN MARKED/LGTD: /
> 54 HGT ABOVE RWY END: /
> 55 DIST FROM RWY END: 0 / 0
> 56 CNTRLN OFFSET: /
57 OBSTN CLNC SLOPE: /
58 CLOSE-IN OBSTN: N / N

DECLARED DISTANCES

> 60 TAKE OFF RUN AVBL (TORA): /
> 61 TAKE OFF DIST AVBL (TODA): /
> 62 ACLT STOP DIST AVBL (ASDA): /
> 63 LNDG DIST AVBL (LDA): /

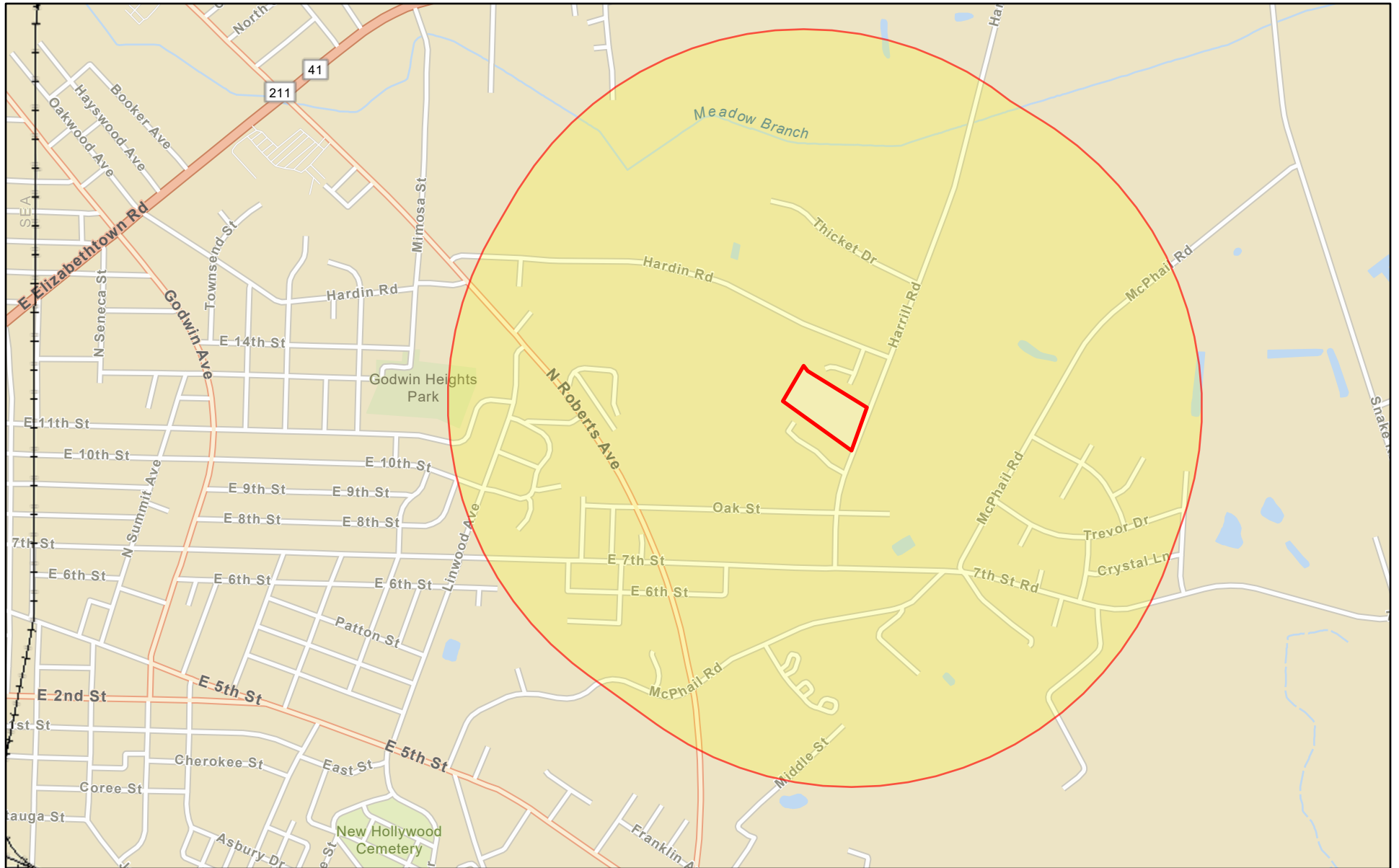
(>) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS:




A 110-001 FOR CD CTC WASHINGTON ARTCC AT 703-771-3587.

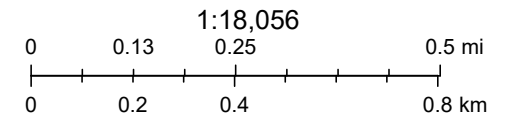
111 INSPECTOR: (N) 112 LAST INSP: 113 LAST INFO RES: 02/02/2021

Northeast Pointe II - Railroads 3,000-foot Buffer



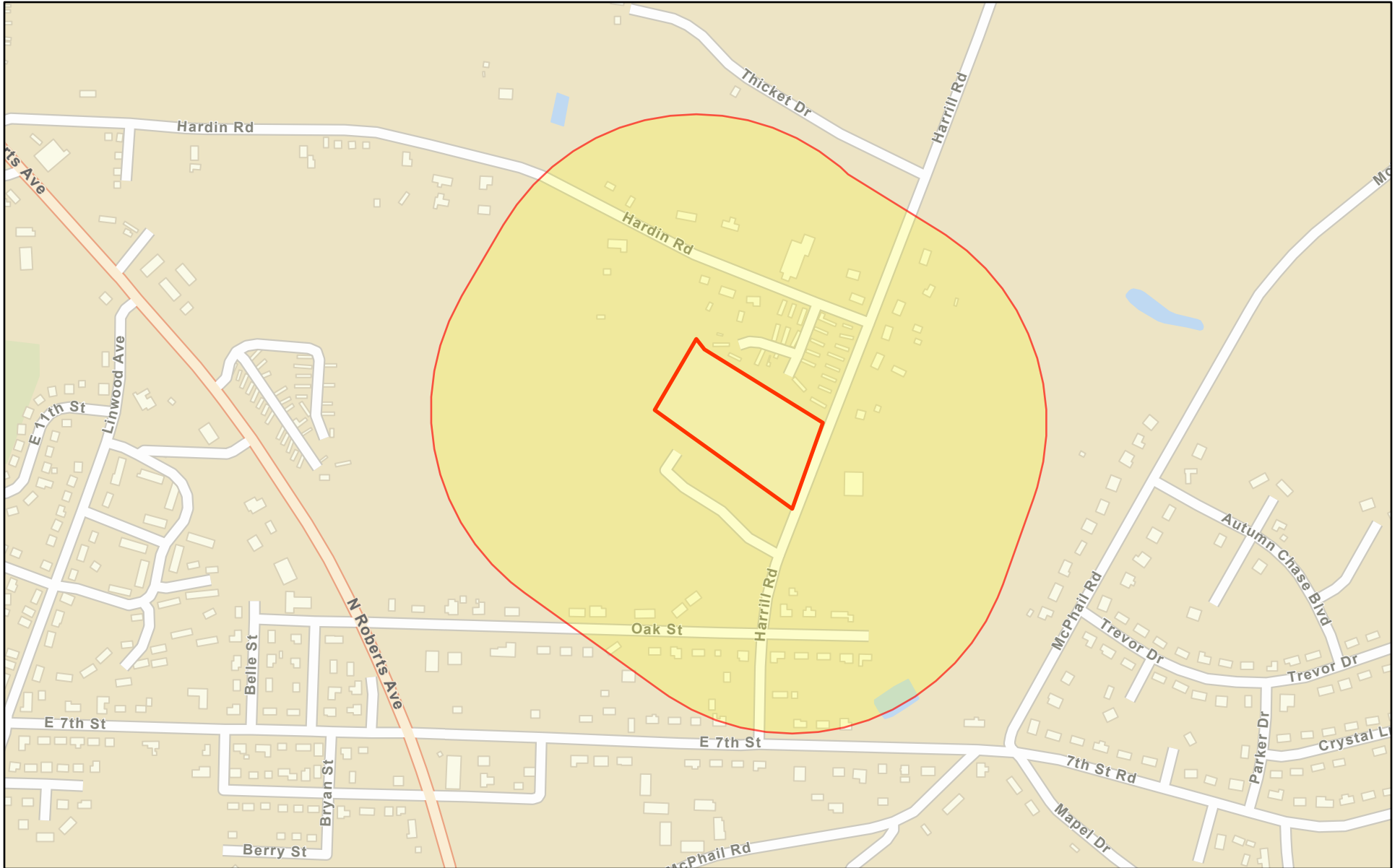
November 9, 2022

-  Northeast Pointe II
-  Railroads
-  Buffer graphics





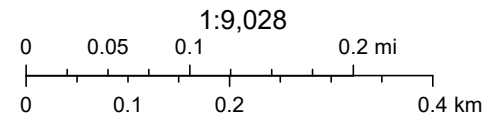
Esri Community Maps Contributors, State of North Carolina DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA,

Northeast Pointe II - 1,000-foot Buffer



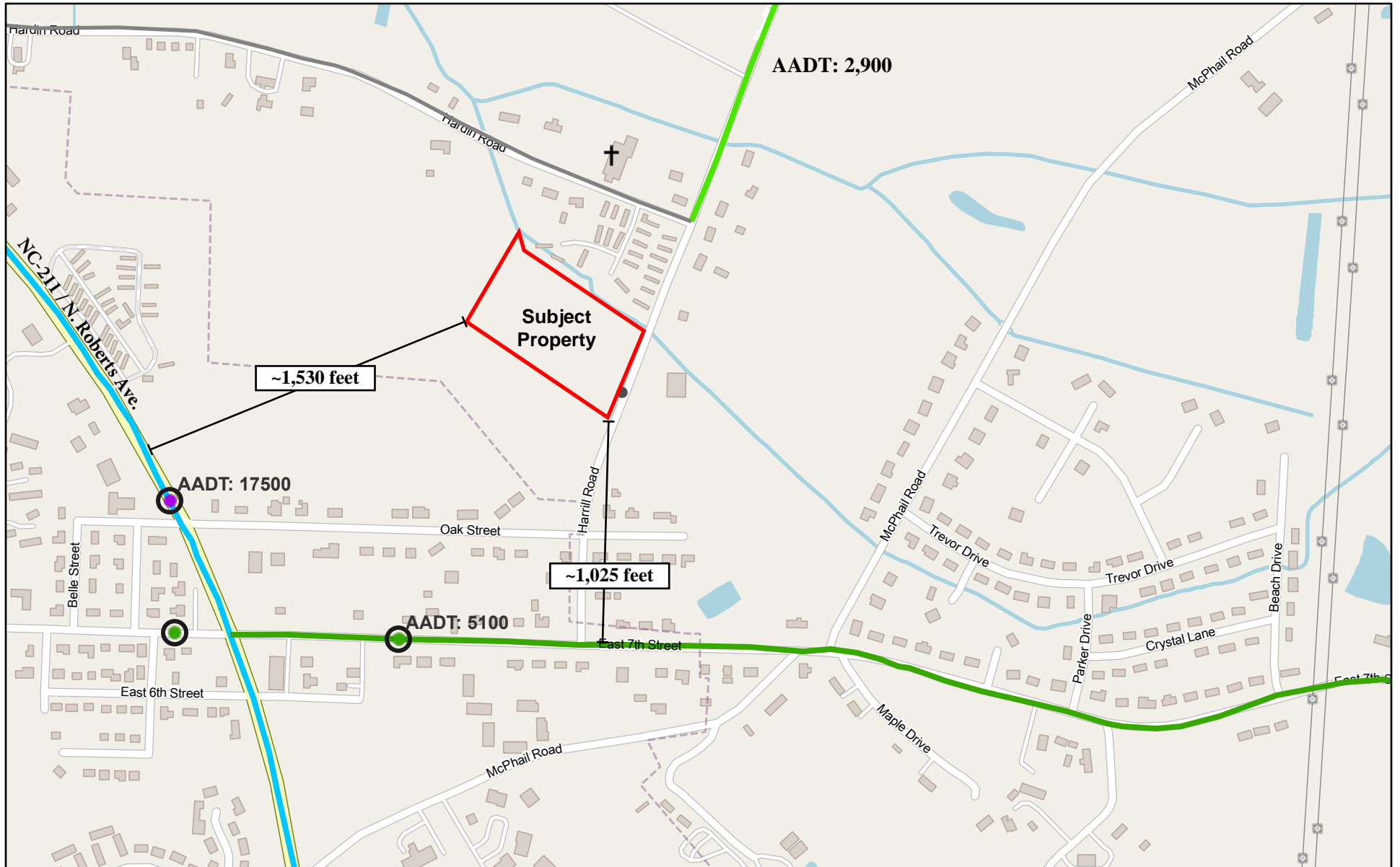
October 17, 2022

-  Project Buffer
-  Northeast Pointe II - Project Site



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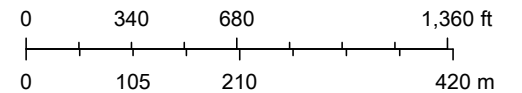
NCDOT AADT Station Map



10/8/2021, 4:47:01 PM

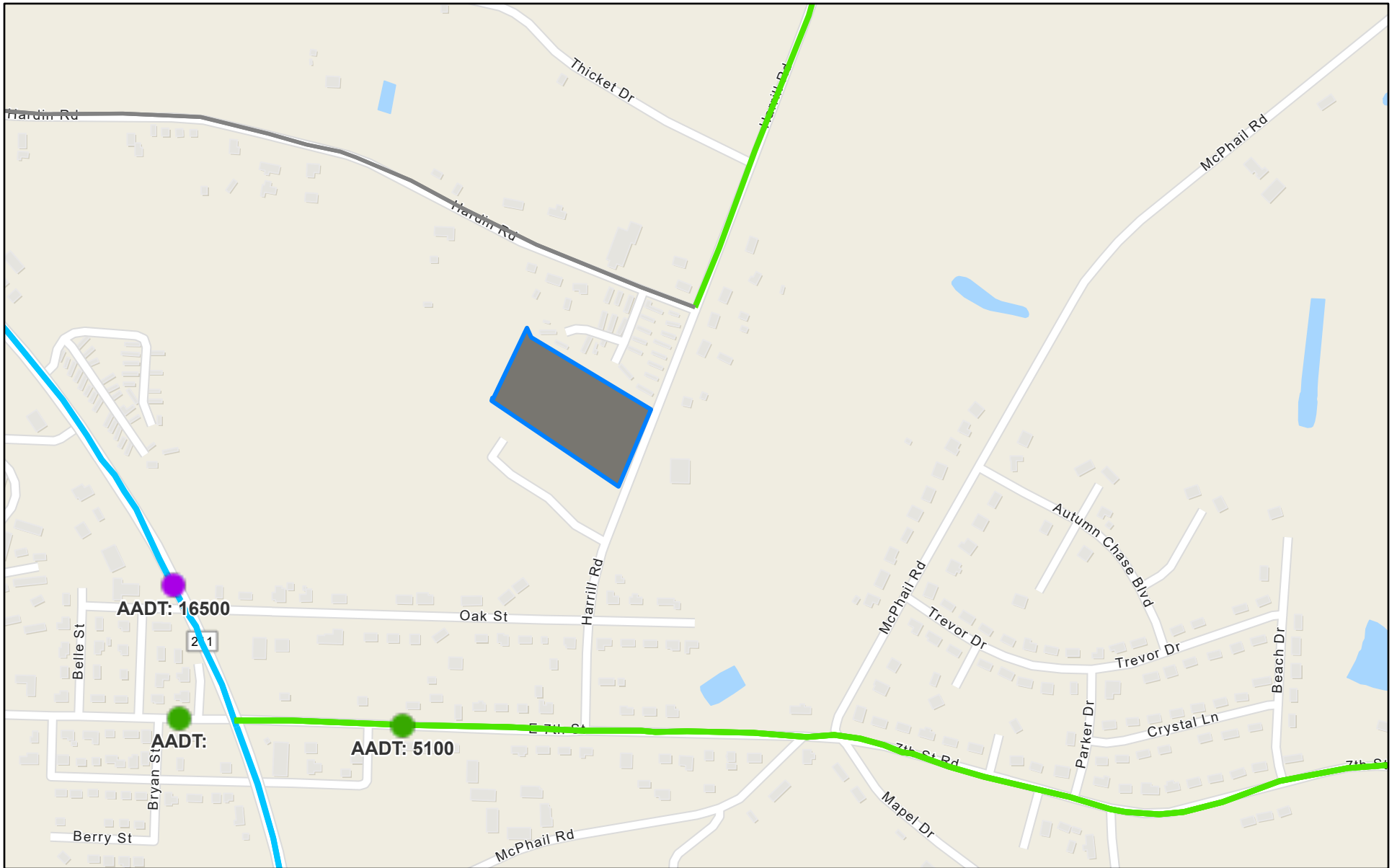
- Traffic Factors
- NCDOT_AADT_Stations
- NC Routes
- Secondary Routes

1:9,028



Map data © OpenStreetMap contributors, Microsoft, Esri Community Maps

NCDOT AADT Map - NE Pointe II



11/10/2022, 12:35:02 PM

NCDOT_AADT_Traffic_Segmentation - NCDOT_AADT_Stations NCDOT_AADT_Traffic_Segmentation - NCDOT_AADT_Traffic_Segments_Secondary_Non-System

- NC Routes
- Secondary Routes

10 - 499

2,000 - 4,999

NCDOT_AADT_Traffic_Segmentation - NCDOT_AADT_Traffic_Segments_Primitives

10,000 - 19,999

1:9,028

0 0.05 0.1 0.2 mi

0 0.1 0.2 0.4 km

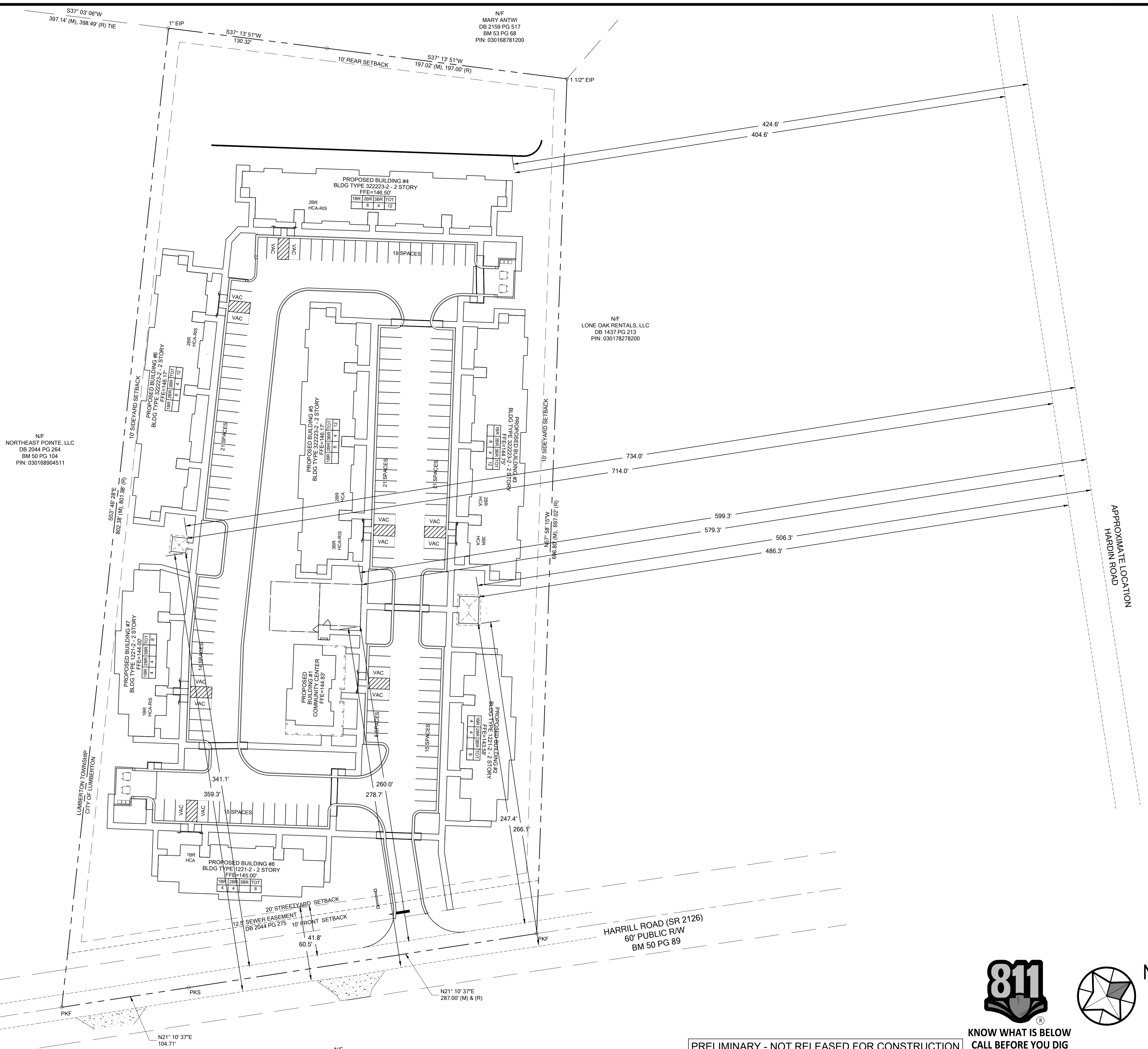
Esri Community Maps Contributors, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph,

North Carolina Speed Limits Map



North Carolina Speed Limits - State Highway System Only

P:\2021 Projects\210678 Northeast Point\Lumber\ENGINEERING\210678 Northeast Point\LOCATION.dwg



N/F
NORTHEAST POINTE, LLC
DB 2044 PG 264
BM 58 PG 104
PIN: 030168904511

N/F
MARY ANTWI
DB 2159 PG 517
BM 53 PG 68
PIN: 030168781200

N/F
LONE OAK RENTALS, LLC
DB 1437 PG 213
PIN: 030178278200

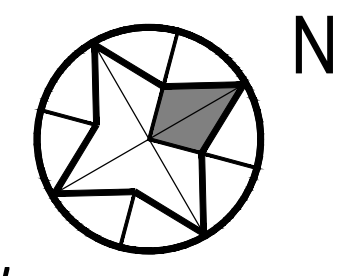
N/F
HEAVEN BOUND NEW
VISION CHURCH, INC.
A NORTH CAROLINA
CORPORATION
DB 1227 PG 294
PIN: 030178502700

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY,
NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



KNOW WHAT IS BELOW
CALL BEFORE YOU DIG



SCALE 1"=40'
0 40' 80'

NORTHEAST POINTE PHASE II
SITE PLAN

Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Rollins Avenue, Apex, North Carolina 27539
Phone: 919.577.1080 Fax: 919.577.1081
NGBELS FIRM No. C-2378



HARRILL ROAD
LUMBERTON, NC 28588
ROBESON COUNTY

Project Engineer:	SSL
Designed By:	TSG
Scale:	1"=40'
Date:	04-01-2022
Project #:	P210678

SHEET

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (Current Year)
Record Date	11/09/2022
User's Name	Andrea Gievers

Road # 1 Name:	Hardin Road (Current Year) Building 4 NAL
-----------------------	--

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	414	414	414
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	388	8	4
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	38	31	36
Calculate Road #1 DNL	41	Reset	

Add Road Source

Add Rail Source

Airport Noise Level

0

Loud Impulse Sounds?

Yes No

Combined DNL for all
Road and Rail sources

41

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

Reset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

DNL Calculator

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Guidelines

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- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (2035)
Record Date	11/11/2022
User's Name	Andrea Gievers
Road # 1 Name:	Hardin Road (2035) Building 4 NAL

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	414	414	414
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	475	10	5
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	39	32	37
Calculate Road #1 DNL	42	Reset	

Add Road Source

Add Rail Source

Airport Noise Level

0

Loud Impulse Sounds?

Yes No

Combined DNL for all
Road and Rail sources

42

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

Reset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

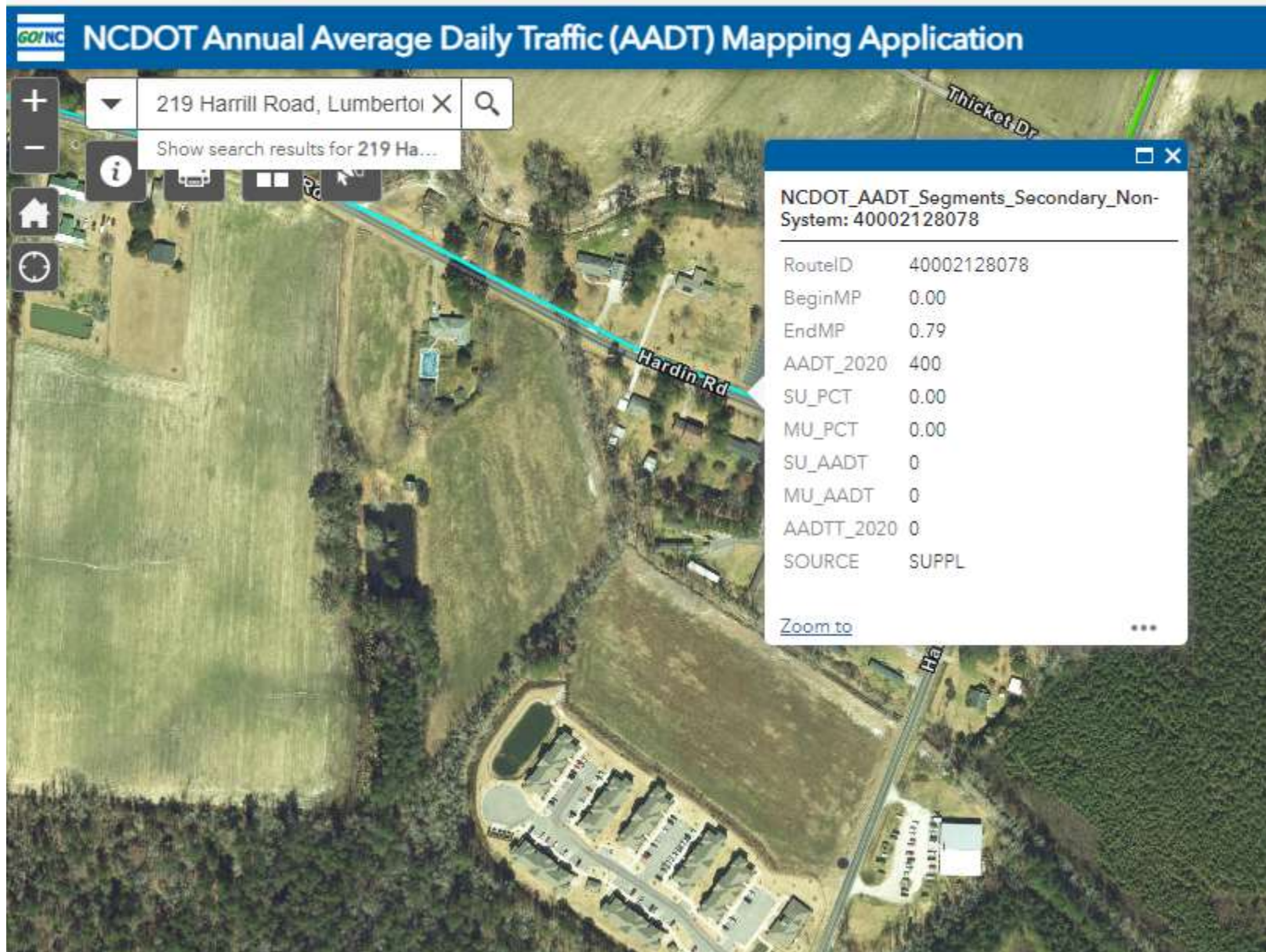
- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

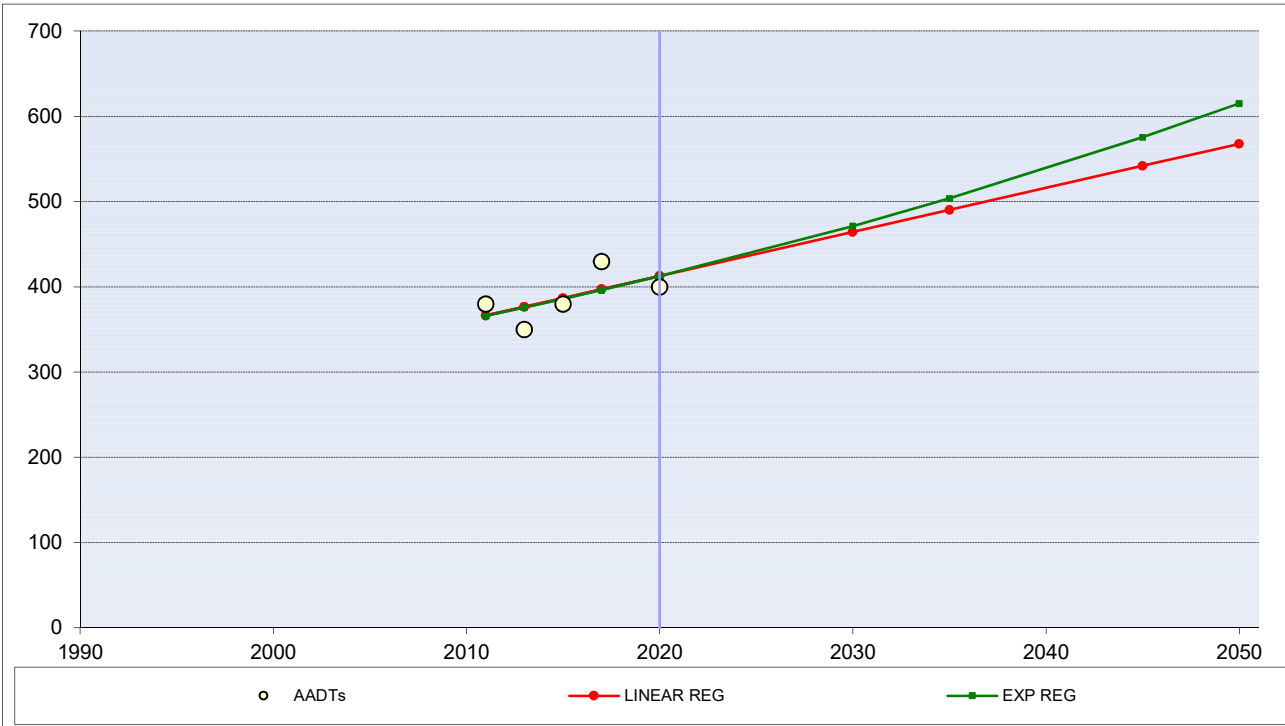
Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Northeast Pointe II – Hardin Road AADT Current Year



AADT TREND ANALYSIS

#2 -- Hardin Road - SR 2128 E OF NC 211



HISTORIC DATA		STATISTICAL RESULTS	
Year	AADT	LINEAR REG:	5.2
2011	380	LINEAR %:	1.34%
2013	350	EXPONENTIAL REG:	1.34%
2015	380		
2017	430		
2020	400	R-SQUARED	
		LINEAR:	0.3739
		EXPONENTIAL:	0.3767
		NUMBER OF DATA POINTS:	5

SHOW HISTORIC DATA:	SHOW FUTURE DATA:	SHOW STATION #:
<input checked="" type="checkbox"/> LINEAR REGRESSION	<input checked="" type="checkbox"/> LINEAR REGRESSION	2- Hardin Road - SR 2128 E OF NC 211
<input checked="" type="checkbox"/> EXPONENTIAL REGRESSION	<input checked="" type="checkbox"/> EXPONENTIAL REGRESSION	FUT YRS:
<input checked="" type="checkbox"/> HISTORIC DATA		2020
		#1 2020
		#2 2030
		#3 2035
		#4 2045
		#5 2050

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION / TRANSP. PLANNING BRANCH

FUTURE PROJECTIONS:			
Linear Reg	Exp Reg		
413	413		
413	413		
464	471		
490	504		
542	576		
568	615		

Title - Replace with text
 Title - Replace with text or delete

Distance from Building 8 to Hardin Road Stop Sign

Find area, length

Me

636.5 Feet



DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (Current Year)
Record Date	11/09/2022
User's Name	Andrea Gievers
Road # 1 Name:	Harrill Road (Current Year) Building 8 NAL

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	51	51	51
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	2522	52	26
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	62	55	59
Calculate Road #1 DNL	64	Reset	

Add Road Source

Add Rail Source

Airport Noise Level

0

Loud Impulse Sounds?

Yes No

Combined DNL for all
Road and Rail sources

64

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

Reset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

DNL Calculator

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Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (2035)
Record Date	11/11/2022
User's Name	Andrea Gievers

Road # 1 Name:	Harrill Road (2035) Building 8 NAL
-----------------------	---

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	51	51	51
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	3109	64	32
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	63	56	60
Calculate Road #1 DNL	65	Reset	

Add Road Source

Add Rail Source

Airport Noise Level

0

Loud Impulse Sounds?

Yes No

Combined DNL for all
Road and Rail sources

65

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

Reset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

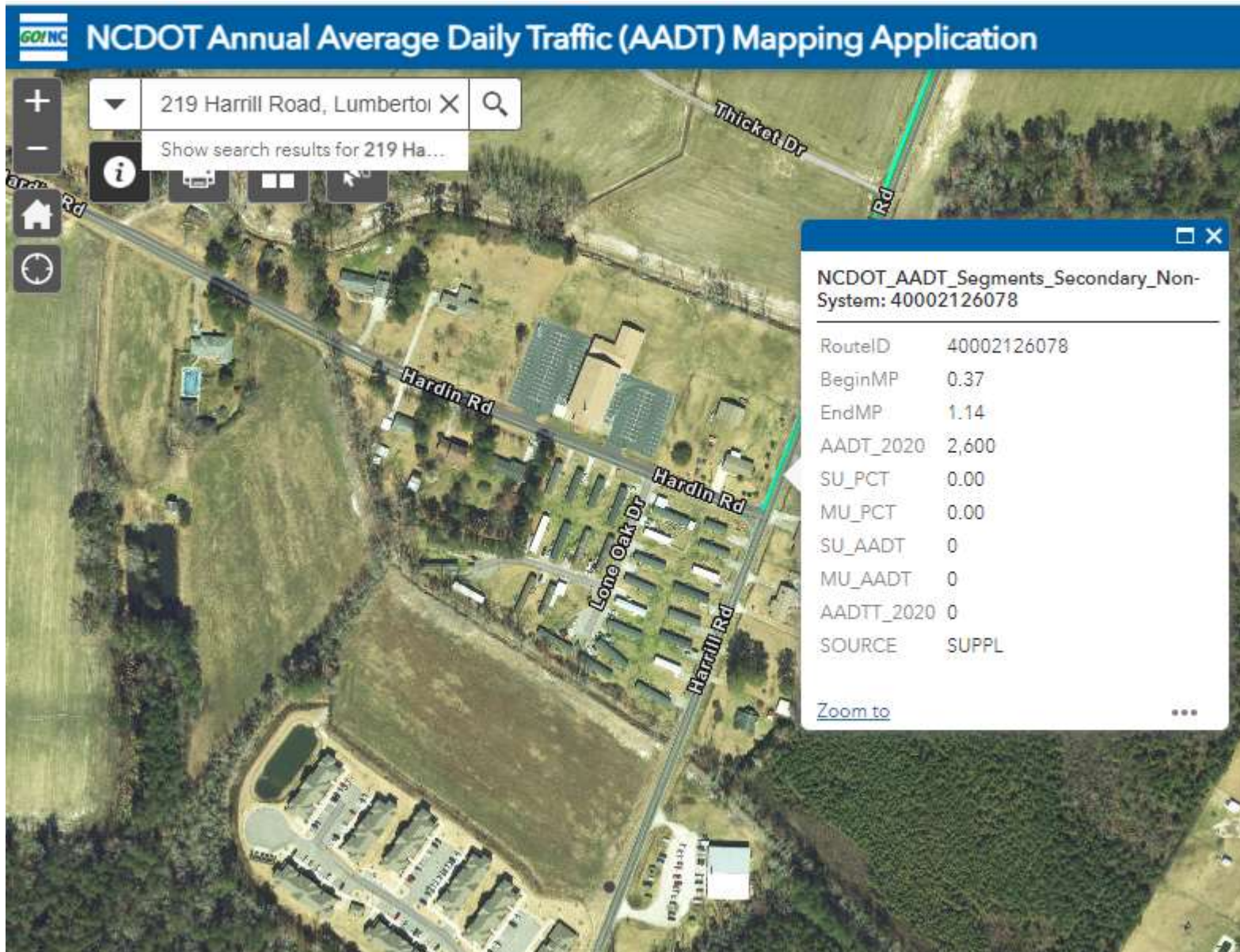
- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

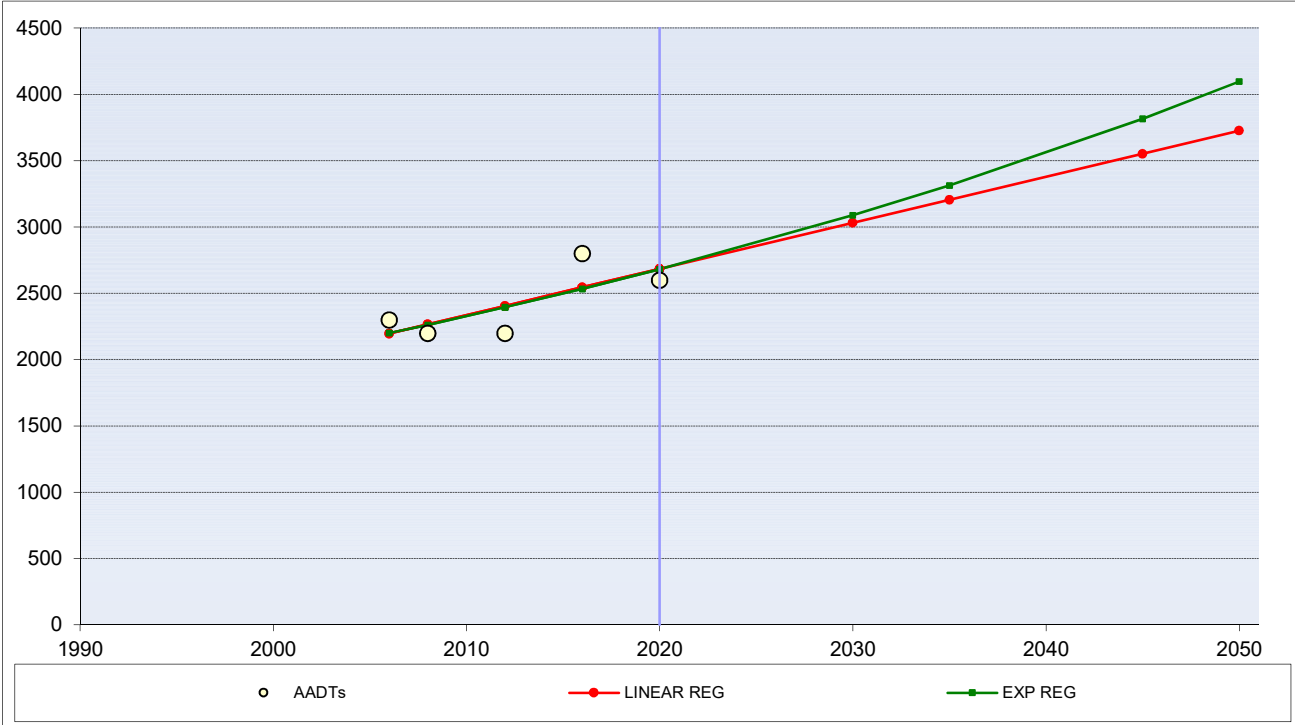
Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Northeast Pointe II – Harrill Road AADT Current Year



AADT TREND ANALYSIS

#1 -- Harrill Road - SR 2126 S OF NC 41



HISTORIC DATA		STATISTICAL RESULTS	
Year	AADT	LINEAR REG:	34.8
2006	2300	LINEAR %:	1.44%
2008	2200	EXPONENTIAL REG:	1.42%
2012	2200		
2016	2800		
2020	2600	R-SQUARED	
		LINEAR:	0.5503
		EXPONENTIAL:	0.5563
		NUMBER OF DATA POINTS:	5

SHOW HISTORIC DATA:	SHOW FUTURE DATA:	SHOW STATION #:
<input checked="" type="checkbox"/> LINEAR REGRESSION	<input checked="" type="checkbox"/> LINEAR REGRESSION	1- Harrill Road - SR 2126 S OF NC 41
<input checked="" type="checkbox"/> EXPONENTIAL REGRESSION	<input checked="" type="checkbox"/> EXPONENTIAL REGRESSION	
<input checked="" type="checkbox"/> HISTORIC DATA		
NORTH CAROLINA DEPARTMENT OF TRANSPORTATION / TRANSP. PLANNING BRANCH		

FUTURE PROJECTIONS:			
Linear Reg	Exp Reg		
2684	2681		
2684	2681		
3032	3088		
3205	3314		
3553	3817		
3727	4096		

Title - Replace with text
 Title - Replace with text or delete

PLANT SCHEDULE									
PLANT TYPE	SYMBOL	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	NOTES
CANOPY TREES		7	ACR	Acer rubrum	Red Maple	B&B	2" MIN.	10' MIN.	MATCHED
		11	MAG	Magnolia grandiflora	Southern Magnolia	B&B	2" MIN.	10' MIN.	MATCHED
		5	PNI	Pinus nigra	Austrian Pine	B&B	2" MIN.	10' MIN.	MATCHED
		3	QUL	Quercus laurifolia	Laurel Oak	B&B	1.5" CAL.	8' MIN.	MATCHED
		5	QUR	Quercus rubra	Red Oak	B&B	1.5" CAL.	8' MIN.	MATCHED
UND/ORN. TREES		7	UPA	Ulmus parvifolia 'Allee'	Ailce Lacebark Elm	B&B	1.5" CAL.	8' MIN.	MATCHED
SHRUBS		20	BJU	Berberis julianae	Wintergreen Barberry	CONT.		24" MIN.	MATCHED
		32	IVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	CONT.		24" MIN.	MATCHED

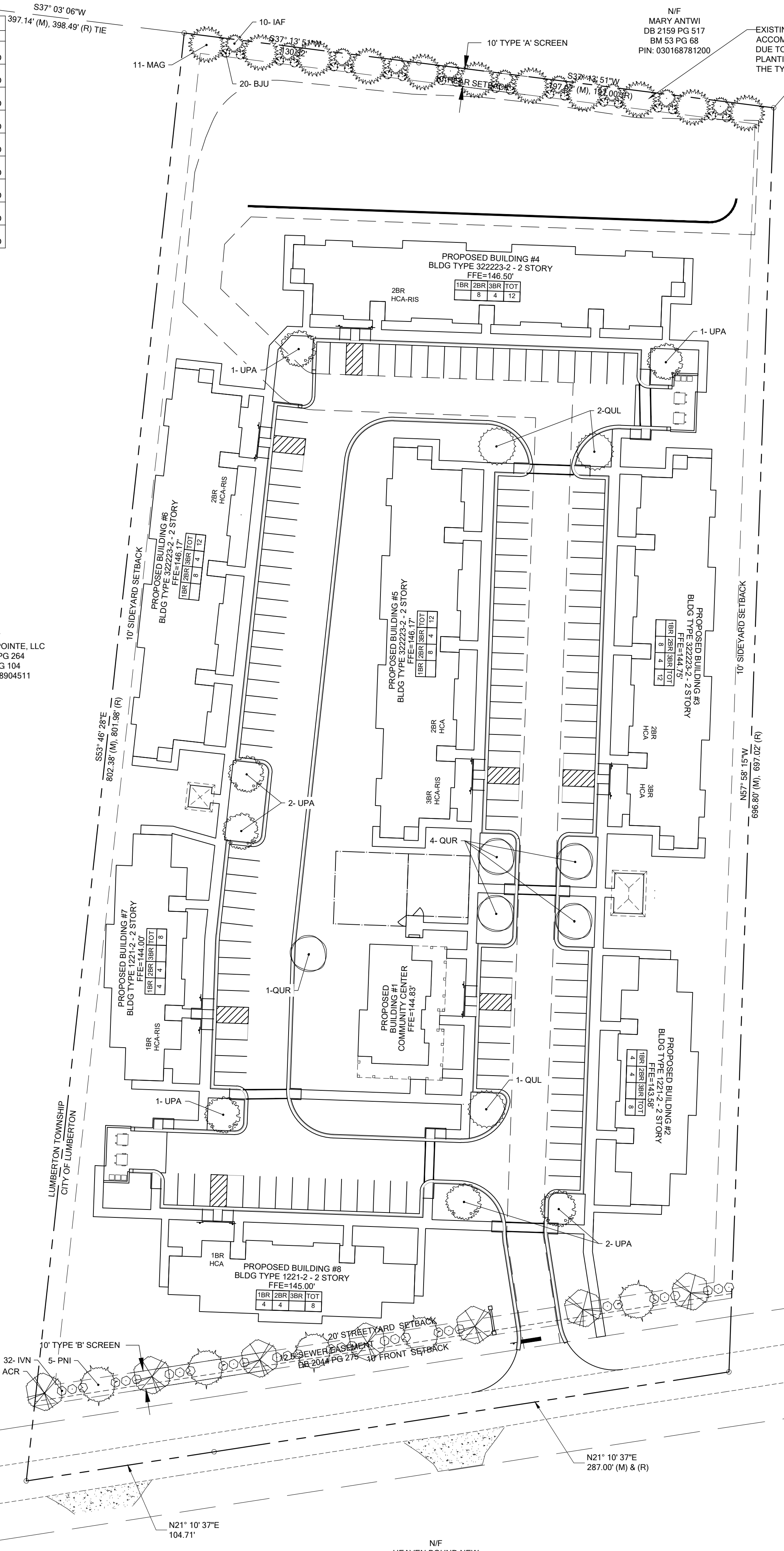
MAINTENANCE OF PLANTINGS:

- TREES SELECTED FOR PLANTING SHALL BE APPROVED BY THE LAND USE ADMINISTRATOR PRIOR TO PLANTING AND SHALL HAVE A MINIMUM CALIBER OF 2" AND A MINIMUM HEIGHT OF 8' AT THE TIME OF PLANTING.
- THE BEST TIMES FOR PLANTING ARE EARLY SPRING AND EARLY FALL. TREES PLANTED IN THE SUMMER RUN THE RISK OF DEHYDRATION.
- PLANT ALL TREES AT LEAST 3 1/2' FROM THE END HEAD-IN PARKING SPACES IN ORDER TO PREVENT DAMAGE FROM CAR OVERHANGS.
- DIG THE TREE PIT AT LEAST 1' WIDER THAN THE ROOT BALL AND AT LEAST 6" DEEPER THAN THE BALL'S VERTICAL DIMENSION.
- ESPECIALLY IN AREAS WHERE CONSTRUCTION ACTIVITY HAS COMPACTED THE SOIL, THE BOTTOM OF THE PIT SHOULD BE SCARIFIED OR LOOSENED WITH A PICK AX OR SHOVEL.
- AFTER THE PIT IS DUG, OBSERVE SUB-SURFACE DRAINAGE CONDITIONS. MOST SOILS IN THE LUMBERTON AREA ARE POORLY DRAINED. WHERE POOR DRAINAGE EXISTS, THE TREE PIT SHOULD BE DUG AT LEAST AN ADDITIONAL 12" AND BOTTOM SHOULD BE FILLED WITH COARSE GRAVEL.
- BACKFILL SHOULD INCLUDE A PROPER MIX OF SOIL, PEAT MOSS AND NUTRIENTS. ALL ROOTS MUST BE COMPLETELY COVERED. BACKFILL SHOULD BE THOROUGHLY WATERED AS IT IS PLACED AROUND THE ROOTS.
- IMMEDIATELY AFTER IT IS PLANTED, THE TREE SHOULD BE SUPPORTED WITH STAKES AND GUIDE WIRES TO FIRMLY HOLD IT IN PLACE AS ITS ROOT SYSTEM BEGINS TO DEVELOP. STAKED TREES WILL BECOME STRONGER MORE QUICKLY. REMOVE STAKES AND TIES AFTER 1 YEAR.
- SPREAD AT LEAST 2" OF MULCH OVER THE ENTIRE EXCAVATION IN ORDER TO RETAIN MOISTURE AND KEEP DOWN WEEDS. AN ADDITIONAL 2" SAUCER OF MULCH SHOULD BE PROVIDED TO FORM A BASIN AROUND THE TRUNK OF THE TREE. THIS SAUCER HELPS CATCH AND RETAIN MOISTURE.
- THE LOWER TRUNKS OF NEW TREES SHOULD BE WRAPPED WITH BURLAP OR PAPER TO PREVENT EVAPORATION AND SUN SCALD. THE WRAPPING SHOULD REMAIN ON THE TREE FOR AT LEAST 1 YEAR.
- CONSCIOUS POST-PLANTING CARE, ESPECIALLY WATERING, PRUNING AND FERTILIZING IS A MUST FOR STREET AND PARKING LOT TREES. BRANCHES OF NEW TREES MAY BE REDUCED AS MUCH AS A THIRD TO PREVENT EXCESSIVE EVAPORATION.

LANDSCAPE CALCULATIONS:

PARKING REQUIREMENTS:	
TOTAL IMPERVIOUS:	54,718 SF
54,718 * .20 =	10,944 SF (AREA TO BE SHADED)
IMPERVIOUS SHADED BY EXISTING TREES:	0 SF
10,944 - 0 =	10,944 SF
10,944 / 707 =	15 TREES

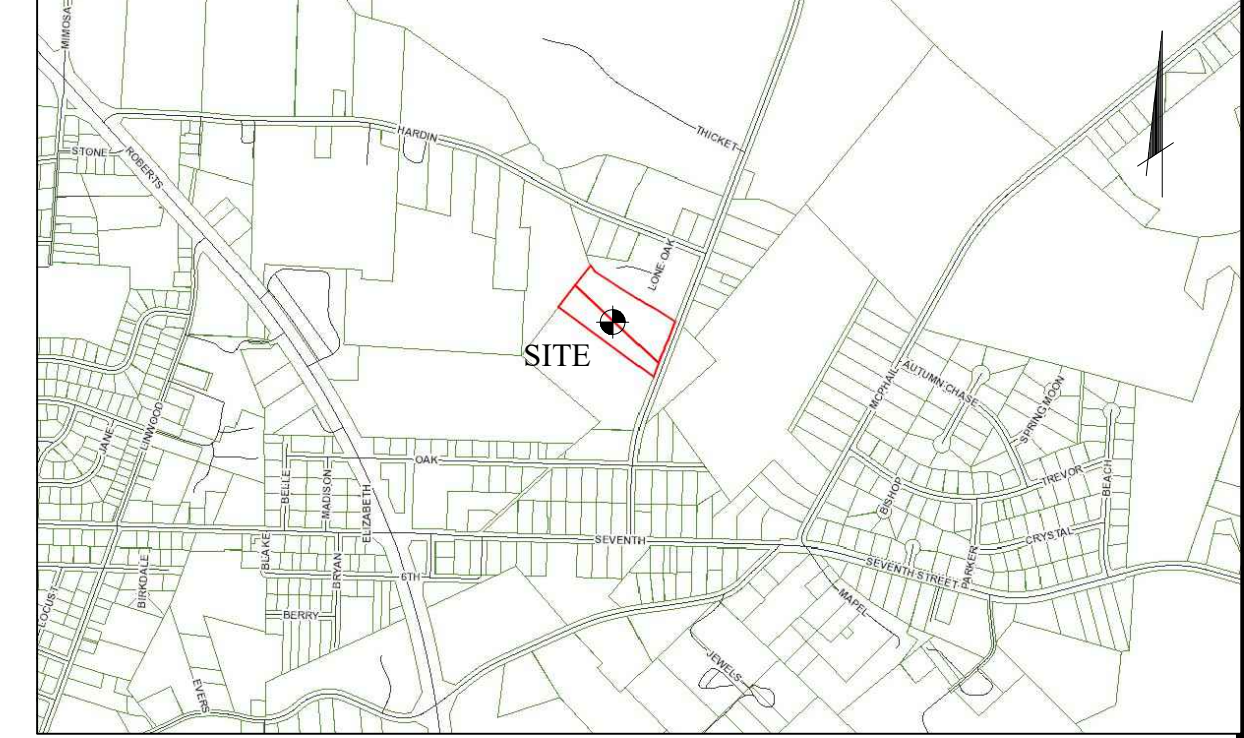
NF
NORTHEAST POINTE, LLC
DB 2044 PG 264
BM 50 PG 104
PIN: 030168904511



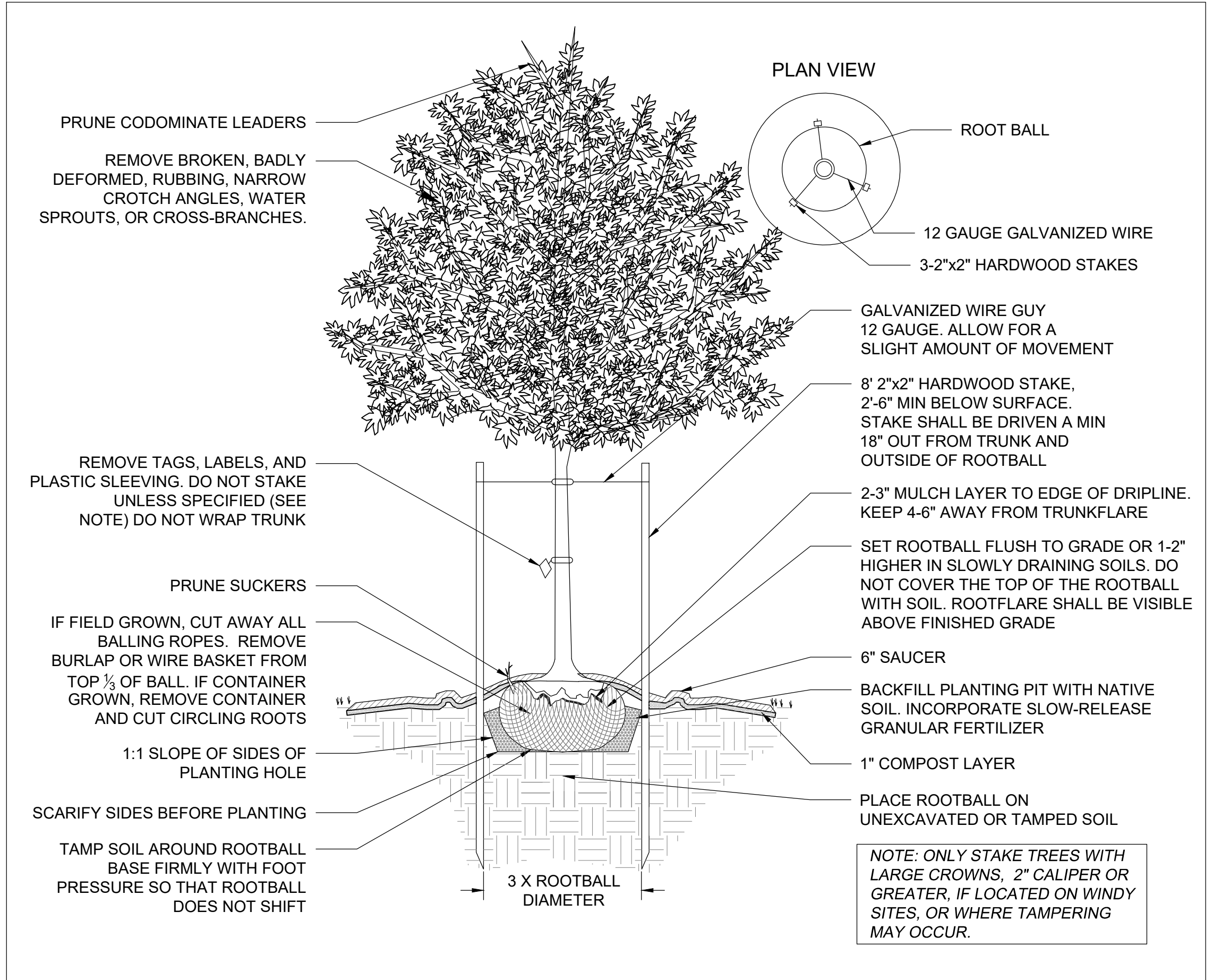
NF
MARY ANTWI
DB 2159 PG 517
BM 53 PG 68
PIN: 030168781200

EXISTING VEGETATION SHALL BE UTILIZED TO ACCOMMODATE THE REQUIRED TYPE 'A' SCREENING. DUE TO EXISTING DITCH ONLY SUPPLEMENTAL PLANTING WILL BE NEEDED TO MEET THE INTENT OF THE TYPE 'A' SCREENING.

NF
LONE OAK RENTALS, LLC
DB 1437 PG 213
PIN: 030178278200



VICINITY MAP
NTS



Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Raliance Avenue, Apex, North Carolina 27539
Phone: 919.577.1080 Fax: 919.577.1081
NGBELS FIRM No. C-2378



**NORTHEAST POINTE PHASE II
SITE PLAN**

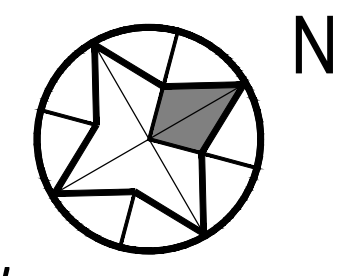
HARRILL ROAD
LUMBERTON, NC 28388
ROBESON COUNTY

SITE LANDSCAPE PLAN

1st REVISION	05/16/2022	NCDEQ COMMENTS
2nd REVISION	08/24/2022	REMOVED BIKE RACKS
3rd REVISION	09/14/2022	NCHFA COMMENTS

NF
HEAVEN BOUND NEW
VISION CHURCH, INC.
A NORTH CAROLINA
CORPORATION
DB 1227 PG 294
PIN: 030178502700

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



SCALE 1"=40'
0 40' 80'

Project Engineer:	SSL
Designed By:	TSG
Scale:	1"=40'
Date:	04-01-2022
Project #:	P210678

SHEET
C6.01

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (Current Year)
Record Date	11/09/2022
User's Name	Andrea Gievers

Road # 1 Name:	Harrill Road (Current Year) Gazebo NAL
-----------------------	---

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	257	257	257
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	2522	52	26
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	51	44	49
Calculate Road #1 DNL	54	Reset	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	496	496	496
Distance to Stop Sign	529	529	529
Average Speed	45	45	45
Average Daily Trips (ADT)	388	8	4
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	36	30	38
Calculate Road #2 DNL	41	Reset	

Add Road SourceAdd Rail Source

Airport Noise Level	<input type="text" value="0"/>
Loud Impulse Sounds?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Combined DNL for all Road and Rail sources	<input type="text" value="54"/>
Combined DNL including Airport	<input type="text" value="N/A"/>
Site DNL with Loud Impulse Sound	<input type="text"/>

CalculateReset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - **Contact your Field or Regional Environmental Officer** (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
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Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

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- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (2035)
Record Date	11/11/2022
User's Name	Andrea Gievers
Road # 1 Name:	Harrill Road (2035) Gazebo NAL

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	257	257	257
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	3109	64	32
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	52	45	49
Calculate Road #1 DNL	55	Reset	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	496	496	496
Distance to Stop Sign	529	529	529
Average Speed	45	45	45
Average Daily Trips (ADT)	475	10	5
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	37	31	39
Calculate Road #2 DNL	42	Reset	

Add Road SourceAdd Rail Source

Airport Noise Level	<input type="text" value="0"/>
---------------------	--------------------------------

Loud Impulse Sounds?	<input type="radio"/> Yes <input checked="" type="radio"/> No
----------------------	---

Combined DNL for all Road and Rail sources	<input type="text" value="55"/>
--	---------------------------------

Combined DNL including Airport	<input type="text" value="N/A"/>
--------------------------------	----------------------------------

Site DNL with Loud Impulse Sound	<input type="text"/>
----------------------------------	----------------------

CalculateReset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

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Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Distance from Gazebo to Hardin Road Stop Sign

Find area, length

Me

529 Feet



DNL Calculator

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DNL Calculator

Site ID	Northeast Pointe II (Current Year)
Record Date	11/09/2022
User's Name	Andrea Gievers

Road # 1 Name:	Harrill Road (Current Year) Playground NAL
-----------------------	---

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	309	309	309
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	2522	52	26
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	50	43	47
Calculate Road #1 DNL	52	Reset	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	589	589	589
Distance to Stop Sign	593	593	593
Average Speed	45	45	45
Average Daily Trips (ADT)	388	8	4
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	36	29	37
Calculate Road #2 DNL	40	Reset	

Add Road SourceAdd Rail Source

Airport Noise Level	<input type="text" value="0"/>
Loud Impulse Sounds?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Combined DNL for all Road and Rail sources	<input type="text" value="53"/>
Combined DNL including Airport	<input type="text" value="N/A"/>
Site DNL with Loud Impulse Sound	<input type="text"/>

CalculateReset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

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Tools and Guidance

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DNL Calculator

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- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (2035)
Record Date	11/11/2022
User's Name	Andrea Gievers
Road # 1 Name:	Harrill Road (2035) Playground NAL

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	309	309	309
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	3109	64	32
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	51	44	48
Calculate Road #1 DNL	53	Reset	

Road # 2 Name: **Hardin Road (2035) Playground NAL**

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	589	589	589
Distance to Stop Sign	593	593	593
Average Speed	45	45	45
Average Daily Trips (ADT)	475	10	5
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	37	30	38
Calculate Road #2 DNL	41	Reset	

Add Road SourceAdd Rail Source

Airport Noise Level	<input type="text" value="0"/>
Loud Impulse Sounds?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Combined DNL for all Road and Rail sources	<input type="text" value="54"/>
Combined DNL including Airport	<input type="text" value="N/A"/>
Site DNL with Loud Impulse Sound	<input type="text"/>

CalculateReset

Mitigation Options

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Tools and Guidance

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Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Distance from Playground to Hardin Road Stop Sign

Find area, length

Me

592.7 Feet



DNL Calculator

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DNL Calculator

Site ID	Northeast Pointe II (Current Year)
Record Date	11/09/2022
User's Name	Andrea Gievers

Road # 1 Name:	Harrill Road (Current Year) Picnic Area NAL
-----------------------	--

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	350	350	350
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	2522	52	26
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	49	42	47
Calculate Road #1 DNL	52	Reset	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	724	724	724
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	388	8	4
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	34	28	33
Calculate Road #2 DNL	37	Reset	

Add Road Source

Add Rail Source

Airport Noise Level

0

Loud Impulse Sounds?

Yes No

Combined DNL for all
Road and Rail sources

52

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

Reset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

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- **Mitigation**
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 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	Northeast Pointe II (2035)
Record Date	11/11/2022
User's Name	Andrea Gievers

Road # 1 Name:	Harrill Road (2035) Picnic Area NAL
-----------------------	-------------------------------------

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	350	350	350
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	3109	64	32
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	50	43	47
Calculate Road #1 DNL	52	Reset	

Road # 2 Name: **Hardin Road (2035) Picnic Area NAL**

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	724	724	724
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	475	10	5
Night Fraction of ADT	15	15	15
Road Gradient (%)			2
Vehicle DNL	35	29	34
Calculate Road #2 DNL	38	Reset	

Add Road SourceAdd Rail Source

Airport Noise Level	<input type="text" value="0"/>
Loud Impulse Sounds?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Combined DNL for all Road and Rail sources	<input type="text" value="53"/>
Combined DNL including Airport	<input type="text" value="N/A"/>
Site DNL with Loud Impulse Sound	<input type="text"/>

CalculateReset

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

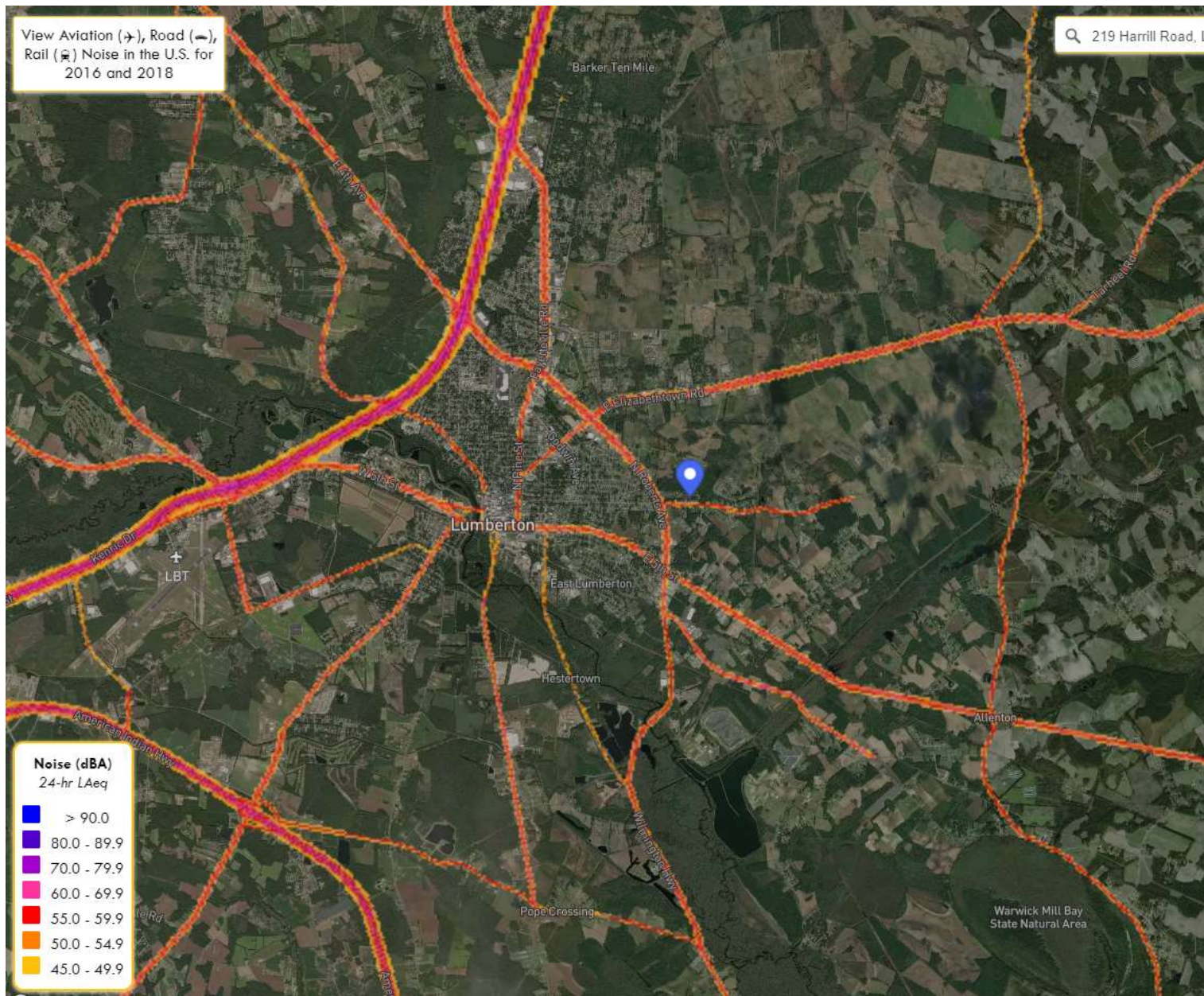
- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Northeast Pointe II – National Transportation Noise Map (Aviation, Road and Rail)



Projected Population Change in North Carolina Counties: 2030-2040

County	Total Population		Population Change		Components of Change			
	July 2030 Projection	July 2040 Projection	Numeric	Percent	Births	Deaths	Natural Increase	Net Migration
Alamance	191,173	211,533	20,360	10.7	23,258	24,458	-1,200	21,560
Alexander	35,874	35,890	16	0.0	3,709	5,290	-1,581	1,597
Alleghany	10,811	10,812	1	0.0	1,091	1,698	-607	608
Anson	21,495	21,380	-115	-0.5	2,223	3,185	-962	847
Ashe	25,858	25,245	-613	-2.4	2,262	4,175	-1,913	1,300
Avery	17,756	17,757	1	0.0	1,299	2,602	-1,303	1,304
Beaufort	41,109	37,809	-3,300	-8.0	4,153	6,850	-2,697	-603
Bertie	16,293	14,886	-1,407	-8.6	1,427	2,163	-736	-671
Bladen	24,450	20,884	-3,566	-14.6	2,971	2,790	181	-3,747
Brunswick	170,134	203,506	33,372	19.6	13,149	31,249	-18,100	51,472
Buncombe	301,057	332,660	31,603	10.5	26,284	39,614	-13,330	44,933
Burke	86,358	86,250	-108	-0.1	8,723	12,114	-3,391	3,283
Cabarrus	274,779	322,564	47,785	17.4	37,076	28,252	8,824	38,961
Caldwell	79,568	79,535	-33	-0.0	7,968	11,601	-3,633	3,600
Camden	11,038	11,260	222	2.0	964	1,345	-381	603
Carteret	68,863	71,870	3,007	4.4	5,453	11,139	-5,686	8,693
Caswell	21,926	21,227	-699	-3.2	1,929	3,513	-1,584	885
Catawba	173,350	186,233	12,883	7.4	19,394	24,452	-5,058	17,941
Chatham	89,290	102,200	12,910	14.5	8,852	13,760	-4,908	17,818
Cherokee	30,813	33,001	2,188	7.1	2,649	5,317	-2,668	4,856
Chowan	13,625	13,644	19	0.1	1,436	2,082	-646	665
Clay	12,107	13,218	1,111	9.2	1,046	2,078	-1,032	2,143
Cleveland	104,483	105,408	925	0.9	11,716	15,411	-3,695	4,620
Columbus	41,283	32,433	-8,850	-21.4	3,543	6,234	-2,691	-6,159
Craven	99,173	99,007	-166	-0.2	14,506	11,352	3,154	-3,320
Cumberland	334,926	334,955	29	0.0	43,809	35,102	8,707	-8,678
Currituck	38,407	48,553	10,146	26.4	4,093	4,683	-590	10,736
Dare	40,995	45,094	4,099	10.0	4,032	5,831	-1,799	5,898
Davidson	180,509	192,318	11,809	6.5	19,893	25,155	-5,262	17,071
Davie	47,537	52,288	4,751	10.0	4,743	7,014	-2,271	7,022
Duplin	38,737	32,880	-5,857	-15.1	6,680	3,049	3,631	-9,488
Durham	373,135	421,444	48,309	12.9	52,094	32,530	19,564	28,745
Edgecombe	43,403	38,231	-5,172	-11.9	4,943	7,318	-2,375	-2,797
Forsyth	416,043	452,266	36,223	8.7	50,977	48,312	2,665	33,558

County	Total Population		Population Change		Components of Change			
	July 2030 Projection	July 2040 Projection	Numeric	Percent	Births	Deaths	Natural Increase	Net Migration
Franklin	85,231	101,748	16,517	19.4	10,082	11,315	-1,233	17,750
Gaston	244,028	259,907	15,879	6.5	28,312	31,537	-3,225	19,104
Gates	9,421	9,303	-118	-1.3	669	1,403	-734	616
Graham	7,857	7,838	-19	-0.2	894	1,180	-286	267
Granville	67,636	74,620	6,984	10.3	6,688	8,998	-2,310	9,294
Greene	20,353	20,352	-1	-0.0	2,373	2,770	-397	396
Guilford	595,602	648,361	52,759	8.9	69,263	66,254	3,009	49,750
Halifax	43,898	39,533	-4,365	-9.9	4,540	7,158	-2,618	-1,747
Harnett	153,534	174,361	20,827	13.6	22,826	16,050	6,776	14,051
Haywood	65,988	70,039	4,051	6.1	6,243	10,395	-4,152	8,203
Henderson	129,310	142,996	13,686	10.6	12,996	20,345	-7,349	21,035
Hertford	17,191	16,089	-1,102	-6.4	1,418	2,456	-1,038	-64
Hoke	58,032	65,957	7,925	13.7	10,792	5,624	5,168	2,757
Hyde	3,972	3,449	-523	-13.2	358	663	-305	-218
Iredell	225,538	263,918	38,380	17.0	26,033	28,295	-2,262	40,642
Jackson	44,164	45,341	1,177	2.7	3,584	5,478	-1,894	3,071
Johnston	271,133	317,631	46,498	17.1	37,295	29,815	7,480	39,018
Jones	8,191	7,949	-242	-3.0	787	1,322	-535	293
Lee	71,503	79,349	7,846	11.0	9,965	8,641	1,324	6,522
Lenoir	53,310	51,735	-1,575	-3.0	6,590	7,971	-1,381	-194
Lincoln	97,974	109,427	11,453	11.7	10,171	13,835	-3,664	15,117
Macon	40,935	44,869	3,934	9.6	4,223	6,627	-2,404	6,338
Madison	21,823	22,533	710	3.3	2,075	3,289	-1,214	1,924
Martin	20,085	18,300	-1,785	-8.9	2,154	3,500	-1,346	-439
McDowell	44,207	44,206	-1	-0.0	4,514	6,262	-1,748	1,747
Mecklenburg	1,324,258	1,530,730	206,472	15.6	173,605	114,402	59,203	147,269
Mitchell	14,479	14,120	-359	-2.5	1,327	2,300	-973	614
Montgomery	25,714	25,715	1	0.0	3,420	3,603	-183	184
Moore	117,189	134,400	17,211	14.7	15,263	16,594	-1,331	18,542
Nash	96,151	96,411	260	0.3	11,133	14,143	-3,010	3,270
New Hanover	254,790	285,043	30,253	11.9	26,302	29,168	-2,866	33,119
Northampton	14,956	13,003	-1,953	-13.1	1,460	1,694	-234	-1,719
Onslow	227,376	250,566	23,190	10.2	50,263	17,055	33,208	-10,018
Orange	163,718	178,629	14,911	9.1	13,054	15,201	-2,147	17,058
Pamlico	11,338	10,462	-876	-7.7	721	2,005	-1,284	408
Pasquotank	41,556	41,720	164	0.4	4,957	5,186	-229	393

County	Total Population		Population Change		Components of Change			
	July 2030 Projection	July 2040 Projection	Numeric	Percent	Births	Deaths	Natural Increase	Net Migration
Pender	69,689	79,163	9,474	13.6	8,189	8,843	-654	10,128
Perquimans	12,460	12,387	-73	-0.6	1,140	1,950	-810	737
Person	39,201	39,298	97	0.2	4,218	5,539	-1,321	1,418
Pitt	179,716	199,144	19,428	10.8	25,197	18,703	6,494	12,934
Polk	18,413	18,388	-25	-0.1	1,316	3,081	-1,765	1,740
Randolph	150,796	157,591	6,795	4.5	18,107	20,160	-2,053	8,848
Richmond	40,785	38,951	-1,834	-4.5	4,800	5,979	-1,179	-655
Robeson	100,362	90,540	-9,822	-9.8	12,759	14,694	-1,935	-7,887
Rockingham	91,116	91,116	0	0.0	8,885	13,772	-4,887	4,887
Rowan	155,442	164,010	8,568	5.5	18,214	21,332	-3,118	11,686
Rutherford	65,517	67,193	1,676	2.6	6,630	9,760	-3,130	4,806
Sampson	56,115	55,369	-746	-1.3	9,364	7,566	1,798	-2,544
Scotland	30,297	26,605	-3,692	-12.2	3,407	4,566	-1,159	-2,533
Stanly	63,606	65,465	1,859	2.9	6,861	8,952	-2,091	3,950
Stokes	44,156	44,135	-21	-0.0	3,564	7,008	-3,444	3,423
Surry	71,006	70,868	-138	-0.2	8,282	10,108	-1,826	1,688
Swain	14,228	14,528	300	2.1	1,889	2,105	-216	516
Transylvania	34,019	35,501	1,482	4.4	2,759	5,421	-2,662	4,144
Tyrrell	2,871	2,633	-238	-8.3	332	425	-93	-145
Union	293,049	356,261	63,212	21.6	35,739	29,992	5,747	57,465
Vance	41,204	41,133	-71	-0.2	5,433	5,598	-165	94
Wake	1,387,427	1,649,259	261,832	18.9	169,320	117,596	51,724	210,108
Warren	16,754	15,660	-1,094	-6.5	1,348	2,518	-1,170	76
Washington	9,693	8,927	-766	-7.9	1,210	1,669	-459	-307
Watauga	59,284	64,159	4,875	8.2	4,040	5,392	-1,352	6,227
Wayne	113,032	112,305	-727	-0.6	15,656	13,905	1,751	-2,478
Wilkes	62,490	59,941	-2,549	-4.1	6,696	8,856	-2,160	-389
Wilson	79,232	82,355	3,123	3.9	9,854	10,455	-601	3,724
Yadkin	36,947	36,943	-4	-0.0	4,079	5,290	-1,211	1,207
Yancey	19,444	20,454	1,010	5.2	1,961	2,934	-973	1,983
State	11,527,150	12,669,133	1,141,983	9.9	1,385,936	1,338,427	47,509	1,094,474

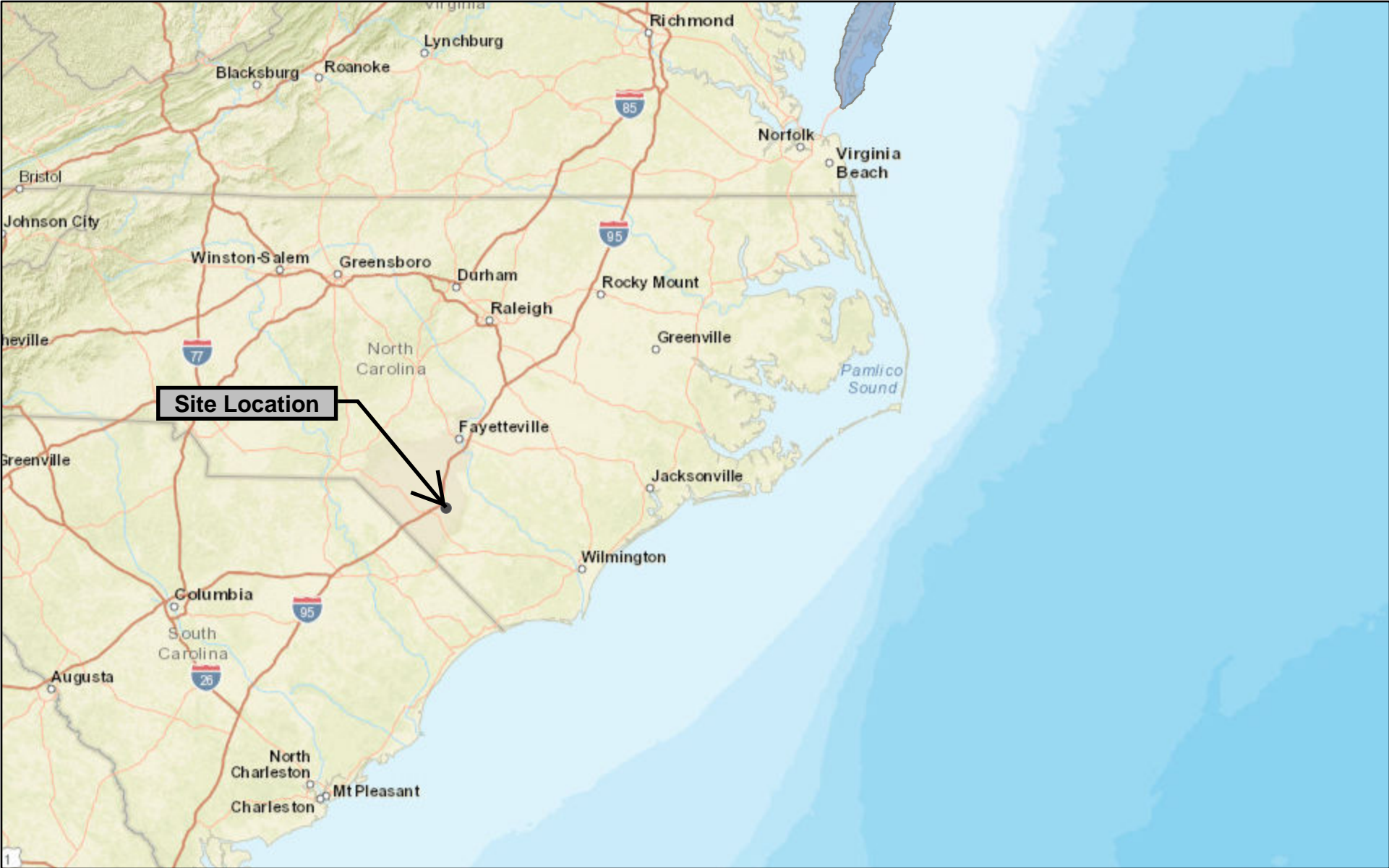
Source: North Carolina OSBM, Standard Population Estimates, Vintage 2020 and Population Projections, Vintage 2021

Last updated February 1, 2022

ATTACHMENT M:

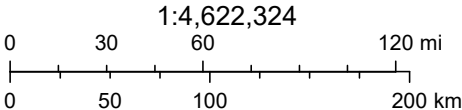
Sole Source Aquifers

Sole Source Aquifer Map



10/7/2021, 1:37:50 PM

 Sole_Source_Aquifers



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

ATTACHMENT N:

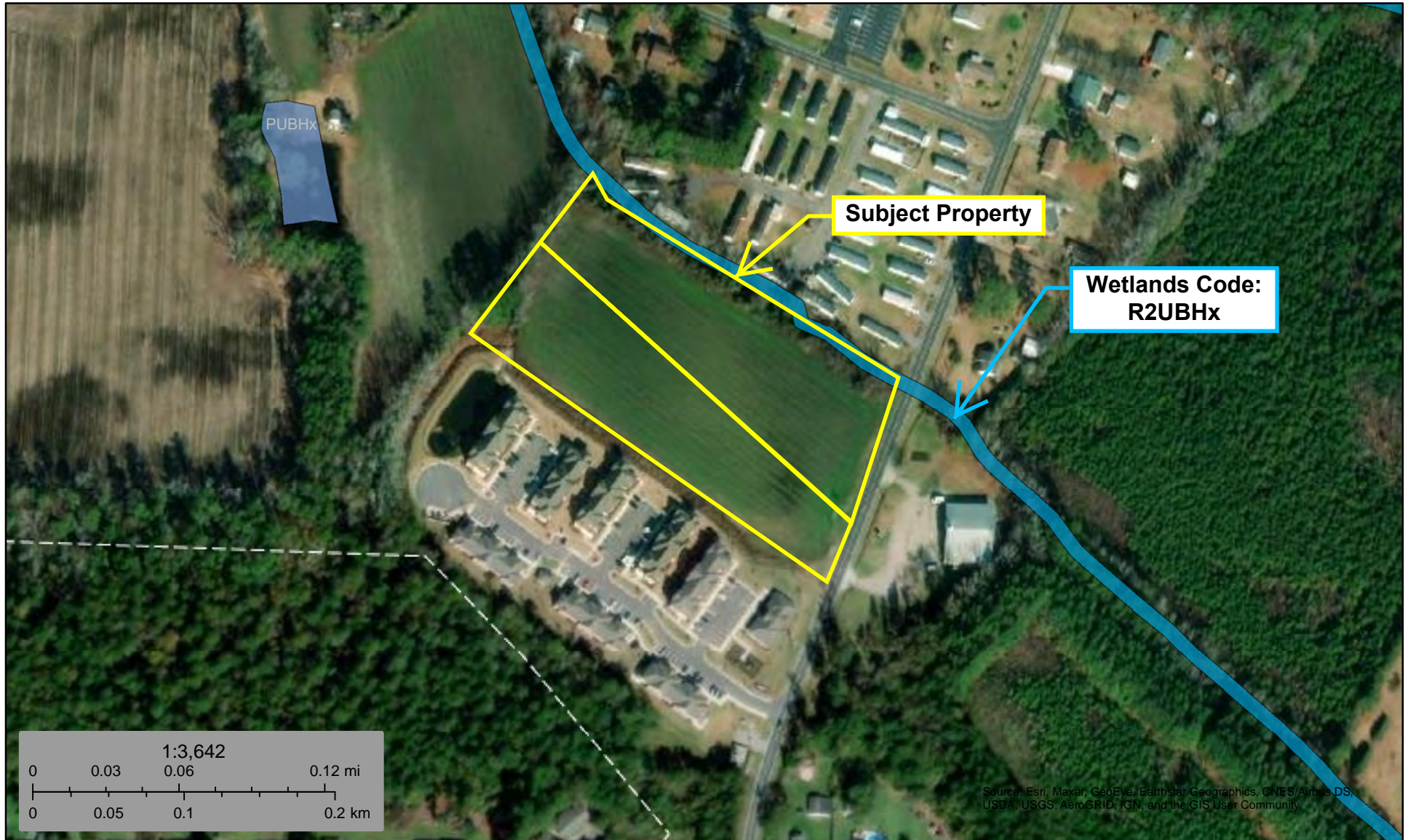
Wetlands Protection

**NWI Map, USACE JD,
Wetland Delineation Report,
and NC DEQ DWR and
City emails**



Wetlands Map

219 Harrill Road,
Lumberton, NC



September 2, 2021

Wetlands

- | | | |
|--|---|--|
|  Estuarine and Marine Deepwater |  Freshwater Emergent Wetland |  Lake |
|  Estuarine and Marine Wetland |  Freshwater Forested/Shrub Wetland |  Other |
| |  Freshwater Pond |  Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



U.S. Fish & Wildlife Service

National Wetlands Inventory

Ecological Services

Enter Classification code: **R2UBHx**

(Example: L1UB1Hx)

Optional: For geographically specific information*, please enter a State code:

[CLICK HERE TO DECODE](#)

Classification code: **R2UBHx**

System **Riverine (R)** : The Riverine System includes all wetlands and deepwater habitats contained within a channel, with two exceptions: (1) wetlands dominated by trees, shrubs, persistent emergents, emergent mosses, or lichens, and (2) habitats with water containing ocean-derived salts of 0.5 ppt or greater. A channel is an open conduit either naturally or artificially created which periodically or continuously contains moving water, or which forms a connecting link between two bodies of standing water.

Subsystem **Lower Perennial (2)** : This Subsystem is characterized by a low gradient. There is no tidal influence, and some water flows all year, except during years of extreme drought. The substrate consists mainly of sand and mud. Oxygen deficits may sometimes occur. The fauna is composed mostly of species that reach their maximum abundance in still water, and true planktonic organisms are common. The gradient is lower than that of the Upper Perennial Subsystem and the floodplain is well developed.

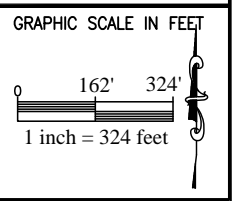
Class **Unconsolidated Bottom (UB)** : Includes all wetlands and deepwater habitats with at least 25% cover of particles smaller than stones (less than 6-7 cm), and a vegetative cover less than 30%.

Water Regime **Permanently Flooded (H)** : Water covers the substrate throughout the year in all years.

Special Modifier **Excavated (x)** : This Modifier is used to identify wetland basins or channels that were excavated by humans.



	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3



U.S. ARMY CORPS OF ENGINEERS
WILMINGTON DISTRICT

Action Id. SAW-2022-01794

County: Robeson County

NOTIFICATION OF JURISDICTIONAL DETERMINATION

Property Owner/Applicant: Pilot Environmental, Inc
Michael Brame

Address: PO Box 128
Kernersville, NC, 27285

Telephone Number: (336) 708-4620

E-mail Address: mbrame@pilotenviro.com

Size (acres) 5.75 acres
Nearest Waterway Meadow Branch
USGS HUC 03040203

Nearest Town Lumberton, NC
River Basin Lower Pee Dee
Coordinates Latitude: 34.62481 Longitude: -78.97635

Location description: This 5.75 acre site is located on Harrill Road in Lumberton, Robeson County, NC (Parcel ID's: 10140100304 & 101401003).

Indicate Which of the Following Apply:

A. Preliminary Determination

- There appear to be waters, including wetlands, on the above described property, that may be subject to Section 404 of the Clean Water Act (CWA)(33 USC § 1344) and/or Section 10 of the Rivers and Harbors Act (RHA) (33 USC § 403). The waters, including wetlands, have been delineated, and the delineation has been verified by the Corps to be sufficiently accurate and reliable. Therefore this preliminary jurisdiction determination may be used in the permit evaluation process, including determining compensatory mitigation. For purposes of computation of impacts, compensatory mitigation requirements, and other resource protection measures, a permit decision made on the basis of a preliminary JD will treat all waters and wetlands that would be affected in any way by the permitted activity on the site as if they are jurisdictional waters of the U.S. This preliminary determination is not an appealable action under the Regulatory Program Administrative Appeal Process (Reference 33 CFR Part 331). However, you may request an approved JD, which is an appealable action, by contacting the Corps district for further instruction.
- There appear to be waters, including wetlands, on the above described property, that may be subject to Section 404 of the Clean Water Act (CWA)(33 USC § 1344) and/or Section 10 of the Rivers and Harbors Act (RHA) (33 USC § 403). The waters, including wetlands, have been delineated, and the delineation has been verified by the Corps to be sufficiently accurate and reliable. Therefore this preliminary jurisdiction determination may be used in the permit evaluation process, including determining compensatory mitigation. For purposes of computation of impacts, compensatory mitigation requirements, and other resource protection measures, a permit decision made on the basis of a preliminary JD will treat all waters and wetlands that would be affected in any way by the permitted activity on the site as if they are jurisdictional waters of the U.S. This preliminary determination is not an appealable action under the Regulatory Program Administrative Appeal Process (Reference 33 CFR Part 331). However, you may request an approved JD, which is an appealable action, by contacting the Corps district for further instruction.
- There appear to be waters, including wetlands, on the above described property, that may be subject to Section 404 of the Clean Water Act (CWA)(33 USC § 1344) and/or Section 10 of the Rivers and Harbors Act (RHA) (33 USC § 403). However, since the waters, including wetlands, have not been properly delineated, this preliminary jurisdiction determination may not be used in the permit evaluation process. Without a verified wetland delineation, this preliminary determination is merely an effective presumption of CWA/RHA jurisdiction over all of the waters, including wetlands, at the project area, which is not sufficiently accurate and reliable to support an enforceable permit decision. We recommend that you have the waters of the U.S., including wetlands, on your property delineated. As the Corps may not be able to accomplish this wetland delineation in a timely manner, you may wish to obtain a consultant to conduct a delineation that can be verified by the Corps.

B. Approved Determination

- There are Navigable Waters of the United States within the above described property subject to the permit requirements of Section 10 of the Rivers and Harbors Act (RHA) (33 USC § 403) and Section 404 of the Clean Water Act (CWA)(33 USC § 1344). Unless there is a change in law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.
- There are waters of the U.S., including wetlands, on the above described property subject to the permit requirements of Section 404 of the Clean Water Act (CWA) (33 USC § 1344). Unless there is a change in law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.
 - _ We recommend you have the waters of the U.S., including wetlands, on your property delineated. As the Corps may not be able to accomplish this wetland delineation in a timely manner, you may wish to obtain a consultant to conduct a delineation that can be verified by the Corps.
 - _ The waters of the U.S., including wetlands, on your property have been delineated and the delineation has been verified by the Corps. We strongly suggest you have this delineation surveyed. Upon completion, this survey should be reviewed and verified by the Corps. Once verified, this survey will provide an accurate depiction of all areas subject to CWA jurisdiction on your property which, unless there is a change in law or our published regulations, may be relied upon for a period not to exceed five years from the date of this notification.
 - _ The waters of the U.S., including wetlands, have been delineated and surveyed and are accurately depicted on the plat signed by the Corps Regulatory Official identified below on _____. Unless there is a change in law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.

X There are no waters of the U.S., to include wetlands, present on the above described property which are subject to the permit requirements of Section 404 of the Clean Water Act (33 USC 1344). Unless there is a change in law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.

- The property is located in one of the 20 Coastal Counties subject to regulation under the Coastal Area Management Act (CAMA). You should contact the Division of Coastal Management in Morehead City, NC, at (252) 808-2808 to determine their requirements.

Placement of dredged or fill material within waters of the US, including wetlands, without a Department of the Army permit may constitute a violation of Section 301 of the Clean Water Act (33 USC § 1311). Placement of dredged or fill material, construction or placement of structures, or work within navigable waters of the United States without a Department of the Army permit may constitute a violation of Sections 9 and/or 10 of the Rivers and Harbors Act (33 USC § 401 and/or 403). If you have any questions regarding this determination and/or the Corps regulatory program, please contact **Gary Beecher at (910) 251-4694 or Gary.H.Beecher@usace.army.mil.**

C. Basis For Determination: This site does not exhibit wetland criteria as described in the 1987 Corps Wetland Delineation Manual or Coastal Regional Supplement.

D. Remarks: A desk top review was conducted using information obtained from the consultant (Pilot Environmental) and from Corps generated QL2 Lidar Maps.

E. Attention USDA Program Participants

The delineation included herein has been conducted to identify the location and extent of the aquatic resource boundaries and/or the jurisdictional status of aquatic resources for purposes of the Clean Water Act for the particular site identified in this request. This delineation and/or jurisdictional determination may not be valid for the Wetland Conservation Provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should discuss the applicability of a certified wetland determination with the local USDA service center, prior to starting work.

F. Appeals Information for Approved Jurisdiction Determinations (as indicated in Section B. above)

SAW-2022-01794

If you object to this determination, you may request an administrative appeal under Corps regulations at 33 CFR Part 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination you must submit a completed RFA form to the following address:

US Army Corps of Engineers
South Atlantic Division
Attn: Mr. Philip A. Shannin
Administrative Appeal Review Officer
60 Forsyth Street SW, Floor M9
Atlanta, Georgia 30303-8803

AND
PHILIP.A.SHANNIN@USACE.ARMY.MIL

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR part 331.5, and that it has been received by the Division Office within 60 days of the date of the NAP. Should you decide to submit an RFA form, it must be received at the above address by **October 17, 2022**.

It is not necessary to submit an RFA form to the Division Office if you do not object to the determination in this correspondence.

Gary H. Beecher

Digitally signed by Gary H.
Beecher
Date: 2022.08.17 10:18:06 -04'00'

Corps Regulatory Official: _____

Date of JD: **August 17, 2022**

Expiration Date: **AJD expires on August 17, 2027**

The Wilmington District is committed to providing the highest level of support to the public. To help us ensure we continue to do so, please complete our Customer Satisfaction Survey, located online at <https://regulatory.ops.usace.army.mil/customer-service-survey/>.

Copy Furnished via email to:

Owner:

Michael Walters
1887 Oakton Church Road
Fairmont, NC 28340
(910) 671-7493
Mpwalters@claybournwalters.com

NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL

Applicant: Michael Brame Pilot Environmental	File Number: SAW-2022-01794	Date: August 17, 2022
Attached is:	See Section below	
<input type="checkbox"/> INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A	
<input type="checkbox"/> PROFFERED PERMIT (Standard Permit or Letter of permission)	B	
<input type="checkbox"/> PERMIT DENIAL	C	
<input checked="" type="checkbox"/> APPROVED JURISDICTIONAL DETERMINATION	D	
<input type="checkbox"/> PRELIMINARY JURISDICTIONAL DETERMINATION	E	

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits.aspx> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

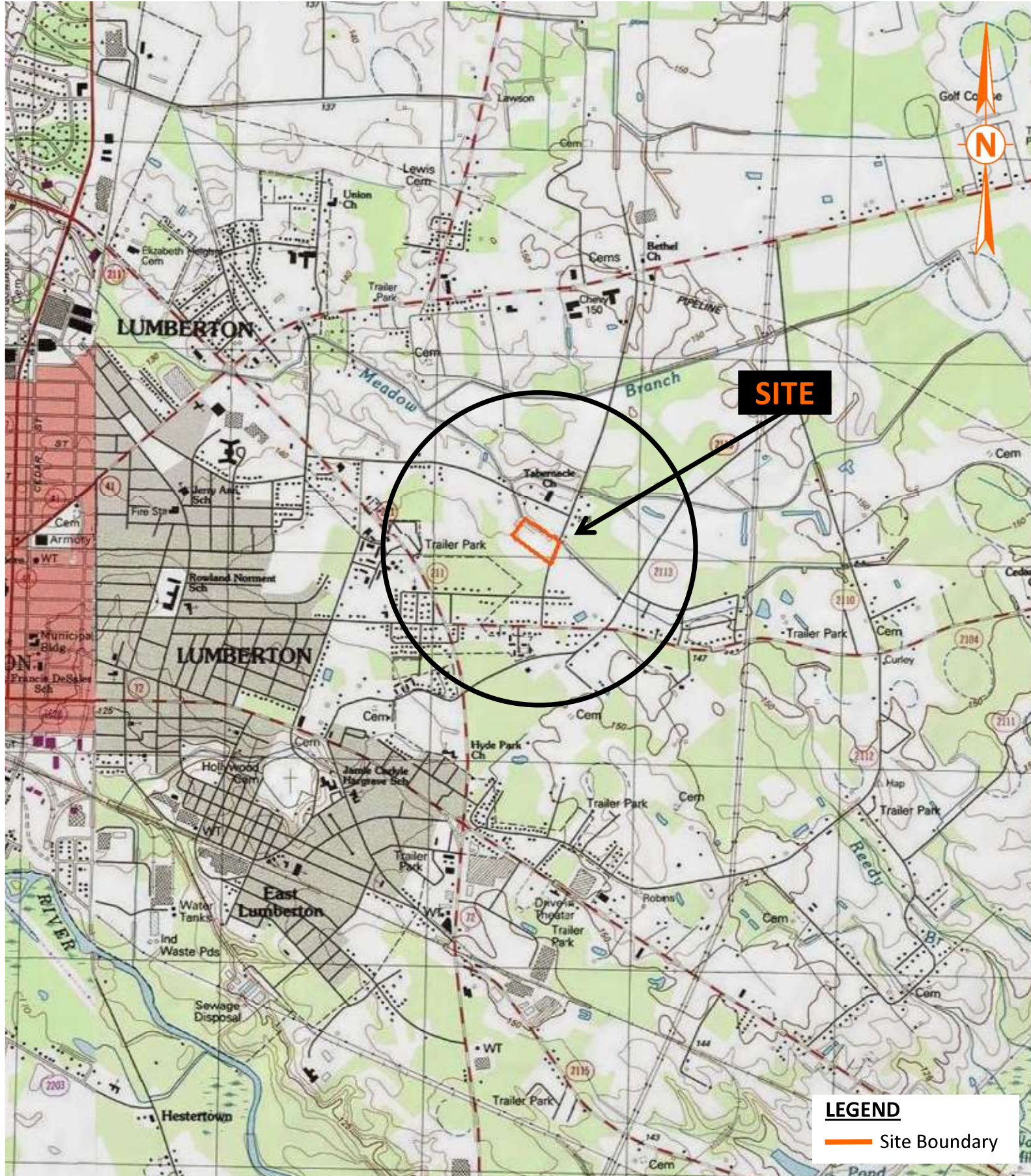
SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT		
<p>REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)</p>		
<p>ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.</p>		
POINT OF CONTACT FOR QUESTIONS OR INFORMATION:		
<p>If you have questions regarding this decision and/or the appeal process you may contact: District Engineer, Wilmington Regulatory Division, Attn: 69 Darlington Ave Wilmington, NC 28403</p>	<p>If you only have questions regarding the appeal process you may also contact: MR. PHILIP A. SHANNIN ADMINISTRATIVE APPEAL REVIEW OFFICER CESAD-PDS-O 60 FORSYTH STREET SOUTHWEST, FLOOR M9 ATLANTA, GEORGIA 30303-8803</p> <p>PHONE: (404) 562-5136; FAX (404) 562-5138 EMAIL: PHILIP.A.SHANNIN@USACE.ARMY.MIL</p>	
<p>RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.</p>		
<p>_____</p> <p>Signature of appellant or agent.</p>	<p>Date:</p>	<p>Telephone number:</p>

For appeals on Initial Proffered Permits send this form to:

District Engineer, Wilmington Regulatory Division, Attn: Gary Beecher, 69 Darlington Avenue, Wilmington, North Carolina 28403

For Permit denials, Proffered Permits and approved Jurisdictional Determinations send this form to:

**Division Engineer, Commander, U.S. Army Engineer Division, South Atlantic, Attn: Mr. Phillip Shannin, Administrative Appeal Officer, CESAD-PDO, 60 Forsyth Street, Floor M9, Atlanta, GA 30303-8803
 Phone: (404) 562-5136; EMAIL: PHILIP.A.SHANNIN@USACE.ARMY.MIL**



Drawing 1

USGS Topographic Map
 Northeast Lumberton and Southeast
 Lumberton, NC Quadrangles
 Scale: 1" = 2,000'



USGS Topographic Map

Northeast Point II
 Approximate 5.75-Acre Tract
 Lumberton, Robeson County, NC
 Pilot Project 8083



Drawing 2
 USDA Web Soil Survey
 of Robeson County, NC
 Scale: 1" = 200'



Web Soil Map
 Northeast Pointe II
 Approximate 5.75-Acre Tract
 Lumberton, Robeson County, NC
 Pilot Project 8083



LEGEND

- Site Boundary
- - - Ditch (Non-Jurisdictional)
- DP-1 ● Data Point

THE SITE WAS DELINEATED BY PILOT ENVIRONMENTAL ON JUNE 3, 2022. STREAMS AND WETLANDS WERE NOT IDENTIFIED ON THE SITE DURING THE DELINEATION. THE DELINEATION HAS NOT BEEN VERIFIED BY THE USACE AND IS SUBJECT TO CHANGE.

Drawing 5
 Aerial Imagery from ESRI
 and Pilot GPS Data
 Scale: 1" = 150'
 Date: 6.8.22



Wetland Map
 Northeast Pointe II
 Approximate 5.75-Acre Tract
 Lumberton, Robeson County, NC
 Pilot Project 8083



June 10, 2022

Mr. Bobby Funk
Mills Construction
1048 Washington Street
Raleigh, North Carolina 27605

Reference: Wetland Delineation
Northeast Pointe II
Approximate 5.75-Acre Tract
Harrill Road
Lumberton, Robeson County, North Carolina
Pilot Project 8083

Dear Mr. Funk:

Pilot Environmental, Inc. (Pilot) is pleased to submit this report of the wetland delineation for the approximate 5.75-acre tract located west of Harrill Road in Lumberton, Robeson County, North Carolina.

Background

Wetlands are defined by the United States Army Corps of Engineers (USACE) and the United States Environmental Protection Agency (EPA) as “those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances, do support a prevalence of vegetation typically adapted for life in saturated soil conditions.” In order for an area to be classified as wetland, hydrophytic vegetation, hydric soils, and wetland hydrology indicators must be present.

Section 404 of the Clean Water Act (CWA) regulates the discharge of dredge and fill materials into waters of the United States (lakes, rivers, ponds, streams, etc.), including wetlands. Waters of the United States include the territorial seas, navigable coastal and inland lakes, rivers and streams, intermittent streams, and wetlands. The EPA and the USACE jointly administer the Section 404 program. Section 401 of the Clean Water Act grants each state the authority to approve, condition, or deny any Federal permits that could result in a discharge to State waters.

Jurisdictional features include wetlands, open waters, ponds, lakes and perennial/intermittent streams. Jurisdictional features are regulated by the USACE and North Carolina Department of Environmental Quality-Division of Water Resources (NCDEQ-DWR). Permits are required prior to impacting any jurisdictional feature. The type of permit required is specific to the type, location

and amount of impacts. Stormwater management plans and/or mitigation for proposed impacts could be a requirement of the permit approval process.

The findings and conclusions in this report are our opinions based on field conditions encountered at the time of the site visit. Changes including, but not limited to, regulations, weather, timber/vegetation removal and usage/development of the site or nearby properties can alter the findings and opinions presented in this report. We recommend that this report only be used for preliminary planning purposes. Agency verifications, followed by a survey of jurisdictional features, are required to determine the exact extent and locations of jurisdictional features and are valid for a period of up to five years following issuance of a USACE Jurisdictional Determination (JD) and/or NCDEQ-DWR Site Determination Letter.

Global Positioning System (GPS) location of jurisdictional features has been conducted by Pilot personnel in the field utilizing a Trimble handheld GPS unit capable of sub-meter accuracy. Field GPS data has been post-processed by Pilot personnel and digitally provided to the client for assistance with preliminary planning. Pilot expresses no warranties or liabilities to accuracy of GPS locations and/or provided GPS data.

Scope of Services

Pilot was contracted to perform a wetland/surface water delineation at the approximate 5.75-acre tract located west of Harrill Road in Lumberton, Robeson County, North Carolina. The site is identified on the Robeson County Geographic Information System (GIS) as parcel identification numbers (PINs) 030178146500 and 030178034391.

The scope of services included performing a site reconnaissance and field delineation to characterize the soils, vegetation, and hydrology in order to identify potential waters of the United States and isolated wetlands/waters of North Carolina. The services were provided in general accordance with our proposal dated May 20, 2022. The site boundary was not marked at the time of our field delineation.

In addition to being evaluated for jurisdictional “waters of the United States” as defined by the U.S. Army Corps of Engineers (USACE), the site was also evaluated for isolated wetlands/surface waters that are not subject to USACE Section 404 regulations, but could be subject to North Carolina Department of Environmental Quality-Division of Water Resources (NCDEQ-DWR) regulations. Impacts, including the discharge of dredged or fill material into waters of the United States, are regulated under the Clean Water Act (CWA) and require a Section 404 Permit from the USACE and/or a Section 401 Water Quality Certification from the NCDEQ-DWR.

Wetlands means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas

such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds. This definition includes those wetland areas separated from their natural supply of water as a result of activities such as the construction of structural flood protection methods or solid -fill road beds and activities such as mineral extraction and navigation improvements. This definition includes both wetlands subject to and those not subject to Section 404 of the Clean Water Act as well as constructed wetlands.

Literature Review

We reviewed the U.S. Geological Survey (USGS) Topographic Map, the U.S. Department of Agriculture (USDA) Soil Survey of Robeson County, the U.S. Fish and Wildlife Service (USFWS) National Wetland Inventory (NWI) Map and the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM).

- The USGS Topographic Map (Drawing 1) depicts an unnamed tributary to Meadow Branch along the northern site boundary. The map does not depict other surface waters or wetlands on the site.
- The USDA Web Soil Survey of Robeson County (Drawing 2) identifies the following mapping units on the site: Goldsboro loamy sand (GoA), Lynchburg sandy loam (Ly) and Rains sandy loam (Ra). The Goldsboro series consists of moderately well drained, moderately permeable soils that occur on marine terraces and uplands. The Lynchburg series consists of somewhat poorly drained, moderately permeable soils that occur on marine terraces and flats. The Rains series consists of poorly drained, moderately permeable soils that occur on flats, depressions and Carolina bays. The soil mapping units are identified on the Robeson County Hydric Soils List.

Pilot also reviewed the last published USDA Soil Survey of Robeson County (Drawing 2A). The published soil survey depicts a stream along the northern site boundary, generally consistent with the USGS Topographic Map.

- The USFWS NWI Map (Drawing 3) depicts a riverine feature along the northern site boundary, generally consistent with the USGS Topographic Map. Wetlands are not depicted on the site.
- The FEMA FIRM (Drawing 4) identifies the site within Zone X, an area of minimal flood hazard.

Field Delineation

Pilot conducted the site visit on June 3, 2022. The site contains a fallow field that was planted in corn in 2021. Structures are not located on the site. Ponds, streams or other surface water features were not observed on the site.

Drainage ditches are located along the southern, western and northern site boundaries. The drainage ditches were dry during our site visit with the exception of stagnant water in various locations. Based on our observations, the ditches do not appear to be altered or relocated streams that would be subject to regulation by the USACE or NCDEQ-DWR. While it is our opinion that the ditches are non-jurisdictional, it should be noted that jurisdiction can only be determined by the regulatory authorities. The ditches were geo-located using a Trimble handheld GPS unit and digital elevation modeling data.

We did not observe wetlands on the site. Soils on the site appeared to be well drained with the exception of the bases of the ditches. A USACE Wetland Determination Data Form, supporting our opinion, is included as an attachment.

Drawing 5 shows the results of the delineation. The locations and designations of features shown on Drawing 5 are subject to change during agency verification(s) of the delineation.

Watershed Classification

The site is located in the Lumber River Basin. Surface drainage at the site is towards the ditches along the southern, western and northern boundaries and to the west towards Meadow Branch. The NCDEQ-DWR has classified Meadow Branch, the receiving waters, as Class C; swamp waters (Sw). Consultation with the local planning authority is recommended to determine local buffer/stormwater setback requirements for the proposed development.

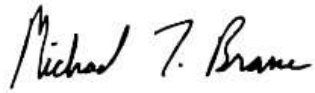
Agency Verification

The delineation has not been verified by the USACE. We understand that our flags will be surveyed to determine the exact extent and locations of jurisdictional features and applicable surface water buffers. The delineation, including locations and designations of features, is subject to change during agency verifications.

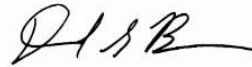
Closing

We appreciate the opportunity to provide our services to you. Please contact us at (336) 310-4527 if you have questions or require additional information.

Sincerely,

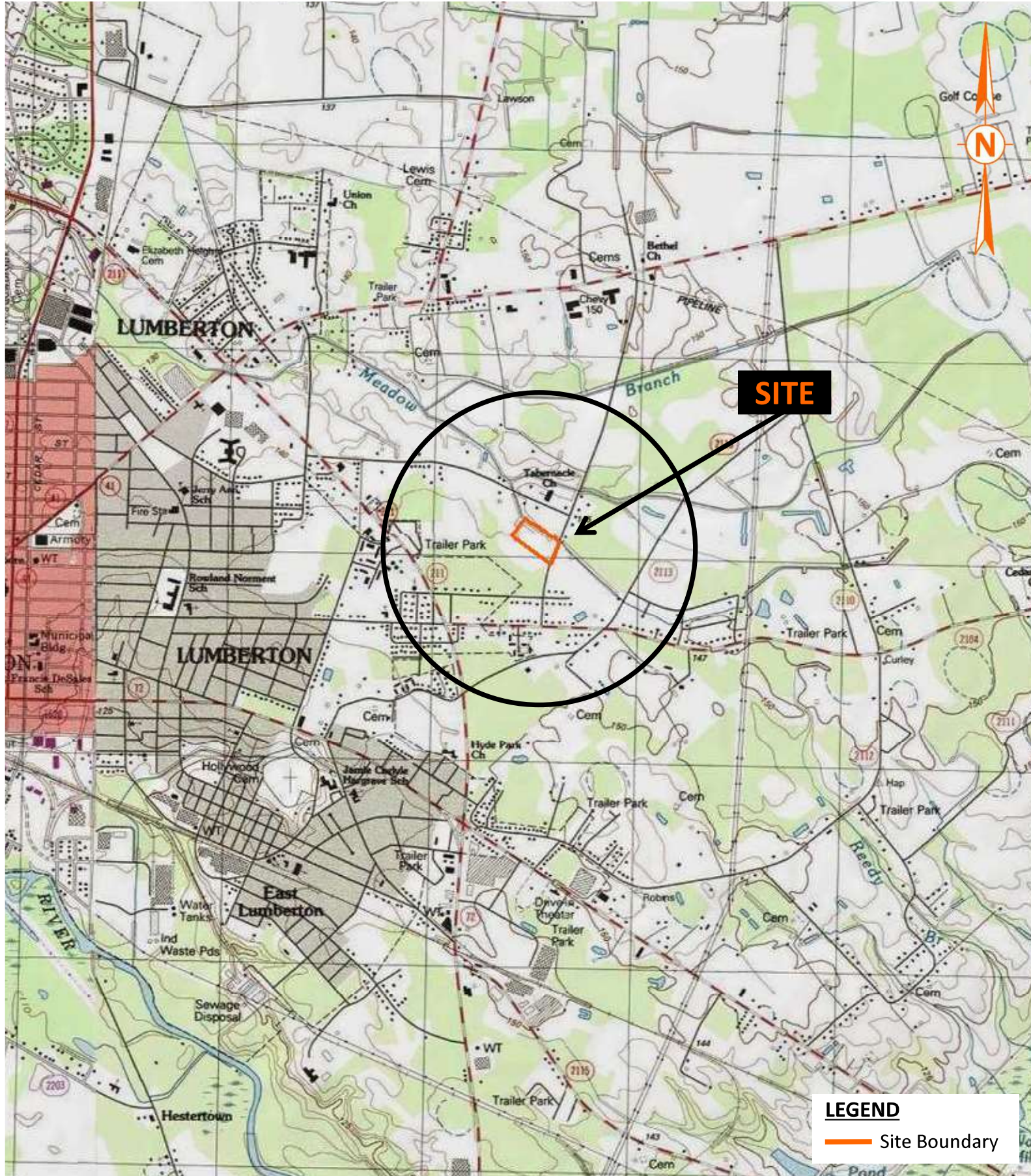


Michael T. Brame, PWS
Principal



David S. Brame, PWS
Senior Project Manager

Attachments: Drawing 1 – USGS Topographic Map
Drawing 2 – Web Soil Map
Drawing 2A – Published Soil Map
Drawing 3 – NWI Map
Drawing 4 – FEMA FIRM
Drawing 5 – Wetland Map
Wetland Determination Data Form



Drawing 1

USGS Topographic Map
 Northeast Lumberton and Southeast
 Lumberton, NC Quadrangles
 Scale: 1" = 2,000'



USGS Topographic Map

Northeast Point II
 Approximate 5.75-Acre Tract
 Lumberton, Robeson County, NC
 Pilot Project 8083

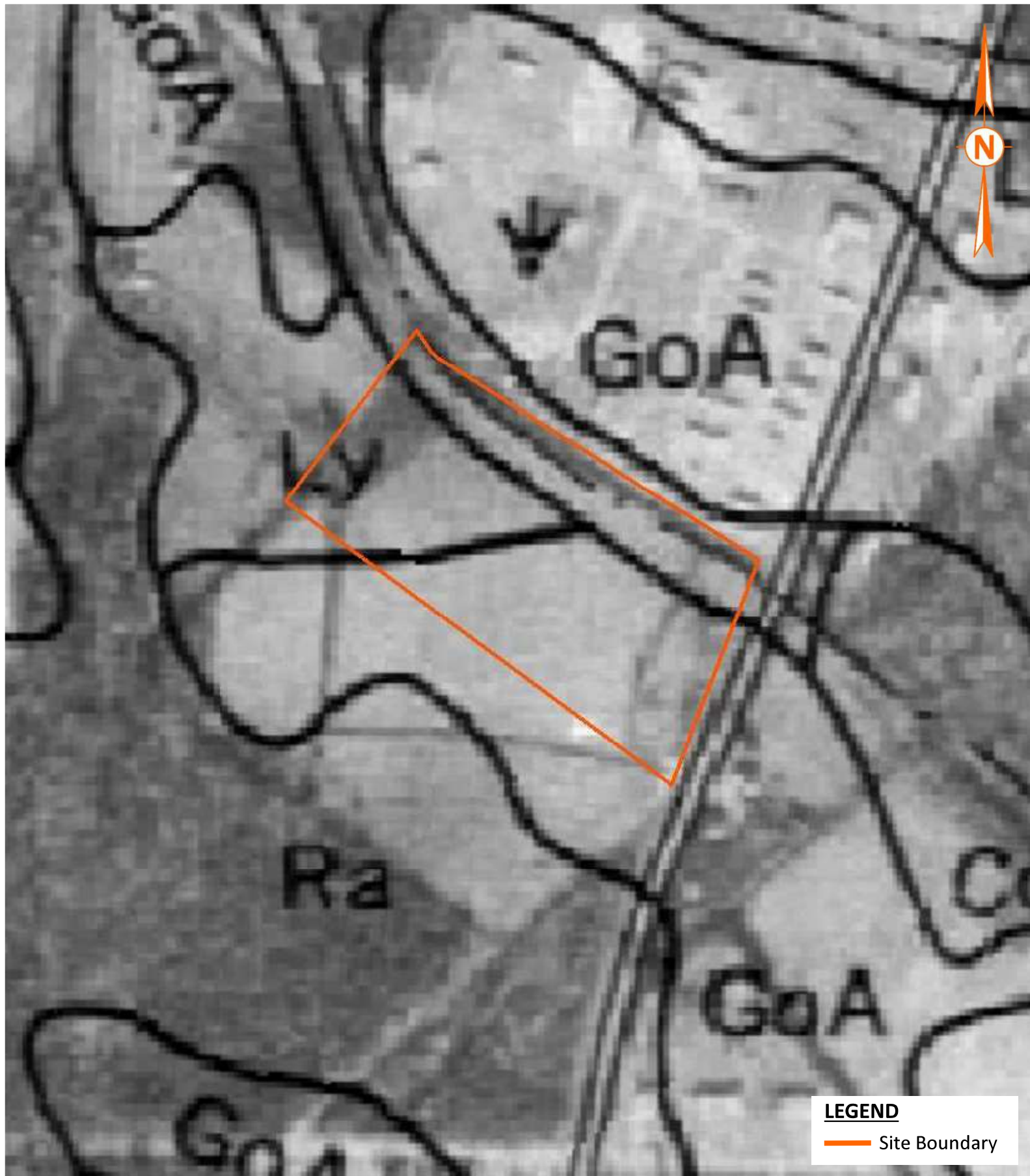


LEGEND
 — Site Boundary

Drawing 2
 USDA Web Soil Survey
 of Robeson County, NC
 Scale: 1" = 200'



Web Soil Map
 Northeast Pointe II
 Approximate 5.75-Acre Tract
 Lumberton, Robeson County, NC
 Pilot Project 8083



Drawing 2A
USDA Soil Survey
of Robeson County, NC
Published 1978, Sheet 42
Scale: 1" = 200'



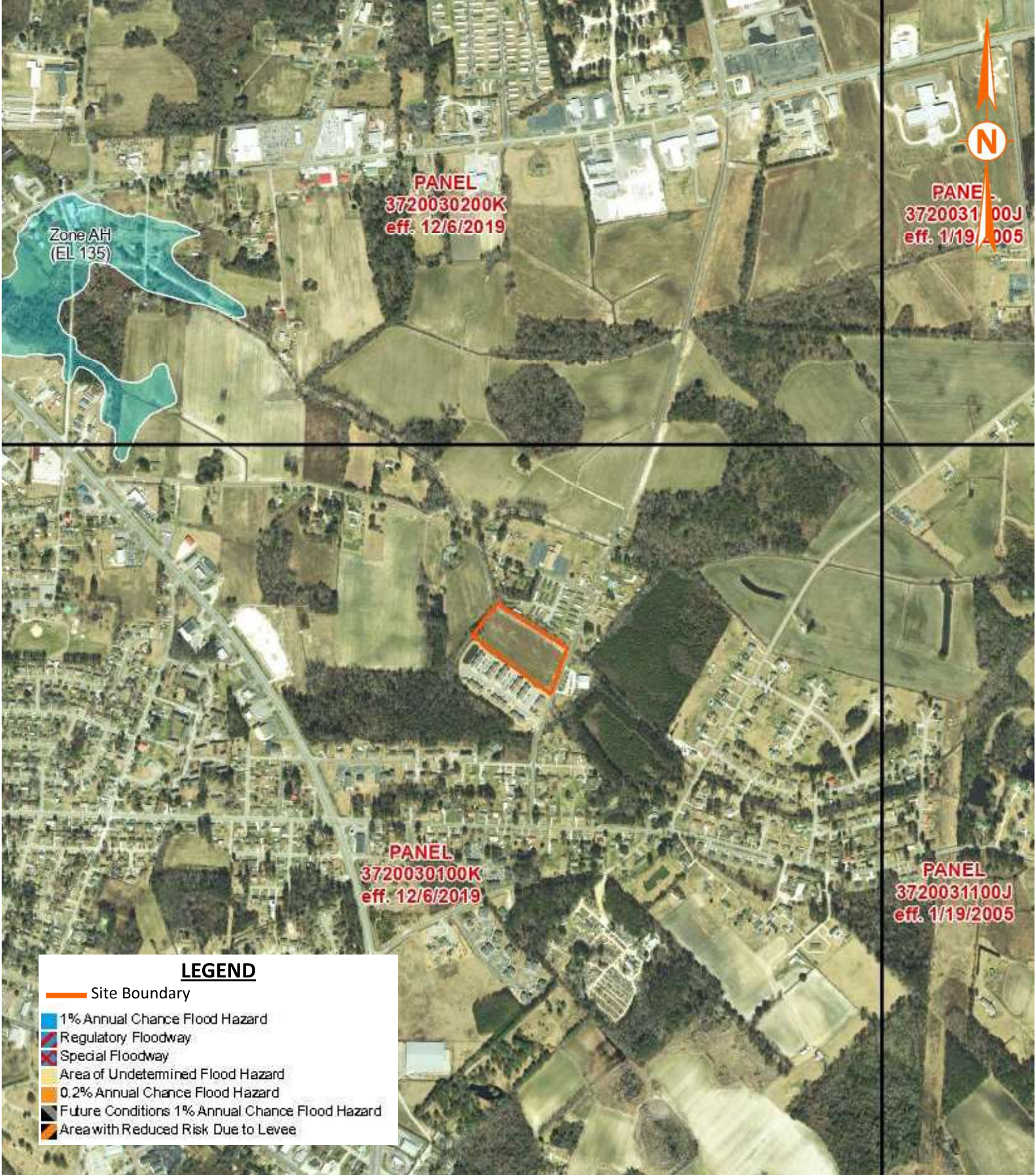
Published Soil Map
Northeast Pointe II
Approximate 5.75-Acre Tract
Lumberton, Robeson County, NC
Pilot Project 8083



Drawing 3
 USFWS NWI
 Wetlands Mapper
 Scale: 1" = 200'



NWI Map
 Northeast Pointe II
 Approximate 5.75-Acre Tract
 Lumberton, Robeson County, NC
 Pilot Project 8083



Drawing 4
National Flood Hazard Layer
from FEMA Web Map Service
Scale: 1" = 1,000'



FEMA FIRM
Northeast Pointe II
Approximate 5.75-Acre Tract
Lumberton, Robeson County, NC
Pilot Project 8083



LEGEND

- Site Boundary
- - - Ditch (Non-Jurisdictional)
- DP-1 ● Data Point

THE SITE WAS DELINEATED BY PILOT ENVIRONMENTAL ON JUNE 3, 2022. STREAMS AND WETLANDS WERE NOT IDENTIFIED ON THE SITE DURING THE DELINEATION. THE DELINEATION HAS NOT BEEN VERIFIED BY THE USACE AND IS SUBJECT TO CHANGE.

Drawing 5
 Aerial Imagery from ESRI
 and Pilot GPS Data
 Scale: 1" = 150'
 Date: 6.8.22



Wetland Map
 Northeast Pointe II
 Approximate 5.75-Acre Tract
 Lumberton, Robeson County, NC
 Pilot Project 8083

Project/Site: 8083/Harrill Road City/County: Lumberton/Robeson Sampling Date: 6.3.2022

Applicant/Owner: Mills Construction State: NC Sampling Point: DP-1

Investigator(s): Pilot Section, Township, Range: NA

Landform (hillside, terrace, etc.): Flat Local relief (concave, convex, none): Flat Slope (%): 0-1

Subregion (LRR or MLRA): LRR P, MLRA 133A Lat: 34.625648° Long: -78.976910° Datum: wgs 84

Soil Map Unit Name: Lynchburg sandy loam (Ly) NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No (If no, explain in Remarks.)

Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes X No

Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <u> </u> No <u>X</u> Hydric Soil Present? Yes <u> </u> No <u>X</u> Wetland Hydrology Present? Yes <u> </u> No <u>X</u>	Is the Sampled Area within a Wetland? Yes <u> </u> No <u>X</u>
Remarks:	

HYDROLOGY

Wetland Hydrology Indicators: <u>Primary Indicators (minimum of one is required; check all that apply)</u> <input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Marl Deposits (B15) (LRR U) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Other (Explain in Remarks) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Water-Stained Leaves (B9)	<u>Secondary Indicators (minimum of two required)</u> <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> FAC-Neutral Test (D5) <input type="checkbox"/> Sphagnum Moss (D8) (LRR T, U)
--	--

Field Observations: Surface Water Present? Yes <u> </u> No <u>X</u> Depth (inches): <u> </u> Water Table Present? Yes <u> </u> No <u>X</u> Depth (inches): <u> </u> Saturation Present? Yes <u> </u> No <u>X</u> Depth (inches): <u> </u> (includes capillary fringe)	Wetland Hydrology Present? Yes <u> </u> No <u>X</u>
--	---

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

VEGETATION (Five Strata) – Use scientific names of plants.

Sampling Point: DP-1

Tree Stratum (Plot size: <u>30</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____
6. _____	_____	_____	_____
_____ = Total Cover			
50% of total cover: _____ 20% of total cover: _____			

Sapling Stratum (Plot size: <u>15</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____
6. _____	_____	_____	_____
_____ = Total Cover			
50% of total cover: _____ 20% of total cover: _____			

Shrub Stratum (Plot size: <u>15</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____
6. _____	_____	_____	_____
_____ = Total Cover			
50% of total cover: _____ 20% of total cover: _____			

Herb Stratum (Plot size: <u>5</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. <u>Sesbania herbacea</u>	<u>10</u>	<u>Yes</u>	<u>FACW</u>
2. <u>Solidago canadensis</u>	<u>10</u>	<u>Yes</u>	<u>FACU</u>
3. <u>Eupatorium capillifolium</u>	<u>10</u>	<u>Yes</u>	<u>FACU</u>
4. <u>Taraxacum officinale</u>	<u>5</u>	<u>No</u>	<u>FACU</u>
5. <u>Oenothera laciniata</u>	<u>5</u>	<u>No</u>	<u>FACU</u>
6. <u>Arabis glabra</u>	<u>5</u>	<u>No</u>	<u>UPL</u>
7. _____	_____	_____	_____
8. _____	_____	_____	_____
9. _____	_____	_____	_____
10. _____	_____	_____	_____
11. _____	_____	_____	_____
_____ = Total Cover			
50% of total cover: <u>23</u> 20% of total cover: <u>9</u>			

Woody Vine Stratum (Plot size: <u>30</u>)	Absolute % Cover	Dominant Species?	Indicator Status
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____
_____ = Total Cover			
50% of total cover: _____ 20% of total cover: _____			

Dominance Test worksheet:

Number of Dominant Species That Are OBL, FACW, or FAC: 1 (A)

Total Number of Dominant Species Across All Strata: 3 (B)

Percent of Dominant Species That Are OBL, FACW, or FAC: 33.3% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>0</u>	x 1 = <u>0</u>
FACW species <u>10</u>	x 2 = <u>20</u>
FAC species <u>0</u>	x 3 = <u>0</u>
FACU species <u>30</u>	x 4 = <u>120</u>
UPL species <u>5</u>	x 5 = <u>25</u>
Column Totals: <u>45</u> (A)	<u>165</u> (B)
Prevalence Index = B/A = <u>3.67</u>	

Hydrophytic Vegetation Indicators:

 1 - Rapid Test for Hydrophytic Vegetation

 2 - Dominance Test is >50%

 3 - Prevalence Index is ≤3.0¹

 Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Definitions of Five Vegetation Strata:

Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH).

Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH.

Shrub - Woody Plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height.

Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size, and woody plants, except woody vines, less than approximately 3 ft (1 m) in height.

Woody Vine – All woody vines, regardless of height.

Hydrophytic Vegetation Present? Yes No X

Remarks: (If observed, list morphological adaptations below.)

SOIL

Sampling Point: DP-1

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-18	2.5Y 4/2	100					Loamy/Clayey	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.

²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- Organic Bodies (A6) (LRR P, T, U)
- 5 cm Mucky Mineral (A7) (LRR P, T, U)
- Muck Presence (A8) (LRR U)
- 1 cm Muck (A9) (LRR P, T)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Coast Prairie Redox (A16) (MLRA 150A)
- Sandy Mucky Mineral (S1) (LRR O, S)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Dark Surface (S7) (LRR P, S, T, U)
- Polyvalue Below Surface (S8) (LRR S, T, U)
- Thin Dark Surface (S9) (LRR S, T, U)
- Barrier Islands 1 cm Muck (S12) (MLRA 153B, 153D)
- Loamy Mucky Mineral (F1) (LRR O)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- Marl (F10) (LRR U)
- Depleted Ochric (F11) (MLRA 151)
- Iron-Manganese Masses (F12) (LRR O, P, T)
- Umbric Surface (F13) (LRR P, T, U)
- Delta Ochric (F17) (MLRA 151)
- Reduced Vertic (F18) (MLRA 150A, 150B)
- Piedmont Floodplain Soils (F19) (MLRA 149A)
- Anomalous Bright Floodplain Soils (F20) (MLRA 149A, 153C, 153D)
- Very Shallow Dark Surface (F22) (MLRA 138, 152A in FL, 154)

Indicators for Problematic Hydric Soils³:

- 1 cm Muck (A9) (LRR O)
- 2 cm Muck (A10) (LRR S)
- Coast Prairie Redox (A16) (outside MLRA 150A)
- Reduced Vertic (F18) (outside MLRA 150A, 150B)
- Piedmont Floodplain Soils (F19) (LRR P, T)
- Anomalous Bright Floodplain Soils (F20) (MLRA 153B)
- Red Parent Material (F21)
- Very Shallow Dark Surface (F22) (outside MLRA 138, 152A in FL, 154)
- Barrier Islands Low Chroma Matrix (TS7) (MLRA 153B, 153D)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):

Type: _____
 Depth (inches): _____

Hydric Soil Present? Yes _____ No X

Remarks:

Gievers, Andrea

From: Allen, Trent
Sent: Friday, October 28, 2022 2:01 PM
To: Bobby Funk; Brantley, Mark
Cc: Gievers, Andrea; Tim Grissinger; ArTriel Askew; Fred Mills Jr.
Subject: RE: [External] Northeast Pointe II

Bobby,

Since the Corps Jurisdictional Determination says there are no wetlands or streams present on the site and the Lumber River Basin does not have riparian buffers, DWR would not require buffering on this site. Let me know if you have any other questions.

Trent Allen
Fayetteville Regional Supervisor
Division of Water Resources

910 433 3336 office
910 303 1109 mobile

Trent.Allen@ncdenr.gov

225 Green Street – Suite 714
Fayetteville, NC 28301

Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties

From: Bobby Funk <bobby@millsconstructionco.com>
Sent: Friday, October 28, 2022 1:13 PM
To: Allen, Trent <trent.allen@ncdenr.gov>; Brantley, Mark <mark.brantley@ncdenr.gov>
Cc: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>; Tim Grissinger <t.grissinger@batemancivilsurvey.com>; ArTriel Askew <aaskew@ci.lumberton.nc.us>; Fred Mills Jr. <fmillsjr@millsconstructionco.com>
Subject: Re: [External] Northeast Pointe II

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Hi Trent and Mark

Andrea Gievers who is doing final review of our Environmental Assessment for Northeast Pointe II in Lumberton has asked that you concur that there are no buffer requirements along the Northeast portion of the property. When we were designing the site our civil design team reached out to DEQ and the City of Lumberton and determined that Lumberton's rules took jurisdiction and that since the site was not located in the watershed the featured did not require buffering. Andrea wants confirmation as the site does show a blue line on the national wetlands map.

We completed a Jurisdictional Determination for the property which was approved by the Corps (attached) finding there were no jurisdictional wetlands or streams on the property.

The property is Robeson County Tax Parcel # 10140100304 and Tax Parcel # 101401003

Could you help confirm there are no buffer requirements for this property for Andrea who is trying to finalize this EA?

Please call or email if you have any questions.

Thanks
Bobby

Bobby Funk
Mills Construction
C – 828-551-6511
O – 919-719-6589
bobby@millsconstructionco.com

On Oct 26, 2022, at 5:07 PM, Bobby Funk <bobby@millsconstructionco.com> wrote:

I am aware of it being marked on the NWI Map, but when the delineation was completed the determination was that there were no streams or wetlands identified on the site which was approved by the Corps.

Aside from that, our civil team (Tim Grissinger CCed) was able to determine that even if a stream were there, there are no buffering requirements for it.

Bobby Funk
Mills Construction
C – 828-551-6511
O – 919-719-6589
bobby@millsconstructionco.com

On Oct 26, 2022, at 4:56 PM, Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov> wrote:

Not the ditches. The riverine feature along the northeastern boundary.

Based on the USFWS National Wetlands Inventory (NWI) Map, only a Riverine (R2UBHx) is located along the northeastern boundary of the proposed project site. This riverine is a portion of an unnamed tributary of Meadow Branch. The unnamed tributary flows approximately 0.5 miles northwest before joining Meadow Branch.

Sincerely,

Andrea Gievers

From: Bobby Funk <bobby@millsconstructionco.com>
Sent: Wednesday, October 26, 2022 4:52 PM
To: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Cc: Fred Mills Jr. <fmillsjr@millsconstructionco.com>; Tim Grissinger <t.grissinger@batemancivilsurvey.com>
Subject: Re: [External] Northeast Pointe II

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Our civil design team has determined that there are no buffer requirements for the property. Additionally the jurisdictional determination determined the area you're referring to where determined to be non-jurisdictional ditches.

Let me know if you need any more clarification.

Bobby Funk
Mills Construction
C – 828-551-6511
O – 919-719-6589
bobby@millsconstructionco.com

On Oct 26, 2022, at 4:32 PM, Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov> wrote:

Finalizing the EA. For wetlands portion, any update to below? You will have to make sure DEQ doesn't have any riparian buffer requirements. Thanks!

The site plan showing the proposed apartment complex footprint is attached. The developer is aware of the riverine feature and is prepared to avoid the northeastern boundary of the property, maintaining at least a 50-foot buffer between construction activities and the stream. Additionally, the developer is prepared to take precautions to avoid any impacts to the stream during construction.

Sincerely,

Andrea Gievers

From: Bobby Funk <bobby@millsconstructionco.com>
Sent: Tuesday, October 25, 2022 3:06 PM
To: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Subject: Re: [External] Northeast Pointe II

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City of Lumberton**Planning & Neighborhood Services**

500 N. Cedar Street (28358)

P.O. Box 1388

Lumberton, NC 28359

910-671-3838

www.ci.lumberton.nc.usaaskew@ci.lumberton.nc.us

From: Armstrong, Robert**Sent:** Tuesday, December 21, 2021 8:35 AM**To:** Askew, ArTriel <aaskew@ci.lumberton.nc.us>; Love, Brandon <blove@ci.lumberton.nc.us>**Cc:** Nolley, Brian <bnolley@ci.lumberton.nc.us>**Subject:** RE: one of 3 emails

Ar'Triel:

The Lumber River Basin Restoration document is not a reference of the City's stormwater ordinance. This document is a planning guide created by NC eco enhancement program. The map we should be using for our stormwater ordinance is the environmental sensitivity map by NC Division of Water Quality. This map used to be called the watershed protection map of Lumberton (referenced in our ordinance) that was established by the NC environmental management commission and is now shown in an all inclusive environmental sensitivity map for the state. Attached is the PDF version. Most site designers access this thru the DEQ web site. There are USGS jurisdictional stream laterals adjacent to the site planned on Harrill Road and the developer will need to consider this in their design. If the development doesn't directly impact the jurisdictional stream they will not need a permit from US Army Corps of Engineers. Public Works opinion is that this area is subject to the City's standard stormwater ordinance.

Rob

From: Askew, ArTriel**Sent:** Monday, December 20, 2021 2:24 PM**To:** Armstrong, Robert; Love, Brandon**Cc:** Nolley, Brian**Subject:** one of 3 emails

Good morning Rob, below (and attached) is the information I was telling you about the following:

1. The extension of Northeast Pointe Apartments is located within a watershed, according to the Lumber River Basin Restoration Priorities 2008. These maps is not reflected within the watershed map we have along I-95. Furthermore, according to the USGS there is perennial waters that go through the property. Will they be required to comply with our Watershed Ordinance? This is the first time I have ever seen these maps.

If you have any questions or if I could be of further assistance, please feel free to contact me. Thank you!

Ar'Triel Askew Kirchner, M.P.A., CZO, CFM
Director of Planning & N.S.

Apex, NC | Charlotte, NC | Wilmington, NC

2524 Reliance Avenue

Apex, NC 27539

P: 919.577.1080 Ext. 117

C: 919.538.9955

www.batemancivilsurvey.com

t.grissinger@batemancivilsurvey.com

From: Askew, Ar'Triel <aaskew@ci.lumberton.nc.us>

Sent: Tuesday, December 21, 2021 8:39 AM

To: Grissinger, Tim <t.grissinger@batemancivilsurvey.com>

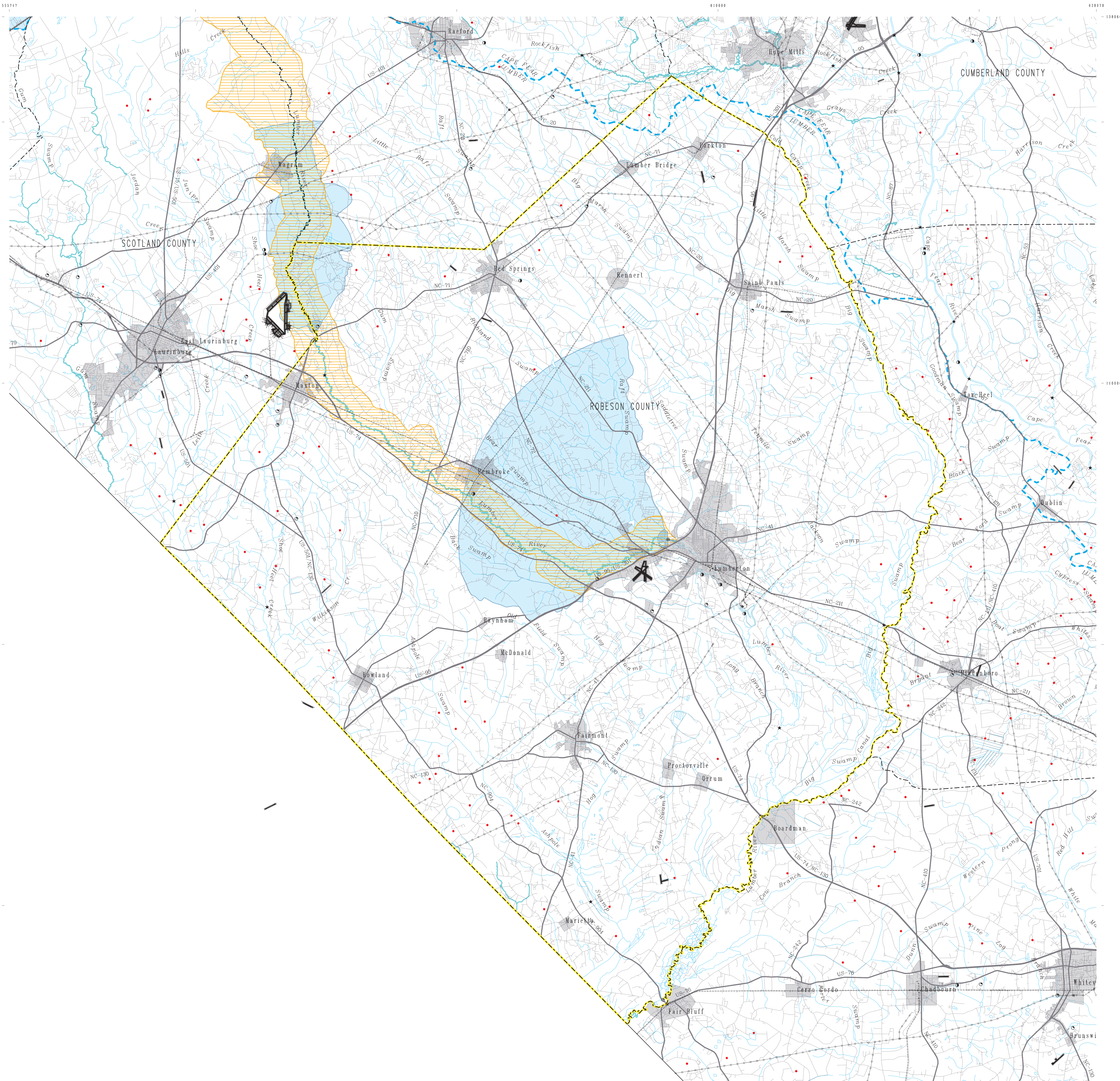
Subject: FW: one of 3 emails

Good morning, I have a bit of good news. Attached is the watershed map we are using. The property on Harrill Road is NOT located within the watershed. Please see comment below. I hope this helps.

If you have any questions or if I could be of further assistance, please feel free to contact me. Thank you!

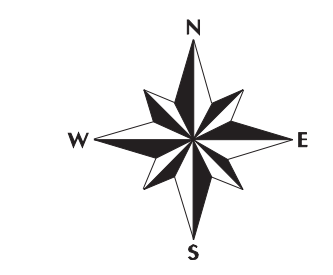
Ar'Triel Askew Kirchner, M.P.A., CZO, CFM
Director of Planning & N.S.

DIVISION OF WATER QUALITY ENVIRONMENTAL SENSITIVITY MAP 2007 ROBESON COUNTY, NORTH CAROLINA

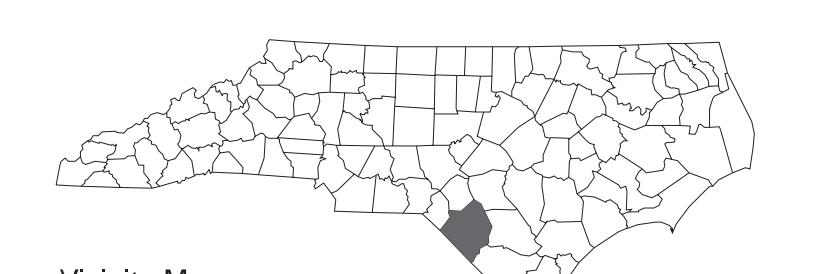


Legend

- County Boundary
- Titled County Boundary
- State Boundary
- Hydrography
- River Basin Boundary
- Class B or SB Waters
- Trout Waters (DWQ)
- Class B Trout Waters
- Power/Transmission Line
- Railroad
- Airport/Landing Strip
- Primary Highway
- Road or Street
- Ambient Monitoring Site
- Animal Operation Permit
- NPDES Wastewater Site (Minor)
- NPDES Wastewater Site (Major)
- Surface Water Intake
- Lake/Stream/Sound
- Water Supply Watershed
- Water Supply Watershed Critical Area
(Shading of entire watershed denotes WS-I Classification)
- Municipality
- High Quality Water Zone --
HQW, WS-I, WS-II, and SA Waters
- Outstanding Resource Water Zone
- Special Management Strategy Area



Scale 1:100,000
Prepared May 2007



North Carolina Center for Geographic Information & Analysis
301 N. Wilmington Street • Raleigh, NC 27601 • (919) 733-2090

DATA SOURCE AGENCY AND CURRENCY DATES (Alphabetically):

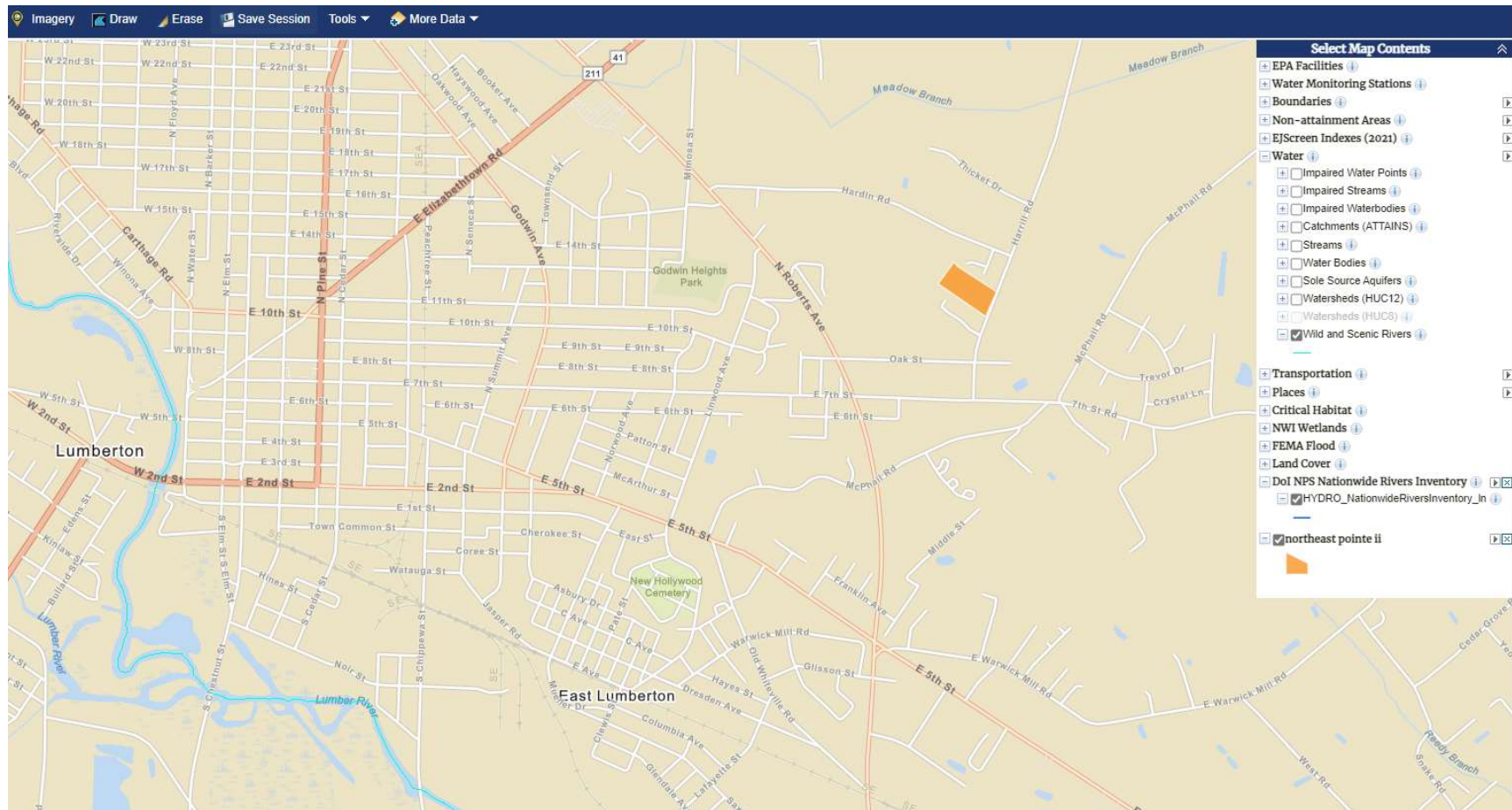
Airports/Landing Strips	US Geological Survey	1984
Ambient Monitoring Sites	NC Division of Water Quality	2007
Animal Operation Permits	NC Division of Water Quality	2007
County Boundaries	US Geological Survey	2006
Class B Waters	NC Division of Water Quality	2006
Class B Trout Waters	NC Division of Water Quality	2006
High Quality Water Zones	NC Division of Water Quality	2007
Highways and Roads	NC Department of Transportation	2007
Hydrography	US Geological Survey	2006
Municipalities	NC Department of Transportation	2006
NPDES Wastewater Sites	NC Division of Water Quality	2006
Outstanding Resource	NC Division of Water Quality	2007
Water Zones	NC Division of Water Quality	2007
Power/Transmission Lines	US Geological Survey	1998
Railroads	US Geological Survey	1987
River Basins	USDA - Natural Resources Conservation Svc.	1998
Surface Water Intakes	NC Division of Water Quality	2004
Trout Waters (DWQ)	NC Division of Water Quality	2006
Special Management Strategy Areas	NC Division of Water Quality	2007
Water Supply Watershed Critical Areas	NC Division of Water Quality	2007
Water Supply Watershed	NC Division of Water Quality	2007

DATA EXTENT AND VERIFICATION STATUS:
In order to provide users with needed information on this map series, CGIA has released some data prior to completion and/or verification of entire layers. Verification by the data custodians (source agencies) of the final data files prepared by CGIA is viewed as a critical step to ensure the accuracy of geographic features and associated attributes.
These maps are only as good as the data available when they were printed, and are not intended to replace any rule, regulation or classification schedule.

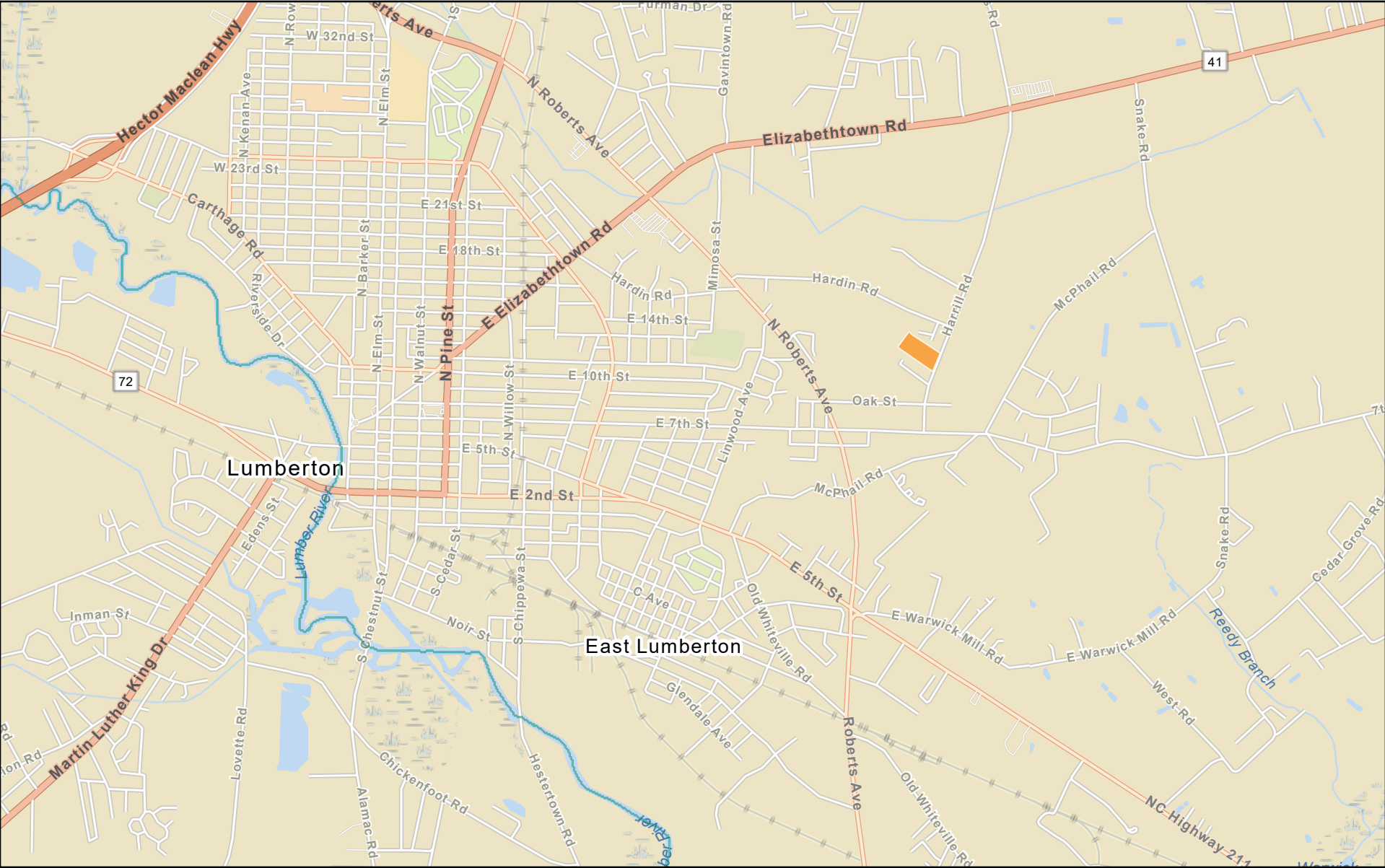
ATTACHMENT O:

Wild and Scenic Rivers

Northeast Pointe II – NRI and National Wild and Scenic River System Rivers

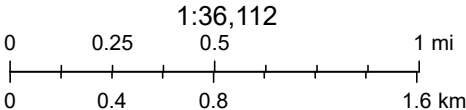


Northeast Pointe II - NRI and National Wild and Scenic River System Rivers



November 11, 2022

- northeast pointe ii
- Wild and Scenic Rivers

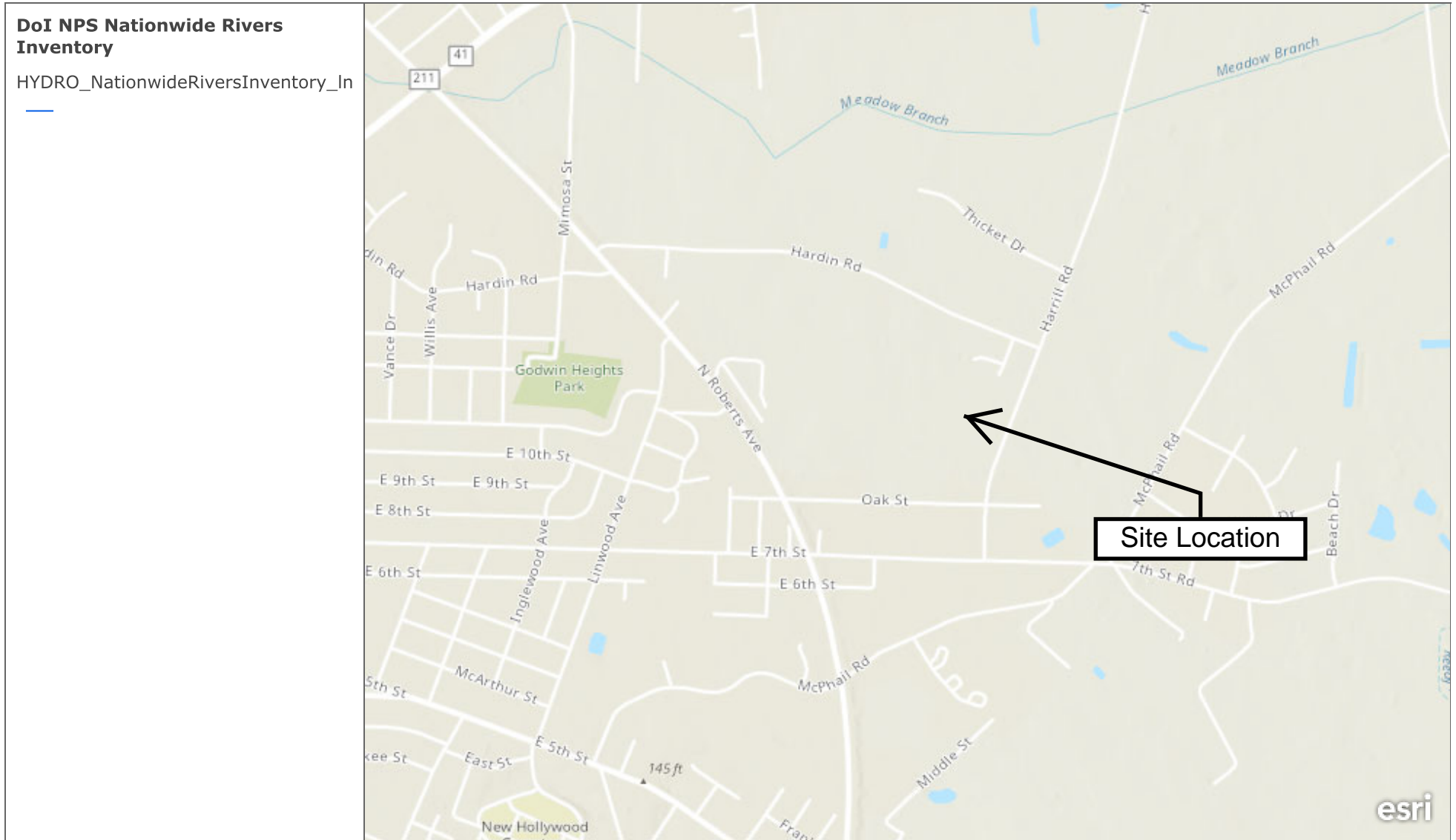


National Park Service, peter_bonsall@nps.gov, State of North Carolina DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS,

DoI NPS Nationwide Rivers Inventory

DoI NPS Nationwide Rivers Inventory

HYDRO_NationwideRiversInventory_In

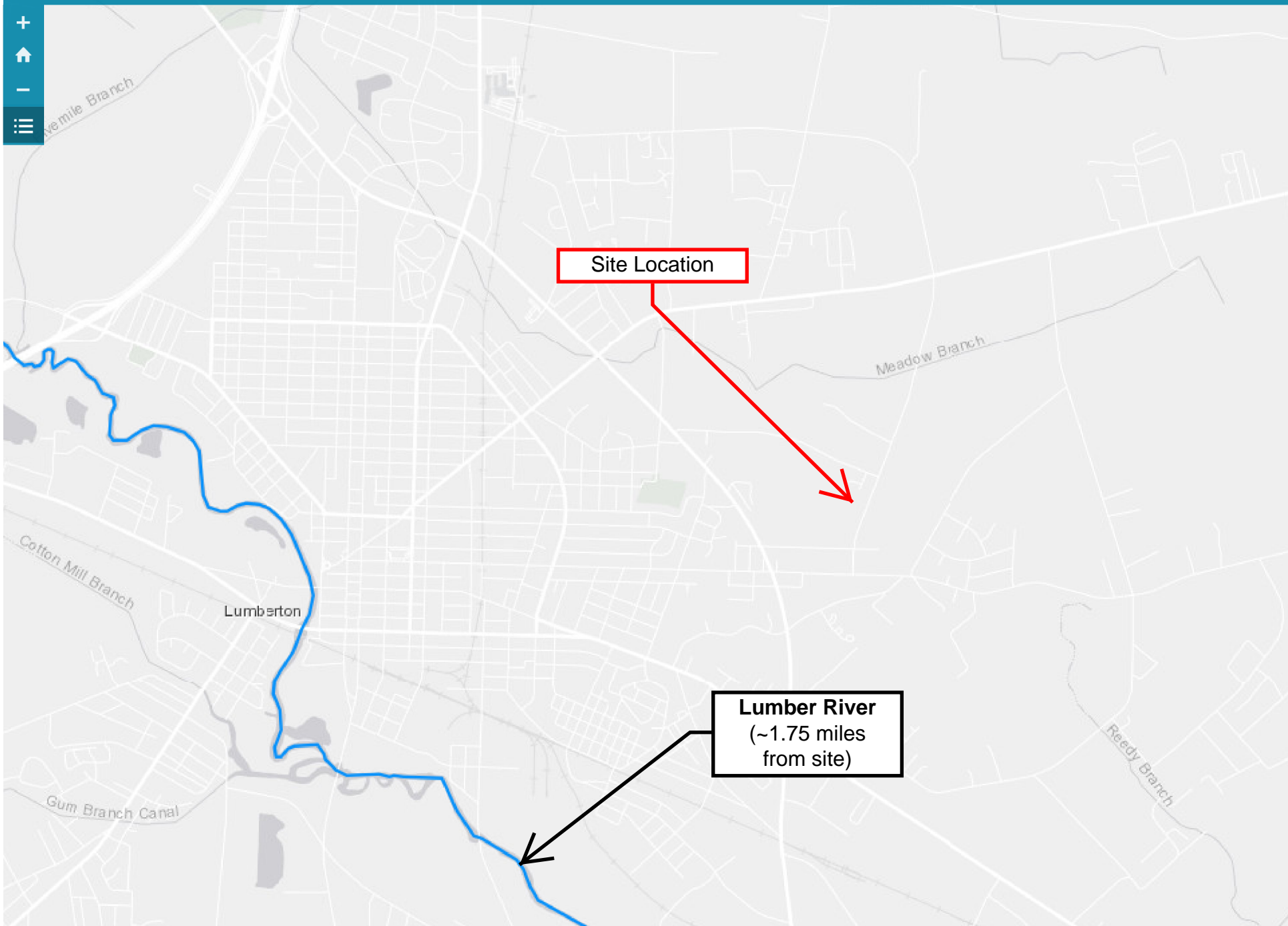


The Nationwide Rivers Inventory (NRI) is a listing of more than 3,200 free-flowing river segments in the U.S. that possess one or more remarkable values

National Park Service, peter_bonsall@nps.gov | Esri, NASA, NGA, USGS, FEMA | Esri Community Maps Contributors, State of North Carolina DOT, © OpenStreetMap contributors, Microsoft, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

Wild & Scenic Rivers

Find address or place



Legend

- Designated Wild and Scenic Rivers where NPS has a role
- Wild and Scenic-Like Rivers managed by the NPS
- Designated Wild and Scenic Rivers managed by other agencies



Wild and Scenic Rivers in or near North Carolina
April 18, 2003

River	Drainage Basin	Designated Reach	River Counties
Chattooga River	Savannah	The segment from 0.8 miles below Cashiers Lake in North Carolina to the Tugaloo Reservoir. The West Fork from its confluence with the main stem upstream 7.3 miles	Jackson
Horsepasture River	Savannah	From Bohaynee Road (N.C. 281) downstream to Lake Jocassee.	Jackson
New River	New	The South Fork from its confluence with Dog Creek downstream 22 miles to the confluence with the North Fork. The main stem from the confluence of the North and South Forks with Dog Creek downstream approximately 4.5 miles to the Virginia state line	Ashe and Alleghany
Lumber River	Lumber	From State Route 1412/1203 (river mile 0) to the Scotland/Robeson County lines at the end of the Maxton Airport Swamp (river mile 22) and from Back Swamp (river mile 56) to the North/South Carolina border (river mile 115).	Hoke, Scotland, Robeson and Columbus
Wilson Creek	Catawba	From the headwaters below Calloway Peak to the confluence with Johns River.	Avery and Caldwell

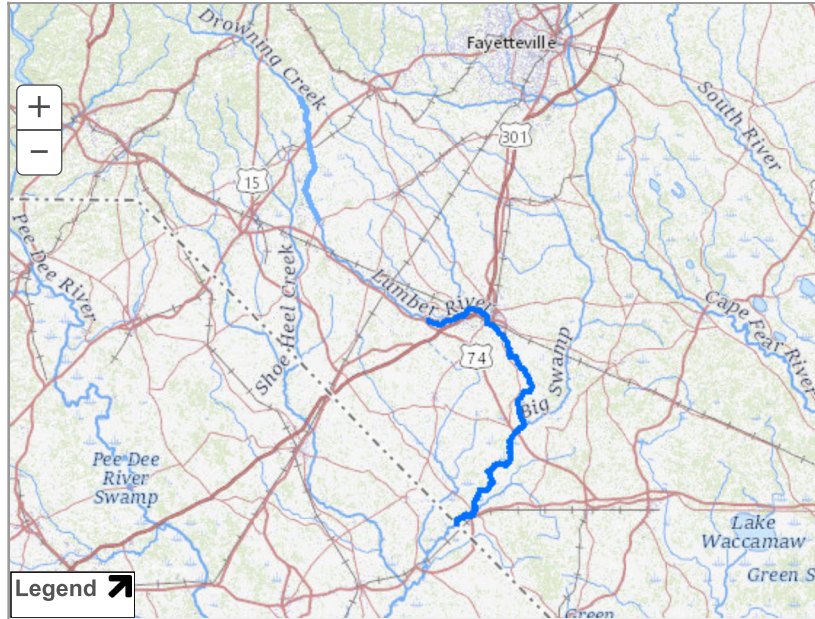
The official source of information for Wild and Scenic Rivers is found at <https://www.nps.gov/orgs/1912/plan-your-visit.htm>

NATIONAL WILD AND SCENIC RIVERS SYSTEM



- NATIONAL SYSTEM
- MANAGEMENT
- RESOURCES
- PUBLICATIONS
- CONTACT US
- 50 YEARS
- SITE INDEX

LUMBER RIVER, NORTH CAROLINA



[+ View larger map](#)

EXPLORE DESIGNATED RIVERS



Choose A State

Choose A River

Rivers of the Southeast define diversity, from bayous and rivers pushed by the tides to clear mountain streams with world-class whitewater.



Managing Agency:

National Park Service
Lumber River State Park

Designated Reach:

September 25, 1998. From State Route 1412/1203 (river mile 0) to the Scotland/Robeson County lines at the end of the Maxton Airport Swamp (river mile 22) and from Back Swamp (river mile 56) to the North/South Carolina border (river mile 115).

Classification/Mileage:

Scenic — 60.0 miles; Recreational — 21.0 miles; Total — 81.0 miles.



RELATED LINKS

Lumber River State Park

Photo Credit: Tim Palmer

Lumber River

On April 15, 1996, North Carolina Governor James Hunt asked the Secretary of the Interior, Bruce Babbitt, to designate a segment of the Lumber River as a state-managed national wild and scenic river under Section 2(a)(ii) of the national Wild and Scenic Rivers Act. On September 28, 1998, following the recommendations of the National Park Service, the Secretary added 81 miles of the Lumber River to the National Wild and Scenic Rivers System.

The Lumber River is located in south-central North Carolina in the flat Coastal Plain. The river's headwaters are known as Drowning Creek; the waterway known as the Lumber River extends from the Scotland County-Hoke County border 115 miles downstream to the North Carolina-South Carolina border. Soon after crossing into South Carolina, the Lumber River flows into the Little Pee Dee River, which eventually flows into the Great Pee Dee River and on into Winyah Bay and the Atlantic Ocean.

In addition to National Wild and Scenic River designation, the Lumber River is also part of the North Carolina Natural and Scenic River System (it was added in 1989). The North Carolina Natural and Scenic Rivers Act (NCNSRA) was passed to preserve, protect and maintain selected free-flowing rivers and adjacent land for their outstanding natural, scenic, educational, geological, recreational, historic, fish and wildlife, scientific and cultural values. These rivers are protected for the present and future benefit of the people of North Carolina. In 1989, the North Carolina General Assembly created the Lumber River State to be managed as a Natural and Scenic River "to preserve its outstanding character in perpetuity."

Under the NCNSRA, there are three classifications that a river can receive — *natural*, *scenic*, and *recreational*. The Lumber River has all three classifications at some point along its course. The uppermost part of the river from State Route 1412 (Turnpike Bridge) to Back Swamp is the narrowest section of the river, measuring an average of 40 feet in width. This section is classified as *scenic*, which is defined as largely primitive, undeveloped, and free of impoundments, but accessible by roads. This classification lends itself to wilderness-type experiences, such as solitude and wildlife viewing. The middle portion from Back Swamp to Jacob Swamp Canal is wider, averaging 75 feet, and is classified as *recreational* because it offers outstanding recreational and scenic values and is largely free of impoundments, but has development and an extensive road system along its banks. The segment downstream of Jacob Swamp Canal to the border with South Carolina varies in width from 30 to 75 feet and is classified as *natural*, with the exception of the portion within the Fair Bluff city limits, which is designated *recreational*. A *natural* river segment is defined as unpolluted, surrounded by lands in an essentially primitive condition, free of man-made impoundments and generally inaccessible except by trail.

Access: The Lumber River is accessible by interstate and other highways and by State and county roads. Interstate 95 crosses the river in Lumberton. Many other State roads cross, run parallel to, or provide access to the river. Highway 74 roughly parallels the river for about 30 miles, running in a southeasterly direction from Maxton to Pembroke and past Lumberton and then to the southeast from Lumberton to Boardman.

The Lumber River is one of the most highly prized recreation sites in North Carolina; recreation varies from active outdoor recreation, to festivals, to passive activities. Among the most popular activities are canoeing and boating, fishing, hunting, picnicking, camping, nature study, swimming, biking, jogging, crafts and fossil and artifact hunting.

Canoeing: One of the best way to experience the unique characteristics of the Lumber River is by canoe. The visitor experiences miles of natural settings that one would normally expect in highly isolated areas. The visitor can choose between a variety of canoeing challenges and trip lengths. Trips can vary from one hour along some river sections to several days navigating the entire river.

The river has been divided into recreation water trails and has 24 canoe access points at road intersections. The river is smooth water with a velocity ranging from less than two miles per hour to four miles per hour. The most popular portion of the river for canoeists is the Lower Lumber River Recreational Trail, a part of the North Carolina Trails System, which has 17 segments. Intensive canoeing activity can take place within the eight-mile stretch of river through Lumberton

in Robeson County, ranging from N.C. 72 at McNeill's bridge to its intersection with N.C. 72 at High Hill. This area has good accessibility.

In Scotland County, the Lumber River Canoe Regatta took place between 1976 and 1986 on the Lumber River Canoe Trail. This annual event was discontinued because fallen trees had made that section of the river impassable. The regatta was a popular event, and local officials are interested in reviving it now that most of the obstructions have been removed. The Lumber River Canoe Trail is the designation of the upper Lumber River between the intersection of U.S. 15-501 with the river and N.C. 71 and the river. The Lumber River Canoe Trail was made a part of the North Carolina Trails System in 1978. It was the first official canoe trail in North Carolina. In 1981, the Lumber River Canoe Trail was designated as one of the first national water trails in the southeastern United States.

The Lumber River provides a variety of flatwater canoeing opportunities. The upper sections of the river require greater canoeing skills than in lower sections because of fallen trees, narrow stream widths, and somewhat swifter water. There are serious impediments to passage on the upper portion of the river; the lower river has few obstructions. The meandering nature of the river and the force of unseen currents provide challenging variations in navigability to boaters. The NCWRC tries to maintain a small boat passageway along the lower river by cutting up to a six-foot-wide opening where downed trees cross the river.

The popularity of canoeing is reflected by the number of canoe rental operators in the Wagram, Burnt Island and Fair Bluff areas, as well as at Pembroke and Lumberton, the Robeson County Recreation Department being among them. In addition, canoeing enthusiasts who live along the river have organized clubs such as the Upper Lumber River Association and the Lumber River Canoe Club.

Fishing: Bank, small boat and canoe fishing occur all along the river. Sandbars and fallen logs provide habitat for fish. Common species fished are catfish, bass, jack and bluegill bream.

Hunting: Hunting for survival and for sport has always been an important activity in the region. All along the river there are opportunities for hunting deer, squirrel and other game. The North Carolina Wildlife Resources Commission (NCWRC) manages three boating access areas along the river, which provide access for hunters. In addition, the Sandhills Game Lands are located in the upper watershed of the river. An 18,191-acre portion is found in Scotland County, composed of a number of tracts of land. One tract occupying about 580 acres is located in the upper region of the river around its intersection with State Route 1412. Hunting also takes place at the 231-acre Bullard and Branch Hunting Preserve in Robeson County.

State park regulations do not permit hunting on state park property. Hunting may be permissible on lands along the river that are not acquired as State park lands. Hunting on these non-State park lands is subject to normal regulations by the NCWRC and the control of private landowners.

Picnicking, Camping and Recreation Sites: A number of points along the river, accessible by canoe or road, are ideal for family and group picnicking and camping. The towns of Maxton, Pembroke, Lumberton and Fair Bluff offer opportunities for picnicking and provide playgrounds for children. In Lumberton, recreational opportunities can be found at Luther J. Britt Park, James Stephens Park, Turner Gore Park, Bicentennial Park and Noir Street Playground. In addition to these public recreation areas, a number of private recreational sites exist along the river.

Biking and Jogging: Hiking, jogging, walking and bicycling along the river are popular recreational pursuits for residents in the Lumberton area. McMillan Beach has the potential to be incorporated into the open space trail system of the city.

Swimming: Swimming takes place at many areas along the river, particularly by local residents who are familiar with the river. The black appearance of the water, swirling undercurrents, fallen trees and underwater snags can make swimming unsafe, however.

Fossil and Artifact Hunting: Many amateur and professional paleontologists enjoy finding fossils and artifacts in North Carolina, particularly in the eastern part of the state, which is rich in locations. A diverse number of species of fossilized plants and animals ranging from a few thousand to millions of years old can be seen on the state's river banks and exposed geologic areas.

One particular area on the banks of the Lumber River near Lumberton has been singled out due to ease of access, abundance and diversity of fossils, and historical and geological significance. It is on the east bank of the river about one-quarter of a mile upriver from the N.C. 72 intersection with the river. The location has a basal oyster-rich bed, a middle bed with abundant and diverse open marine mollusks and a few estuarine mollusks, and an upper bed with mostly fragmented shells. Such fossil areas are important for resource interpretation and education. It should be noted that fossil collecting is not permitted on state park property under state park regulations.

Wildlife: The Lumber River supports a diverse wildlife community. Most of the species are common to eastern hardwood forests and swamps (whitetail deer, raccoon, beaver, mink, turkey, ducks, etc.); however, there are several notable rare and endangered animal species within the river system. The alligator is foremost among these; the alligator is rare at this latitude this far from coastal waters. It ranges along the entire river floodplain, but its numbers are few. A unique fish, the cape fear chub, previously unknown in the Lumber River, has been identified in both the river's upper and lower reaches. Rare invertebrates also can be found, including lepidopterans, among which is the giant yucca skipper, whose larvae depend on the Yucca plant. The

endangered red-cockaded woodpecker is found in the uppermost reaches of the river. The pine barrens treefrog and the river frog, two rare amphibian species, have also been identified in the uppermost portions of the river.

Cultural Resources: A number of archaeological sites are found on high ground along the river. Most of these areas have been disturbed by the agricultural and forestry practices of the post-Columbian era, however. Isolated artifacts and fossils that have been discovered include a dugout canoe estimated at over 1,025 years old, an indication that pre-Columbian peoples navigated the river for trading, fishing, hunting and other cultural activities. Accounts of finding stone artifacts in the Riverton area likely indicates the area was inhabited by Native Americans. Most of the archaeological work in the Lumber River region has been done in Robeson County but is thought to be representative of the general archaeology of the area.

Four hundred and twenty-nine archaeological sites have been recorded in Robeson County. Each site was classified under one of four categories: Paleo-Indian, Archaic Woodland, Mississippian and Historic. There are 47 sites with potential archaeological importance, 20 of which have been nominated to the National Register of Historic Places.

The Paleo-Indian Period, dating possibly to 20,000 B.C., is characterized by nomadism, hunting and food-gathering. The most distinctive tools had lanceolate projectile points.

The Archaic Period, from about 8,000 B.C., saw a slight climatic warming and a consequent increase in human population and deciduous trees. It was characterized by a reliance on smaller animal species and the collection of flora as well as fishing and shell-fishing. An inventory of tools found from this period shows adaptation to the forest environment. Among the implements found are stemmed and notched projectile points, atlatl (spear-throwing) weights, knives, axes, scrapers, choppers, drills, and grinding and nutting stones.

The Woodland Period began between 2,000 B.C. and 1,000 B.C. and continued into the time of European settlement. It was characterized by the further development of subsistence agriculture and ceramics, although hunting and gathering continued. In the early part of this period, the bows and arrows using small projectile points, or true arrowheads, were first used. These Native Americans abandoned the nomadic lifestyle for village life.

The Mississippian Period began in 900 A.D. and coexisted with cultures of the former three periods as well as with the next, the Historic Period. It was a period characterized by subsistence agriculture in areas near sizeable villages; corn was the major crop. Native Americans constructed flat-topped earthen mounds as part of their ceremonial activities. Projectile points were small and triangular or pentagonal. Ceramics bore decorations of stamps of rectilinear or curvilinear forms, or they were highly polished.

The Historic Period began with the arrival of European explorers, the earliest of which were Italian, Spanish and Portuguese. The period of written history of Native Americans began with the English colonists on Roanoke Island in 1585. A number of different Native American groups speaking different languages (Siouan, Iroquoian, Algonkian and Muskogean) were in the area. It was from these indigenous groups that the present Native American population descended. Artifacts of interest from this period include kaolin and other pipes (items of European influence) for tobacco smoking, gunflints, and ceramics of plain whiteware, pearlware and creamware, together with the traditional types. Also found were colored salt-glazed stoneware and various types of porcelain. Dark green bottle fragments from the 19th century are included in these artifacts found along the Lumber River.

Native American (Pre)History: The Lumber River has long been used by Native Americans for travel and subsistence. The earliest Native Americans, who may have lived in the region from as early as 20,000 B.C., were nomadic and subsisted through food-gathering and hunting. By the 18th century, the river and its associated swamps had become a melting pot for several Indian tribes, some of them refugees who had fled to the backwoods and swamplands from the coastal regions to escape the attacks of other tribes as well as the advance westward by Europeans. It has been speculated that members of Sir Walter Raleigh's "Lost Colony" may have been among these Native American immigrants to the area. The earliest European settlers in Robeson County found several thousand Indians already on the scene who spoke broken English and farmed as Europeans did. Some of them were blue-eyed and bore familiar English names. Because of a lack of recorded history and a loss of linguistic identity; however, the history of these people has been shrouded in mystery, conjecture and myth; their true origins will probably never be known. Having survived the encroachment of their lands, they established rural communities on the banks of the river where their descendants, known as the Lumbee, live today. They adopted their tribal name officially in 1953 from the Indian name for the river.

History: According to poet John Charles McNeill (1874-1907), the Indian name of Lumbee was originally used for the river, from an Indian word that means "black water." Early European surveyors and settlers called it Drowning Creek. This name appears in Colonial records of 1749, which identify the river as a branch of the Little Pee Dee River. The name was changed by legislative action in 1809 to the Lumber River, most likely because of the river's heavy use by the lumber industry.

In the late 18th and the 19th centuries, the lumbering and naval stores industries were very important to the region, and the river was a vital route for transporting products of these industries. One-hundred-foot logs were rafted downriver in the late 1800's to Georgetown, South Carolina. Lumberton itself was an important turpentine and timber town. Unfortunately, no

standing structure related to these industries has been found that could be considered of historic value. The few existing structures are from this century and are in a state of decay. Remnants of bridge abutments, tram bridges, and dock pilings in the Net Hole area are reminders of the lumbering and naval stores industries.

Vegetation: The Lumber River floodplain is largely a second-growth oak-cypress-gum swamp forest of the blackwater subtype. Most of the species present are indicators of the perennially wet nature of the river floodplain. The major canopy species are cypress, tupelo, red gum, black gum and water oak; the understory is dominated by river birch, water elm, red maple and hackberry. Along the river banks are abundant pines, cypress, poplar, bays, juniper, gums and wisteria. Equally abundant are poison ivy, poison oak and poison sumac. Virginia creeper and Spanish moss are common on trees bordering the river. Fern species and the insectivorous Venus flytrap grow along the stream banks.

The swamp forests grade to bottomland forests and then to first terrace hardwood forests, which are found on slightly higher elevations. Flooding in these forests is seasonal and occurs typically in winter or early spring. Common trees in these bottomland and first terrace hardwood forests are water hickory, overcup oak, laurel oak, willow oak, red maple, persimmon, cottonwood, green ash, American elm, loblolly pine and river birch. Common shrubs found are black willow, buttonbush, winterberry, hazel alder, swamp privet and American holly. Lizard's tail and sedges are also prevalent.

The next broad forest type is the second terrace hardwood forests. Although found in the floodplains of the river, flooding is temporary. Common trees are green ash, American elm, red maple, sweet gum, water oak, cherrybark oak, swamp chestnut oak, shagbark hickory, ironwood, sycamore, yellow poplar and loblolly pine. In the understory are spicebush, sugarberry, poison ivy, jack-in-the-pulpit, Virginia creeper, hawthorns, American holly, greenbrier, mayapple, sedges and blackberry.

The many low ridges in the floodplain are dominated by loblolly pine and mixed hardwoods. Typically, these ridges are surrounded by poorly drained depressions within which occurs diverse pocosin-type vegetation. Paralleling the east bank of the river, between U.S. 74 to the border with South Carolina, are a series of these sand ridges. The 700-acre Big Sandy Ridge located north of Fair Bluff is an outstanding example of these sand ridges. The area is secluded and composed of relatively undisturbed pine-scrub oak sandhill community.

Geology: Though they are not unique to the region, several geologic features exhibited in the river corridor are noteworthy. As Drowning Creek emerges from the Sandhills Region and becomes the Lumber River, it crosses a regional physiographic feature known as the Orangeburg Scarp. This feature is commonly thought to have developed as a paleo-shoreline feature during the upper Pliocene Epoch (approximately 3 million years ago) as the sea reached a point of relative standstill and wave action cut into the highland now known as the Sandhills. The Orangeburg Scarp can be traced from Florida to Virginia, but it is particularly well developed through North and South Carolina, where it marks the boundary between the upper and middle Coastal Plain. As a result of this geologic occurrence, fossil shells and shark teeth have been deposited in sand deposits in bluffs, ridges and banks along the Lumber River.

As the Lumber River flows across the relatively low-relief surface of the middle Coastal Plain Region, its valley cuts into a surface marked by a great number of northwest-southeast oriented elliptical depressions known as Carolina Bays. Since their discovery in the Carolina's in the 1800's, these swampy or sometimes water-filled features with unique floral assemblages have been the object of debate and controversy as to their origin. Although now known to number in the tens of thousands throughout the Atlantic Coastal Plain, and to occur in several other regions of the world, the middle Coastal Plain area of Bladen and Robeson Counties, North Carolina, exhibit particularly well-developed and numerous Carolina Bays.

There are several other interesting features of the Lumber River. The river possesses a greater amount of meanders than other rivers in the region. There are high bluffs at Princess Anne and High Hill (south of Lumberton). These bluffs are atypical for blackwater rivers in the area. Unusual sand ridges were formed along the river when the Ice Ages dried the area, allowing sand to be blown from the riverbed onto the banks.

National Wild and Scenic River Designation: In order for a river to become a National Wild and Scenic River, it must be free-flowing and have at least one resource that is considered to be "outstandingly remarkable"—i.e., of importance to the region or nation. Since there are no dams or excessive channelization of the waterway, the entire Lumber River was found to be free-flowing. In addition, the National Park Service found five different resource categories to be "outstandingly remarkable"—recreation, fish, wildlife, scenery and botany.

Recreation Resources: The Lumber River has regional recreational value for canoeing and sightseeing opportunities. The river offers visitors an opportunity to experience multi-day canoe trips on an unusually long and meandering blackwater river in a natural and uncrowded setting. The Lumber River is one of few rivers in the region that travels through two distinct physiographic regions—starting in the Sandhills Region and flowing through the Coastal Plain—providing a diverse canoeing setting. Currents and obstructions by fallen trees provide additional variety and offer navigability challenges.

The Lumber River's significance as a canoe trail was formally recognized in 1978 when the upper river was designated North Carolina's first recreational water trail. In 1981, this segment of

the river was designated a National Water Trail, the first such trail in the southeastern United States. In 1984, the lower river was included in the list of National Canoe Trails.

The Lumber River also provides numerous recreation opportunities besides canoeing. Sandbars, fallen logs, overhanging branches and an abundant food supply provide excellent habitat and structure for fish; fishing from the banks and from small boats is popular along most of the river. The species most frequently sought include sunfish (bluegill, warmouth, redbreast), largemouth bass, catfishes, pickerel and yellow perch. Unusual deposits of fossils and sharks teeth provide a unique fossil hunting activity, although collecting is discouraged and is prohibited on State lands. Other recreation opportunities along the Lumber River include excellent wildlife observation, hiking, photography and hunting.

Continuing development of the Lumber River State Park will provide additional facilities for camping, nature study, hiking and picnicking. Additional recreational facilities for picnicking, river access, hiking and nature study are provided by local governments.

Twelve State Natural Heritage Priority Areas have been identified along the river. These contain high-quality natural communities or habitat for rare species; six natural community types are found in these 12 areas.

Fish: The Lumber River is a popular fishing stream and receives considerable fishing pressure from anglers across the State. The river has historically provided excellent fishing for various sunfish, largemouth bass, catfishes, chain pickerel and yellow perch. The river supports a diverse fish assemblage and a high quality sport fishery, especially for redbreast sunfish and largemouth bass. Sampling conducted by the NCWRC categorizes the redbreast sunfish population in the Lumber River as a high-quality fishery; many southeastern anglers rate the Lumber River as the premier riverine sport fishery for bluegill, redbreast and red ear sunfish in the State. American shad, an anadromous species, has also been collected from the Lumber River.

The Lumber River supports two unique fish species designated of "special concern" by the state of North Carolina. These species are the pinewoods darter and the sandhills chub.

Wildlife: The Lumber River provides habitat for several species listed as threatened or endangered by the U.S. Fish and Wildlife Service. The headwaters of the Lumber lie in the Sandhills Region which is considered one of the best red-cockaded woodpecker habitats north of Florida; the red-cockaded woodpecker is listed as a federally endangered species. The Lumber River also provides habitat for the federally threatened bald eagle. American alligators, a federally threatened species in the state of North Carolina, can be found in the river. Other species that are included in the federal listing of "Species of Special Concern" include: Carolina crawfish, river frog, black vulture, Cooper's hawk, glossy ibis, snowy egret, golden-crowned kinglet, loggerhead shrike, Keen's bat, southeastern bat, Rafinesque's big-eared bat and the star-nosed mole. The Lumber River is also home to an elipteo freshwater mussel which is currently being evaluated as a new genus.

The Lumber River functions as a corridor of dispersal for a diversity of species in addition to those having national significance listed above. Black bear have been documented as far west as Lumberton in Robeson County. The NCWRC, with support from the National Wild Turkey Federation and private landowners, has stocked wild turkeys within its native habitat of the Lumber watershed. The riverine bottomland forested areas of the river are also important to a variety of species of neotropical migrant birds. Many of these species, which are provided with an exceptional habitat in the watershed of the Lumber, are declining and may receive federal listing in the future.

Scenic/Aesthetic Resources: The study corridor possesses a high level of scenic integrity (i.e., the landscape character is remarkably intact and natural in appearance) for most of its 115 miles. The river is predominately bottomland hardwood swamp, which is rare in the National Wild and Scenic Rivers System. Only the upland pine forest areas of Pembroke, Lumberton, and Fair Bluff are comprised of significantly developed land. Though other rivers within the region, such as the Black, South and Waccamaw, rival the Lumber's scenic attractiveness, the Lumber River is unique in providing scenic integrity over such a long reach.

The corridor contains some visual features which detract from the river's natural scenic attractiveness, primarily in the Pembroke, Lumberton and Fair Bluff areas. Visual intrusions include homes and small businesses, a few canals, farms and several bridge and power line crossings. Within the vicinity of Lumberton there is a dike, buildings to the water's edge, parks, one significant water intake structure, very short stretches of bank hardening and a small junkyard. However, the duration of these intrusions as the river is being traveled is very short; many of the intrusions, such as the dike, are well screened and/or set well back from the river; and many of the features, such as parks, are attractive in their own right. None of the intrusions significantly alter the river's overall scenic integrity or landscape character; only the junkyard is a significant visual detractor. The Lumber River does have a significant litter problem along much of its course.

Outside population centers, remnants of cypress logging railroad trestles hidden along the river and intermittent bridges are among the very infrequent reminders that man ever played a role in the bottomland swamp of the Lumber River. Violent winds from Hurricane Andrew have made parts of the river almost impassable due to tree blow-downs, contributing to the natural character and a sense of remoteness on the river. Expansive views through a baffle of cypress, Spanish

moss, and cypress knees add to the river's swamp like character. The slow-moving, tea-colored water reflects the vegetation of the surrounding banks, yet is clear enough to allow a glimpse of vigorous aquatic life. Light and dark contrast as sunlight filters through the dense forest canopy and dances on the smooth water surface. Colorful flowering plants and wildlife add variety of scenery.

Seasonal variation contributes to interesting color changes, including the burnt-orange colored leaves of the cypress and the red to yellow colors of the swamp red maple in the fall, as well as the bright red seed pods of the maple and the light green foliage of cypress in the early spring. These spectacular colors are accentuated by reflections on the dark water surface. In winter months, areas of the forest not visible in spring and summer open to deeper recesses of the forests and swamps.

In addition to the topographic and vegetative variation from the upland to swamp areas, variety of landform is provided by tight meanders, varying channel width, white sand point bars, low natural levees, islands, sloughs and the backwaters of abandoned river channels. A few steep outcrops along the riverbank expose Coastal Plain formations and abundant marine fossils, providing additional scenic variation and complexity.

Other sensory perceptions contribute to the unique swamp like character of the Lumber River, such as the sounds of a variety of wildlife and insects. These include a surprising churning of the water surface by wood ducks taking flight, the crash of the beaver's tail at an approaching boat, or the rare grunt of an alligator. Cicadas, frogs and birds add more variety to the recreational and aesthetic experience visitors enjoy. Smells of fragrant flowering plants such as the native wisteria add a pleasant touch to the aesthetic experience.

Botany: A preliminary natural heritage inventory of the river corridor was conducted in 1989. Twelve Natural Heritage Priority Areas were identified, containing high quality natural communities or habitat for rare species. There are six natural community types represented in these 12 areas: sand and mud bar, coastal plain levee forest (blackwater subtype), cypress gum swamp (blackwater subtype), coastal plain bottomland hardwoods (blackwater subtype), pine savannah and xeric sandhill scrub. Sixty percent or more of these areas are represented by coastal plain bottomland hardwoods, 20 percent by cypress gum swamp and 15 percent by coastal plain levee forest.

One of the results of this wide variety of habitat types and substratum is that numerous rare and sensitive plants exist throughout the river corridor, particularly in the unique Natural Heritage Priority Areas. Among the rare and endangered plants is sarvis holly, a distinctive blackwater river plant that grows mainly along the river banks and is distributed along the river's entire length. This plant is on the State endangered species list as being "significantly rare" and is a candidate for the federal list of threatened or endangered plants. Comfortroot is another uncommon plant found along the river; comfortroot is a candidate for State listing. On the 700-acre Big Sandy Ridge located north of Fair Bluff, there are two significant species: woody goldenrod or chrysoma and threadleaf sundew. Woody goldenrod is listed as endangered by the state of North Carolina, and threadleaf sundew is listed as "significantly rare." Three final scarce plant species known to occur in the river corridor are: Carolina bog mint, which is in the process of being listed by North Carolina as "threatened" and is a "species of concern" at the federal level; savannah yellow-eyed grass, which is a State candidate species; and southern bog button, which is listed by North Carolina as being "significantly rare."



Designated Rivers

- [About WSR Act](#)
- [State Listings](#)
- [Profile Pages](#)

National System

- [WSR Table](#)
- [Study Rivers](#)
- [Stewardship](#)
- [WSR Legislation](#)

River Management

- [Council](#)
- [Agencies](#)
- [Management Plans](#)
- [River Mgt. Society](#)

Resources

- [Q & A Search](#)
- [Bibliography](#)
- [Publications](#)
- [GIS Mapping](#)

ATTACHMENT P:

Environmental Justice



NCDEQ Facility Screening Report

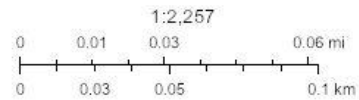
Area of Interest (AOI) Information

Area : 99,135,745.98 ft²

Nov 1 2022 12:54:39 Eastern Daylight Time



-  Tribal Boundaries
- NC DEQ's Potentially Underserved Block Groups 2019
-  State Only
-  census2017acs - by Block Group
-  County Boundary
-  Parcels



NCDOT GIS Unit, NC Center for Geographic Information and Analysis (NCCGIA), NC County Governments, US EPA, Esri Community Maps Contributors, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS.

Summary

Name	Count	Area(ft ²)	Length(mi)
Air Quality Permit Sites	0	N/A	N/A
NPDES Wastewater Treatment Facility Permits	0	N/A	N/A
Animal Feed Operation Permits (View)	0	N/A	N/A
Solid Waste Septage Sites	0	N/A	N/A
Coal Ash Structural Fills (CCB) (Closed)	0	N/A	N/A
Contaminated Dry-Cleaning Sites	0	N/A	N/A
Land Clearing and Inert Debris (LCID) Notifications	0	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	0	N/A	N/A
Hazardous Waste Sites	0	N/A	N/A
Underground Storage Tank Incidents	15	N/A	N/A
Above Ground Storage Tank Incidents	1	N/A	N/A
Underground Storage Tank Active Facilities	9	N/A	N/A
Petroleum Contaminated Soil Remediation Permits	0	N/A	N/A
NPDES Stormwater Permits	0	N/A	N/A
Permitted Solid Waste Landfills (Open and Closed)	0	N/A	N/A
Federal Remediation Branch	0	N/A	N/A
NC Mining Permits	0	N/A	N/A

Underground Storage Tank Incidents

#	IncidentNumber	USTNum	IncidentName	FacIID	Address
1	3611	FA-57	STEVENSON HONDA	No Data	3515 ELIZABETHTOWN RD.
2	5785	FA-162	HAPPY STORE 347 (SPINX 347)	00-0-0000018416	1302 ROBERTS AVE.
3	6427	FA-210	BILLY SMITH'S C STORE	No Data	2309 ELIZABETHTOWN ROAD
4	9446	FA-463	FAHA - LUMBERTON	No Data	1218 E. 8TH STREET
5	10918	FA-576	JOLLEY'S C. STORE	00-0-0000027078	1802 EAST 5TH ST.
6	11863	FA-655	SCOTT BUICK-CADILLAC	00-0-0000019194	3055 ELIZABETHTOWN RD.
7	17873	FA-937	U-FILLER-UP	00-0-0000027078	1802 EAST 5TH ST.
8	20139	FA-1056	LUMBERTON CONVIENCE MART	00-0-0000027078	1802 EAST FIFTH STREET
9	24522	FA-1302	LEGRAND PROPERTY	No Data	3143 EAST HIGHWAY 41
10	29003	FA-1309	NORRIS PROPERTY (VACANT LOT)	No Data	2450 EAST 5TH ST.
11	29450	FA-3285	CASSON'S QUICK CHECK	00-0-0000019560	602 ROBERTS AVENUE
12	29514	FA-3478	211 QUICK CHECK	00-0-0000003080	2401 EAST 5TH STREET
13	42024	FA-7737	EXXON SHOP 4	00-0-0000026302	1755 ROBERTS AVENUE
14	42057	FA-7779	SUNDO KWIK SHOP 211	00-0-0000023336	1145 ROBERTS AVENUE
15	42167	FA-7916	Ruby Rabon Property	No Data	507 Norwood Ave

#	CityTown	County	ZipCode	Mgr	ROCode
1	LUMBERTON	ROBES	28358	KEC	FAY
2	LUMBERTON	ROBES	28358	KEC	FAY
3	LUMBERTON	ROBES	28358	KEC	FAY
4	LUMBERTON	ROBES	28358	KEC	FAY
5	LUMBERTON	ROBES	28358	KEC	FAY
6	LUMBERTON	ROBES	28358	KEC	FAY
7	LUMBERTON	ROBES	28358	KEC	FAY
8	LUMBERTON	ROBES	28358	KEC	FAY
9	LUMBERTON	ROBES	28358	STF	FAY
10	LUMBERTON	ROBES	28358	KEC	FAY
11	LUMBERTON	ROBES	28358	KEC	FAY
12	LUMBERTON	ROBES	28358	KEC	FAY
13	LUMBERTON	ROBES	28358	KEC	FAY
14	LUMBERTON	ROBES	28358	KEC	FAY
15	Lumberton	ROBES	28359	JWB	FAY

#	DateOccurred	DateReported	Comm	Reg	ConfRisk
1	February 22, 1988	February 22, 1988	N	N	Low Risk
2	March 15, 1990	March 15, 1990	C	R	Intermediate Risk
3	January 9, 1991	January 9, 1991	N	N	Low Risk
4	November 17, 1992	November 17, 1992	N	N	Low Risk
5	August 3, 1993	August 3, 1993	C	R	Low Risk
6	March 2, 1994	March 2, 1994	C	N	Low Risk
7	August 5, 1997	August 5, 1997	C	R	Low Risk
8	November 23, 1998	November 23, 1998	C	R	Low Risk
9	August 9, 2002	August 9, 2002	C	R	Low Risk
10	September 13, 2002	September 13, 2002	B	B	Low Risk
11	March 19, 2007	March 19, 2007	C	R	Low Risk
12	March 18, 2008	May 19, 2008	C	R	Low Risk
13	October 4, 2016	November 2, 2016	C	R	Intermediate Risk
14	April 3, 2017	June 1, 2017	B	R	Low Risk
15	November 8, 2018	November 14, 2018	N	N	Low Risk

#	LandUse	CloseOut	LURFiled	LUR_Resc	LUR_State
1	RES	November 1, 1995	No Data	No Data	No Data
2	RES	No Data	No Data	No Data	No Data
3	RES	March 21, 1991	No Data	No Data	No Data
4	RES	January 16, 1997	No Data	No Data	No Data
5	RES	April 30, 2003	No Data	No Data	No Data
6	RES	November 1, 1995	No Data	No Data	No Data
7	RES	April 30, 2003	No Data	No Data	No Data
8	RES	April 30, 2003	June 19, 2003	No Data	No Data
9	RES	July 1, 2020	June 22, 2020	No Data	B
10	RES	November 24, 2020	No Data	No Data	No Data
11	RES	June 25, 2007	September 20, 2007	No Data	G
12	RES	April 7, 2009	October 9, 2009	No Data	No Data
13	RES	No Data	July 20, 2017	No Data	B
14	RES	August 14, 2017	No Data	No Data	No Data
15	No Data	January 7, 2019	No Data	No Data	B

#	CurrStatus	CDNum	RRADate	RRARisk	RRARankCURR
1	A	58	No Data	No Data	0
2	C	0	March 26, 2021	I	220
3	A	174	No Data	No Data	0
4	A	596	No Data	No Data	0
5	A	243	No Data	No Data	0
6	A	58	No Data	No Data	0
7	A	243	No Data	No Data	0
8	A	243	No Data	No Data	0
9	C	0	No Data	No Data	0
10	C	0	September 28, 2018	L	85
11	A	596	No Data	No Data	0
12	A	598	No Data	No Data	0
13	C	No Data	June 5, 2020	I	175
14	A	No Data	August 14, 2017	L	20
15	C	No Data	No Data	No Data	0

#	RRAAbate	LatDec	LongDec	Count
1	No Data	34.636212	-78.974276	1
2	A	34.626478	-78.985011	1
3	No Data	34.632730	-78.992262	1
4	No Data	34.621810	-78.991808	1
5	No Data	34.614442	-78.984501	1
6	No Data	34.635601	-78.980995	1
7	No Data	34.614125	-78.984545	1
8	No Data	34.614442	-78.984501	1
9	No Data	34.635777	-78.979241	1
10	D	34.609368	-78.975110	1
11	No Data	34.620794	-78.980858	1
12	No Data	34.610300	-78.976500	1
13	A	34.631955	-78.992534	1
14	R	34.623404	-78.983180	1
15	No Data	34.618556	-78.992253	1

Above Ground Storage Tank Incidents

#	IncidentNumber	USTNum	IncidentName	FacIID	Address
1	95983	FA-92585	Hunters Lane Farm	No Data	700 Roberts Ave

#	CityTown	County	ZipCode	Mgr	ROCode
1	Lumberton	ROBES	28358	SBB	FAY

#	DateOccurred	DateReported	Comm	Reg	ConfRisk
1	1614297600000	1614297600000	No Data	No Data	Unknown Risk

#	LandUse	CloseOut	LURFiled	LUR_Resc	LUR_State
1	No Data	No Data	No Data	No Data	No Data

#	CurrStatus	CDNum	RRADate	RRARisk	RRAAbate
1	C	No Data	No Data	No Data	No Data

#	RRA_Rank	LatDec	LongDec	Count
1	0.00	34.621370	-78.981249	1

Underground Storage Tank Active Facilities

#	FACILID	FACILNAME	FACILADDRESS	FACILCITY	FACILZIP
1	00-0-0000003080	211 QUICK CHECK	2133 EAST 5TH STREET	LUMBERTON	28358
2	00-0-0000003716	MINUTEMAN 2	2887 E-TOWN HWY 41 E	LUMBERTON	28358
3	00-0-0000019560	7TH ST. MINI MART	610 ROBERTS AVENUE	LUMBERTON	28358
4	00-0-0000019091	LUMBERTON QUICK CHECK	1925 EAST 5TH STREET	LUMBERTON	28358
5	00-0-0000019193	WILLIAMSON MAZDA	1500 ROBERTS AVE. P.O. BOX 1351	LUMBERTON	28358
6	00-0-0000018416	ATKINSON 1, LLC	1302 ROBERTS AVE.	LUMBERTON	28358
7	00-0-0000026672	SUNDO KWIK SHOP - E 5TH ST	1811 EAST 5TH STREET	LUMBERTON	28358
8	00-0-0000026302	MINUTEMAN FOOD MART #38	1755 ROBERTS AVE.	LUMBERTON	28358
9	00-0-0000032352	OLIVER OIL CO	1811 EAST 5TH STREET	LUMBERTON	28358

#	FACILOWNERTYPE	NUMREGTANKS	NUMNONREGTANKS	NUMNONREGNONCOMTANKS	FACILLATDEC	FACILLONGDEC	Count
1	Private/Corporate	2	0	0	34.610392	-78.976590	1
2	Private/Corporate	5	0	0	34.635410	-78.984583	1
3	Private/Corporate	2	0	0	34.620788	-78.980831	1
4	Private/Corporate	4	0	0	34.612699	-78.980622	1
5	Private/Corporate	0	0	1	34.629400	-78.988800	1
6	Private/Corporate	5	0	0	34.626560	-78.984970	1
7	Private/Corporate	5	0	0	34.614478	-78.983850	1
8	Private/Corporate	4	0	0	34.632000	-78.992540	1
9	Private/Corporate	1	0	0	34.614496	-78.983786	1

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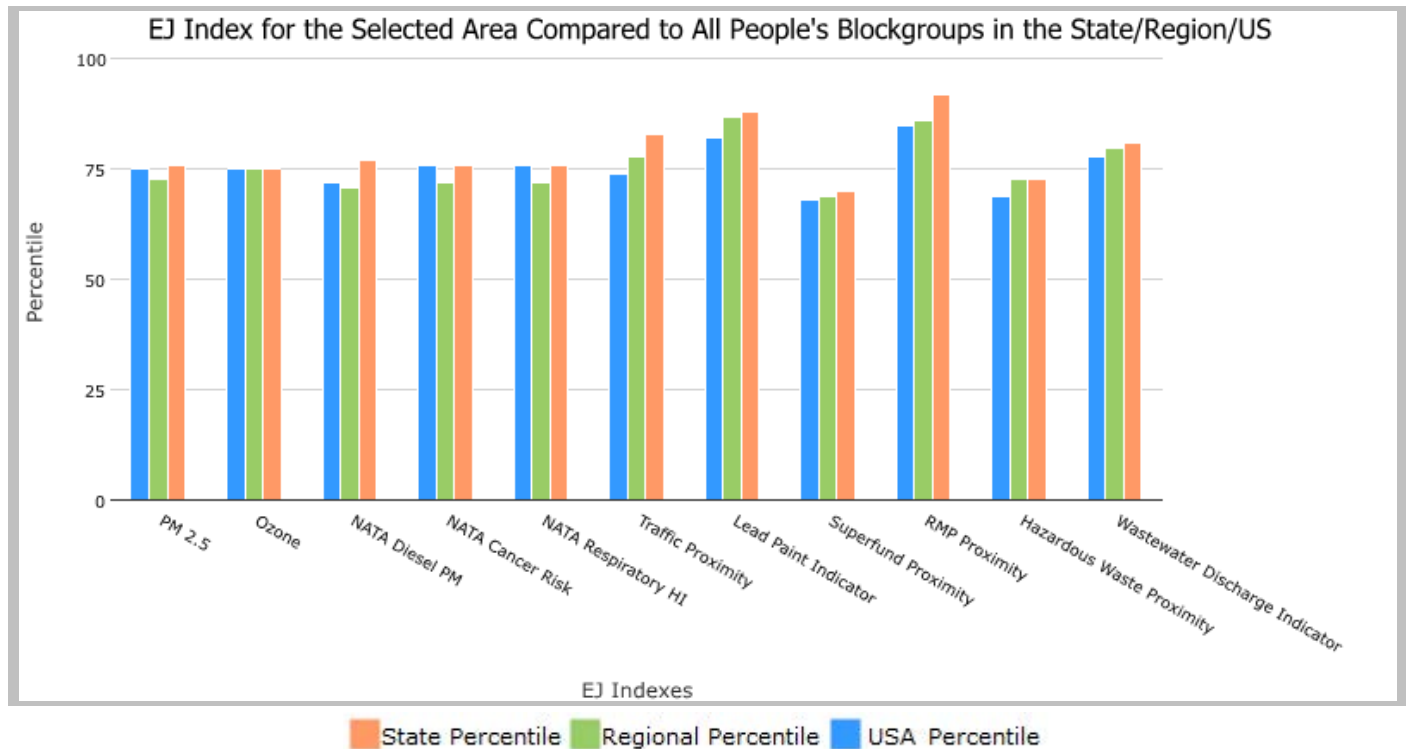
1 mile Ring Centered at 34.623956,-78.975445, NORTH CAROLINA, EPA Region 4

Approximate Population: 3,982

Input Area (sq. miles): 3.14

Proposed Northeast Pointe II

Selected Variables	State Percentile	EPA Region Percentile	USA Percentile
EJ Indexes			
EJ Index for PM2.5	76	73	75
EJ Index for Ozone	75	75	75
EJ Index for NATA* Diesel PM	77	71	72
EJ Index for NATA* Air Toxics Cancer Risk	76	72	76
EJ Index for NATA* Respiratory Hazard Index	76	72	76
EJ Index for Traffic Proximity and Volume	83	78	74
EJ Index for Lead Paint Indicator	88	87	82
EJ Index for Superfund Proximity	70	69	68
EJ Index for RMP Proximity	92	86	85
EJ Index for Hazardous Waste Proximity	73	73	69
EJ Index for Wastewater Discharge Indicator	81	80	78



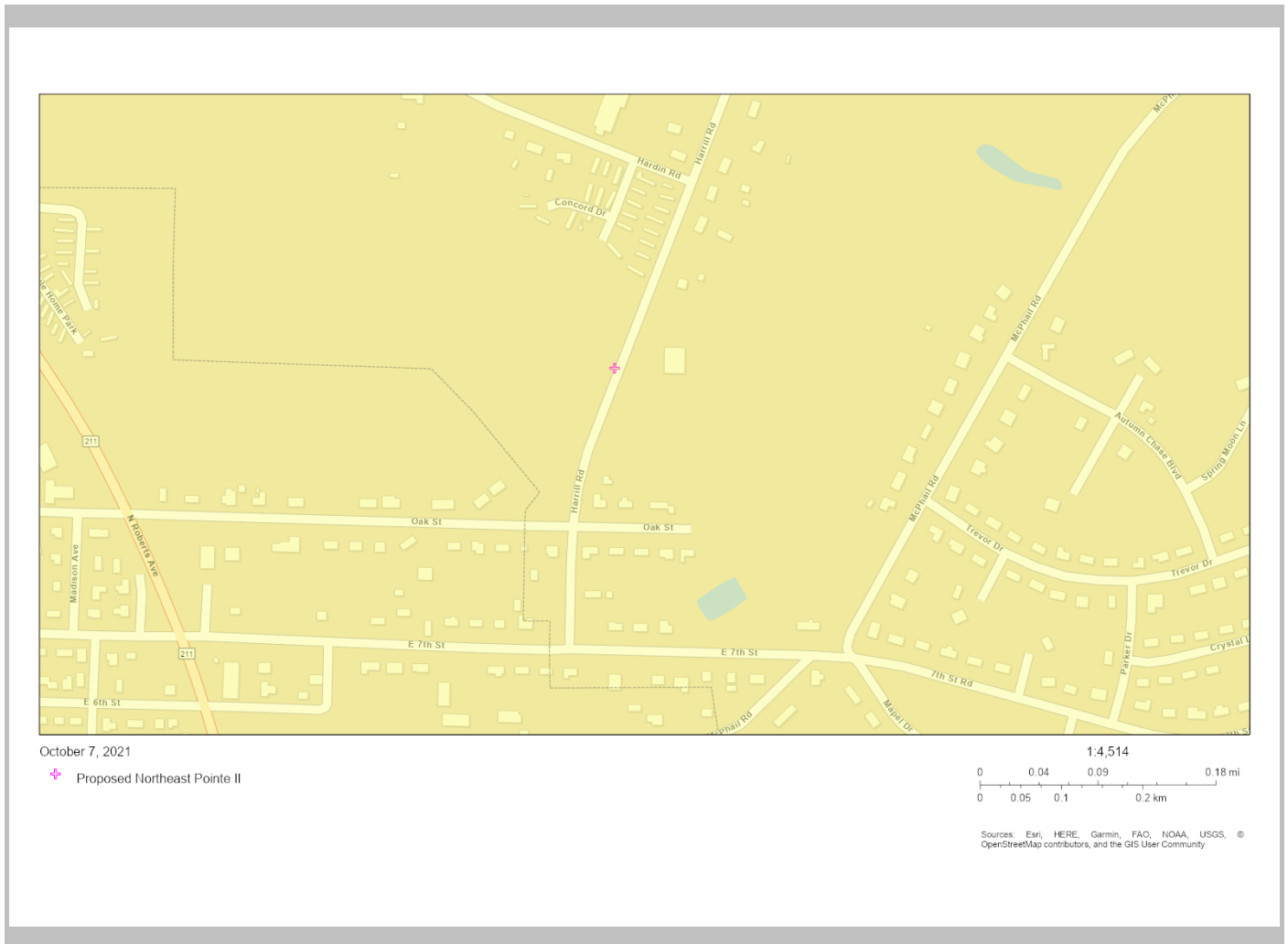
This report shows the values for environmental and demographic indicators and EJSCREEN indexes. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, if a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.

1 mile Ring Centered at 34.623956,-78.975445, NORTH CAROLINA, EPA Region 4

Approximate Population: 3,982

Input Area (sq. miles): 3.14

Proposed Northeast Pointe II



Sites reporting to EPA	
Superfund NPL	0
Hazardous Waste Treatment, Storage, and Disposal Facilities (TSDF)	0

EJSCREEN Report (Version 2020)



1 mile Ring Centered at 34.623956,-78.975445, NORTH CAROLINA, EPA Region 4

Approximate Population: 3,982

Input Area (sq. miles): 3.14

Proposed Northeast Pointe II

Selected Variables	Value	State Avg.	%ile in State	EPA Region Avg.	%ile in EPA Region	USA Avg.	%ile in USA
Environmental Indicators							
Particulate Matter (PM 2.5 in $\mu\text{g}/\text{m}^3$)	8.05	8.25	31	8.57	23	8.55	33
Ozone (ppb)	40.4	42.9	13	38	58	42.9	31
NATA* Diesel PM ($\mu\text{g}/\text{m}^3$)	0.294	0.309	54	0.417	<50th	0.478	<50th
NATA* Cancer Risk (lifetime risk per million)	34	34	42	36	<50th	32	60-70th
NATA* Respiratory Hazard Index	0.46	0.46	48	0.52	<50th	0.44	50-60th
Traffic Proximity and Volume (daily traffic count/distance to road)	260	230	74	350	67	750	53
Lead Paint Indicator (% Pre-1960 Housing)	0.29	0.16	83	0.15	83	0.28	61
Superfund Proximity (site count/km distance)	0.021	0.082	20	0.083	33	0.13	19
RMP Proximity (facility count/km distance)	1.3	0.39	93	0.6	86	0.74	82
Hazardous Waste Proximity (facility count/km distance)	0.44	1.3	44	0.91	54	5	36
Wastewater Discharge Indicator (toxicity-weighted concentration/m distance)	1.8E-05	0.16	59	0.65	55	9.4	47
Demographic Indicators							
Demographic Index	63%	36%	87	37%	84	36%	85
People of Color Population	63%	37%	80	39%	76	39%	74
Low Income Population	64%	36%	90	36%	89	33%	91
Linguistically Isolated Population	3%	2%	76	3%	71	4%	64
Population With Less Than High School Education	26%	13%	89	13%	88	13%	87
Population Under 5 years of age	8%	6%	75	6%	75	6%	72
Population over 64 years of age	14%	15%	49	17%	48	15%	52

* The National-Scale Air Toxics Assessment (NATA) is EPA's ongoing, comprehensive evaluation of air toxics in the United States. EPA developed the NATA to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that NATA provides broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. More information on the NATA analysis can be found at: <https://www.epa.gov/national-air-toxics-assessment>.

For additional information, see: www.epa.gov/environmentaljustice

EJSCREEN is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach. It does not provide a basis for decision-making, but it may help identify potential areas of EJ concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EJSCREEN outputs should be supplemented with additional information and local knowledge before taking any action to address potential EJ concerns.

Location: User-specified point center at 34.623956, -78.975445

Ring (buffer): 1-miles radius

Description: Proposed Northeast Pointe II

Summary	Census 2010
Population	3,658
Population Density (per sq. mile)	1,166
People of Color Population	2,169
% People of Color Population	59%
Households	1,543
Housing Units	1,681
Land Area (sq. miles)	3.14
% Land Area	100%
Water Area (sq. miles)	0.00
% Water Area	0%

Population by Race	Number	Percent
Total	3,658	-----
Population Reporting One Race	3,546	97%
White	1,557	43%
Black	1,296	35%
American Indian	514	14%
Asian	39	1%
Pacific Islander	5	0%
Some Other Race	135	4%
Population Reporting Two or More Races	112	3%
Total Hispanic Population	247	7%
Total Non-Hispanic Population	3,411	93%
White Alone	1,489	41%
Black Alone	1,283	35%
American Indian Alone	502	14%
Non-Hispanic Asian Alone	37	1%
Pacific Islander Alone	0	0%
Other Race Alone	3	0%
Two or More Races Alone	96	3%

Population by Sex	Number	Percent
Male	1,645	45%
Female	2,013	55%

Population by Age	Number	Percent
Age 0-4	300	8%
Age 0-17	919	25%
Age 18+	2,739	75%
Age 65+	497	14%

Households by Tenure	Number	Percent
Total	1,543	
Owner Occupied	688	45%
Renter Occupied	855	55%

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

Source: U.S. Census Bureau, Census 2010 Summary File 1.

Location: User-specified point center at 34.623956, -78.975445
 Ring (buffer): 1-miles radius
 Description: Proposed Northeast Pointe II

Summary of ACS Estimates		2014 - 2018
Population		3,982
Population Density (per sq. mile)		1,269
People of Color Population		2,501
% People of Color Population		63%
Households		1,478
Housing Units		1,612
Housing Units Built Before 1950		152
Per Capita Income		14,312
Land Area (sq. miles) (Source: SF1)		3.14
% Land Area		100%
Water Area (sq. miles) (Source: SF1)		0.00
% Water Area		0%

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population by Race			
Total	3,982	100%	282
Population Reporting One Race	3,963	100%	886
White	1,514	38%	183
Black	1,570	39%	269
American Indian	585	15%	140
Asian	1	0%	19
Pacific Islander	0	0%	12
Some Other Race	293	7%	263
Population Reporting Two or More Races	18	0%	73
Total Hispanic Population	298	7%	252
Total Non-Hispanic Population	3,683		
White Alone	1,480	37%	183
Black Alone	1,570	39%	269
American Indian Alone	574	14%	140
Non-Hispanic Asian Alone	1	0%	19
Pacific Islander Alone	0	0%	12
Other Race Alone	42	1%	65
Two or More Races Alone	15	0%	38
Population by Sex			
Male	1,823	46%	161
Female	2,159	54%	177
Population by Age			
Age 0-4	319	8%	96
Age 0-17	1,182	30%	155
Age 18+	2,799	70%	177
Age 65+	568	14%	73

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2014 - 2018

Location: User-specified point center at 34.623956, -78.975445

Ring (buffer): 1-miles radius

Description: Proposed Northeast Pointe II

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population 25+ by Educational Attainment			
Total	2,398	100%	139
Less than 9th Grade	199	8%	82
9th - 12th Grade, No Diploma	429	18%	78
High School Graduate	787	33%	97
Some College, No Degree	693	29%	103
Associate Degree	194	8%	52
Bachelor's Degree or more	291	12%	62
Population Age 5+ Years by Ability to Speak English			
Total	3,662	100%	264
Speak only English	3,464	95%	247
Non-English at Home ¹⁺²⁺³⁺⁴	198	5%	146
¹ Speak English "very well"	116	3%	104
² Speak English "well"	47	1%	64
³ Speak English "not well"	32	1%	95
⁴ Speak English "not at all"	4	0%	44
³⁺⁴ Speak English "less than well"	36	1%	104
²⁺³⁺⁴ Speak English "less than very well"	83	2%	121
Linguistically Isolated Households*			
Total	48	100%	49
Speak Spanish	48	100%	47
Speak Other Indo-European Languages	0	0%	12
Speak Asian-Pacific Island Languages	0	0%	12
Speak Other Languages	0	0%	12
Households by Household Income			
Household Income Base	1,478	100%	70
< \$15,000	385	26%	74
\$15,000 - \$25,000	184	12%	38
\$25,000 - \$50,000	471	32%	83
\$50,000 - \$75,000	161	11%	48
\$75,000 +	277	19%	70
Occupied Housing Units by Tenure			
Total	1,478	100%	70
Owner Occupied	587	40%	65
Renter Occupied	891	60%	65
Employed Population Age 16+ Years			
Total	2,923	100%	170
In Labor Force	1,602	55%	123
Civilian Unemployed in Labor Force	92	3%	34
Not In Labor Force	1,321	45%	119

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of anyrace.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS)

*Households in which no one 14 and over speaks English "very well" or speaks English only.

Location: User-specified point center at 34.623956, -78.975445

Ring (buffer): 1-miles radius

Description: Proposed Northeast Pointe II

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population by Language Spoken at Home*			
Total (persons age 5 and above)	2,555	100%	380
English	2,297	90%	426
Spanish	226	9%	206
French	2	0%	17
French Creole	N/A	N/A	N/A
Italian	N/A	N/A	N/A
Portuguese	N/A	N/A	N/A
German	0	0%	17
Yiddish	N/A	N/A	N/A
Other West Germanic	N/A	N/A	N/A
Scandinavian	N/A	N/A	N/A
Greek	N/A	N/A	N/A
Russian	N/A	N/A	N/A
Polish	N/A	N/A	N/A
Serbo-Croatian	N/A	N/A	N/A
Other Slavic	N/A	N/A	N/A
Armenian	N/A	N/A	N/A
Persian	N/A	N/A	N/A
Gujarathi	N/A	N/A	N/A
Hindi	N/A	N/A	N/A
Urdu	N/A	N/A	N/A
Other Indic	N/A	N/A	N/A
Other Indo-European	0	0%	17
Chinese	7	0%	27
Japanese	N/A	N/A	N/A
Korean	0	0%	17
Mon-Khmer, Cambodian	N/A	N/A	N/A
Hmong	N/A	N/A	N/A
Thai	N/A	N/A	N/A
Laotian	N/A	N/A	N/A
Vietnamese	2	0%	17
Other Asian	0	0%	17
Tagalog	0	0%	17
Other Pacific Island	N/A	N/A	N/A
Navajo	N/A	N/A	N/A
Other Native American	N/A	N/A	N/A
Hungarian	N/A	N/A	N/A
Arabic	22	1%	103
Hebrew	N/A	N/A	N/A
African	N/A	N/A	N/A
Other and non-specified	0	0%	17
Total Non-English	259	10%	571

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2014 - 2018.

*Population by Language Spoken at Home is available at the census tract summary level and up.

Robeson County, North Carolina†



POPULATION: 134,956

INCOME

Average Household Income

Robeson County: \$35,407

North Carolina: \$53,922

Residents who live below the poverty line



24.5%

Robeson County

14.1%

North Carolina

QUICK FACTS:

Out of 10 people living in this county

SEX



5 are male & 5 are female

AGE



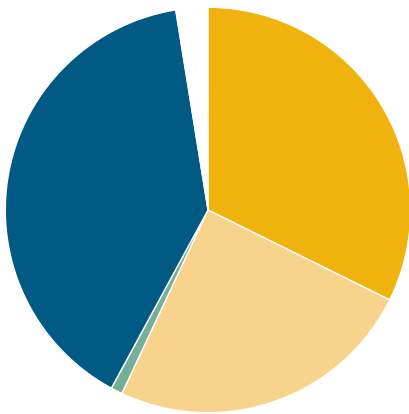
About 3 are between the ages of 0 and 19 years
 About 2 are between the ages of 20 and 34 years
 About 2 are between the ages of 35 and 49 years
 About 3 are 50 years and older

ETHNICITY



1 are Hispanic and 9 are non-Hispanic

RACE



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%3A%2F%2Fephrtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephrtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (../DataExplorer?query=C7380B65-728D-4621-A122-47283CF8B444&G5=9999) | Learn more about this topic (../InfoByLocation/showPcMain.action)

† 2019 data from the National Environmental Public Health Tracking Network (../showHome.action)



Asthma[†]

Percent of adults who currently have asthma

%

%

Asthma is a chronic disease that affects the airways that carry oxygen in and out of the lungs. Asthma can cause

- shortness of breath,
- wheezing,
- coughing, and
- tightness in the chest.

Asthma attacks have been linked to many factors, including exposure to environmental hazards like

- allergens,
- tobacco smoke, and
- indoor and outdoor air pollution.

Asthma can be controlled by taking medication and avoiding triggers that can cause an attack.

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out%20the%20people%20in%20my%20county.%20Visit%20https://ephrtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

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† data from the National Environmental Public Health Tracking Network (../showHome.action)



Air Quality: Ground-Level Ozone[†]



Robeson County residents were exposed to unhealthy levels of ozone for in .

Ozone occurs naturally in the sky and helps protect us from the sun's harmful rays. But ground-level ozone can be bad for your health and the environment. Ground-level ozone is one of the biggest parts of smog.

When ozone levels are above the national standard, everyone should try to limit their contact with it by reducing the amount of time spent outside.

Robeson County residents were exposed to unhealthy levels of ozone for in .

Check the EPA's Air Quality Index (AQI) at AirNow.gov (<http://www.AirNow.gov>) to see the current air quality conditions for your location. You can use the AQI to plan your daily activities to reduce exposure to ozone.

<https://twitter.com/share?>

[%3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking](https://twitter.com/share?text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

[out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.](https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic ([../showAirHealth.action](#))

† data from the National Environmental Public Health Tracking Network ([../showHome.action](#))



Air Quality: Particulate Matter[†]

ANNUAL AMBIENT CONCENTRATION OF PM_{2.5}

µg/m³*

Robeson County, North Carolina

$\mu\text{g}/\text{m}^3$ *

Annual National Standard

*Micrograms Per Cubic Meter ($\mu\text{g}/\text{m}^3$)

Air pollution is a leading environmental threat to human health. Particles in the air like dust, dirt, soot, and smoke are one kind of air pollution called particulate matter. Fine particulate matter, or $\text{PM}_{2.5}$, is so small that it cannot be seen in the air. Breathing in $\text{PM}_{2.5}$ may

- lead to breathing problems,
- make asthma symptoms or some heart conditions worse, and
- lead to low birth weight.

The national standard for annual $\text{PM}_{2.5}$ levels is $12.0\mu\text{g}/\text{m}^3$. When $\text{PM}_{2.5}$ levels are above 12, this means that air quality is more likely to affect your health.

In , the annual level of $\text{PM}_{2.5}$ in Robeson County was $\mu\text{g}/\text{m}^3$. *

* Micrograms per cubic meter (../InfoByLocation/images/content/PM2-5_5.jpg) ($\mu\text{g}/\text{m}^3$)

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out%20the%20people%20in%20my%20county.%20Visit%20https://ephracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

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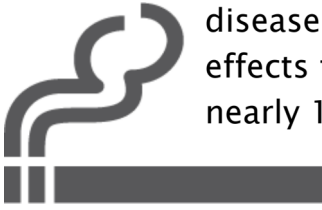
† data from the National Environmental Public Health Tracking Network (../showHome.action)



Smoking[†]



Tobacco use is the single most preventable cause of death and disease in the United States. Smoking harms nearly every organ of the body. It causes many diseases and reduces the health of smokers in general. The negative health effects from cigarette smoking account for an estimated 500,000 deaths, or nearly 1 of every 5 deaths, each year in the United States.



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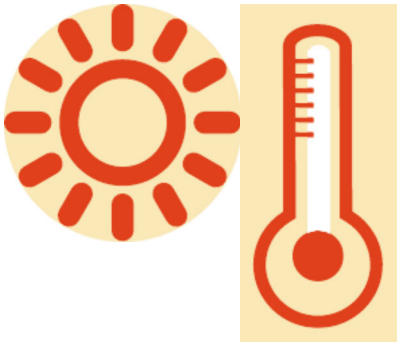
out%20the%20people%20in%20my%20county.%20Visit%20https://ephrtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showHBSmokingPrevalence.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Extreme Heat[†]



with temperatures above 90°F

Extreme summer heat is increasing in the United States, and climate projections indicate that extreme heat events will be more frequent and intense in coming decades. Extremely hot weather can cause illness or even death. Knowing how hot it gets in your area can help you prepare for extremely hot temperatures and prevent heat related illness (<http://emergency.cdc.gov/disasters/extremeheat/heattips.asp>).

Robeson County had with maximum temperatures above 90°F during May–September .

Heat-related death or illnesses are preventable if you follow a few simple steps.

- Stay cool.
- Stay hydrated.
- Stay informed.

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out%20the%20people%20in%20my%20county.%20Visit%20https://ephrtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showClimateChangeExtremeHeat.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Heart Attacks[†]



The environment is one of several factors (../showHeartExpRisk.action) that can lead to an increased risk for heart disease. High levels of air pollution and extreme hot and cold temperatures have been linked to increases in heart disease and deaths from heart attacks. A heart attack happens when a part of the heart muscle dies or gets damaged because of reduced blood supply.

In , there were

- deaths from heart attacks in Robeson County.
- deaths from heart attacks in North Carolina.

https://twitter.com/share?

%3A%2F%2Fephrtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephrtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showHeartAttack.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Access To Parks[†]



Live within half a mile of a park in Robeson County



Having access to places for physical activity, like parks, encourages people to get active and do so more often. The closer you live to a park, the more likely you are to walk or bike there. Walking and biking to parks can decrease air pollution and car crashes, which in turn, can reduce chronic disease rates and traffic-related injuries.

In ,
of people living in Robeson County lived within half a mile of a park.
of people living in North Carolina lived within half a mile of a park.

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3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20#environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showPcMain.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Proximity To Highways[†]



of Robeson County population that live within 150m of a highway

Traffic-related air pollution is a major cause of unhealthy air quality, especially in urban areas. Many health problems have been linked to exposure to traffic-related air pollution. The closer your home or school is to a major highway, the more likely you and your family are to be exposed to traffic-related air pollution.

In , of the population of Robeson County lived within 150 meters* of a major highway.

In , of Robeson County public schools (preK-4th grade) were sited within 150 meters* of a major highway.

* 150 meters is about 2 blocks.

<https://twitter.com/share?>

[%3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking](https://twitter.com/share?%3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

[out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.](https://twitter.com/share?out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showProximityToHighways.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Visit the Tracking Network for more information about your health and the environment.

www.cdc.gov/ephtracking (<http://www.cdc.gov/ephtracking/>)

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(<mailto:EPHT@LISTSERV.CDC.GOV?>

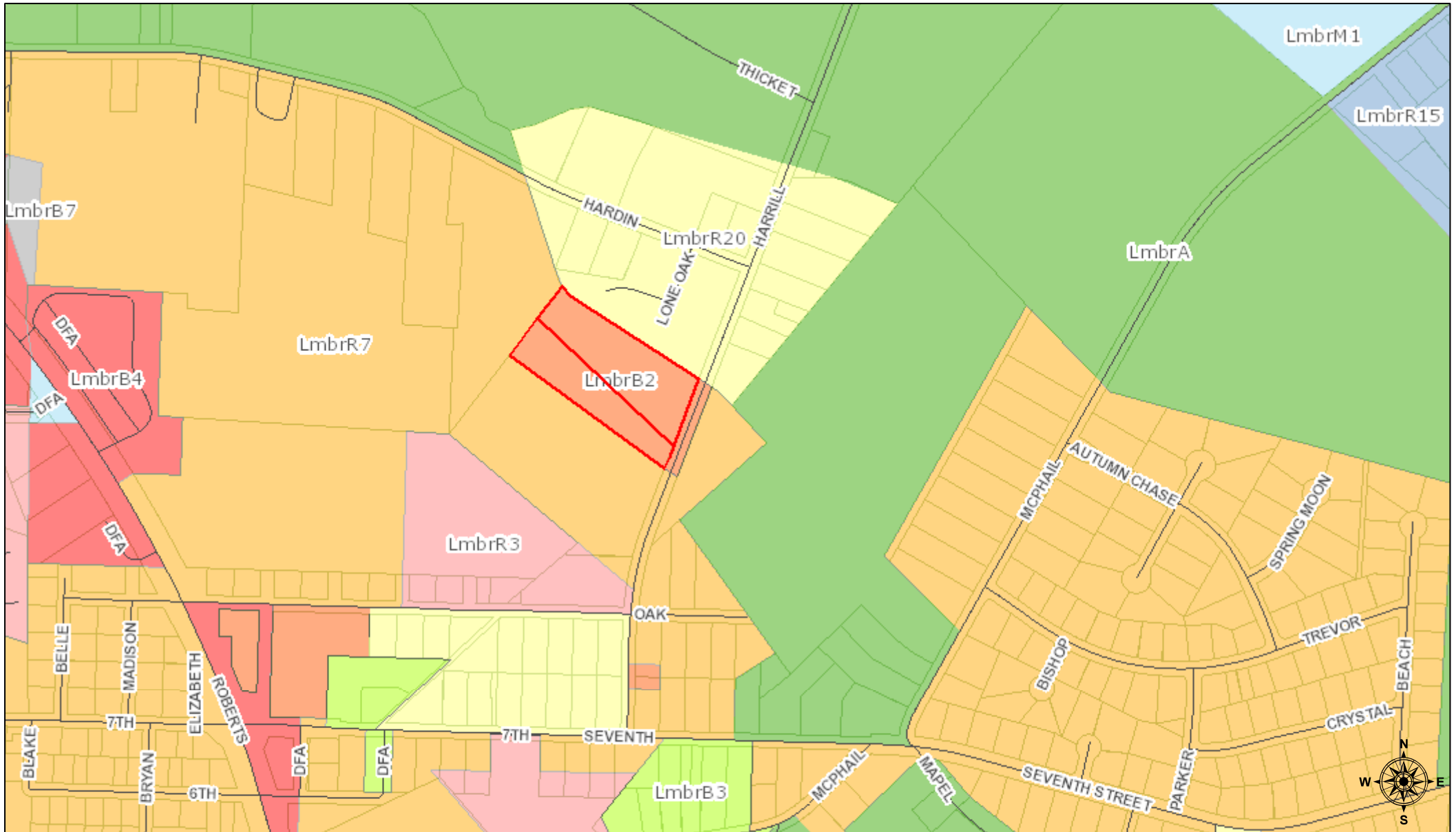
subject=Please%20add%20me%20to%20CDC's%20Environmen serv.&body=Please%20fill%20in%20the%20information%20bel



ATTACHMENT Q:

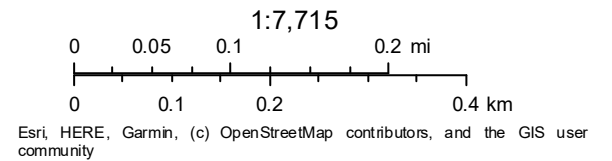
Zoning

Northeast Pointe II - Zoning



November 11, 2022

- Streets
- Parcels



City of



Lumberton

Planning & Neighborhood Services

April 19, 2021

Bobby Funk
Mills Construction
bobby@millsconstructionco.com

RE: Zoning letter for two parcels located on Harrill Road (Parcel #1014-01-003 and 1014-01-00304).

Greetings Mr. Funk:

The property in question, located on Harrill Road (Parcel #1014-01-003 and 1014-01-00304), is zoned B-2, business community, in accordance with the City of Lumberton's Official Zoning Map. The proposed use, being a multifamily development (use# 1.310 Multifamily residences other than mobile home parks) is an allowed use within the B-2 zoning district.

The B-2 and B-2H (community business) districts are designed to accommodate commercial development on a scale that is less intensive than that permitted in a B-1 district. A lesser intensity of development is achieved through setback, height, and minimum lot size requirements that are more restrictive than those applicable to the B-1 zone. The types of uses permissible in these zones are generally similar to the types permissible in a B-1 zone, except that additional automobile-oriented businesses (e.g. , drive-in banks and restaurants), not allowed in the B-1 zone, are permissible in these zones. The B-2 and B-2H thus may provide a transition in some areas between a B-1 zone and a residential zone or may provide for a smaller scale shopping center that primarily serves one neighborhood or area of the city (as opposed to a regional shopping center). The dimensional restrictions in the zone are also designed in appropriate areas to encourage the renovation for commercial purposes of buildings that formerly were single-family residences. The only difference between B-2 and B-2H zones is the difference in height limitations spelled out in section 35-186. Therefore, all other references in this chapter to the B-2 district shall be deemed to include the B-2H district.

Furthermore, a multifamily residential development shall not be located at a site where there exists more than three hundred fifty (350) approved multifamily residential units (including approved mobile home spaces and those within the proposed multifamily residential development) within a one-half-mile radius of the geographic center of the proposed multifamily residential development.

As of today, there are 266 multifamily residences located within a ½ mile radius of the aforementioned property and 84 units available.

City of



Lumberton

Planning & Neighborhood Services

Please note that you must submit site development plans, as well as, building plans and obtain applicable permits, from the Planning & Inspections Departments for the City of Lumberton and other applicable Federal, State, and Local agencies, prior to a change of use and/or development of property within the City of Lumberton's jurisdiction.

This information was provided on April 19, 2021, by the undersigned, on behalf of the City of Lumberton, North Carolina per request and as a public service. The undersigned certifies that the above information contained herein is believed to be accurate and is based upon, or relates to the information supplied by the requestor. The Zoning Authority assumes no liability for errors and omissions. All information was obtained from public records, which may be inspected during regular business hours.

If I may be of further assistance, please feel free to contact our office at (910) 671-3838.

Sincerely,

A handwritten signature in black ink, appearing to read "Ar'Triel A. Kirchner".

Ar'Triel A. Kirchner, MPA, CFM
Director of Planning & NS

ENCLSOURE

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 ROBESON CO, NC FEE \$26.00
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04-09-2021 04:17:27 PM
 VICKI L LOCKLEAR
 REGISTER OF DEEDS
 BY: TOMASA MORALES PEAVY
 ASSISTANT
BK: D 2278
PG: 680-682

Return to: City of Lumberton
 ORDINANCE AMENDING THE LAND USE ORDINANCE AND OFFICIAL ZONING MAP
 BY REZONING PROPERTY FROM R-7, RESIDENTIAL SINGLE FAMILY TO B-2,
 BUSINESS COMMUNITY

OWNER(S): MICHAEL P & BARBARA M. WALTERS
 APPLICANT(S) FRED GOODE MILLS
 PARCEL: 1014-01-003 & 1014-01-00304
 DEED: DEED BOOK 1827 PAGE 0878 & DEED BOOK 1998 PAGE 0606

WHEREAS, a petition requesting the rezoning of certain property was filed with the Director of Planning and Neighborhood Services on December 23, 2020;

WHEREAS, the proposed amendment initiated by said petition was submitted to the Planning Board for review and recommendation and the Planning Board did make a recommendation at its January 19, 2021, meeting;

WHEREAS, the City Council set a public hearing on the proposed amendment for February 10, 2021;

WHEREAS, the public notice of said public hearing was published in a newspaper having general circulation in the City of Lumberton on January 30, 2021 and February 6, 2021;

WHEREAS, written notice of said public hearing was mailed to the owners of the property to be rezoned as well as the owners as shown on the county tax listing of all properties, any portion of which is within one hundred fifty (150) feet of the property rezoned by the amendment, pursuant to G.S. 35-323 on January 21, 2021;

WHEREAS, a sign containing notification of said public hearing was posted on the property to be rezoned on January 30, 2021;

WHEREAS, a public hearing on the question of rezoning was held on February 10, 2021, and all persons were given an opportunity to be heard;

WHEREAS, the City Council of the City of Lumberton does hereby determine and find that in accordance with the City of Lumberton's comprehensive zoning plan and for the purpose of promoting the health, safety, morals and the general welfare of the community, the property hereinafter described is best suited to be designated as Agriculture and;

WHEREAS, G.S. 160A-381 grants to the City of Lumberton the power to zone, G.S. 60A-382 permits the City of Lumberton to divide its territorial jurisdiction into districts, and G.S. 160A-385 permits the City of Lumberton to amend its zoning boundaries;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lumberton that the Land Use Ordinance and Official Zoning Map of the City of Lumberton be and the same is hereby amended by rezoning that property more fully described herein from R-7, residential single family to B-2, business community, said property being described as follows:

Pin: 1014-01-003 Deed Book 1998 Page 606

FIRST TRACT: Situate East of the City of Lumberton, North Carolina and adjacent to the corporate limits and North of N.C. Rural Paved Road 2104 (Flowers Road) but not adjacent to said road and South of Wolf Branch Canal. Adjoining the lands of L.M. Huggins, Frank McLeod, Belle E. Rozier Estate, Rufus McLean Estate and Murch R. Butler. BEGINNING at an iron stake in Wolf Branch Canal where a ditch intersects the canal, said stake being L.M. Huggins corner, and runs thence with the center of the ditch and Huggins line and the line of the Frank McLeod lands, South 51 degrees 15 minutes West 11.65 chains to an iron stake in said ditch, a corner of the McLeod lands; thence continuing with said ditch, South 3 degrees West 5.15 chains to a concrete monument at the junction of two (2) ditches; another corner of the McLeod lands; thence with the center of a small ditch, North 48 degrees West 7.00 chains to a stake, McLeod's corner in a sand clay road in the Belle E. Rozier Estate line; thence with the road and the Rozier Estate line, North 51 degrees 30 minutes East 3.92 chains to an iron stake, another corner of the Rozier Estate lands; thence North 51 degrees 30 minutes West 10.48 chains to an iron stake, a corner of the Rozier Estate and Rufus McLean Estate lands; thence with the McLean line, North 41 degrees 30 minutes East 11.00 chains to an iron stake on the South bank and in the bend of Wolf Branch Canal where a ditch intersects said canal; thence up the center of Wolf Branch Canal and with Murch R. Butler's line, South 58 degrees East 11.80 chains to a point in said canal; thence continuing with the center of said canal and the Butler line, South 41 degrees East 4.20 chains to the beginning, containing 20 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Paul H. Harrill et ux, Ruth McNeill Harrill to W.R. York et ux, Hexie M. York and duly recorded in Book 15-E, at Page 241, Robeson County Registry.

LESS AND EXCEPT from the above described tract or parcel of land that certain .50 acre parcel as described in Deed recorded in Book 15-E, at Page 242, Robeson County Registry.

SECOND TRACT: Situate East of the City of Lumberton, North Carolina and North of N.C. Rural Paved Road Number 2102 (Flowers Road) and on the East side of Sand Clay Road, known as the Paul H. Harrill Road. ADJOINING other lands of Frank A. McLeod and lands of Belle E. Rozier Estate and W.R. York. BEGINNING at an iron stake in the northern right of way of Oak Street, at the junction of Oak Street and Harrill Road, said point of beginning being the Frank McLeod and Rozier Estate line and runs thence with the Rozier Estate and McLeod line along the Harrill Road, North 51 degrees 30 minutes East 134.0 feet to W.R. York and McLeod corner in the Rozier line; thence with York and McLeod line along the center of a ditch, South 48 degrees East 156.0 feet to a stake in the center of said ditch; thence North 85 degrees 30 minutes West 216.0 feet to the beginning, containing 0.2 acres, more or less.

And being the same property conveyed by Deed dated 17 March 1965 from Frank A. McLeod et ux, Sara C. McLeod to W.R. York et ux, Hexie M. York and duly recorded in Book 15-E, at Page 243, Robeson County Registry.

**** LESS AND EXCEPT THE FOLLOWING TRACTS OF LAND:**

1. All of that 0.16-acre tract conveyed by Deed dated 18 December 1997 from Mack White Investments, Inc to Tarheel Specialties, Inc. and recorded in Deed Book 981, Page 638, Robeson County Registry.

2. All of that 4.00 acres conveyed by Deed dated 5 January 2006 from Mack White Investments, Inc. to Michael P. Walters and wife, Barbara M. Walters and recorded in Deed Book 1515, Page 259, Robeson County Registry.
3. All of that 2.89 acres conveyed by Deed dated 19 April, 2002 from Mack White Investments, Inc. to Heaven Bound New Vision Church, Inc. and recorded in Deed Book 1227, Page 294, Robeson County Registry.
4. All of that 2.11 acres conveyed by Deed dated 18 December 1997 from Mack White Investments, Inc. to Chris Oxendine, Trent Locklear, Raymond Cummings dba LOC Rentals, a North Carolina Partnership and recorded in Deed Book 983, Page 834, Robeson County Registry.

Pin: 1014-01-00304 Deed Book 1827 Page 878

All that certain tract of land lying and being on the east side of the corporate limits of the City of Lumberton, NC, and on the west side of and adjacent to SR 2126, bounded on the west by the lands of Geneva Gilles and Annie Thompson (Book 13-I., Page 299) and on the north by Crestview Subdivision (Map Book 18, Page 34) and other lands of Mack White Investments, Inc. (Book 948, Page 17) on all other sides and being more particularly described as follows:

BEGINNING at a railroad spike found in the center of SR 2126 the northeast corner of the original 20 acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., said spike being located North 22 degrees 34 minutes 08 seconds East 971.97 feet from a nail found where the centerline of SR 2126 intersects with the centerline of Oak Street, which is located North 05 degrees 58 minutes 15 seconds East 492.54 feet from a nail found at the centerline intersection of SR 2126 and 7th Street, and runs thence from the point of BEGINNING with the centerline of SR 2126 South 25 degrees 44 minutes 36 seconds West 287.00 feet to a nail set in said center; thence with a new line North 47 degrees 01 minutes 31 seconds West 773.34 feet to an iron rod set in the west line of the original tract; thence with said line North 41 degrees 41 minutes 23 seconds East 197.00 feet to a pump pipe found in the north corner of the original tract; thence with the north line of the original tract to and with a ditch South 53 degrees 22 minutes 54 seconds East 697.02 feet to the point of BEGINNING, containing 4.0 acres, more or less.

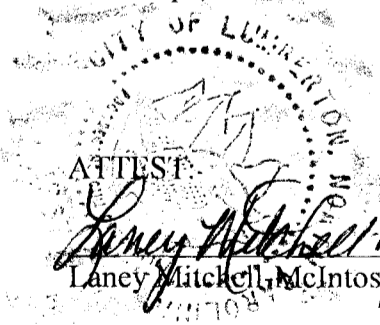
Being a portion of that 20-acre tract conveyed from Ira Mac McGee to Mack White Investments, Inc., by Deed recorded in Book 948, Page 17, Robeson County Registry.

And being the same tract or parcel of land conveyed from Mack White Investments, Inc. to Michael P. Walters and wife, Barbara M. Walters by Deed dated January 5, 2005, and recorded in Book 1515, Page 259, Robeson County Registry.

This being the same tract or parcel of land conveyed from Michael P. Walters and wife, Barbara M. Walters to Four-County Community Services, Inc., by Gift Deed dated January 9, 2006, recorded in Book 1528, Page 214, Robeson County Registry.

This Deed is given pursuant to an Agreement to Re-Convey Lands dated January 9, 2006, recorded in Book 1528, Page 217, Robeson County Registry.

On motion of Councilman Carroll, seconded by Councilman Cantey, the foregoing Amendment was adopted on the 17th day of February, 2021.



Bruce W. Davis
Bruce Davis, Mayor

Laney Mitchell McIntosh
Laney Mitchell McIntosh, City Clerk

APPROVED AS TO FORM AND LEGAL SUFFICIENCY:

E. Holt Moore, III
E. Holt Moore, III, City Attorney

Ordinance No. 2021.02.17.01

City of



Lumberton

Planning & Neighborhood Services

April 29, 2022

TIM GRISSINGER
BATEMAN CIVIL SURVEY COMPANY
2524 RELIANCE AVE
APEX, NC 27539

NOTICE OF CONDITIONAL SITE PLAN APPROVAL

Greetings Mr. Grissinger:

We have conditionally approved the revised site development plans for Northeast Pointe Apartments (Phase II), to be located on Harrill Rd. parcel # 101401003 and 10140100304 with the following:

Planning (910) 671 – 3838

- 1) Please provide copy of final approved NCDOT driveway permit.**
- 2) Please provide copy of final approved NCDEQ/DENR erosion control permit.**
- 3) Please provide copy of final approved stormwater permit.**

The next step is to contact satisfy the aforementioned conditions ---contact the Inspections Department (910) 671-3838, and obtain all of the necessary permits. If you have any questions please do not hesitate to me at (910) 671-3838.

Sincerely,

Sincerely,

A handwritten signature in black ink, appearing to read 'Brian Nolley', is written over a light blue horizontal line.

Brian Nolley, MPA, CZO
Assistant Director of Planning & NS



CITY OF LUMBERTON
CITY COUNCIL
MINUTES • FEBRUARY 17, 2021

Special Meeting

Third Floor Conference Room

11:00 AM

500 N Cedar St, Third Floor, Lumberton, NC 28358

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Bruce W. Davis	Mayor	Excused	
Leroy Rising	Mayor Pro Tem	Present	
Melissa Robinson	Precinct 2	Present	
John R. Carroll	Precinct 3	Present	
Karen Higley	Precinct 4	Present	
John Cantey	Precinct 5	Present	
Chris Howard	Precinct 6	Present	
Eric Chavis	Precinct 7	Present	
Owen Thomas	Precinct 8	Present	
Wayne Horne	City Manager	Present	
Brandon Love	Deputy City Manager	Present	
Holt Moore	City Attorney	Present	
Laney Mitchell-McIntosh	City Clerk	Present	

II. INVOCATION: CITY ATTORNEY MOORE

III. AGENDA ITEMS

- A. Jason M. Britt, Britt & Hammonds Investment Properties, LLC. Rezoning petition for property located on Old Whiteville Road (parcel # 2905-01-009). – ArTriel Kirchner, Planning Director

Jason M. Britt has submitted a Rezoning petition for a portion of property located on Old Whiteville Road (parcel # 2905-01-009). This request is to rezone property from R-20, residential single family to 'A', agriculture for a single family residential subdivision.

Due to COVID-19 restrictions, on February 10, 2021 City Council continued the public hearing to their February 17, 2021 Council meeting..

Recommends that City Council continue the public hearing and make a decision regarding this request.

City Attorney Moore polled Council and it was a unanimous vote of City Council acknowledging that they are aware of the Permissible Uses within the Land Use Plan that are associated with the rezoning of said property.

RESULT:	APPROVED [7 TO 0]
MOVER:	Karen Higley, Precinct 4
SECONDER:	Owen Thomas, Precinct 8
AYES:	Robinson, Carroll, Higley, Cantey, Howard, Chavis, Thomas
ABSTAIN:	Rising
EXCUSED:	Davis

B. Fred G Mills Rezoning request for two parcels located on HARRILL RD. – ArTriel Kirchner, Planning Director

The Planning & Neighborhood Services Department received a Rezoning petition for two parcels located on Harrill Road (Parcel #1014-01-003 and 1014-01-00304). This request is to rezone the property from R-7, residential single family to B-2, business community for the construction of a multifamily development.

Due to COVID-19 restrictions, on February 10, 2021 City Council continued the public hearing to their February 17, 2021 Council meeting.

Recommends that City Council continue the public hearing and make a decision regarding this request.

Councilman Carroll stated that he has toured the property several times and the only concern that he has is the additional traffic. He stated that Harrill Road is used as a bypass. He asked if the applicant can request for turning lanes in both directions at the entrance.

Attorney Jessica Scott stated that the applicant has a representative available to answer any questions that Council may have.

Mr. Bobby Funk stated that they have had conversations concerning the road capacity and design. He stated that there is adequate capacity; however, widening and repaving they are working on coordination with NCDOT.

RESULT:	APPROVED [7 TO 0]
MOVER:	John R. Carroll, Precinct 3
SECONDER:	John Cantey, Precinct 5
AYES:	Robinson, Carroll, Higley, Cantey, Howard, Chavis, Thomas
ABSTAIN:	Rising
EXCUSED:	Davis

C. Lumberton Housing Authority Rezoning request for property located on Caton Rd. – ArTriel Kirchner, Planning Director

The Planning & Neighborhood Services Department received a Rezoning petition for property located on Caton Rd (Parcel # 161001005/Deed Book 2099 Page 128). This request is to rezone the property from M-2, Heavy manufacturing to R-3, residential multifamily for the construction of a multifamily development.

Due to COVID-19 restrictions, on February 10, 2021 City Council continued the public hearing to their February 17, 2021 Council meeting.

Recommends that City Council continue the public hearing and make a decision regarding this request.

Councilman Chavis expressed his concerns with the crime in this area. He would like to know how Lumberton Housing Authority intend on controlling this issue. Executive Director Adrian Lowery stated that they have revamped the application process: (1) extensive background check (2) credit report. Also, there are several criminal registries that we use. We also track calls so that we can stay on top of all reports.

RESULT:	APPROVED [7 TO 0]
MOVER:	Eric Chavis, Precinct 7
SECONDER:	John Cantey, Precinct 5
AYES:	Robinson, Carroll, Higley, Cantey, Howard, Chavis, Thomas
ABSTAIN:	Rising
EXCUSED:	Davis

- D. Lumberton Housing Authority. Conditional Use Permit petition for property located at 307 Martin Luther King Jr. Drive (parcel # 3237-03-00101). – ArTriel Kirchner, Planning Director

Adrian Lowery has submitted a Conditional Use Permit petition for property located at 307 Martin Luther King Jr. Drive (parcel # 3237-03-00101). This request is to allow for the operation of a government office. Per Section 35-149 Table of Permissible Uses, government offices require a Conditional Use Permit.

Due to COVID-19 restrictions, on February 10, 2021 City Council continued the public hearing to their February 17, 2021 Council meeting. Recommends that City Council continue the public hearing and make a decision regarding this request.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	John Cantey, Precinct 5
SECONDER:	Chris Howard, Precinct 6
AYES:	Rising, Robinson, Carroll, Higley, Cantey, Howard, Chavis, Thomas
EXCUSED:	Davis

IV. ADJOURNMENT

ATTACHMENT R:

Hazards and Nuisances



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet is designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Housing Requirements – PARTNER

Many Housing Division programs have additional requirements beyond those listed at 50.4. Some of these relate to compliance with 50.3(i) and others relate to site nuisances and hazards.

Requirements for evaluating additional housing requirements vary by program. Refer to the appropriate guidance for your program area (i.e., the Multifamily Accelerated Processing (MAP) guide, Chapter 7 of the Healthcare Mortgage Insurance Handbook, etc.) for specific requirements.

Lead-based paint

Lead-based paint may be present in buildings built prior to 1978. Guidance materials related to lead-based paint, including a helpful online Lead Rule Compliance Advisor, may be found by following on HUD’s website. Buildings constructed in 1978 or later do not require lead-based paint testing. Refer to specific program guidance for additional exemptions and requirements.

Was a lead-based paint inspection or survey performed by the appropriate certified lead professional?

- Yes. → *Continue to next question.*
- No, because the project was previously deemed to be lead free. → *Provide all lead free certificates.*
- No, because the project does not involve any buildings constructed prior to 1978. → *Provide documentation of construction date(s).*
- No, because program guidance does not require testing for this type of project. (For example: HUD’s lead-based paint requirements at 24 CFR Part 35 do not apply to housing designated exclusively for the elderly or persons with disabilities, unless a child of less than 6 years of age resides or is expected to reside in such housing. In addition, the requirements do not apply to 0-bedroom dwelling units.) → *Explain determination below.*

Was lead-based paint identified on site?

- Yes. → *Refer to program guidance for remediation requirements. Describe the testing procedure and findings in the textbox below and any necessary mitigation measures in the Mitigation textbox at the bottom of this screen. Upload all documentation below.*
- No. → *Provide all testing documents demonstrating that no lead-based paint was found.*

Describe how exemption or compliance was met and provide any relevant documents such as reports, surveys, and letters.

No lead paint testing was conducted at the proposed project site since the property is undeveloped and there were no existing structures at the time of the site inspection.

Radon

Many Housing Programs require radon testing and mitigation. Radon is a colorless, odorless gas that can enter the air inside of buildings. Refer to specific program guidance for testing and mitigation requirements.

Was radon testing performed following the appropriate and latest ANSI-AARST standard?

- Yes → *Continue to next question.*
- No, because program guidance does not require testing for this type of project. → *Note that radon testing is encouraged for all HUD projects, even where it is not required. Explain why radon testing was not completed below.*

Did testing identify one or more units with radon levels above the EPA action level for mitigation?

- Yes → *Refer to program guidance for remediation requirements. Describe the testing procedure, findings, and mitigation measures below and provide all documentation.*
- No → *Provide all testing documents demonstrating that radon was not found above EPA action levels for mitigation.*

Describe how exemption or compliance was met and provide any relevant documents such as reports, surveys, and letters.

No radon testing was conducted at the proposed project site since the property is undeveloped and there were no existing structures at the time of the site inspection. According to the North Carolina - EPA Map of Radon Zones, generated at <http://www.epa/radon/zonemap.html>, Robeson County is considered a Zone 3 county for potential radon exposure in North Carolina. Zone 3 counties have a predicted indoor radon screening level of less than 2 picocuries per liter (pCi/L) of air. Radon testing was not performed as part of this investigation. For new construction projects, a post-construction report by a radon professional is required only after testing has been conducted, in accordance with Section 9.5.C of the MAP guide. HUD will rely on the project Architect (who has E & O insurance) to incorporate any required radon resistant construction design or radon mitigation system(s) into the architectural plans, if required. HUD encourages the Architect to seek technical advice from a licensed radon professional should they believe it to be necessary in their professional judgment. During construction, all radon resistant construction must be completed under the direct supervision of a Radon Professional. In addition, post-construction testing and a Radon O&M Plan are required and to be completed by a Radon Professional in accordance with the HUD MAP Guide. A copy of the North Carolina - EPA Map of Radon Zones showing the approximate site location is attached.

Asbestos

Asbestos may be present in buildings built prior to 1978. Buildings constructed in 1978 or later do not require an asbestos survey. Refer to specific program guidance for additional exemptions and requirements.

Was a comprehensive asbestos building survey performed pursuant to the relevant requirements of the latest ASTM standard?

- Yes

- No, because the project does not involve any buildings constructed prior to 1978. → *Provide documentation of construction date(s).*
- No, because program guidance does not require testing for this type of project. → *Explain in textbox below.*

Was asbestos identified on site?

- Yes, friable or damaged asbestos was identified. → *Refer to program guidance for remediation requirements. Describe the testing procedure, findings, and mitigation measures below and provide all documentation.*
- Yes, asbestos was identified, but it was not friable or damaged. → *Refer to program guidance for remediation requirements. Describe the testing procedure, findings, and mitigation measures below and provide all documentation.*
- No → *Provide all testing documents demonstrating that no asbestos was found.*

Describe how exemption or compliance was met and provide any relevant documents such as reports, surveys, and letters.

No asbestos testing was conducted at the proposed project site since the property is undeveloped and there were no existing structures at the time of the site inspection.

Additional Nuisances and Hazards

Many Housing Programs have additional requirements with respect to common nuisances and hazards. These include High Pressure Pipelines; Fall Hazards (High Voltage Transmission Lines and Support Structures); Oil or Gas Wells, Sour Gas Wells and Slush Pits; and Development planned on filled ground. There may also be additional regional or local requirements.

Describe how compliance was met for any relevant nuisance, hazard or local requirement and provide any relevant documents such as reports, surveys, and letters.

The proposed project site is in an area predominantly used for residential and institutional purposes in Lumberton, NC. Areas to the north, south, and west are either wooded/undeveloped, partially used for agricultural purposes, or residentially developed. The adjacent property to the south is occupied by the Northeast Pointe I Apartments. The area to the west includes a church, wooded/undeveloped property, and residential properties. A powerline easement is located along the eastern boundary of the site, parallel with Harrill Road.

Based on observations during the site inspection, which occurred on September 14, 2021, there were no nuisances or hazards found in connection with the subject site. A Nuisance and Hazard Checklist was completed by the site investigator at the time of the site inspection and a copy is attached along with the figures showing the site location and site plans.

Other potential hazards were considered including high pressure pipelines and oil & gas wells. Based on the American Geosciences Institute (AGI) National Pipeline Mapping System interactive map online, the site is located within one mile of two portions of gas transmission pipelines. One of the sections of pipeline is oriented from north to south and is approximately 0.6 mile (3,168 feet) east of the proposed site location. The other nearby section is oriented from northwest to southeast and is approximately 0.8 mile

(4,224 feet) north of the proposed site location. The map shows that there have been no incidents within at least one mile of the site. Additionally, there are no hazardous liquid pipelines in the vicinity of the site. A copy of the AGI map is attached, showing the site location in proximity to known transmission pipelines.

The NC Department of Environmental Quality Oil and Gas Program's NC Oil and Gas Wells Map indicates that there are no oil and gas wells located in Robeson County; therefore, oil and gas wells are not considered a nuisance to the proposed project.

Nuisance and Hazard Checklist

for recording impacts considered under Item 28 of HUD-Form 4128

Project Name	Investigator(s)	Site Visit Date
Northeast Pointe II Apartments	Tamara Cagle	September 14, 2021

Check those features that were observed on or adjacent to the property at the time of the visit.

NATURAL HAZARDS			
No	Faults, fractures	No	Fire hazard materials
↓	Cliffs, bluffs, crevices	↓	Wind/sand storm concerns
↓	Slope-failures from rains	↓	Poisonous plants, insects, animals
↓	Unprotected water bodies	↓	Hazardous terrain features
BUILT HAZARDS & NUISANCES			
No	Hazardous street	No	Inadequate screened drainage catchments
↓	Dangerous intersection	↓	Hazards in vacant lots
↓	Through traffic	↓	Chemical tank-car terminal
↓	Inadequate separation of pedestrian/vehicle traffic	↓	Other hazardous chemical storage
↓	Play areas next to freeway or other highway traffic	↓	High pressure gas or liquid petroleum transmission lines on site
↓	Inadequate street lighting	↓	Overhead transmission lines
↓	Quarries or other excavations	↓	Hazardous cargo transportation routes
↓	Dumps/sanitary landfills or mining	↓	Oil or gas wells
↓	Railroad crossing	↓	Industrial operations
NUISANCES			
No	Gas, smoke, fumes	No	Unsightly land uses
↓	Odors	↓	Front lawn parking
↓	Vibration	↓	Abandoned vehicle
↓	Glare from parking area	↓	Vermin infestation
↓	Vacant/boarded up buildings	↓	Industrial nuisances
↓	Other (Specify)	↓	Other (Specify)

Were any nuisances or hazards observed?

Yes No

If yes, list mitigation strategies below.

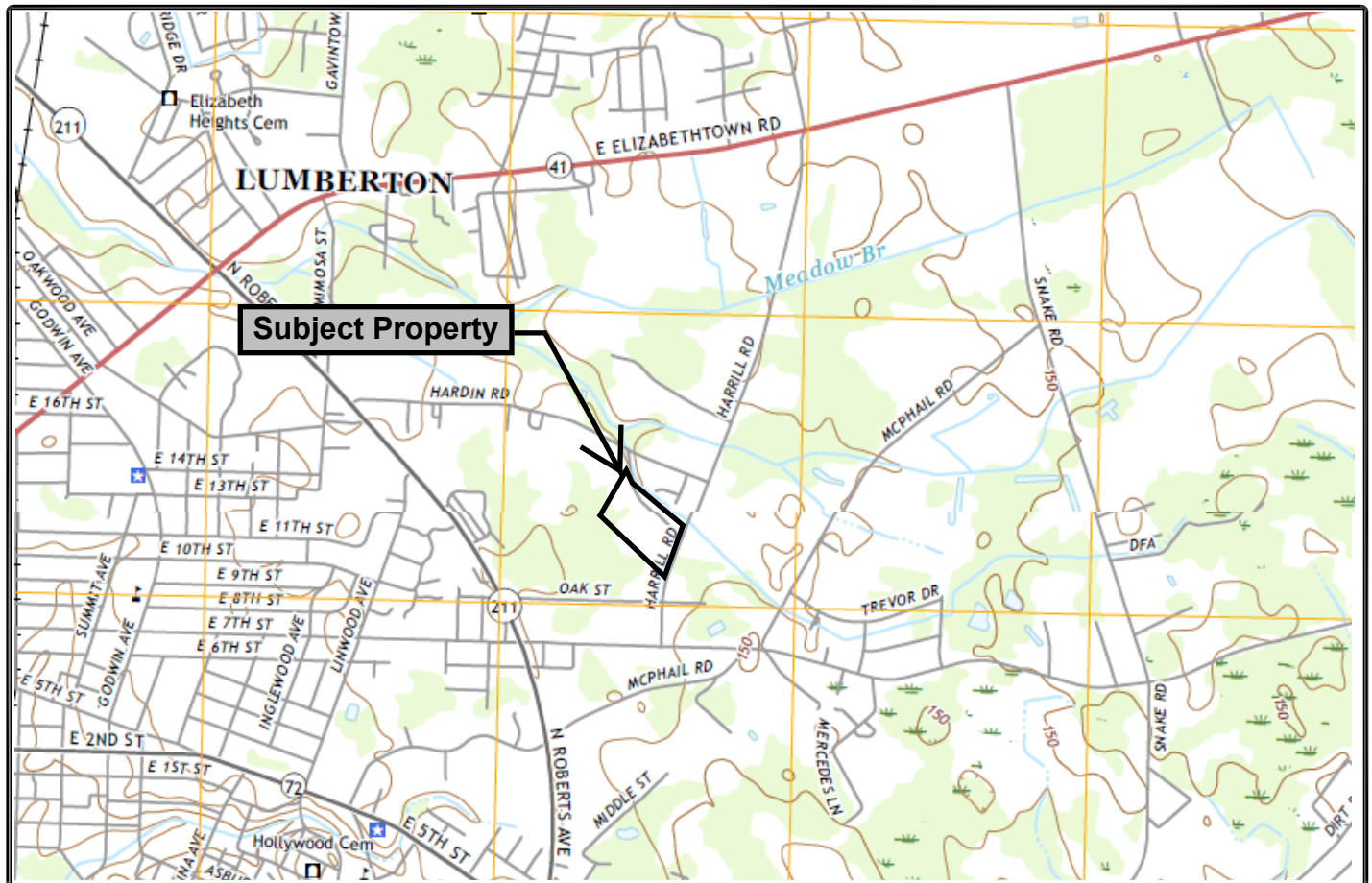
Tamara R. Cagle
Lead Investigator's Signature

September 14, 2021
Date

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina

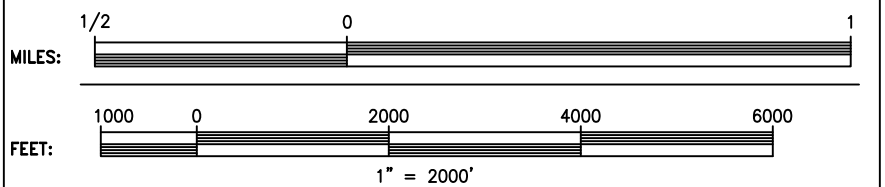


USGS IDENTIFICATION

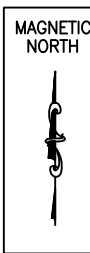
USGS 7.5 MINUTE MAP	Northeast & Southeast Lumberton, NC
ORIGINAL DATE: 2019	
PHOTOREVISION DATE: N/A	

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

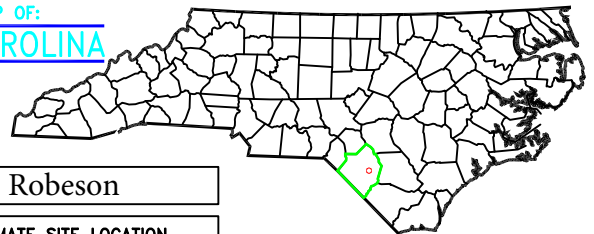
SCALES



NOTES: ▶ TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
▶ PHOTOREVISIONS DENOTED IN PURPLE



COUNTY MAP OF: NORTH CAROLINA



	COUNTY: Robeson
	APPROXIMATE SITE LOCATION

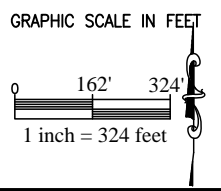


CLIENT: Mills Construction Co., Inc.	SCALE: 1" = 2,000'
PROPERTY NAME: 219 Harrill Road	DRAWN BY: JRD
CITY: Lumberton STATE: North Carolina	CHECK BY: BSH
TITLE: Topographic Map	DATE: 09/02/21
	JOB NO.: 2021-258
	TYPE: PHASE I
	DRAWING NAME: USGSTOPO
	FIGURE NUMBER: 1

NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

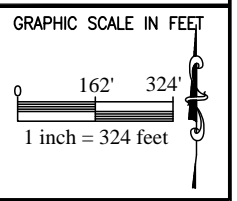


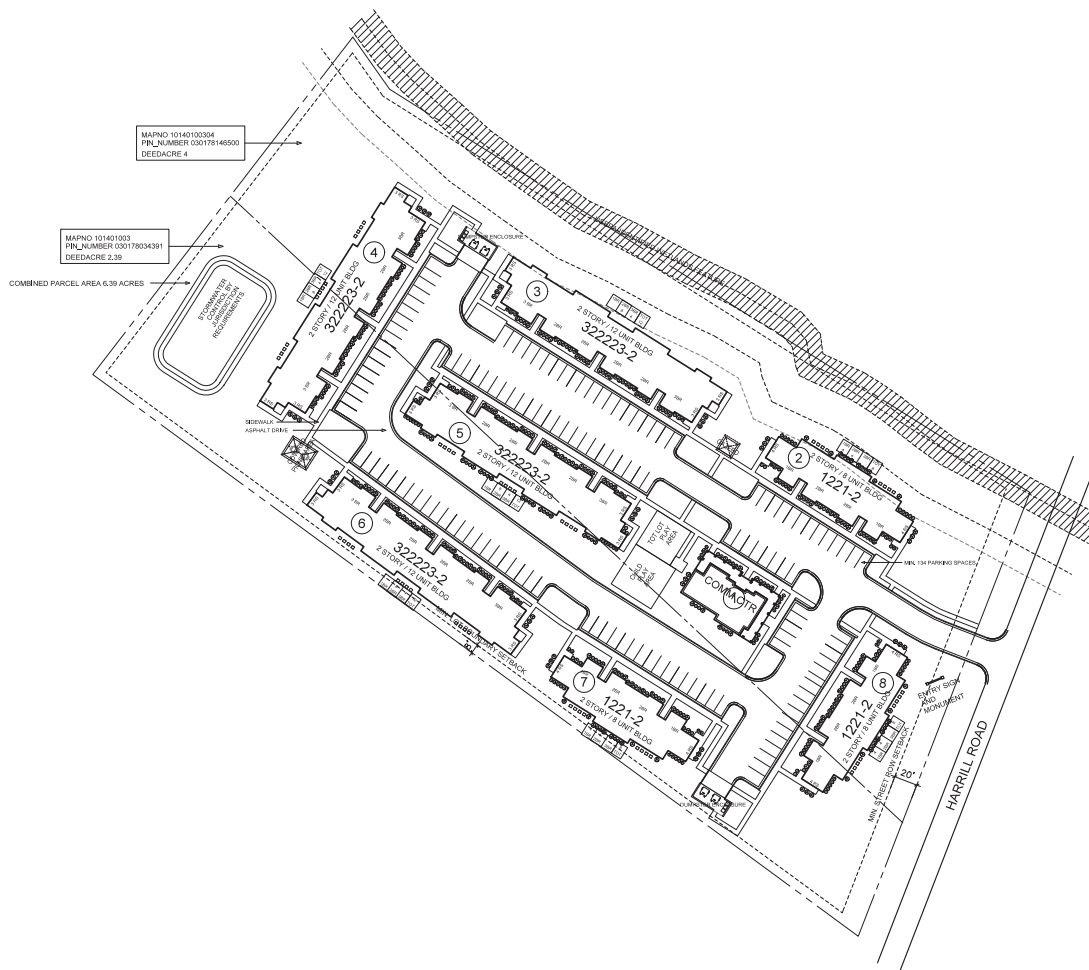
	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3





MAPNO: 10140100304
 PIN: NUMBER: 030178146500
 DEED: ACRE: 4

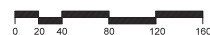
MAPNO: 101401003
 PIN: NUMBER: 030178034391
 DEED: ACRE: 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

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 ALL RIGHTS RESERVED.

JA JOB#: 2001.12
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00

NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS
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 AND ADA, ETC. REQUIREMENTS ARE NOT ILLUSTRATED ON THIS PLAN. FINAL
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THIS IS A PRELIMINARY PLAN TO ILLUSTRATE A DESIGN CONCEPT ONLY.
 EXISTING BOUNDARY, RIGHTS OF WAY, EASEMENTS, ZONING CONDITIONS,
 SETBACKS, PARKING REQUIREMENTS, STORMWATER REQUIREMENTS,
 UTILITY ACCESS, SEWER ACCESS, WETLANDS, RETAINING WALLS,
 EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS
 AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.

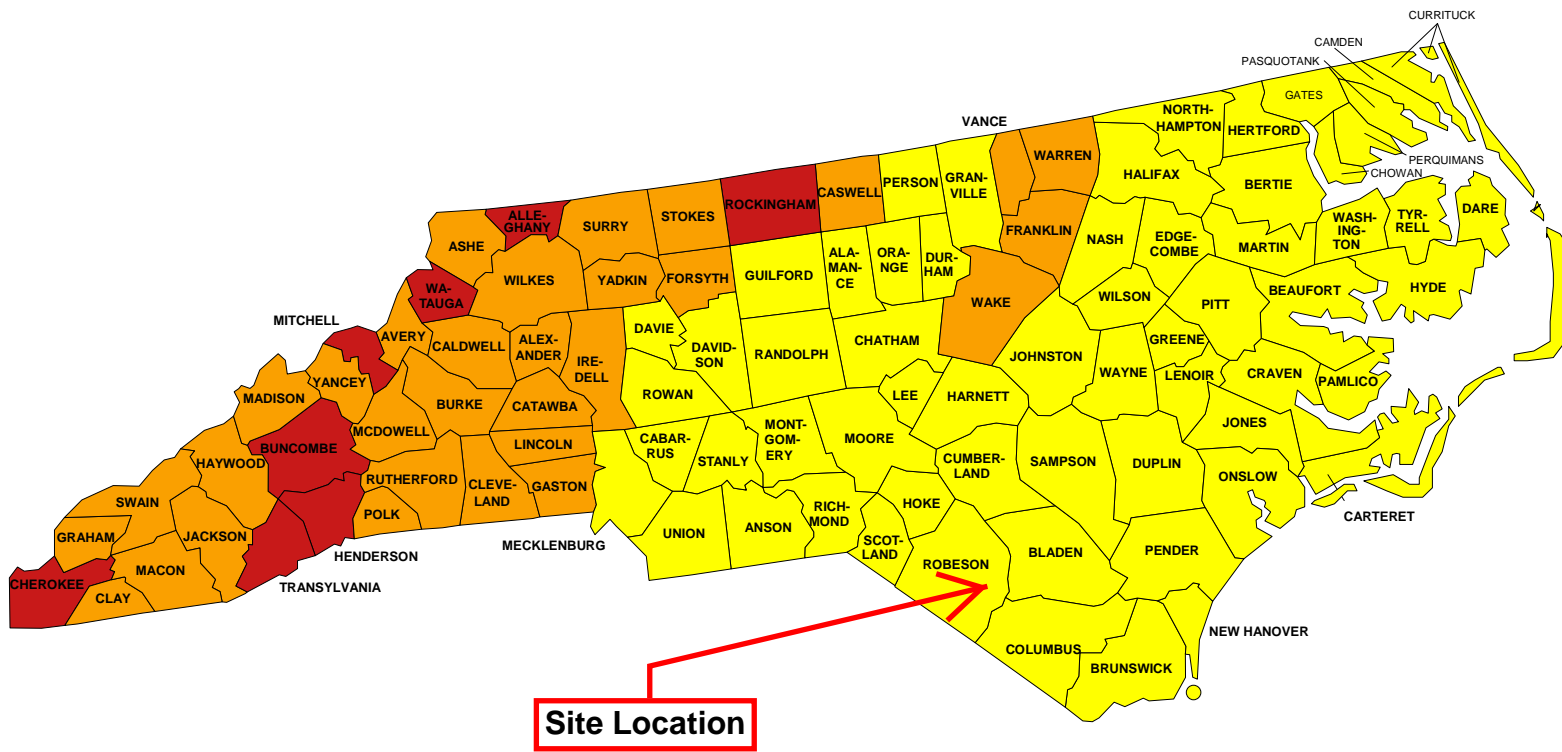
NORTH CAROLINA - EPA Map of Radon Zones

<http://www.epa.gov/radon/zonemap.html>

The purpose of this map is to assist National, State and local organizations to target their resources and to implement radon-resistant building codes.

This map is not intended to determine if a home in a given zone should be tested for radon. Homes with elevated levels of radon have been found in all three zones.

All homes should be tested, regardless of zone designation.



Zone 1



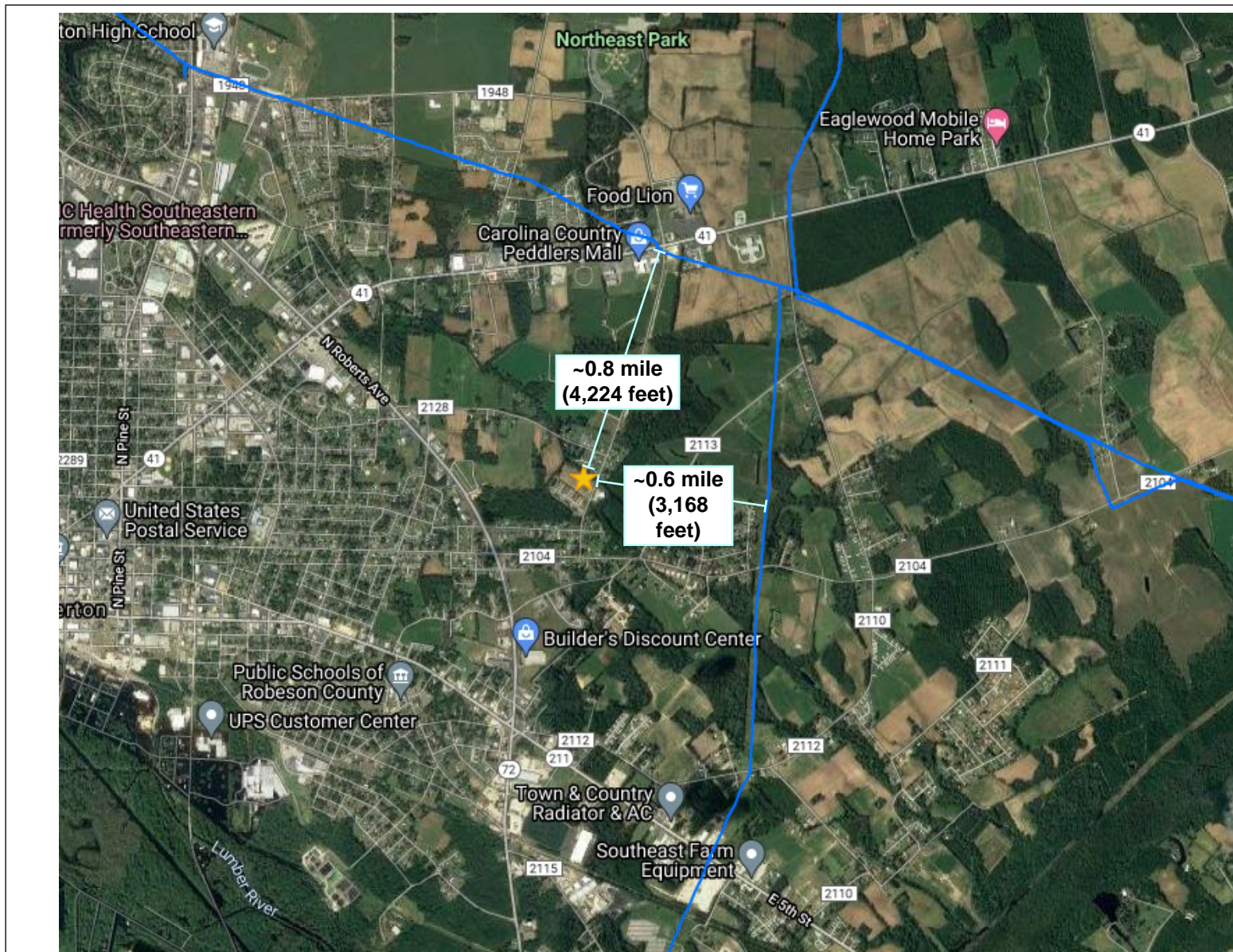
Zone 2



Zone 3

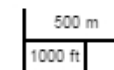
IMPORTANT: Consult the publication entitled "Preliminary Geologic Radon Potential Assessment of North Carolina" (USGS Open-file Report 93-292-D) before using this map. <http://energy.cr.usgs.gov/radon/grpinfo.html> This document contains information on radon potential variations within counties. EPA also recommends that this map be supplemented with any available local data in order to further understand and predict the radon potential of a specific area.

NATIONAL PIPELINE MAPPING SYSTEM



Legend

- Accidents (Liquid)
- Incidents (Gas)
- Gas Transmission Pipelines
- Hazardous Liquid Pipelines
- ★ Site Location



Pipelines depicted on this map represent gas transmission and hazardous liquid lines only. Gas gathering and gas distribution systems are not represented.

This map should never be used as a substitute for contacting a one-call center prior to excavation activities. Please call 811 before any digging occurs.

Questions regarding this map or its contents can be directed to npms@dot.gov.

Projection: Geographic

Datum: NAD83

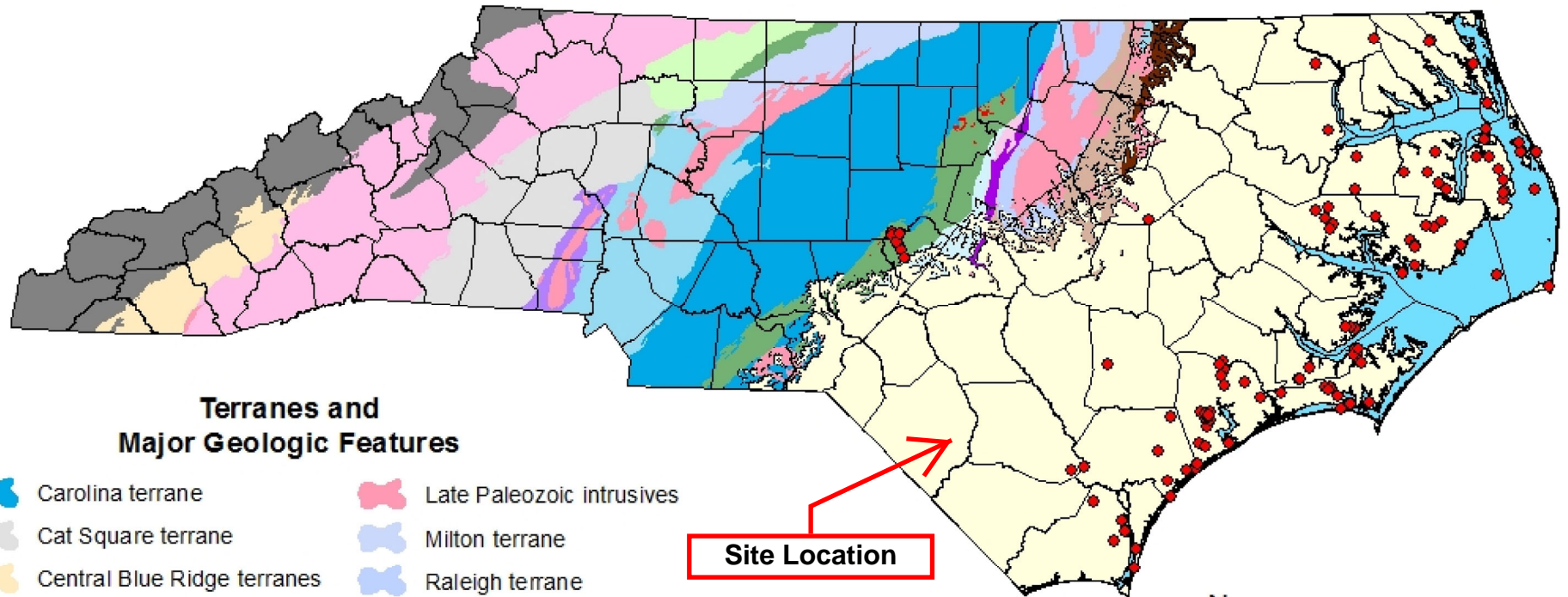
Map produced by the Public Viewer application at www.npms.phmsa.dot.gov

Date Printed: Jan 13, 2022



Map generated using the American Geosciences Institute National Pipeline Mapping System Interactive Map online at <https://pvnpm.phmsa.dot.gov/PublicViewer/>. Accessed on January 13, 2022.

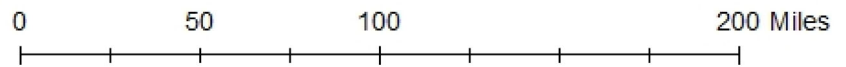
NC Oil and Gas Wells



Terranes and Major Geologic Features

- | | | | |
|--|------------------------------|--|--|
| | Carolina terrane | | Late Paleozoic intrusives |
| | Cat Square terrane | | Milton terrane |
| | Central Blue Ridge terranes | | Raleigh terrane |
| | Charlotte terrane | | Roanoke Rapids terrane |
| | Coastal Plain | | Sauratown Mountains Anticlinorium |
| | Crabtree terrane | | Spring Hope terrane |
| | Diabase | | Triassic basin - Dan River basin |
| | Easternmost Carolina terrane | | Triplet terrane |
| | Falls Lake terrane | | Tugaloo terrane (West of Brevard Zone) |
| | Kings Mountain terrane | | Western Blue Ridge (Laurentia) |

Site Location

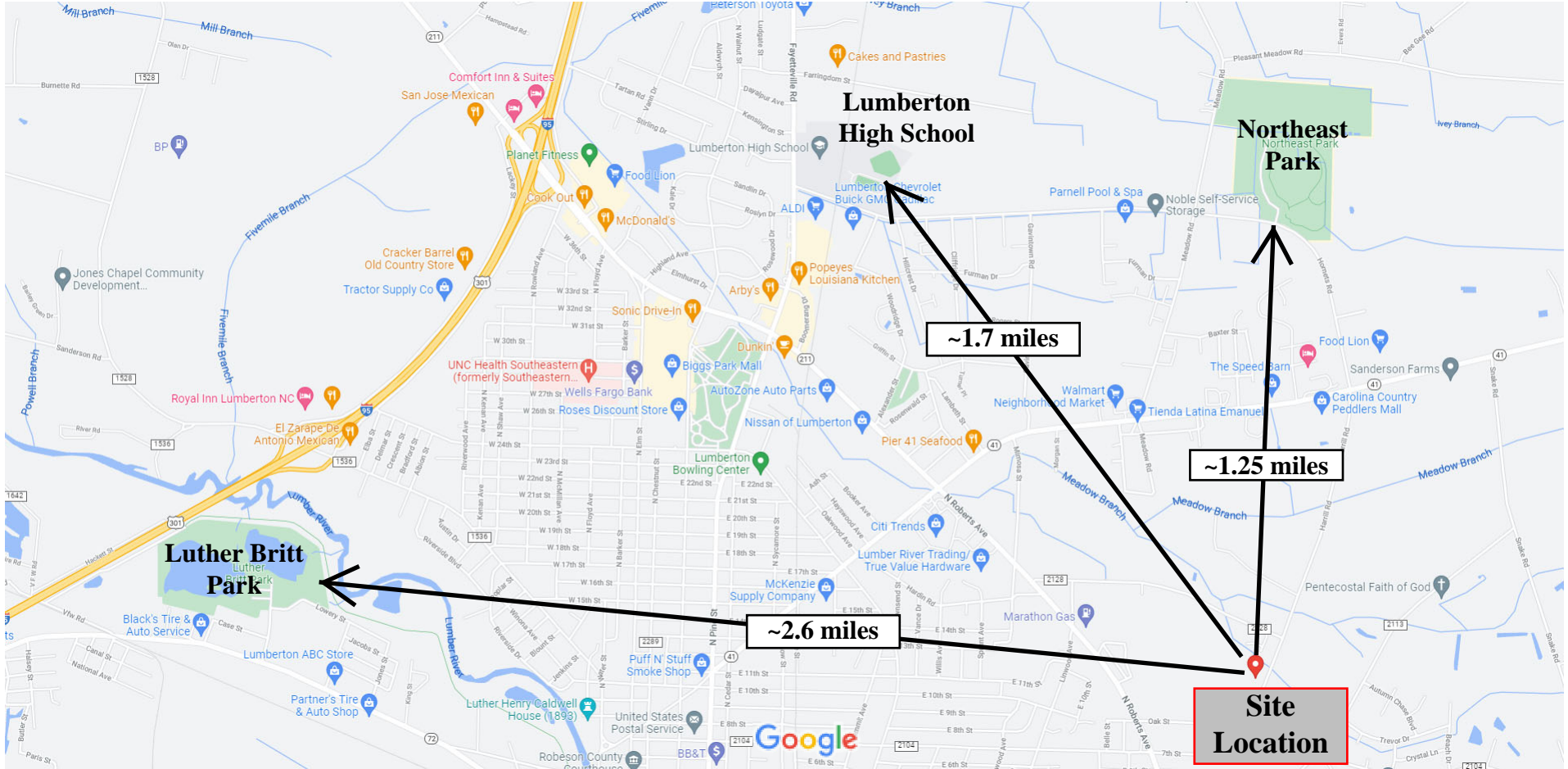


Oil and gas wells are shown as red dots.
 Well locations and geology data were provided by the NC Geological Survey.
 Initial data entry was performed by Katherine Marciniak, P.G.
 Map compilation by Walter T. Haven, P.G., 24 Mar 2016.

ATTACHMENT S:

Parks, Open Space and Recreation

NEARBY PARKS



Map data ©2021 1000 ft

ATTACHMENT T:

City Manager and Mayor Correspondence

Brett Higgins

From: Horne, Wayne <whorne@ci.lumberton.nc.us>
Sent: Friday, February 11, 2022 3:44 PM
To: Brett Higgins
Subject: Northeast Pointe II
Attachments: LtrFromMayor2912HarrillRoadApts_0001.pdf

Dear Brett:

I am responding to your letter regarding the proposed Northeast Pointe II project on Harrill Road here in Lumberton, NC. We do not believe there will be any negative impact from the project. The City's water and sewer infrastructure is completely able to handle the project. The proposed development will provide needed housing, replacing housing lost through the two major recent hurricanes. Thank you for your inquiry and the City looks forward to working with you on this project. Additionally, please find a letter attached from our Mayor.

Best regards,

Wayne Horne, City Manager.



February 7, 2022

Mr. Wayne Horne
City Manager
City of Lumberton
500 N. Cedar Street
Lumberton, NC 28359

Email: whorne@ci.lumberton.nc.us

**Re: Request for Informal Consultation
Northeast Pointe II Proposed Apartments
219 Harrill Road, Lumberton, NC**

Dear Mr. Horne,

The developer of the Northeast Pointe II proposed apartments is applying for funding using the Low-Income Housing Tax Credits (LIHTC) and Community Development Block Grant (CDBG) Disaster Recovery Programs for the construction of the project known as Northeast Pointe II, a proposed 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed site consists of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina. The project will also include a 2,092-square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The location of the site is shown on the attached USGS map, tax map, aerial photograph, and preliminary site plan. The subject site is currently being used for agricultural purposes. Since at least 2011, a rotation of corn or soybean crops have been grown on the land. Photographs from the site inspection are also attached.

To facilitate compliance with the USDA RD 1970-B, an Environmental Assessment must be completed prior to releasing funds for the construction of the Northeast Pointe II Apartments. This letter is an informal request to determine what effect(s) the proposed activity may have on resources managed by the City of Lumberton. Using your area of expertise as a guide, please indicate within 15 days of receipt of this letter if you anticipate that the proposed activity will have a negative impact in the area.

If you have any questions or need any additional information, please contact me at brett@pyramidenvironmental.com or 336-335-3174 - Ext. 128. Your time and effort are appreciated.

Sincerely,

A handwritten signature in black ink, appearing to read "Brett S. Higgins". The signature is written in a cursive style with some loops and flourishes.

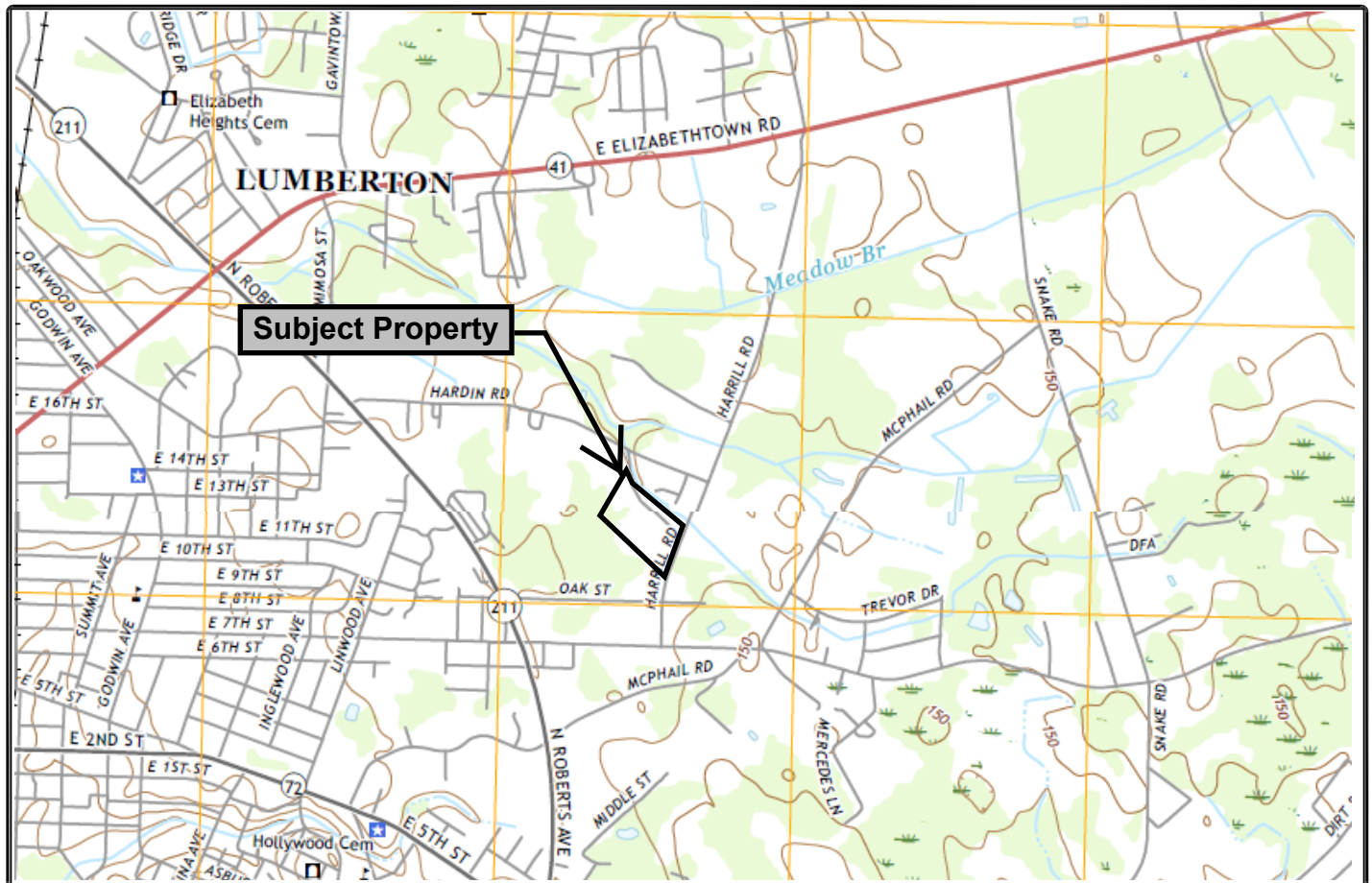
Brett S. Higgins
Sr. Project Manager

Attachments: As stated.

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina



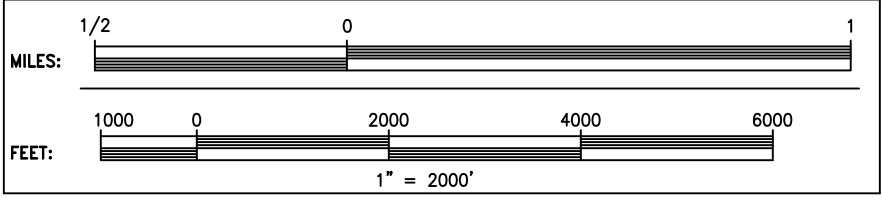
USGS IDENTIFICATION

USGS 7.5
MINUTE MAP
ORIGINAL DATE:
PHOTOREVISION
DATE:

Northeast & Southeast
Lumberton, NC
2019
N/A

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

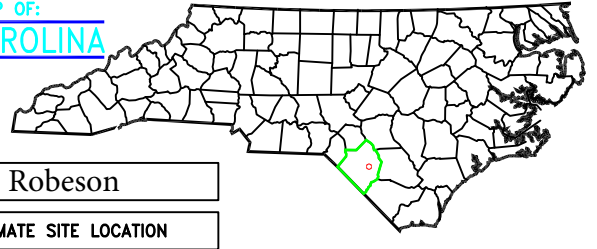
SCALES



NOTES: ▶ TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
▶ PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH

COUNTY MAP OF: NORTH CAROLINA



COUNTY: Robeson
 APPROXIMATE SITE LOCATION



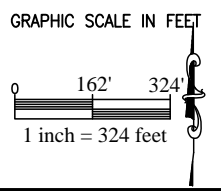
CLIENT: Mills Construction Co., Inc.
 PROPERTY NAME: 219 Harrill Road
 CITY: Lumberton STATE: North Carolina
 TITLE: Topographic Map

SCALE: 1" = 2,000'
 DRAWN BY: JRD
 CHECK BY: BSH
 DATE: 09/02/21
 JOB NO.: 2021-258
 TYPE: PHASE I
 DRAWING NAME: USGSTOPO
 FIGURE NUMBER: 1

NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
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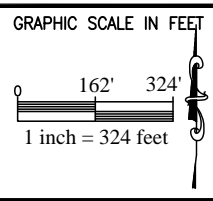


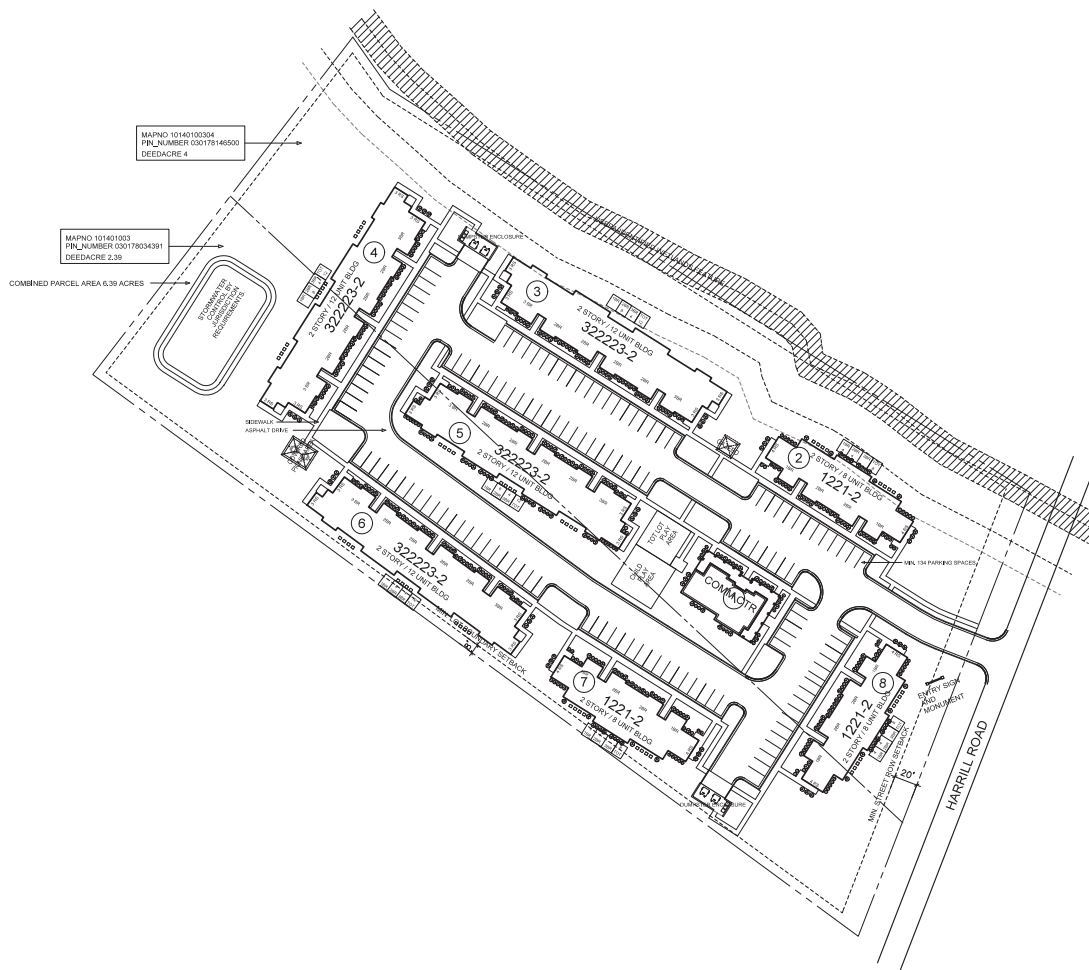
	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3





MAPNO: 10140100304
 PPLNUMBER: 030178146500
 DEEDACRE: 4

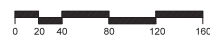
MAPNO: 101401003
 PPLNUMBER: 030178034391
 DEEDACRE: 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

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 ALL RIGHTS RESERVED.

JA JOB#: 2001.12
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00

NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS
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 EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS
 AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



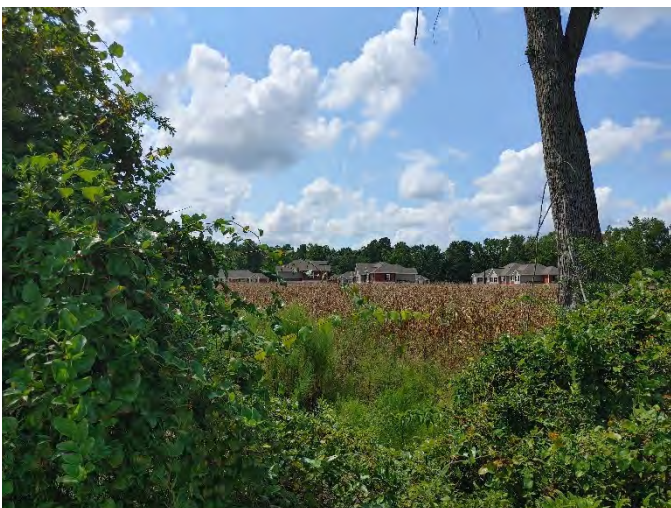
8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.

CITY OF LUMBERTON



OFFICE OF THE MAYOR

Telephone: 910.272.1346

Email: bdavis@ci.lumberton.nc.us

February 8, 2022

Via E-mail

Mr. Brett S. Higgins
Pyramid Environmental & Engineering, PC
PO Box 16265
Greensboro, NC 27416

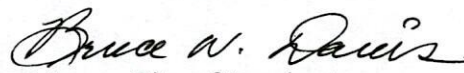
**RE: Request for Informal Consultation
Northeast Pointe II Proposed Apartments
219 Harrill Road, Lumberton NC**

Dear Mr. Higgins:

The City of Lumberton is in receipt of your correspondence of February 7, 2022, inquiring as to whether the above-referenced project will have a negative impact in the area. I have conferred with the City Manager, and the staff who would have a role in the project, and we do not believe the project will have a negative effect in the community. In fact, we welcome it and the affordable housing it will provide to our citizens.

With best regards, I am

Very truly yours,


Mayor, City of Lumberton



February 7, 2022

Mr. Bruce Davis
Mayor
City of Lumberton
500 N. Cedar Street
Lumberton, NC 28359

Email: bdavis@ci.lumberton.nc.us

**Re: Request for Informal Consultation
Northeast Pointe II Proposed Apartments
219 Harrill Road, Lumberton, NC**

Dear Mr. Davis,

The developer of the Northeast Pointe II proposed apartments is applying for funding using the Low-Income Housing Tax Credits (LIHTC) and Community Development Block Grant (CDBG) Disaster Recovery Programs for the construction of the project known as Northeast Pointe II, a proposed 72-unit multi-family apartment complex that will consist of seven two-story residential buildings with 12 one-bedroom units, 44 two-bedroom units, and 16 three-bedroom units. The proposed site consists of approximately 6.39 acres located at 219 Harrill Road in Lumberton, Robeson County, North Carolina. The project will also include a 2,092-square-foot community center building. Amenities will include a 250-square-foot multi-purpose room, a resident computer center, a playground and tot lot, a covered picnic area with tables and a grill, and a gazebo. The location of the site is shown on the attached USGS map, tax map, aerial photograph, and preliminary site plan. The subject site is currently being used for agricultural purposes. Since at least 2011, a rotation of corn or soybean crops have been grown on the land. Photographs from the site inspection are also attached.

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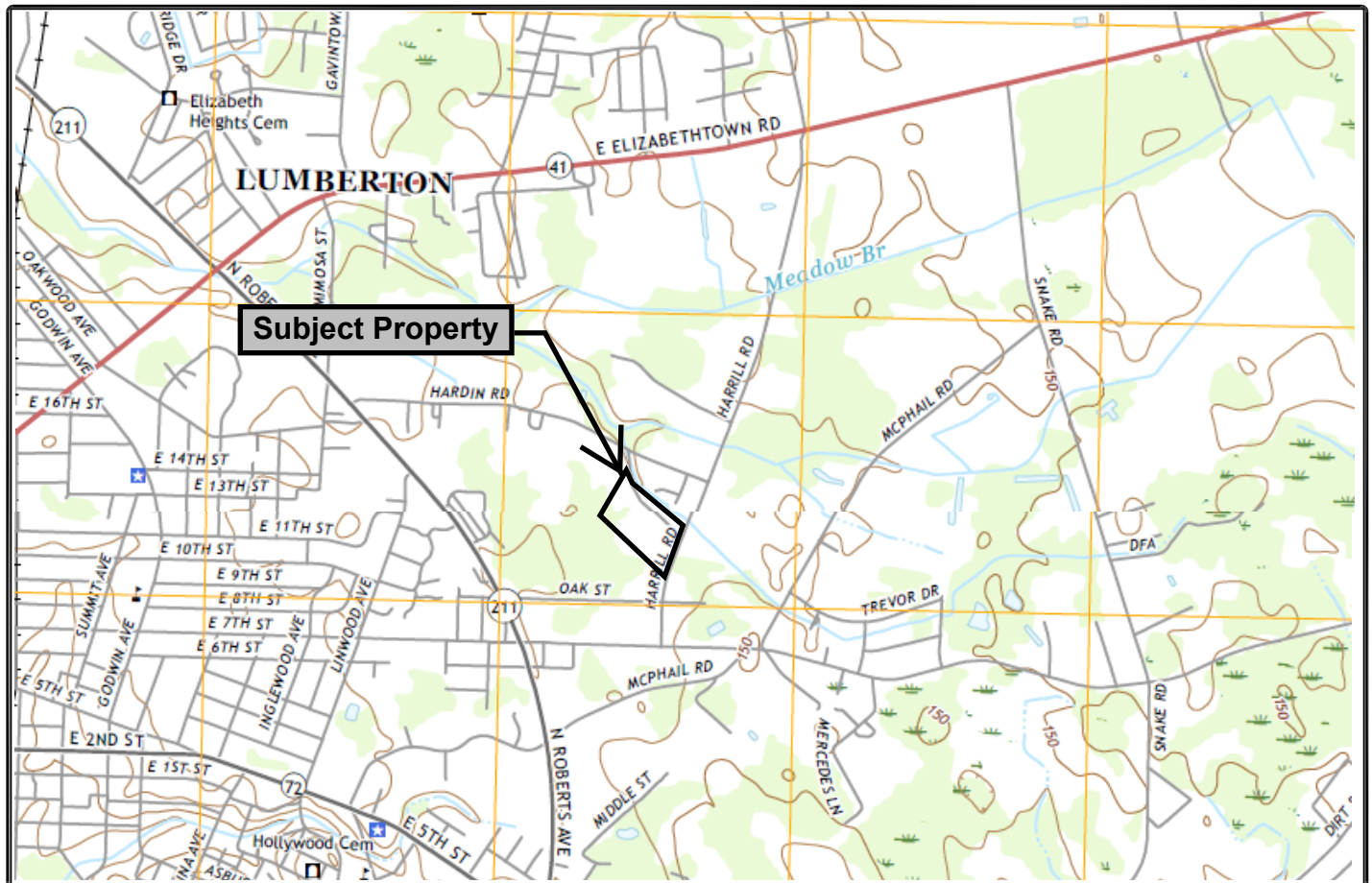
Brett S. Higgins
Sr. Project Manager

Attachments: As stated.

USGS TOPOGRAPHIC MAP

SITE: 219 Harrill Road

LOCATION: Lumberton, North Carolina

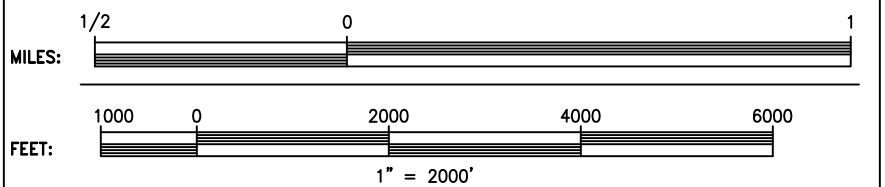


USGS IDENTIFICATION

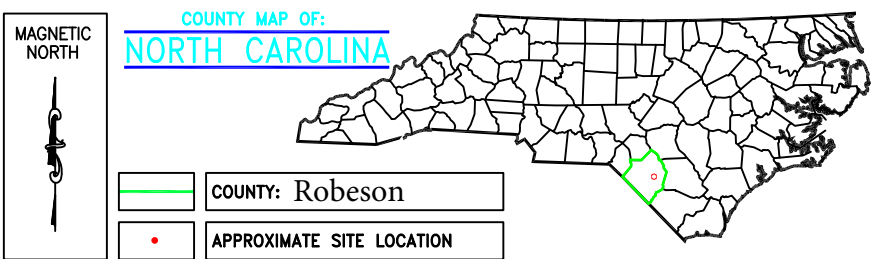
USGS 7.5 MINUTE MAP	Northeast & Southeast Lumberton, NC
ORIGINAL DATE: 2019	
PHOTOREVISION DATE: N/A	

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

SCALES



NOTES: ▶ TOPOGRAPHICAL CONTOUR INTERVAL = 10 FEET
▶ PHOTOREVISIONS DENOTED IN PURPLE



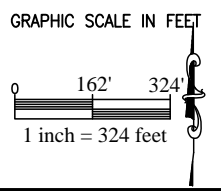
CLIENT: Mills Construction Co., Inc.
 PROPERTY NAME: 219 Harrill Road
 CITY: Lumberton STATE: North Carolina
 TITLE: Topographic Map

SCALE: 1" = 2,000'
 DRAWN BY: JRD
 CHECK BY: BSH
 DATE: 09/02/21
 JOB NO.: 2021-258
 TYPE: PHASE I
 DRAWING NAME: USGSTOPO
 FIGURE NUMBER: 1

NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

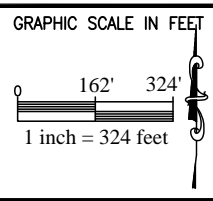


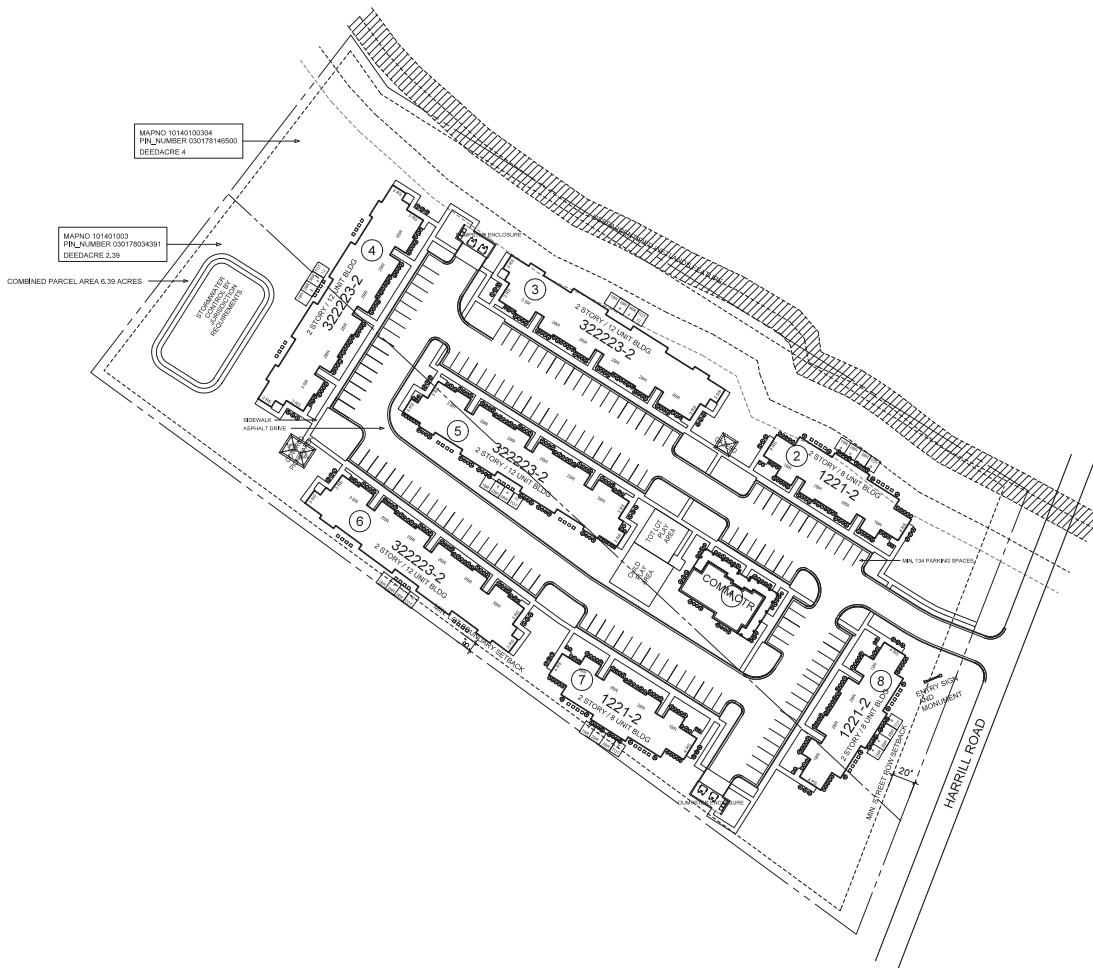
	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson	
	SITE	219 Harrill Road	TAX-ID	Multiple	
	CITY	Lumberton	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax Map	
			L-NO	2021-258	FIGURE





	CLIENT	Mills Construction Co., Inc.	COUNTY	Robeson
	SITE	219 Harrill Road	DATE	09/02/2021
	CITY	Lumberton	STATE	North Carolina
	FILE	2017 Aerial Photograph	FIGURE	Figure 3





MAPNO: 10140100304
 PPLNUMBER: 030178146500
 DEEDACRE: 4

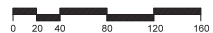
MAPNO: 101401003
 PPLNUMBER: 030178034391
 DEEDACRE: 2.39

COMBINED PARCEL AREA 6.39 ACRES



01
 A1.00

1/9/2018
 PRELIMINARY SITE PLAN



NORTHEAST
 POINTE II
 LUMBERTON
 NORTH CAROLINA
 72 RESIDENTIAL UNITS

THESE DRAWINGS ARE THE
 PROPERTY OF
 JONES ARCHITECTURE, PLLC
 AND MAY NOT BE REPRODUCED
 WITHOUT WRITTEN PERMISSION.

COPYRIGHT BY
 JONES ARCHITECTURE, PLLC
 ALL RIGHTS RESERVED.

JK JOB#: 2001.12
 DATE: 12-22-2020
 FILE:
 REV:
 REV:

NOTE THAT ANSI A117.1, NCHFA ACCESSIBILITY COUNT FOR RESIDENTIAL UNITS
 DISTRIBUTION WITHIN PROJECT, BY UNIT CLASS, ETC.), ACCESSIBLE ROUTES,
 AND ADA, ETC. REQUIREMENTS ARE NOT ILLUSTRATED ON THIS PLAN. FINAL
 CONSTRUCTION DOCUMENTS WILL BE PREPARED TO BE IN COMPLIANCE WITH
 THOSE REQUIREMENTS.

NOTE THAT THIS IS A PRELIMINARY SITE PLAN, AND IS AN APPROXIMATION OF
 EXISTING CONDITIONS BASED ON LIMITED INFORMATION.
 THE PROPERTY BOUNDARY, AND OTHER EXISTING SITE INFORMATION,
 MAY HAVE BEEN APPROXIMATED FROM GIS OR AERIAL INFORMATION
 PROVIDED BY OTHERS, THE ACCURACY OF WHICH IS UNKNOWN. THIS
 DOCUMENT IS NOT INTENDED FOR THE CONVEYANCE OF PROPERTY
 RIGHTS.

THIS IS A PRELIMINARY PLAN TO ILLUSTRATE A DESIGN CONCEPT ONLY.
 EXISTING BOUNDARY, RIGHTS OF WAY, EASEMENTS, ZONING CONDITIONS,
 SETBACKS, PARKING REQUIREMENTS, STORMWATER REQUIREMENTS,
 UTILITY ACCESS, SEWER ACCESS, WETLANDS, RETAINING WALLS,
 EXTENT AND COST OF GRADING, ROAD DESIGN, AND OTHER FACTORS
 AFFECTING THIS PROJECT MUST BE VERIFIED BY OTHERS.

NCHFA FINAL APPLICATION
 NOT FOR CONSTRUCTION

ARCHITECTURAL
 SITE PLAN

A1.00



1: Southern corner of subject property, facing NW.



2: Northeastern corner of subject property, facing west.



3: Central portion of the property, facing northwest toward the tree-lined boundary.



4: Eastern boundary of property and pole-mounted transformer, facing northeast along Harrill Road.



5: View of central portion of the property, facing north toward the Lone Oak Mobile Home Park.



6: View from western corner of subject property, facing east.



7: Fenced-in retention pond on adjacent property to the southwest, facing west corner of subject property.



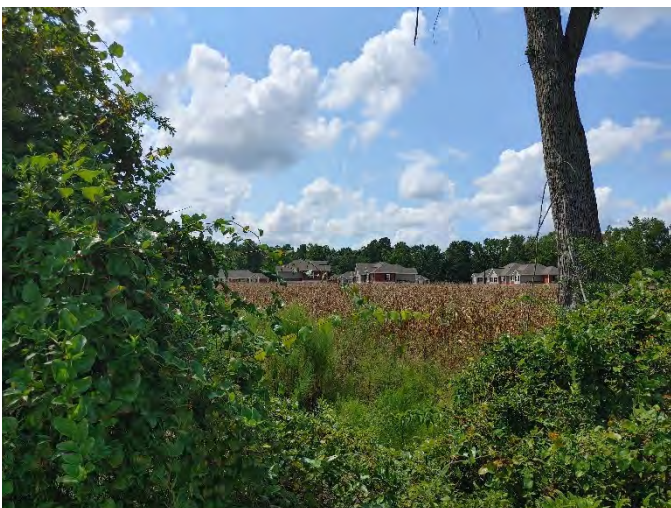
8: Retention pond overflows toward drainage ditch that runs along southwestern boundary of property.



9: View of overgrown drainage ditch along southwestern boundary of property.



10: Fenced-in retention pond, facing adjacent property to the southwest (Northeast Pointe Apartments).



11: Central portion of the property, facing SW.



12: View of tree line at the NW boundary of the prop.

ATTACHMENT U:

Transportation and Accessibility



ROBESON COUNTY SEATS

Director:

Sharon Robinson

Email: sharon.robinson@co.robeson.nc.us**Assistant Director:**

Matthew Stephens

Email: matthew.stephens@co.robeson.nc.us**Administrative Operations Coordinator:**

Francie Barnes

Email: Francie.barnes@co.robeson.nc.us1519 Carthage Road, Section 6,
Lumberton, NC 28358**Office Hours:**

Monday – Friday, 8:15 am – 5:15 pm

Telephone: (910) 618-5679 TTY: 800-735-2962

(910) 618-5697

(910) 618-5696

Fax: (910) 618-5716 Voice: (877) 735-8200

South East Area Transit System (SEATS) is Robeson County's Community Transportation Program. SEATS provides human service agency and rural general public transportation for Robeson County residents. The North Carolina Department of Transportation Public Transportation Division, the United States Department of Transportation and Robeson County provide operating and capital assistance for the program. SEATS has established routes through Robeson County operating from Monday through Friday, 5:30 am to 5:30 pm, and in Lumberton on Saturday, 5:00 am to 2:00 pm for the general public and agency-sponsored passengers. SEATS provides scheduled routes for out-of-county medical trips to Durham, Raleigh, Chapel Hill, Fayetteville, Laurinburg and Pinehurst. All of SEATS' vehicles are accessible to passengers with disabilities.



To request service, call SEATS office by 12:00 noon the day before service request is needed. Reservations are required, therefore, requests for transportation are considered on a first come – first served basis.

Rural general public riders are required to pay a fare of \$ 2.00 each time they board a transit vehicle. Passengers whose transportation is sponsored by an agency are not charged a fare. Fare boxes are located on transit vehicles. Transit tickets may be purchased from drivers and the SEATS' office.

OUT-OF COUNTY MEDICAL TRIP SCHEDULE:

Out-of-Town medical trips are scheduled with the Department of Social Services Medicaid Transportation. The direct number for Medicaid Transportation is (910) 671-3525.

SEATS TRANSPORTATION ADVISORY COUNCIL (TAC):

The SEATS Transportation Advisory Council meets on the 4th Wednesday at 10:00 am; February, May, August, November and December, to assist SEATS in establishing policies and address financial issues. This meeting is open to the public. If you plan to attend a TAC meeting, contact transit staff for meeting location.

Transportation Advisory Council Board Members

Raymond Cummings, Commissioner; Chairman
 Fran Ray, Providence Place; Vice-Chairman
 James Moore, Lumberton; Secretary
 Twilla Allen, LRCOG/Area Agency on Aging
 Anita McGill, At Large Member
 Carla Kinlaw, Rob. Co. Finance Director
 Glenn Locklear, Monarch
 William Smith, Health Dept.
 Dwayne Black, Public Schools of Rob. Co.
 Andrew Collier, RCC&CC
 Gosnold Floyd Jr., At-Large-Member
 Peggy Davis, NC Works
 Chris Oxendine, Robeson Co. Veterans Service
 Ronnie Sampson, RCC
 Paul Ivey, City of Lumberton
 Ronald Oxendine; LRCOG/Workforce Development
 Sandra Cox; DSS
 Ardallia Brown; SCFSNC, Inc.,
 Jason King; Robeson County Assistant Manager.



Meetings are held at the Robeson County School Bus Garage

SEATS ACCIDENT & REVIEW COMMITTEE:

The SEATS Transportation Safety & Review Committee meets every quarter, to address safety issues and review SEATS accidents. The time and location are available upon request.

Notice:

It is the policy of SEATS to ensure compliance with Title VI of the Civil Rights Act of 1964, 49 CFR, Part 21, related statutes and regulations that ensure that no person in the U.S. shall, on the grounds of race, color, sex, age, national origin or disability, be excluded from participation in, or be denied the benefit of, or be subjected to discrimination under any program or activity receiving federal financial assistance from the U.S. Department of Transportation. Any person who believes he or she has been discriminated against should contact the SEATS' office at (910) 618-5679 or the Office of Civil Rights and Business Development, Title VI unit, at (919) 508-1808.

New Ticket Prices Effective January 2nd 2013 SEATS Ticket Prices		
# of Tickets	Cost Per Ticket	Quantity Discount Price (2.5% discount)
1 ticket	\$2.00	
2 tickets	\$4.00	
4 tickets	\$8.00	
6 tickets	\$12.00	
8 tickets	\$16.00	
10 tickets (1 wk)	\$20.00	\$17.50
12 tickets	\$24.00	
14 tickets	\$28.00	
16 tickets	\$32.00	
18 tickets	\$36.00	
20 tickets (2 wks)	\$40.00	\$35.00
New Ticket Prices Effective January 2nd 2013 Mountaire Ticket Prices		
# of Tickets	Cost Per Ticket	Quantity Discount Price (2.5% discount)
1 ticket	\$3.00	
2 tickets	\$6.00	
4 tickets	\$12.00	
6 tickets	\$18.00	
8 tickets	\$24.00	
10 tickets (1 wk)	\$30.00	\$27.50
12 tickets	\$36.00	
14 tickets	\$42.00	
16 tickets	\$48.00	
18 tickets	\$54.00	
20 tickets (2 wks)	\$60.00	\$55.00



STAY CONNECTED - SIGN UP WITH
ROBESON COUNTY, NC



Type your name and email below to be notified of important Robeson County updates & events.

<input type="text" value="Name"/>	<input type="text" value="Email Address"/>	<input type="button" value="Subscribe Now"/>
-----------------------------------	--	--

ROBESON COUNTY SITE ACCESS

- DEPARTMENTS A-J
- DEPARTMENTS O-Z
- BOARD MEETINGS

ONLINE SERVICES

- Pay Taxes Online
- Property Info Online
- Pay Water Bill Online

CONTACT

Robeson County, NC
550 North Chestnut Street
Lumberton, NC 28358

Phone: (910) 671-3000

SERVICES

CALENDAR [View Deed Info](#)

CONTACT [Use Robeson Co. GIS System](#)


[Notice of Rights Under HAWKINS v. COHEN](#) [Careers with Robeson County](#) [OPENING HOURS](#)

[Robeson County Drainage Public Notice](#) [County Managers & Commissioners](#) [Monday – Friday 8:30 AM – 5:00 PM](#)

[Robeson County Water Report](#) [Keep Robeson County Clean & Green](#)

[Robeson County Water Notice](#) [Robeson Flood Protection Form](#) [ADA Accessibility Information](#)

[Robeson County Ordinances](#) [Make a Suggestion](#)



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ATTACHMENT V:

State Environmental Clearinghouse Comments



STATE OF NORTH CAROLINA
DEPARTMENT OF ADMINISTRATION

Roy Cooper
GOVERNOR

Pamela B. Cashwell
Secretary

March 18, 2022

Brett Higgins
Northeast Pointe II, LLC
c/o Pyramid Environmental & Engineering
503 Industrial Avenue
Greensboro, NC 27406-

Re: SCH File # 22-E-0000-0173 Proposed project is for the construction of Northeast Pointe II.
Proposed is a 72-unit family community which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.

Dear Brett Higgins:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act. Attached to this letter for your consideration are comments made by the agencies in the review of this document.

If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

Should you have any questions, please do not hesitate to call.

Sincerely,

CRYSTAL BEST
State Environmental Review Clearinghouse

Attachments

Mailing Address:
NC DEPARTMENT OF ADMINISTRATION
1301 MAIL SERVICE CENTER
RALEIGH, NC 27699-1301

Telephone: (919)807-2425
Fax: (919)733-9571
COURIER: #51-01-00
Email: state.clearinghouse@doa.nc.gov
Website: www.ncadmin.nc.gov

Location:
116 WEST JONES STREET
RALEIGH, NORTH CAROLINA

Control No.: 22-E-0000-0173

Date Received: 2/14/2022

County.: ROBESON

Agency Response: 3/16/2022

Review Closed: 3/16/2022

LYN HARDISON
CLEARINGHOUSE COORDINATOR
DEPT OF ENVIRONMENTAL QUALITY

Project Information

Type: National Environmental Policy Act ping

Applicant: Northeast Pointe II, LLC

Project Desc.: Proposed project is for the construction of Northeast Pointe II. Proposed is a 72-unit family community which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: LYN HARDISON

Date: 3/16/2022



NORTH CAROLINA
Environmental Quality

ROY COOPER
Governor

ELIZABETH S. BISER
Secretary

To: Crystal Best
State Clearinghouse
NC Department of Administration

From: Lyn Hardison
Division of Environmental Assistance and Customer Service
Washington Regional Office

RE: 22-0173
Scoping - Proposed project is for the construction of Northeast Pointe II which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.
Robeson County

Date: March 16, 2022

The Department of Environment Quality has reviewed the proposal for the referenced project. Based on the information provided, one (1) contamination site was identified within one mile of the project site. In addition, several of our agencies have identified permits that may be required and offered some valuable guidance. The comments are attached for the applicant's review.

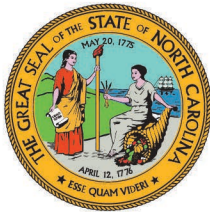
The Department will continue to be available to assist the applicant with any question or concerns.

Thank you for the opportunity to respond.

Attachments



North Carolina Department of Environmental Quality
217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601
919.707.8600



NORTH CAROLINA
Environmental Quality

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director

Date: March 9, 2022

To: Michael Scott, Director
Division of Waste Management

Through: Janet Macdonald
Inactive Hazardous Sites Branch

From: Bonnie S. Ware
Inactive Hazardous Sites Branch

Subject: NEPA Project # 22-0173, Northeast Pointe II, LLC/USDA-RD, Robeson County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the Northeast Pointe II, LLC/USDA-RD project. Proposed project is for the construction of Northeast Pointe II. Proposed is a 72-unit family community which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.

One (1) Superfund Section site was identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



North Carolina Department of Environmental Quality | Division of Waste Management
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646
919.707.8200

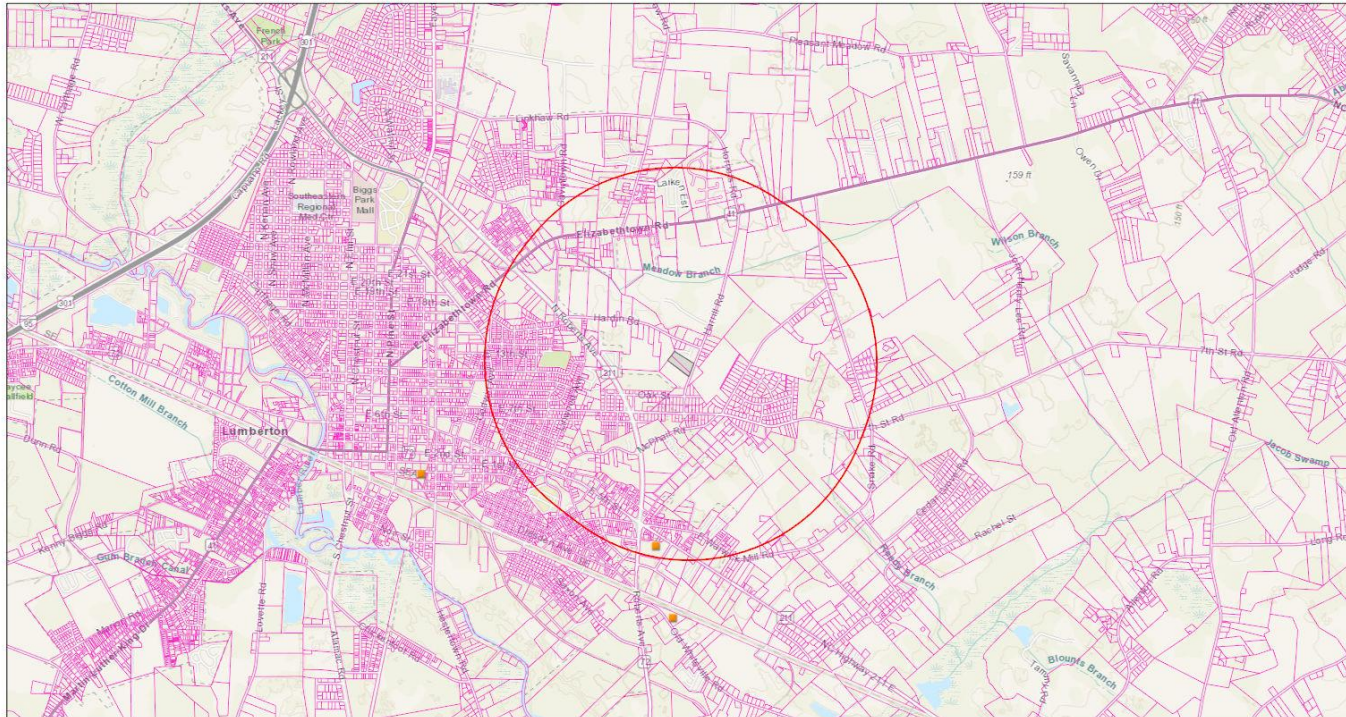


SUPERFUND SECTION SITES ONLY : SEPA/NEPA

Area of Interest (AOI) Information

Area : 2,278.12 acres

Mar 9 2022 9:00:37 Eastern Standard Time



- ★ Pre Regulatory Landfill Sites
- Inactive Hazardous Sites
- Parcels (Polygons) - Parcels



State of North Carolina DOT, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, METI/NASA, EPA, USDA

Superfund Section Sites Only : 22-0173 Robeson County

Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	0	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	1	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	0	N/A	N/A

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NCD986209575	CARDINAL CHEMICAL WAREHOUSE FIRE	1



MEMORANDUM

TO: Michael Scott, Division Director through Sharon Brinkley

FROM: Drew Hammonds, Eastern District Supervisor - Solid Waste Section

DATE: March 1, 2022

SUBJECT: Review: SW 22-0173 – Robeson County (Scoping – Northeast Pointe II, LLC/USDA-RD – Proposed project is for the construction of Northeast Pointe II)

The Division of Waste Management, Solid Waste Section (Section) has reviewed the documents submitted for the subject project in Robeson County, NC. Based on the information provided in this document, the Section at this time does not see an adverse impact on the surrounding communities and likewise knows of no situations in the communities, which would affect this project.

As always for any planned or proposed projects, it is recommended that during any land clearing, demolition and construction, Northeast Point II, LLC and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. **Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that Northeast Point II, LLC require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.**

Permitted solid waste management facilities are listed on the Division of Waste Management, Solid Waste Section portal site at: <https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/solid-waste-management-annual-reports/solid-waste-permitted-facility-list>

Questions regarding solid waste management for this project should be directed to Mr. David Powell, Environmental Senior Specialist, Solid Waste Section, at (910) 433-3350.

cc: David Powell, Environmental Senior Specialist



State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: FRO
 Project Number: 22-0173 Due Date: 03/11/2022
 County: Robeson

After review of this project it has been determined that the DEQ permit(s) and/or approvals indicated may need to be obtained in order for this project to comply with North Carolina Law. Questions regarding these permits should be addressed to the Regional Office indicated on the reverse of the form. All applications, information and guidelines relative to these plans and permits are available from the same Regional Office.

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input checked="" type="checkbox"/>	Permit to construct & operate wastewater treatment facilities, non-standard sewer system extensions & sewer systems that do not discharge into state surface waters.	Application 90 days before begins construction or award of construction contracts. On-site inspection may be required. Post-application technical conference usual.	30 days (90 days)
<input checked="" type="checkbox"/>	Permit to construct & operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system	Fast-Track Permitting program consists of the submittal of an application and an engineer's certification that the project meets all applicable State rules and Division Minimum Design Criteria.	30 days (N/A)
<input checked="" type="checkbox"/>	NPDES - permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters.	Application 180 days before begins activity. On-site inspection. Pre-application conference usual. Additionally, obtain permit to construct wastewater treatment facility-granted after NPDES. Reply time, 30 days after receipt of plans or issue of NPDES permit-whichever is later.	90-120 days (N/A)
<input type="checkbox"/>	Water Use Permit	Pre-application technical conference usually necessary.	30 days (N/A)
<input type="checkbox"/>	Well Construction Permit	Complete application must be received and permit issued prior to the installation of a groundwater monitoring well located on property not owned by the applicant, and for a large capacity (>100,000 gallons per day) water supply well.	7 days (15 days)
<input type="checkbox"/>	Dredge and Fill Permit	Application copy must be served on each adjacent riparian property owner. On-site inspection. Pre-application conference usual. Filling may require Easement to Fill from N.C. Department of Administration and Federal Dredge and Fill Permit.	55 days (90 days)
<input type="checkbox"/>	Permit to construct & operate Air Pollution Abatement facilities and/or Emission Sources as per 15 A NCAC (2Q.O100 thru 2Q.0300)	Application must be submitted and permit received prior to construction and operation of the source. If a permit is required in an area without local zoning, then there are additional requirements and timelines (2Q.0113).	90 days
<input checked="" type="checkbox"/>	Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900	N/A	60 days (90 days)
<input checked="" type="checkbox"/>	Demolition or renovations of structures containing asbestos material must be in compliance with 15 A NCAC 20.1110 (a) (1) which requires notification and removal prior to demolition. Contact Asbestos Control Group 919-707-5950	Please Note - The Health Hazards Control Unit (HHCU) of the N.C. Department of Health and Human Services, must be notified of plans to demolish a building, including residences for commercial or industrial expansion, even if no asbestos is present in the building.	60 days (90 days)
<input checked="" type="checkbox"/>	The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. A fee of \$65 for the first acre or any part of an acre. An express review option is available with additional fees.		20 days (30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with NCDOT's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		(30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with _____ Local Government's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		Based on Local Program
<input type="checkbox"/>	Compliance with 15A NCAC 2H .0126 - NPDES Stormwater Program which regulates three types of activities: Industrial, Municipal Separate Storm Sewer System & Construction activities that disturb ≥1 acre.		30-60 days (90 days)
<input type="checkbox"/>	Compliance with 15A NCAC 2H 1000 -State Stormwater Permitting Programs regulate site development and post-construction stormwater runoff control. Areas subject to these permit programs include all 20 coastal counties, and various other counties and watersheds throughout the state.		45 days (90 days)

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: FRO
 Project Number: 22-0173 Due Date: 03/11/2022
 County: Robeson

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Mining Permit	On-site inspection usual. Surety bond filed with DEQ Bond amount varies with type mine and number of acres of affected land. Affected area greater than one acre must be permitted. The appropriate bond must be received before the permit can be issued.	30 days (60 days)
<input type="checkbox"/>	Dam Safety Permit	If permit required, application 60 days before begin construction. Applicant must hire N.C. qualified engineer to: prepare plans, inspect construction, and certify construction is according to DEQ approved plans. May also require a permit under mosquito control program. And a 404 permit from Corps of Engineers. An inspection of site is necessary to verify Hazard Classification. A minimum fee of \$200.00 must accompany the application. An additional processing fee based on a percentage or the total project cost will be required upon completion.	30 days (60 days)
<input type="checkbox"/>	Oil Refining Facilities	N/A	90-120 days (N/A)
<input type="checkbox"/>	Permit to drill exploratory oil or gas well	File surety bond of \$5,000 with DEQ running to State of NC conditional that any well opened by drill operator shall, upon abandonment, be plugged according to DEQ rules and regulations.	10 days N/A
<input type="checkbox"/>	Geophysical Exploration Permit	Application filed with DEQ at least 10 days prior to issue of permit. Application by letter. No standard application form.	10 days N/A
<input type="checkbox"/>	State Lakes Construction Permit	Application fee based on structure size is charged. Must include descriptions & drawings of structure & proof of ownership of riparian property	15-20 days N/A
<input checked="" type="checkbox"/>	401 Water Quality Certification	Compliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.	60 days (130 days)
<input type="checkbox"/>	Compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required. Buffer requirements: http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program		
<input type="checkbox"/>	Nutrient Offset: Loading requirements for nitrogen and phosphorus in the Neuse and Tar-Pamlico River basins, and in the Jordan and Falls Lake watersheds, as part of the nutrient-management strategies in these areas. DWR nutrient offset information: http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information		
<input type="checkbox"/>	CAMA Permit for MAJOR development	\$250.00 - \$475.00 fee must accompany application	75 days (150 days)
<input type="checkbox"/>	CAMA Permit for MINOR development	\$100.00 fee must accompany application	22 days (25 days)
<input checked="" type="checkbox"/>	Abandonment of any wells, if required must be in accordance with Title 15A. Subchapter 2C.0100.		
<input checked="" type="checkbox"/>	Notification of the proper regional office is requested if "orphan" underground storage tanks (USTS) are discovered during any excavation operation.		
<input checked="" type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq., Plans and specifications should be submitted to 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. All public water supply systems must comply with state and federal drinking water monitoring requirements. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input checked="" type="checkbox"/>	If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section at 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of the _____ water system must be approved through the _____ delegated plan approval authority. Please contact them at _____ for further information.		

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: FRO
 Project Number: 22-0173 Due Date: 03/11/2022
 County: Robeson

Other Comments (attach additional pages as necessary, being certain to comment authority)

Division	Initials	No comment	Comments	Date Review
DAQ	GWR	<input checked="" type="checkbox"/>		2/15/2022
DWR-WQROS	KMB	<input checked="" type="checkbox"/>		2/28/2022
DWR-PWS	HLC	<input type="checkbox"/>	If you will be extending or relocating a watermain to serve this development, plans, specifications, and other plan approval documents will need to be submitted for approval before construction starts. If you will be buying water and reselling it, you will also need to contact the NC Utilities Commission.	2/2/2022
DEMLR (LQ & SW)	LHB	<input checked="" type="checkbox"/>		2/22/2022
DWM – UST	KEC	<input type="checkbox"/>	The UST Section, Fayetteville Regional Office, does not have record of a petroleum release in the general area of concern for this project number, nor are there any records of registered USTs. https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html?id=7dd59be2750b40bebebf49fc383f688	2/17/2022
Other Comments		<input type="checkbox"/>		/ /

REGIONAL OFFICES

Questions regarding these permits should be addressed to the Regional Office marked below.

- | | | |
|---|--|--|
| <input type="checkbox"/> Asheville Regional Office
2090 U.S. 70 Highway
Swannanoa, NC 28778-8211
Phone: 828-296-4500
Fax: 828-299-7043 | <input checked="" type="checkbox"/> Fayetteville Regional Office
225 Green Street, Suite 714,
Fayetteville, NC 28301-5043
Phone: 910-433-3300
Fax: 910-486-0707 | <input type="checkbox"/> Mooresville Regional Office
610 East Center Avenue, Suite 301,
Mooresville, NC 28115
Phone: 704-663-1699
Fax: 704-663-6040 |
| <input type="checkbox"/> Raleigh Regional Office
3800 Barrett Drive,
Raleigh, NC 27609
Phone: 919-791-4200
Fax: 919-571-4718 | <input type="checkbox"/> Washington Regional Office
943 Washington Square Mall,
Washington, NC 27889
Phone: 252-946-6481
Fax: 252-975-3716 | <input type="checkbox"/> Wilmington Regional Office
127 Cardinal Drive Ext.,
Wilmington, NC 28405
Phone: 910-796-7215
Fax: 910-350-2004 |
| | <input type="checkbox"/> Winston-Salem Regional Office
450 Hanes Mill Road, Suite 300,
Winston-Salem, NC 27105
Phone: 336-776-9800
Fax: 336-776-9797 | |

Department of Environmental Quality

Project Review Form

Project Number: 22-0173

County: Robeson

Date Received: 2-14-2022

Due Date: 3-11-2022

Project Description: *Scoping - Proposed project is for the construction of Northeast Pointe II, which consists of seven 2-story residential buildings, 72-unit family community and a separate building housing the office, community center, computer center, laundry facility, and kitchen.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input type="checkbox"/> Coastal Management
<input checked="" type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife <u>Gabriela</u>
<input type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date:	In-House Reviewer/Agency: Gabriela Garrison/NCWRC
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Response (check all applicable)

No objection to project as proposed.
 No Comment

Insufficient information to complete review
 Other (specify or attach comments)

If you have any questions, please contact:

Lyn Hardison at lyn.hardison@ncdenr.gov or (252) 948-3842
943 Washington Square Mall Washington NC 27889
Courier No. 16-04-01

Control No.: 22-E-0000-0173

Date Received: 2/14/2022

County.: ROBESON

Agency Response: 3/16/2022

Review Closed: 3/16/2022

JEANNE STONE
CLEARINGHOUSE COORDINATOR
DEPT OF TRANSPORTATION

Project Information

Type: National Environmental Policy Act ping

Applicant: Northeast Pointe II, LLC

Project Desc.: Proposed project is for the construction of Northeast Pointe II. Proposed is a 72-unit family community which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JEANNE STONE

Date: 2/18/2022

Control No.: 22-E-0000-0173

Date Received: 2/14/2022

County.: ROBESON

Agency Response: 3/16/2022

Review Closed: 3/16/2022

JINTAO WEN
CLEARINGHOUSE COORDINATOR
DPS - DIV OF EMERGENCY MANAGEMENT

Project Information

Type: National Environmental Policy Act ping

Applicant: Northeast Pointe II, LLC

Project Desc.: Proposed project is for the construction of Northeast Pointe II. Proposed is a 72-unit family community which consists of seven 2-story residential buildings and a separate building housing the office, community center, computer center, laundry facility, and kitchen.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JINTAO WEN

Date: 3/14/2022

ATTACHMENT W:

**State Environmental Clearinghouse Comments –
FONSI/NOI-RROF (to be added)**