



**U.S. Department of Housing and Urban  
Development**

451 Seventh Street, SW  
Washington, DC 20410  
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## **Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58**

### **Project Information**

**Project Name:** Palatine Meadows

**Project Location:** 4100 Academic Drive, New Bern, Craven County, North Carolina 28562

**Federal Agency:** U.S. Department of Housing & Urban Development (HUD)

**Responsible Entity:** North Carolina Office of Recovery and Resiliency (NCORR)

**Project Administrator:** North Carolina Housing Finance Agency (NCHFA)

**Grant Recipient:** Palatine Meadows LP

**State/Local Identifier:** B-19-DV-37-0001 and B-19-DV-37-0002

**Preparer:** Andrea Gievers, Environmental SME, NCORR

**Certifying Officer Name and Title:** Laura Hogshead, Chief Operating Officer, NCORR

**Consultant:**

Jennifer B. Wolff, CPG, CHMM  
Braun Intertec Corporation  
11001 Hampshire Avenue South  
Minneapolis, MN 55438  
(612) 360-8630

**Direct Comments to:**

Andrea Gievers  
Environmental SME  
NCORR - Community Development  
[Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov)  
(845) 682-1700

### **Project Location:**

The proposed project site consists of an approximately 3.745-acre parcel located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562 (Site). The Parcel ID is 8-211-008. **Figure 1 in Attachment A** provides a map of the Site location. The Site is currently undeveloped. The parcel was initially identified as 4140 in the Phase 1 Environmental Site Assessment (Phase I ESA). After the proposed project had been reviewed by the City of New Bern, it was assigned new proposed building addresses. The new proposed building addresses will be 3000, 3200, 3400, and 3600 Academic Drive.

### **Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:**

Palatine Meadows (proposed project) is a new construction project that will result in 60 units of affordable rental housing targeting low-income families. A Site Location Map, Site Layout, and a Proposed Project Sites Plans are provided in **Attachment A**.

The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area that will require ground disturbance to install.

### **Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:**

The purpose of the proposed project is to construct 60 units of affordable residential rental housing targeting low-income families in the City of New Bern. The City is seeking affordable housing to address the shortage in affordable housing inventory exacerbated by the effects of Hurricane Florence. The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. A recent market analysis found a strong demand for affordable housing, evidenced by stable occupancy rates and waiting lists for existing affordable housing. This proposed project will increase affordable housing inventory for low-income families in the community.

### **Existing Conditions and Trends [24 CFR 58.40(a)]:**

The Site is located in the western portion of the City of New Bern, within walking distance of the New Bern High School and just north of Dr. Martin Luther King Jr. Boulevard, which is a retail/commercial corridor. The Site is a mostly grass-covered, undeveloped approximately 3.745-acre parcel. Electrical boxes are present on the edge of the Site. Gas pipeline markers, utility pole, and pad-mounted transformer are present on the Site. Adjacent to the north is a metal fabricator company and the New Bern High School; to the northeast is a cellphone tower, to the east is a

tractor dealer and automotive company; to the south is a fast food restaurant and the tractor dealer; and to the west, beyond Academic Drive, is a housing development.

The Site was used for agriculture until the 1960s when buildings were present on the southern portion. A residence was also present in the southern portion from the early 1980s to until the early 1990s. By the mid-1990s, the previous buildings were replaced with a commercial building. All buildings were no longer present by 2007.

The surrounding properties were vacant or agricultural until starting in the 1970s when the properties were developed with commercial and residential properties.

### **Funding Information**

<b>Grant Number</b>	<b>HUD Program</b>	<b>Funding Amount</b>
B-19-DV-37-0001 and B-19-DV-37-0002	CDBG-DR	\$3,810,000.00

**Estimated Total HUD Funding Amount:** \$3,810,000.00

**Non-HUD Program:** RPP Loan (HOME Match)

**Non-HUD Funding Amount:** \$800,000.00

**Non-HUD Funding Source:** Bank Loan

**Non-HUD Funding Amount:** \$2,086,000.00

**Non-HUD Funding Source:** Federal LIHTC

**Non-HUD Funding Amount:** \$5,234,759.00

**Non-HUD Funding Source:** Deferred Development Fee

**Non-HUD Funding Amount:** \$147,060.00

**Estimated Total non-HUD Funded Amount:** \$8,267,819.00

**Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:** \$12,077,819.00

**Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities**

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
<p><b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6</b></p>		
<p><b>Airport Hazards</b></p> <p>24 CFR Part 51 Subpart D</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Based on a map review, there are no military airfields within 15,000 feet or civilian, commercial service airports within 2,500 feet of the proposed project site. A map showing the location of the airport hazards in relation to the proposed project site is attached as <b>Attachment B</b>.</p> <p><b>The proposed project is in compliance with Airport Hazards, 24 CFR Part 51 Subpart D.</b></p>
<p><b>Coastal Barrier Resources</b></p> <p>Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>According to the U.S. Fish and Wildlife Service’s (USFWS) Coastal Barrier Resources System (CBRS) map for North Carolina, the proposed project site is not located in or near a CBRS unit. A map showing the USFWS CBRS is attached as <b>Attachment C</b>.</p> <p><b>The proposed project is in compliance with the Coastal Barrier Resources Act, 16 USC 3501.</b></p>
<p><b>Flood Insurance</b></p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel Number 3720546900K, effective 6/19/2020, parts of the northern portion of the Site are located within Zone X shaded (which refers to areas between the limits of the base flood and the 0.2-percent-annual-chance or 500-year floodplain) and Zone AE which is a Special Flood Hazard Area (SFHA) and 100-year floodplain. The proposed project is not a critical action under 24 CFR 55.2(b)(3) and, therefore, the focus will be on modifications in the 100-year</p>

<b>Compliance Factors:</b>  Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
		<p>floodplain. The remainder of the Site where the buildings and improvements are wholly located is situated within Zone X, outside of the SFHA and 100-year floodplain. The areas within Zone AE (SFHA and 100-year floodplain) will not be developed as part of the proposed project. The 100-year floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to the floodplain but has been designed to remain outside of the floodplain. The proposed project site does not include any areas of regulatory floodway. There are no Preliminary FIRMs available at the FEMA Flood Map Service Center for the proposed project site. Thus, flood insurance will not be required for the proposed project because all insurable structures will be located in Zone X. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the NFIP. The proposed project is in compliance with flood insurance requirements.</p> <p>The Floodplain Management (Executive Order [EO] 11988) and Protection of Wetlands (EO 11990) Determination for the proposed project documents the 8-step process under 24 CFR 55.20 in <b>Attachment D</b>.</p> <p><b>The proposed project is in compliance with the Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994, 42 USC 4001-4128 and 42 USC 5154a.</b></p>
<b>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 &amp; 58.5</b>		
<b>Clean Air</b>  Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	According to the EPA Greenbook, the proposed project site is not located in a county in nonattainment or maintenance status for any criteria pollutants. The construction and operation of the facility is exempted from NC State air quality permit requirements under 15A NCAC 02Q.0102(d) since emissions will be below the

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>established thresholds. Thus, the proposed project's emissions are automatically considered de minimis (40 CFR § 93.153(c)(2)) and the proposed project is considered compliant with the State Implementation Plan. The proposed project would not exceed de minimis emissions levels for federal general conformity purposes (40 CFR § 93.153(c)(2)).</p> <p>The proposed project constructs a multifamily residential structure with amenities. The proposed project will not generate significant levels of vehicular traffic. Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. The contractor will use Best Management Practices (BMPs) to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck to stabilize potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and operating construction vehicles and machinery at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed.</p> <p>Based on the EPA's Radon Zone Map, the proposed project site is located within Zone 3 with predicted average indoor radon screening levels less than 2 pCi/L (Low Potential) (see</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p><b>Attachment E).</b> Due to the low potential for elevated indoor radon levels, no additional steps are required for radon mitigation.</p> <p>Therefore, there will be no significant impact to air quality from the proposed project. The operation of the proposed project following the completion of construction activities will not increase emissions. Any air quality impacts would be short-term and localized during construction, and no significant adverse impacts to air quality are anticipated.</p> <p>The NEPAassist air quality map, EPA Greenbook and NC Radon Map are attached as <b>Attachment E</b>.</p> <p><b>The proposed project is in compliance with the Clean Air Act, 4 CFR Parts 6, 51, 93.</b></p>
<p><b>Coastal Zone Management</b></p> <p>Coastal Zone Management Act, sections 307(c) &amp; (d)</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The North Carolina coastal zone consists of 20 coastal counties that in whole or in part are adjacent to, adjoining, intersected, or bounded by the Atlantic Ocean or any coastal sound. The proposed project site is located within one of the 20 listed counties in the North Carolina coastal zone and involves new construction.</p> <p>Therefore, the NC Division of Coastal Management (NC DCM) was contacted to determine whether the proposed project is consistent with the State coastal zone management program's consistency criteria.</p> <p>NC DCM reviewed the proposed project information submitted pursuant to the management objectives and enforceable policies of Subchapters 7H and 7M of Chapter 7 in Title 15A of the North Carolina Administrative Code and concurred that the proposed activity is consistent with North Carolina's approved coastal</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>management program. NC DCM's counties map, correspondence and email determination are attached as <b>Attachment F</b>.</p> <p><b>The proposed project is in compliance with the Coastal Zone Management Act, sections 307(c) &amp; (d).</b></p>
<p><b>Contamination and Toxic Substances</b></p> <p>24 CFR Part 50.3(i) &amp; 58.5(i)(2)</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>A site inspection was performed on the proposed project site and no hazards were identified. The Site is not on a list of Superfund National Priorities or Comprehensive Environmental Response Superfund National Priorities or Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) List, or equivalent State list compiled by the US EPA. According to NEPAssist, there are no federal Superfund sites, Brownfield sites, water discharger (NPDES) facilities, or air emission facilities located within a one-mile radius of the Site. The NC Department of Environmental Quality (NC DEQ) Division of Waste Management (DWM) Site Locator Tool does not identify a toxic or solid waste landfill within 3,000 feet of the site in <b>Attachment G</b>. Also, according to NC DWM Underground Storage Tank (UST) Division, a search of the UST Section databases found no reported petroleum releases known to exist at this location and determined that this project should not have any adverse impact upon groundwater (See State Environmental Clearinghouse [SCH] Comments in <b>Attachment R</b>).</p> <p>According to the NC DEQ DWM, one federal superfund project site was identified within one mile of the site. A copy of their comment is provided in <b>Attachment G</b> and <b>S</b>. The superfund site is the Clarke Power Services facility, which is located approximately ¾ mile to the east of the Site. Wilson Creek is located between the Clarke Power Services facility and the Site, which would act as a hydrogeologic barrier to contaminant migration from the Clarke Power Services facility</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>to the site. Based on this information, the Clarke Power Services facility is not expected to impact the Site.</p> <p>According to NEPAssist, there are nine Resource Conservation and Recovery Act (RCRA) hazardous waste disposal permit sites within a one-mile radius. These include the Cosmoprof, Walgreens, Bayliner Marine Corporation, Tractors Supply, Aamco Transmission, Publix Supermarket, Marine &amp; Industrial Plastics, Carquest Auto Parts, and Target Store. The Cosmoprof (cosmetics, beauty supplies and perfume stores), Tractor Supply (all other miscellaneous store retailers and all other general merchandise stores), Publix Supermarket (pharmacies and drug supplies), Walgreens (pharmacies and drug supplies), Carquest Auto Parts (automotive parts and accessories stores – active and no violations identified) are all very small quantity generators (VSQG). Target Store (discount department stores and department stores) is a small quantity generators (SQG) and active with no violations identified. The Aamco Transmission has no handler universe and no additional information or reported violations. Marine &amp; Industrial Plastics has no handler universe or reported violations and waste codes F003 and U160. Bayliner Marine Corporation (Inactive – no violations identified) is the final RCRA site and is also the only Toxic Release Inventory (TRI) Site identified within a one-mile radius. Bayliner Marine Corporation (boat building and repairing) was last reported for TRI in 1990. A review of the available facility records shows that these facilities include one SQG, five VSQGs, two boat building companies and a garage with no reported violations. Therefore, these facilities do not pose a hazard that could affect the health and safety of occupants or conflict with the intended utilization of the subject property. The NEPAssist Report and NC DEQ DWM Site Locator Tool are attached as <b>Attachment G</b>.</p>

<b>Compliance Factors:</b>  Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
		<p>The Phase I ESA report identified and evaluated potential hazards and concluded that there are no on-site recognized environmental conditions (RECs) or vapor encroachment conditions (VECs). Based upon the site inspection, NEPAssist and NC DWM search results, and the Phase I ESA, there were no hazards identified that could affect the health and safety of occupants or conflict with the intended utilization of the subject property.</p> <p><b>The proposed project is in compliance with contamination and toxic substances.</b></p>
<b>Endangered Species</b>  Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes    No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The U.S. Fish and Wildlife Service Information for Planning and Consultation (IPaC) database identified 12 federally listed species for the Site vicinity: the American Alligator (Threatened-Similarity of Appearance), Eastern Black Rail (Threatened), Green Sea Turtle (Threatened), Leatherback Sea Turtle (Endangered), Monarch Butterfly (Candidate), Neuse River Waterdog (Threatened), Northern Long-eared Bat (Threatened), Red-cockaded Woodpecker (Endangered), Red Knot (Threatened), Rough-leaved Loosestrife (Endangered), Sensitive Joint-vetch (Threatened) and the West Indian Manatee (Threatened). A query of the North Carolina Natural Heritage Program database identified the West Indian Manatee as the only federally listed Threatened species within one-mile of the Site. A query of the NC NHP database resulted in no records for important natural communities, natural areas, and/or conservation/managed areas within the proposed project boundary. Since the Site does not contain coastal waters or shorelines, freshwater waterbodies or mature forest/woodlands, suitable habitat is not present for the majority of protected species identified in state and federal databases.</p> <p>As a candidate species, the Monarch Butterfly has no statutory protection under the Federal</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>Endangered Species Act (ESA) but is in consideration for future listing as a threatened or endangered species. The proposed project may affect but is not likely to adversely affect the Monarch Butterfly. In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. It is anticipated that temporary impacts might occur during construction.</p> <p>The Northern Long-eared Bat (NLEB) profile shows that this species does include ranges of occupation that occur within the County. On February 3, 2022, Judith Ratcliffe with the NC NHP issued an emailed response regarding the NLEB and the proposed project site. The response stated “there are no documented Northern Long-eared Bat maternity roost trees within 150 feet of this project boundary. There are no documented Northern Long-eared Bat hibernacula within 0.25 mile of this project boundary.” The IPaC, NC NHP email, and the NC NHP Database Query Report are included in <b>Attachment I</b>.</p> <p>For this proposed project, the USFWS Raleigh Ecological Services’ online 10-step project review process was completed and “no effect” determinations for proposed/listed species and/or proposed/designated critical habitat, except for the Monarch Butterfly, NLEB, and migratory birds and a “no Eagle Act permit required” determination for eagles were made. The proposed project will have “no effect” on those identified species because there are no listed species, designated critical habitats or suitable habitat in the action area. A complete protected species evaluation with the IPaC report is included as <b>Attachment I</b>.</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>NCORR submitted the 10-step project review package and signed NLEB 4(d) Rule Streamlined Consultation Form to the USFWS on February 17, 2022 as notification of its determination and requested acknowledgement of receipt and determination whether the proposed action may affect, but is not likely to adversely affect the NLEB (see Attachment).</p> <p>Under the NLEB 4(d) Rule Streamlined Consultation Form, “[i]f the USFWS does not respond within 30 days from submittal of this form, the action agency may presume that its determination is informed by the best available information and that its project responsibilities under 7(a)(2) with respect to the NLEB are fulfilled through the USFWS January 5, 2016, Programmatic BO. <b>The action agency will update this determination annually for multi-year activities.</b>” According to the USFWS letter dated January 14, 2022, “[b]ased upon your IPaC submission, the Action is consistent with activities analyzed in the PBO. The Action may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o). Unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.” A response has not been received from the USFWS, however, if a response is received then it will be included in the Environmental Review Record (ERR).</p> <p><i>The USFWS recommends to avoid tree clearing from April 1 to October 31 for the NLEB. It is also recommended to conduct vegetation and tree clearing from September 1-April 30 to avoid impacts to nesting migratory birds (nesting season is typically May-August).</i></p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>The Self-Certification Letter dated January 17, 2022 states that “we concur with the ‘no effect’ or ‘not likely to adversely affect’ determinations for proposed and listed species and proposed and designated critical habitat; the ‘may affect’ determination for Northern long-eared bat; and/or the ‘no Eagle Act permit required’ determinations for eagles. Additional coordination with this office is not needed” (see <b>Attachment I</b>).</p> <p><b>The proposed project is in compliance with the Endangered Species Act of 1973.</b></p>
<p><b>Explosive and Flammable Hazards</b></p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Based on review of the 2021 Phase I ESA, NEPAssist, and the NC DWM Site Locator Tool, and aerial map, no explosive or flammable hazards are located on or adjacent to the Site. The NC DEQ UST division reviewed the project information and searched the Petroleum Underground Storage Tank (UST) and non-UST databases. They indicated that no petroleum releases were identified within the proposed project area. They concluded “this project should not have any adverse impact upon groundwater.” Their response is provided as page 9 of the NC DEQ comments, <b>Attachment R</b>.</p> <p>Aboveground Storage Tank (AST) hazards were not identified within one mile of the Site during the site visit and review of maps and photographs. Five AST incidents were identified on the NC DEQ Facility Screening Report search within a one-mile radius of the Site but no ASTs were visible on the aerial map for these locations. Fire-Rescue Chief Robert Boyd was contacted for planned ASTs but no response has been received.</p> <p>Therefore, no mitigation is required for explosive and flammable hazards. <b>The proposed project is in compliance with explosive and flammable hazards.</b></p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
<p><b>Farmlands Protection</b></p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The Site is currently vacant, grass-covered land located within an urban developed area. Based on the Web Soil Survey website, the Site consists of loamy sand of the Autryville, Torhunata, and Goldsboro soil map units. The Goldsboro unit account for the majority of the Site’s soils. The Goldsboro unit is considered prime farmland. Autryville is Farmland of statewide importance and Torhunata is prime farmland, if drained.</p> <p>The proposed project includes new construction activities that could potentially convert agricultural land to a non-agricultural use, but an exemption applies. According to 7 CFR Part 658.2(a) “[f]armland does not include land already committed to urban development.” According to the 2010 Census – Urbanized Area Reference Map for New Bern, NC, the Site is not located within an urbanized area. However, based on review of the historical uses of the Site, the Site has been previously developed and entirely built upon. The Web Soil Survey is provided as <b>Attachment J</b>.</p> <p><b>Therefore, the proposed project is in compliance with the Farmland Protection Policy Act of 1981.</b></p>
<p><b>Floodplain Management</b></p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes    No</p> <p><input checked="" type="checkbox"/>    <input type="checkbox"/></p>	<p>According to the FEMA FIRM Panel Number 3720546900K, effective 6/19/2020, parts of the northern portion of the Site are located within Zone X shaded (which refers to areas between the limits of the base flood and the 0.2-percent-annual-chance or 500-year floodplain) and Zone AE which is a SFHA and 100-year floodplain. The proposed project is not a critical action under 24 CFR 55.2(b)(3) and, therefore, the focus will be on modifications in the 100-year floodplain. The remainder of the Site where the buildings and improvements are wholly located is situated within Zone X, outside of the SFHA and 100-year floodplain. The areas within Zone AE (SFHA and 100-year floodplain) will not be developed as part</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>of the proposed project. The proposed project will result in temporary impacts to 0.01 acres of 100-year floodplain and permanent impacts to 0 acres of 100-year floodplain. All proposed project activities will comply with the City of New Bern Local Floodplain Development Permit requirements. The 100-year floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to the floodplain but has been designed to remain outside of the floodplain. Best management practices for erosion and sedimentation control such as silt fencing will be utilized during construction. Thus, measures will be implemented to ensure the proposed project will have no further impacts to 100-year floodplain during construction.</p> <p>The proposed project activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the environmental review record when received from the permitting agencies.</p> <p>The Floodplain Management (EO 11988) and Protection of Wetlands (EO 11990) Determination documents the 8-step process under 24 CFR 55.20 in <b>Attachment D</b>.</p> <p><b>The proposed project is in compliance with Executive Order 11988.</b></p>
<p><b>Historic Preservation</b></p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>The North Carolina State Historic Preservation Office (NC SHPO) was consulted if the proposed project would have adverse effects on historic or archeological resources at the Site. NCORR submitted the proposed project to the NC SHPO on February 16, 2022 and the NC SHPO responded on April 11, 2022 that “[w]e have conducted a review of the project and are aware of no historic resources which would be affected</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>by the project. Therefore, we have no comment on the project as proposed.” See <b>Attachment K</b>.</p> <p>According to the HUD Tribal Directory Assessment Tool (TDAT), the Catawba Indian Nation and Tuscarora Nation are the only federally-recognized tribes with interests in Craven County, North Carolina. On February 17, 2022, NCORR consulted with the Catawba Indian Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. On March 15, 2022, the Catawba Indian Nation’s Tribal Historic Preservation Office (THPO) responded that “[t]he Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. <b>However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.</b>”</p> <p>On February 17, 2022, NCORR consulted with the Tuscarora Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. A response has not been received, but will be included in the ERR when received.</p> <p>See <b>Attachment K</b> for SHPO submission and response, Catawba Indian Nation correspondence and response, and Tuscarora Nation correspondence.</p> <p><b>The proposed project is in compliance with National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800.</b></p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
<p><b>Noise Abatement and Control</b></p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Martin Luther King Jr. Boulevard is within the HUD-specified distances of the Site (within 1,000 feet). No railway is located within 3,000 feet of the Site. The Site is located within 15 miles of the Coastal Carolina Regional Airport. Based on the calculations conducted in accordance with HUD guidance, the Day-Night Average Sound Level (DNL) at the residential unit closest to the roadway is 61 dB and the DNL at the outdoor noise-sensitive spaces closest to the roadway is 63 dB using current and 2040 traffic projections. Both noise levels are considered “Acceptable” under HUD guidance. The noise assessment is provided as <b>Attachment L</b>.</p> <p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours, Monday through Friday, except in emergency situations. Construction equipment will be required to meet local sound control requirements.</p> <p><b>The proposed project is in compliance with the Noise Control Act of 1972 as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B.</b></p>
<p><b>Sole Source Aquifers</b></p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes    No</p> <p><input type="checkbox"/>    <input checked="" type="checkbox"/></p>	<p>Based on the EPA Map of Sole Source Aquifer Locations, the Site is not located within the boundaries of a designated sole source aquifer. A copy of the map is attached as <b>Attachment M</b>.</p> <p><b>The proposed project is in compliance with the Safe Drinking Water Act of 1974, as amended.</b></p>

<p><b>Wetlands Protection</b></p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>There are no USFWS National Wetlands Inventory (NWI) mapped wetlands located on the proposed project site or adjoining the Site. The NWI map is provided in <b>Attachment N</b>. During the site visit, there was a manmade drainage ditch for stormwater conveyance identified located on City-owned property between the western property boundary and Academic Drive. The City-owned drainage ditch meets the three wetland characteristics (soils, vegetation and hydrology) under 1987 Corps of Engineers Wetlands Delineation Manual and Regional Supplements. A portion of the drainage ditch contains standing water likely due to the nonfunctioning of the culvert but the entire ditch is being treated as wetland under this EO 11990 and 24 CFR 55 review. A jurisdictional determination application will be submitted to U.S. Army Corps of Engineers (USACE) for Clean Water Act (CWA) Section 404 permit(s) and NC DEQ Division of Water Resources (DWR) will be contacted for CWA Section 401 Water Quality Certification(s) including T15A 02H .0500 certifications which are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323. The resulting USACE-issued JD and any accompanying delineation will serve as the determination for the location of onsite wetlands. The wetlands will be determined whether they meet the HUD definition of wetlands under 24 CFR 55.2(b)(11) which can include non-jurisdictional and jurisdictional wetlands. According to NC DEQ, the proposed project should ensure compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required (see <b>Attachment S</b>). The proposed project will result in temporary impacts to 0.0187 acres of wetlands and permanent impacts to 270 square feet of wetlands in an existing drainage ditch located along Academic Drive. These impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the proposed project's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch</p>
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	<p>diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres.</p> <p>According to the NC DEQ DWR Water Quality Regional Operations Section (WQROS), the Washington Regional office should be contacted at (252) 946-6481 to schedule a site visit with 401 water quality staff to discuss the proposal and to ensure compliance will be maintained per 401 surface water requirements, surface water standards, and buffer rules (<b>Attachment R</b>).</p> <p>The proposed project will have a stormwater permit and a Stormwater Pollution Prevention Plan (SWPPP). According to the NC DEQ, the proposed project must comply with 15A NCAC 2H 1000 State Stormwater Permitting Programs that regulate site development and post-construction stormwater runoff control. The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. The plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater Permit (NCG010000) is also usually issued should design features meet minimum requirements. BMPs for erosion and sedimentation control such as silt fencing will be utilized during construction. Thus, measures will be implemented to ensure the proposed project will have no further impacts to wetlands during construction.</p> <p>The USACE, NC DEQ DWR, and local jurisdictions will be contacted and permits obtained before work is commenced. The proposed project activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions. Permits required for this proposed</p>
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<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p>project shall be obtained before commencing work and appended to the ERR when received from the permitting agencies.</p> <p>The Floodplain Management (EO 11988) and Protection of Wetlands (EO 11990) Determination documents the 8-step process under 24 CFR 55.20 in <b>Attachment D</b>.</p> <p><b>The proposed project is in compliance with Executive Order 11990.</b></p>
<p><b>Wild and Scenic Rivers</b></p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>According to the Department of the Interior National Park Service Nationwide Rivers Inventory Map and National Wild and Scenic River System Map, the proposed project site is not located within 0.25 miles of a WSR or NRI river. A copy of the maps are provided as <b>Attachment O</b>.</p> <p><b>The proposed project is in compliance with the Wild and Scenic Rivers Act of 1968.</b></p>
<p><b>ENVIRONMENTAL JUSTICE</b></p>		
<p><b>Environmental Justice</b></p> <p>Executive Order 12898</p>	<p>Yes    No</p> <p><input type="checkbox"/>   <input checked="" type="checkbox"/></p>	<p>According to the EPA Environmental Justice Screening and Mapping Tool, the proposed project site is not located in a potential Environmental Justice area. The proposed project does not facilitate development which would result in disproportionate adverse environmental impacts on low-income or minority populations. Rather, the proposed project will develop the site with multifamily affordable housing for low-income families of the local area. The EJSscreen Report is provided as <b>Attachment P</b>.</p> <p>Based on this Environmental Assessment, no adverse environmental conditions are present on the Site or the surrounding neighborhood, nor will any be created by the proposed project. The proposed action will be beneficial for low-income populations as it provides needed housing.</p>

<p><b>Compliance Factors:</b></p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
		<p><b>The proposed project is in compliance with Executive order 12898.</b></p>

**Environmental Assessment Factors** [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

**Impact Codes:** Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
<b>LAND DEVELOPMENT</b>		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	<p>The Site is zoned C-3 Commercial District in the New Bern, North Carolina Zoning Map (<b>Attachment Q</b>). The C-3 Commercial District allows for multifamily residential development. The proposed project is a permitted use within this zoning district. Seth Laughlin, Land and Community Development Administrator, confirmed that the Site is zoned C-3 Commercial, and that multifamily housing is permitted by right in the C-3 zoning district. A copy of the Certificate of Zoning Compliance is attached as <b>Attachment Q</b>.</p> <p>The proposed project will be compatible with land use of the area. The proposed multifamily buildings will fit</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>in with the surrounding areas without dominating the landscape. The proposed project will develop an underutilized, vacant property in a developed area of the City of New Bern. Surrounding properties are occupied by various commercial, retail, and educational facilities, providing education and employment opportunities. Therefore, the proposed project is not expected to impact the land use, zoning, scale, and urban design of the area.</p>
<p>Soil Suitability/ Slope/ Erosion/ Drainage/ Stormwater Runoff</p>	<p>2</p>	<p>The site visit from the Phase I ESA indicated that the Site was a previously developed, vacant parcel. A review of the United States Department of Agriculture (USDA) National Resource Conservation Service (NRCS) web soil survey map indicated the Site consists of loamy sand of the Autryville, Torhunta and Goldsboro soil map units. The Goldsboro units account for the majority of the Site's soils. The Goldsboro unit is considered prime farmland and the Torhunta unit is considered prime farmland if drained. The Autryville unit is considered farmland of statewide importance. The soils are 0 to 6 percent slopes. The Autryville unit is characterized as well drained loamy sands, with a very low runoff class. The Goldsboro unit is characterized as moderately well drained loamy sands with clay loam, with a low runoff class. The Torhunta unit is characterized as very poorly drained loamy sands, with a very high runoff class. According to the topographic map, the Site is generally flat with a slight slope to the south, with minimal grading necessary. Fill may be needed in some instances during construction but is not expected to be extensive.</p> <p>Stormwater velocity is not expected to increase based on the flat site and proposed development. The proposed project will include new impervious surfaces, which will be directed to a new stormwater pond on the northern portion of the Site. The adjacent street has curb and gutters which direct overland flow to the New Bern stormwater system.</p> <p>A manmade drainage ditch for stormwater conveyance is located on City-owned property between the western property boundary and Academic Drive. A portion of the drainage ditch contains standing water likely due to the nonfunctioning of the culvert but the entire ditch is being treated as wetland under this EO 11990 and 24 CFR 55 review. The proposed project will result in temporary impacts to 0.0187 acres of wetlands and permanent impacts to 270 square feet of wetlands in the existing drainage ditch located along Academic Drive. These</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the proposed project's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres. The proposed project activities to the culverts will improve drainage along Academic Drive by fixing a nonfunctioning City-owned manmade drainage ditch used for stormwater conveyance.</p> <p>As the Site is currently vacant, it is not connected to municipal sewer systems (sanitary and storm), but these systems are available to the Site and will be added during the proposed project. During construction of the proposed project, BMPs will be utilized to control stormwater runoff and erosion.</p> <p>The proposed project when completed is not expected to substantially contribute to off-site pollution caused by run-off of pollutants. Coverage under the NPDES Construction Stormwater Permit (NCG010000) will be obtained prior to start of construction. A SWPPP will be prepared for the construction to manage stormwater during construction. The proposed project will be constructed in compliance with 15A NCAC 2H1000 – State Stormwater Permitting Programs. The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. The plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. BMPs for erosion and sedimentation control such as silt fencing will be utilized during construction.</p> <p>Therefore, the proposed project is not expected to adversely impact Soil Suitability/ Slope/ Erosion/ Drainage/ Stormwater Runoff at the Site.</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
Hazards and Nuisances including Site Safety and Noise	2	<p>The proposed project does not have a high potential to be affected by natural hazards. The Site is not located in an area with hazardous terrain.</p> <p>Based upon the site inspection, NEPAassist and NC DWM search results, and the Phase I ESA, there were no hazards identified that could affect the health and safety of occupants or conflict with the intended utilization of the subject property. According to the Professional Service Industries, Inc. 2021 Phase I ESA Report, there are no known surface or subsurface contaminants at the Site.</p> <p>Development of the Site will increase man-made hazards and noise during construction. In order to mitigate hazards during construction, fencing will be erected around the Site to secure the area and keep the general public from the physical hazards. Designated entrance and exit points will be used in order to control traffic and enter public roads at safe areas.</p> <p>Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. The contractor will use BMPs to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck for stabilizing potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and operating construction vehicles and machinery at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed. (See Clean Air Act section.)</p> <p>According to the analysis completed by using the HUD DNL Calculator for the project data, noise abatement is not required. Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours,</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>Monday through Friday, except in emergency situations. Construction equipment will be required to meet local sound control requirements.</p> <p>Therefore, the proposed project is expected to have a minor adverse impact on site safety and noise, which will reduce after construction is complete. Noise mitigation measures will be conducted during construction.</p>
Energy Consumption	2	<p>Energy-efficient building materials are to be utilized during construction, and upon completion, the apartments will be equipped with high efficiency lighting and appliances. The proposed project will achieve ENERGY STAR Multifamily New Construction Program Certification as verified by an independent, third-party expert who assists with project design, verifies construction quality, and tests completed units.</p> <p>The proposed project will cause an increase in energy use as the Site is currently undeveloped. However, the proposed project will be connected into an existing grid and will not require additional infrastructure. In addition, the proposed project site is located close to many area amenities.</p> <p>Therefore, the proposed project will have a minor adverse impact which will be mitigated by energy efficient building materials and appliances.</p>
<b>SOCIOECONOMIC</b>		
Employment and Income Patterns	2	<p>The proposed project is expected to generate a small amount of temporary employment opportunities during the construction phase of the project. After completion, the proposed project is not expected to have a significant effect on local employment. Temporary jobs will be mostly trade-based; the contractors that are selected to construct the buildings will determine the number and demographics of employees.</p> <p>The proposed project will provide needed affordable housing for area citizens. The proposed project is located near a commercial district which will provide employment opportunities to residents. While there is no public transportation in the area, many businesses are located within walking distance of the proposed project.</p> <p>Therefore, the proposed project is not expected to impact the employment and income patterns for the area.</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
Demographic Character Changes, Displacement	2	<p>The proposed project buildings will contain 60 units, restricted to households between 40 percent to 80 percent of the area median income (AMI). The residents are expected to come from the surrounding communities and, therefore, the proposed project is not expected to create significant demographic changes in the surrounding area. The proposed project will not deny any population within the local community potential for growth. The proposed project will not act as an isolation feature within the local area or community. The proposed project will not significantly impact the demographics of the local community. Local institutions (churches, community centers, elderly centers, etc.) will not be adversely impacted by the development. The proposed project will not displace populations, businesses, or community facilities as the Site is currently an undeveloped vacant lot. Therefore, the proposed project is not expected to impact the demographic character for the area.</p>
<b>COMMUNITY FACILITIES AND SERVICES</b>		
Educational and Cultural Facilities	2	<p>The proposed project is targeting those in need of affordable housing from the region. Most occupants are expected to come from within the existing New Bern population so a significant change in school-age children is not expected. In addition, the increased tax base from the proposed development should provide extra funding for the community.</p> <p>A Public Education Certification was submitted to Craven County Public Schools' Superintendent on January 20, 2022. Mr. Stacy Lee, Chief Officer of Systems and Operations, indicated that the proposed project is located within the Craven County School District (NC) and will not adversely impact the schools serving this project. He further indicated that the middle school that serves this area, HJ MacDonald, is considered low performing by the North Carolina Department of Education. A copy of the Public Education Certification is attached as <b>Attachment Q</b>.</p> <p>The additional 60 housing units are also not expected to strain existing cultural facilities. Therefore, the proposed project is expected to have minimal impact on educational and cultural facilities.</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
Commercial Facilities	1	<p>The Site is located within the City of New Bern making commercial services such as groceries and medicine readily available. Restaurants, medical centers, and grocery stores are located within one to two miles of the proposed project site and are accessible via private transportation. Existing commercial and retail services will not be displaced or adversely impacted as a result of this project as the Site is currently vacant. An increase of the local population in the area will bring economic value through additional consumers to the neighboring businesses. Additionally, the development should increase the employee availability to the local area. The proposed project should have a beneficial effect on local commercial facilities.</p>
Health Care and Social Services	2	<p>The proposed project will consist of 60 units. The tenant population is expected to be pulled from the existing population of New Bern and the surrounding area, and in turn will not contribute to a need for additional healthcare or social services in the area. A Health Services Certification was submitted to Craven County Health Department, on January 19, 2022. A response has not been obtained regarding the availability of health services in the vicinity of the proposed project. However, Goshen Medical Center is located approximately 0.5 mile to the southwest and several smaller medical clinics are located within 1 – 2 miles to the northwest of the proposed project site. Residents are not expected to need special care, as the proposed project is not specified for a population with special needs such as senior or assisted living.</p> <p>The City of New Bern has several options and spaces to provide social services. Because the tenant population will primarily be drawn from existing residents of New Bern, there is not be a need for additional resources. Therefore, the proposed project is not expected to adversely impact the health care and social services for the area.</p>
Solid Waste Disposal / Recycling	2	<p>During the construction phase of the proposed project, wastes generated are expected to consist of primarily packaging from construction materials, and mixed municipal wastes generated daily by site workers. These materials will be disposed of in designated receptacles and transported to permitted landfills accepting these types of wastes by a licensed waste hauler. According to the NC DEQ DWM, Solid Waste Section, any waste generated by and of the project that cannot be beneficially reused or recycled must be disposed of at a</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>solid waste management facility permitted by the Division. The Section strongly recommends that the responsible party require all contractors to provide proof of proper disposal for all generated waste to permitted facilities (<b>Attachment R</b>).</p> <p>Solid wastes generated from the completed project will consist of mixed municipal waste materials. A local garbage hauler will be used to move refuse off site to a permitted landfill accepting these types of wastes. No significant quantities of chemical/hazardous material are expected to be generated. Types, quantities, and composition of regulated wastes will be typical of residential activities.</p> <p>Sanitation services including recycling, in the area is provided by the City of New Bern, with several private waste haulers available as well. Several landfills are available in the area.</p> <p>Residents are expected to come from the area and so a major increase in service needs is not expected. Based on the information reviewed, the proposed project is not expected to impact the solid waste disposal/recycling for the area.</p> <p>According the NC DEQ, “[a]ny open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900 (see <b>Attachment S</b>). The NC DEQ DWM, Solid Waste Section reviewed the proposed project information and concluded “the Section at this time does not see an adverse impact on the surrounding communities and likewise knows of no situations in the communities, which would affect this project” Their response is on page 5 of the NC DEQ response, provided as <b>Attachment R</b>.</p>
Wastewater / Sanitary Sewers	2	<p>The Site is currently a vacant parcel and is not connected to any stormwater/sanitary sewer. Part of the proposed project will consist of connecting the new buildings to the City of New Bern municipal services which are available within Academic Drive.</p> <p>A Public Sewer Certification was sent to City of New Bern Director of Public Utilities to confirm that the City has the capacity to add the proposed project with no additional expansion. The City of New Bern indicated no lines are connected to the Site but that water and sewer lines run along Academic Drive. They further indicated that taps will need to be installed by the utility</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>contractor and all water and sewer system development and system connection fees will need to be paid before a building permit can be issued. A copy of their letter is in <b>Attachment Q</b>.</p> <p>The NC DEQ indicated in their response that the proposed project will need a “permit to construct &amp; operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer connection system.” Their comments are provided on page 6 of the NC DEQ comments in <b>Attachment R</b>. According to the NC DEQ DWR WQROS, the proposed project may require a sewer extension permit (<b>Attachment R</b>).</p> <p>Therefore, the proposed project is not expected to adversely impact wastewater/sanitary sewer service in the area.</p>
Water Supply	2	<p>Currently the parcel is vacant, and the Site is not connected to municipal water services. Part of the proposed project will consist of connecting the new building to the municipal water supply which is available along Academic Drive.</p> <p>A Public Water Certification was sent to City of New Bern Public Utilities to confirm that the City has the capacity to add the proposed project with no additional expansion. The City of New Bern indicated no lines are connected to the Site but that water and sewer lines run along Academic Drive. They further indicated that taps will need to be installed by the utility contractor and all water and sewer system development and system connection fees will need to be paid before a building permit can be issued. A copy of their letter is in <b>Attachment Q</b>. According to NC DEQ DWR’s Public Water Supply section, plan approval is required for expansion of a public water system and if existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the DWR/Public Water Supply Section (see <b>Attachment S</b>).</p> <p>Therefore, the proposed project is not expected to adversely impact the water supply for the area.</p>
Public Safety - Police, Fire and Emergency Medical	2	<p>The Site is located within the city limits of New Bern. Local public safety entities (police, fire, emergency medical) are located within five miles of the Site. The proposed buildings are similar in size to other buildings in the city, so local fire services are expected be</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>equipped to service the buildings. As the tenants are primarily anticipated to be existing residents of New Bern, the proposed project is not expected to create a significant new burden on local public safety entities.</p> <p>A Fire Protection Certification was sent to City of New Bern Fire-Rescue to confirm that fire protection is available and adequate. Daniel T Hill Jr, the Fire Marshal for the City of New Bern confirmed that fire protection is adequate and available for the project, with an average response time of 8 minutes, within the average community response time of 9 minutes. A copy of the letter is in <b>Attachment Q</b>.</p> <p>A Law Enforcement Certification was sent to City of New Bern Police Department to confirm that police service is available and adequate. Patrick Gallagher, the Chief of Police, confirmed that police service is adequate and available for the proposed project, with an average response time of 6.21 minutes, with the average community response time of 5 minutes. A copy of the letter is in <b>Attachment Q</b>.</p> <p>Therefore, the proposed project is not expected to adversely impact the public safety services for the area.</p>
Parks, Open Space and Recreation	2	<p>The proposed project will include open spaces and a playground for residents. In addition, New Bern has parks, open spaces and opportunities for recreation. Most residents are expected to be from the area so no increased impact on existing facilities is expected. A Recreational Services Certification was sent to the City of New Bern. No response has been received to date. The proposed project will not add additional recreational facilities to or be located in recreational facilities of the area.</p> <p>Based on the available information, the proposed project is not expected to adversely impact the parks, open space, and recreation in the area.</p>
Transportation and Accessibility	2	<p>Based on a national average of 10 trips per day per household, it is expected that the proposed project will generate approximately 600 trips per day, with peak times in the morning and afternoon. Due to the size of the proposed project, it is not expected to have a significant impact on traffic in the area. A parking lot will be onsite for tenant use. As the Site is currently vacant, roadway entrances and exits will be constructed</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>in a manner that safely provides access to the public road.</p> <p>Public transportation is not available in the City of New Bern. Educational facilities and business are available within walking distance of the proposed project.</p> <p>According to the North Carolina Department of Transportation, Martin Luther King Jr Blvd, which is located to the south of the Site, has annual average daily traffic (AADT) of 20,000 – 34,999.</p> <p>The North Carolina Department of Transportation noted two projects that are scheduled for the area of the proposed project. These are upgrades to US 70 to SR 1278 (Trent Road), and US 17 Business to south of US 17/US70. A copy of their response is provided as <b>Attachment R</b>. In a comment dated September 6, 2022, NC DOT stated “[t]here are no STIP Projects that should affect the project area. A Comprehensive Transportation Plan is currently under development for Craven County” (see <b>Attachment S</b>).</p> <p>Therefore, the proposed project is not to expected to adversely impact transportation and accessibility in the area.</p>
<b>NATURAL FEATURES</b>		
Unique Natural Features, Water Resources	3	<p>According to a query of the North Carolina Natural Heritage Program database, the Site is not located in an area of unique natural features (see <b>Attachment I</b>).</p> <p>Based on a review of the EPA Sole Source Aquifer Map, the Site is not located within the boundaries of a designated sole source aquifer. The site is previously developed urban land with no unique geological features. The Site will be connected to public water and no groundwater will be used at the Site for the proposed project.</p> <p>A review of the USFWS NWI Map indicates no wetlands or surface waters are located within or adjacent to the Site. During the site visit, there was a manmade drainage ditch for stormwater conveyance identified located on City-owned property between the western property boundary and Academic Drive. The City-owned drainage ditch meets the three federal criteria for wetland identification. A portion of the drainage ditch contains standing water likely due to</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>the nonfunctioning of the culvert but the entire ditch is being treated as wetland under this EO 11990 and 24 CFR 55 review.</p> <p>A jurisdictional determination application will be submitted to USACE for CWA Section 404 permit(s) and NC DEQ Division of Water Resources will be contacted for CWA Section 401 Water Quality Certification(s) including T15A 02H .0500 certifications which are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323. According to NC DEQ, the proposed project should ensure compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules (see <b>Attachment S</b>). The proposed project will result in temporary impacts to 0.0187 acres of wetlands and permanent impacts to 270 square feet of wetlands in an existing drainage ditch located along Academic Drive. These impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the proposed project's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres.</p> <p>The proposed project will have a stormwater permit and a Stormwater Pollution Prevention Plan (SWPPP). According to the NC DEQ, the proposed project must comply with 15A NCAC 2H 1000 State Stormwater Permitting Programs that regulate site development and post-construction stormwater runoff control. The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>Construction Stormwater Permit (NCG010000) is also usually issued should design features meet minimum requirements. BMPs for erosion and sedimentation control such as silt fencing will be utilized during construction. Thus, measures will be implemented to ensure the proposed project will have no further impacts to wetlands during construction.</p> <p>The USACE, NC DEQ DWR, and local jurisdictions will be contacted and permits obtained before work is commenced. The proposed project activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the ERR when received from the permitting agencies. Therefore, the proposed project is not expected to adversely impact unique natural features or water resources for the area.</p> <p>The Floodplain Management (EO 11988) and Protection of Wetlands (EO 11990) Determination documents the 8-step process under 24 CFR 55.20 in <b>Attachment D</b>.</p>
Vegetation, Wildlife	2	<p>The Site is currently undeveloped with a limited natural land cover. This landscape, combined with the Site's location in a developed area, does not provide suitable habitat for the majority of protected species identified in state and federal databases. As a result, no impacts to protected species are anticipated from the proposed project.</p> <p>However, the trees on Site provide nesting habitat for migratory birds and may provide potential summer roosting habitat for the Northern Long-eared Bat. While unlikely to occur, any take of Northern Long-eared Bats from the proposed project would be incidental and covered under the USFWS <i>Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Exempted from Take Prohibitions</i>.</p> <p>The USFWS recommends to avoid tree clearing from April 1 to October 31 for the NLEB. It is also recommended to conduct vegetation and tree clearing from September 1-April 30 to avoid impacts to nesting</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
		<p>migratory birds (nesting season is typically May-August).</p> <p>The proposed project is not anticipated to introduce nuisance plant species to the Site such as invasive species, or plants that disrupt native plant communities. Additionally, the proposed project will implement the following voluntary conservation measures to benefit wildlife and in particular, pollinators: plant native trees, shrubs, and flowering plants in landscaping, use plants that bloom spring through fall and remove/control invasive plant species present.</p> <p>The proposed project activities will be completed in accordance with all applicable federal, state, and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the ERR when received from the permitting agencies.</p> <p>Based on this information, the proposed project is not expected to adversely impact vegetation and wildlife for the area.</p>
<p>Other Factors</p> <p>Climate Change</p> <p>EO 14008</p>	<p>1</p>	<p>According to NOAA, climate change is likely increasing the intensity of tropical cyclones. The proposed project building site is not located within a Special Flood Hazard Area. A very small portion of the Site is located within 100- and 500-year floodplain and the only modification of the 100-year floodplain will be the removal of some trees. A City of New Bern Local Floodplain Development Permit will be obtained and complied with. The proposed development will provide much needed affordable housing options within the community. Due to the increased frequency of high intensity storms and the resultant housing inventory shortage, the proposed project site was determined most suitable and necessary for providing the community with new, safe, affordable housing.</p> <p><a href="https://www.climate.gov/news-features/understanding-climate/climatechange-probably-increasing-intensity-tropical-cyclones">https://www.climate.gov/news-features/understanding-climate/climatechange-probably-increasing-intensity-tropical-cyclones</a></p>
<p>Other Factors</p> <p>Environmental Justice</p>	<p>2</p>	<p>According to the NC DEQ Community Mapping System, the proposed project site is not located within NC DEQ's Potentially Underserved Block Groups</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
Impacts		2019. According to the EPA Environmental Justice Screening and Mapping Tool, the proposed project site has a 24% minority population and 21% low-income population within a one-mile radius which is much lower than the State and national averages. The proposed project will not subject the community to environmental conditions that may have disproportional effects on low-income or minority populations. Rather, this proposed project will provide much needed safe, affordable housing options within the community following a decrease in housing inventory after Hurricanes Matthew and Florence. The proposed project does not site a nuisance or hazard in a potential environmental justice area, but rather provides affordable housing to families who need it. Thus, the proposed project does not contribute to or promote environmental injustice.

**Additional Studies Performed:**

- Phase I Environmental Site Assessment completed by Professional Service Industries, Inc. in April 9, 2021.
- Rental Housing Market Feasibility Analysis was completed in 2021.

**Field Inspection** (Date and completed by)

A site reconnaissance was conducted by Dana Samelson, Environmental Assessor, of Professional Service Industries, Inc. as part of the Phase I ESA of the Site on March 22, 2021.

**List of Sources, Agencies and Persons Consulted** [40 CFR 1508.9(b)]:

**Attachments:**

- A - Proposed Project Location Maps & Site Plans
  - Site Location Map
  - Site Layout
  - Proposed Project Site Plans
- B - Airport Hazards Map
- C - CBRS Map
- D - FEMA FIRMs and Floodplain Management (EO 11988) and Protection of Wetlands (EO 11990) Determination
- E - Clean Air
- F - CZMA Map and Email
- G - Contamination and Toxics

- H - Phase I ESA Report
- I - Endangered Species Act
- J - Farmland Protection
- K - Historic Preservation
- L - Noise Assessment
- M - Sole Source Aquifers
- N - Wetlands
- O - Wild and Scenic Rivers
- P - Environmental Justice
- Q - EA Factors Attachments
- R - SCH All Comments March/ April 2022
- S - SCH Early Notice Comments
- T - SCH FONSI/NOIRROF/FN Comments (to be included)

### **References:**

Professional Service Industries, Inc, Phase I Environmental Site Assessment, Palatine Meadows, 4140 Academic Drive, New Bern, NC 28562.

City of New Bern website, <https://www.newbernnc.gov/>

FEMA Flood Map Service Center: <https://msc.fema.gov/portal/home>

USDA Web Soil Survey: <https://websoilsurvey.nrcs.usda.gov/app/>

USFWS IPaC Information for Planning and Construction: <https://ipac.ecosphere.fws.gov/>

USFWS National Wetlands Inventory: <https://www.fws.gov/wetlands/Data/Mapper.html>

Institute of Transportation Engineers, <https://www.ite.org/technical-resources/topics/trip-and-parking-generation/other-resources/>

North Carolina Department of Transportation,  
<https://ncdot.maps.arcgis.com/apps/webappviewer/index.html?id=964881960f0549de8c3583bf46ef5ed4>

US EPA Environmental Justice Mapping Tool,  
<https://ejscreen.epa.gov/mapper/index.html?wherestr=4041+Academic+Drive%2C+New+Bern%2C+North+Carolina>

North Carolina Division of Waste Management Site Locator Tool  
<https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html?id=7dd59be2750b40bebebf49fc383f688>

**List of Permits to Be Obtained** (later identified permits will be added to the ERR):

All applicable federal, state and local permits will be identified and obtained prior to starting construction.

<b>Unit of Government</b>	<b>Type of Application</b>	<b>Status</b>
<b>FEDERAL</b>		
USACE	CWA Section 404 Permit(s) (Individual or Nationwide)	To be submitted
<b>STATE</b>		
NC DEQ	NPDES/SDS Construction Stormwater Permit (NCG010000)/ Erosion Control Permit	To be submitted
NC DEQ DWR	CWA Section 401 Water Quality Certification(s) including T15A 02H .0500 and any Riparian Buffer authorizations, if applicable	To be submitted
North Carolina	Low-Income Housing Tax Credit Carryover Allocation Agreement	In process
NC DEQ DWR PWS	Water System Permit and/or Resources Watermain Extension Permit	To be submitted
NC DEQ DWR WQROS	Wastewater Collection System (Sanitary Sewer Permit) and/or Sewer Extension Permit	To be submitted
<b>LOCAL</b>		
City of New Bern	Watermain Extension Approval	To be submitted
	Driveway Permit	To be submitted
	Site Plan Review and Building Permit	To be submitted
	Stormwater Permit	To be submitted
	Local Floodplain Development Permit	To be submitted

**Public Outreach [24 CFR 50.23 & 58.43]:**

An Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland was published on August 24, 2022 and sent via Federal Express and email to Interested Agencies, Parties and Individuals, including the NC State Environmental Clearinghouse for agency review. The combined FONSI/NOI-RROF/Final Notice will be published in a local community newspaper and sent via Federal Express and email to Interested Agencies, Parties and Individuals. The FONSI/NOI-RROF/Final Notice and distribution list will be added to the ERR. The Final EA and FONSI/NOI-RROF/Final Notice are posted to the NCORR website.

The proposed project's draft EA was submitted to the NC State Environmental Clearinghouse for agency review from February 17, 2022 to March 21, 2022. The FONSI/NOI-RROF will also be submitted to the NC State Environmental Clearinghouse for agency review and comment. (All comments received are uploaded with this review under the EA Factors section in **Attachments R, S and T.**)

**Cumulative Impact Analysis [24 CFR 58.32]:**

The proposed project will add three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The purpose of the proposed project is to construct 60 units of affordable residential rental housing targeting low-income families in the City of New Bern. The City is seeking affordable housing to address the shortage in affordable housing inventory exacerbated by the effects of Hurricane Florence. The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low-income families.

The proposed project site was found to be a very suitable site for the development with no on-site or nearby recognized environmental conditions that would adversely affect the proposed project use or its occupants. No negative cumulative impacts to the environment were discovered as part of this Environmental Assessment. This site was found to be appropriate for much needed multifamily affordable housing with minimal adverse environmental impacts and close proximity to community services. Also, as the residents that are expected to occupy the new building are anticipated to be drawn largely from the existing New Bern population, no future infrastructure, and institutional, socioeconomic or other cumulative effects are anticipated. The benefits of this proposed project to the local economy and low-income community cannot be understated.

**Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]**

The site upon which the proposed project will be constructed is currently vacant, open land. Alternative sites within Craven County were preliminarily reviewed but were eliminated from further consideration as they were not within close proximity to amenities (such as grocery stores, pharmacies, etc.), had zoning issues, or were not within the areas in Craven County which were funded by NCHFA.

**No Action Alternative [24 CFR 58.40(e)]:**

Under the “no action” alternative the parcel would remain in its current state. Currently, the parcel is a vacant and undeveloped open area. Due to the location and character of the Site and surrounding properties, the parcel likely would be developed at a later time. With the “no action” alternative, affordable housing would not be provided for low-income families in the local community. Under the “no action” alternative, the City would have to find other options to address the affordable housing inventory shortage which resulted after Hurricanes Matthew and Florence.

**Summary of Findings and Conclusions:**

The preceding Statutory Checklist and Environmental Assessment Checklist, and the discussion below, document that the proposed project work will comply with regulations in 24 CFR part 58 and that there are no direct or cumulative adverse environmental impacts anticipated as a result of the proposed project.

**Mitigation Measures and Conditions [40 CFR 1505.2(c)]**

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Any change to the approved scope of work will require re-evaluation by the Certifying Officer for compliance with NEPA and other laws and Executive Orders.

This review does not address all federal, state, and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state, and local environmental permits and clearances may jeopardize federal funding. Guidelines, recommendations, and requirements identified during the State Environmental Clearinghouse inter-agency review shall be considered and required, where applicable.

Law, Authority, or Factor	Mitigation Measure
<p><b>Clean Air</b></p> <p>Clean Air Act, as amended, particularly section 176(c) &amp; (d); 40 CFR Parts 6, 51, 93</p>	<p>Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. The contractor will use Best Management Practices (BMPs) to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck for stabilizing potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and operating construction vehicles and machinery at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed.</p>
<p><b>Floodplain Management</b></p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>The areas within Zone AE (SFHA and 100-year floodplain) will not be developed as part of the proposed project. The proposed project will result in temporary impacts to 0.01 acres of 100-year floodplain and permanent impacts to 0 acres of 100-year floodplain. All proposed project activities will comply with the City of New Bern Local Floodplain Development Permit requirements. The 100-year floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to the floodplain but has been designed to remain outside of the floodplain. Best management practices for erosion and sedimentation control such as silt fencing will be utilized during construction. Thus, measures will be implemented to ensure the Project will have no further impacts to 100-year floodplain during construction.</p> <p>The proposed project activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the environmental review record when received from the permitting agencies.</p> <p>The Floodplain Management (EO 11988) and Protection of Wetlands (EO 11990) Determination documents the 8-step process under 24 CFR 55.20 in <b>Attachment D</b>.</p>

<p><b>Noise Abatement and Control</b> Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p> <p><b>Hazards and Nuisances including Site Safety and Noise</b></p>	<p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours, Monday through Friday, except in emergency situations. Construction equipment will be required to meet local sound control requirements.</p> <p><i>See also the Clean Air Act section's mitigation measures.</i></p>
<p><b>Wetlands Protection</b> Executive Order 11990, particularly sections 2 and 5</p> <p><b>Unique Natural Features, Water Resources</b></p>	<p>During the site visit, there was a manmade drainage ditch for stormwater conveyance identified located on City-owned property between the western property boundary and Academic Drive. The City-owned drainage ditch meets the three federal criteria for wetland identification. A portion of the drainage ditch contains standing water likely due to the nonfunctioning of the culvert, but the entire ditch is being treated as wetland under this EO 11990 and 24 CFR 55 review.</p> <p>A JD application will be submitted to USACE for CWA Section 404 permit(s) and NC DEQ DWR will be contacted for CWA Section 401 Water Quality Certification(s) including T15A 02H .0500 certifications which are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323. The resulting USACE-issued JD and any accompanying delineation will serve as the determination for the location of onsite HUD-defined wetlands under 24 CFR 55.2(b)(11), which can include non-jurisdictional and jurisdictional wetlands. According to NC DEQ, the proposed project should ensure compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules (see <b>Attachment S</b>). The proposed project will result in temporary impacts to 0.0187 acres of wetlands and permanent impacts to 270 square feet of wetlands in an existing drainage ditch located along Academic Drive. These impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the proposed project's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet.</p> <p>The proposed project will obtain a stormwater permit and a SWPPP. The proposed project must comply with 15A NCAC 2H 1000 State Stormwater Permitting Programs that regulates both site development and post-construction stormwater</p>

	<p>runoff control. The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater Permit (NCG010000) is also required should design features meet minimum requirements. BMPs for erosion and sedimentation control such as silt fencing will be utilized during construction. Thus, measures will be implemented to ensure the proposed project will have no further impacts to wetlands during construction.</p> <p>The U.S. Army Corps of Engineers, NC DEQ DWR, and local jurisdictions will be contacted and permits obtained before work is commenced. The proposed project activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the ERR when received from the permitting agencies.</p> <p>The Floodplain Management (EO 11988) and Protection of Wetlands (EO 11990) Determination documents the 8-step process under 24 CFR 55.20 in <b>Attachment D</b>.</p>
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**Determination:**

**Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]  
 The project will not result in a significant impact on the quality of the human environment.

**Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]  
 The project may significantly affect the quality of the human environment.

Preparer Signature: Andrea Siivers Date: 9/9/22

Name/Title/Organization: Andrea Gievers, Environmental SME, NCORR

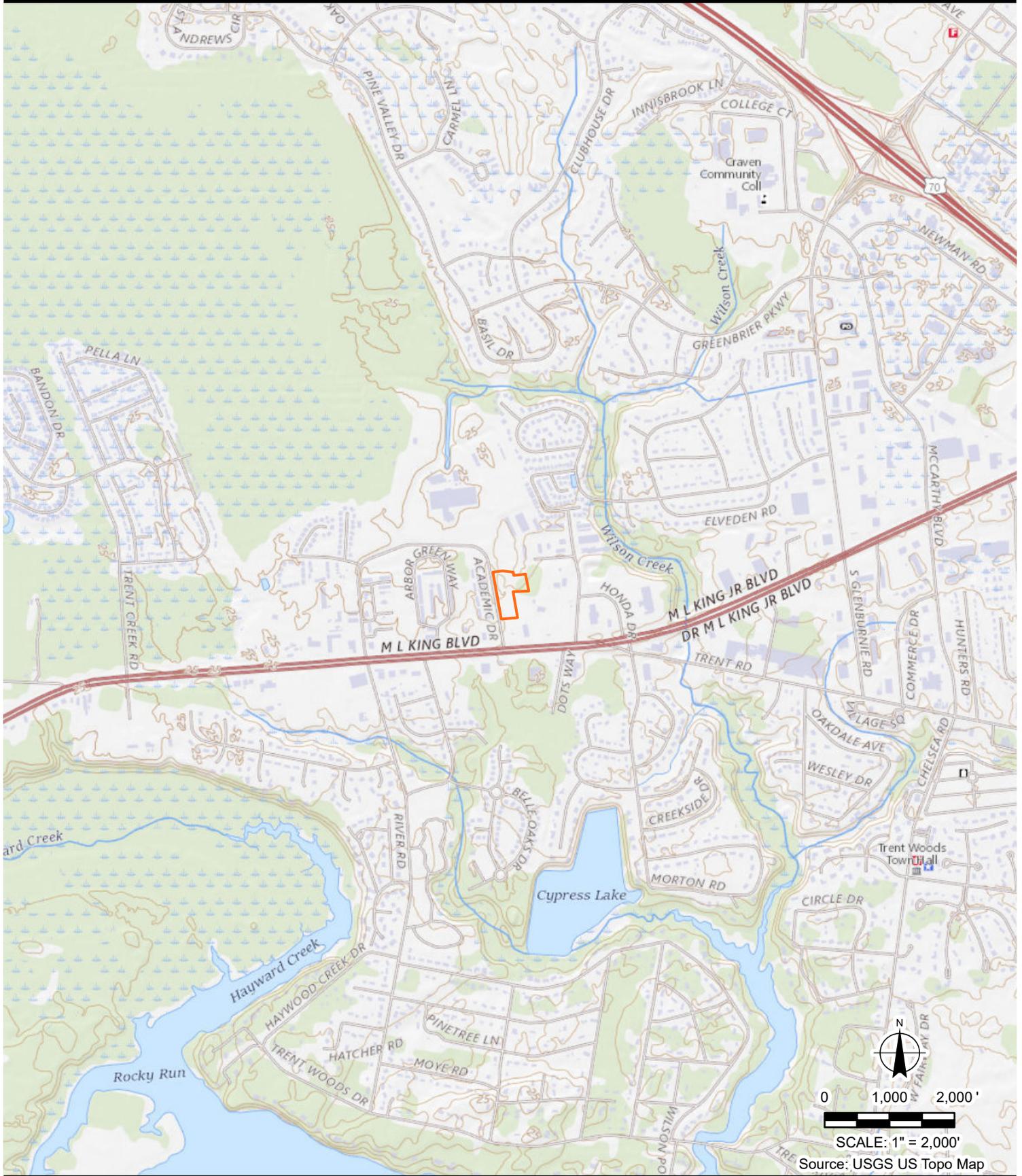
Certifying Officer Signature:  Date: 9/9/2022

Name/Title: Laura H. Hogshead, Director, NCORR

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

**Attachment A**

**Figure 1  
Site Location Map**



The Science You Build On.  
 11001 Hampshire Avenue S  
 Minneapolis, MN 55438  
 952.995.2000  
 braunintertec.com

Project No:  
 B2111827

Drawing No:  
 B2111827\_Fig1\_SiteLoc

Drawn By: JPM  
 Date Drawn: 1/7/2022  
 Checked By: JW  
 Last Modified: 8/5/2022

Palatine Meadows

4100 Academic Drive

New Bern, North Carolina

Site Location Map

Figure 1

## **Attachment A**

### **Figure 2 Site Layout**



Drawing Information

Project No:  
B2111827

Drawing No:  
Fig2\_SiteLayout

Drawn By: JPM  
Drawn Date: 1/7/2022  
Checked By: JW  
Last Modified: 8/5/2022

Project Information

Palatine Meadows

4100 Academic Drive

New Bern, North  
Carolina

Site Layout

Figure 2

F:\2021\B2111827\GIS\B2111827.dwg

## **Attachment A**

### **Figure 3 Proposed Project Site Plans**



 Approximate Site Boundary  
 Proposed Stormwater Pond



Drawing Information

Project No:	B2111827
Drawing No:	Fig3_ProposedPlan
Drawn By:	JPM
Drawn/Checked By:	1/7/2022 JW
Last Modified:	8/5/2022

Project Information

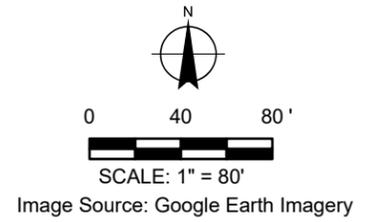
Palatine Meadows

4100 Academic Drive

New Bern, North Carolina

**Proposed Project Plan**

Figure 3



F:\2021\B2111827\GIS\B2111827.aprx

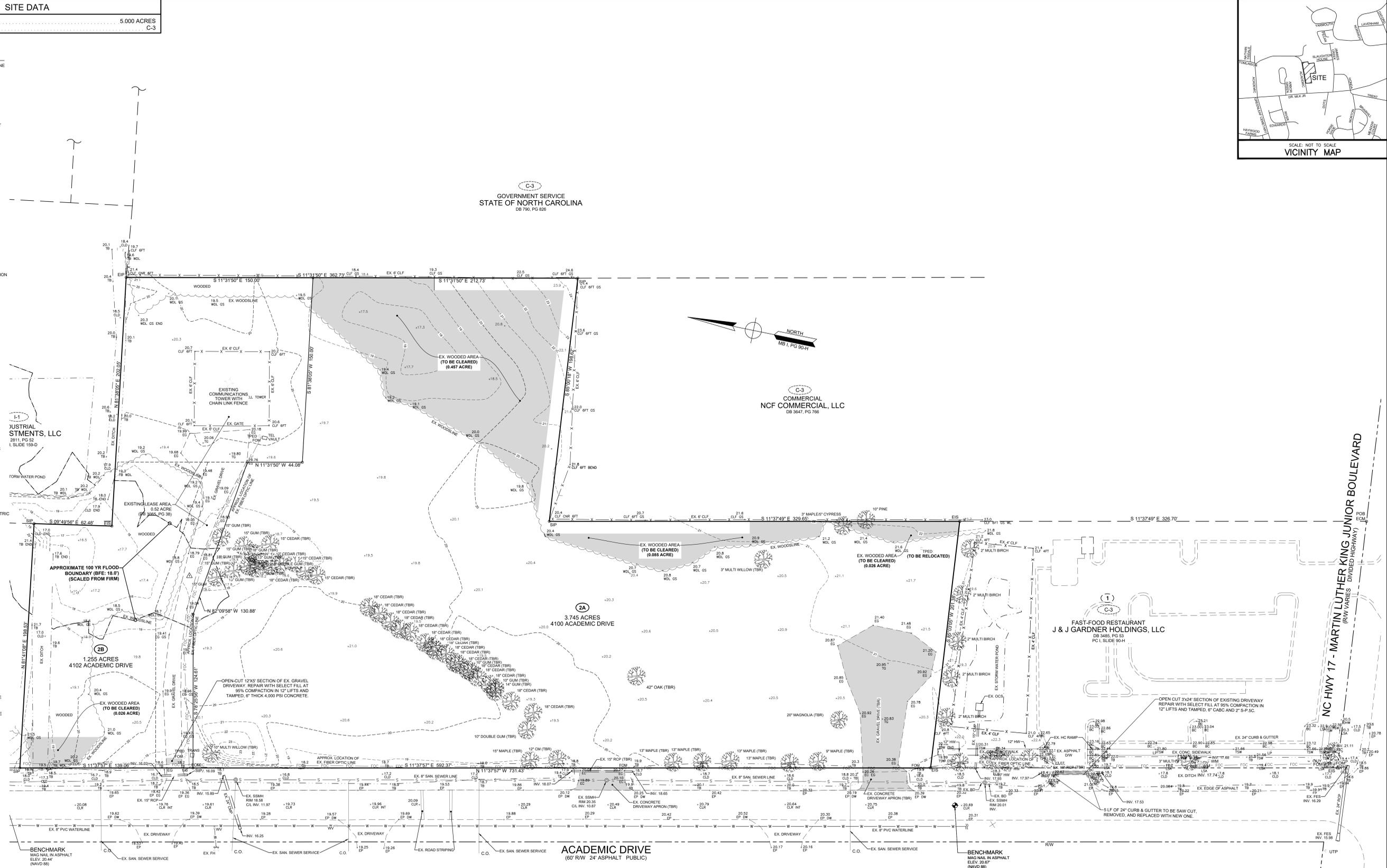


SITE DATA

TOTAL AREA IN TRACT 5.000 ACRES
ZONING CLASSIFICATION C-3

LEGEND

- ABS = ACRYLONITRILE-BUTADIENE-STYRENE
AL = AREAL LIGHT
BB = BOTTOM OF BANK
BC = BACK OF CURB TO BACK OF CURB
BD = BACK OF DITCH
BFE = BASE FLOOD ELEVATION
BLD = BUILDING CORNER
BM = BENCH MARK
BMP = BEST MANAGEMENT PRACTICE
BO = BLOW-OFF
BOV = BLOW-OFF IN VALVE BOX
BSIP = BACTERIOLOGICAL SAMPLING POINT
BV = BALL VALVE
CATV = CABLE TELEVISION BOX
CB = CATCH BASIN
CH = CHORD
CLD = CENTERLINE DITCH
CLP = CENTERLINE PATH
CLR = CENTERLINE ROAD
CMP = CORRUGATED METAL PIPE
CO = CLEAN OUT
CONC = CONCRETE
CP = COMPACT PARKING SPACE
CPP = CORRUGATED PLASTIC PIPE
DI = DROP INLET
DIP = DUCTILE IRON PIPE
DS = DOWNSPOUT
DW = DRIVEWAY
EBOX = ELECTRICAL BOX
ECM = EXISTING CONCRETE MONUMENT
EA = EXISTING IRON AXLE
EIP = EXISTING IRON PIPE
EIS = EXISTING IRON STAKE
ELEC = ELECTRICAL
ELM = ELECTRIC METER BOX
ELMH = ELECTRIC MANHOLE
EMN = EXISTING MANHOLE
EP = EDGE OF PAVEMENT
EPKN = EXISTING PARKER KALON NAIL
ERRS = EXISTING RAILROAD SPIKE
ESCP = EXTRA STRENGTH CONCRETE PIPE
EV = ELECTRIC VEHICLE CHARGING STATION
FES = FLARED END SECTION
FFE = FINISHED FLOOR ELEVATION
FH = FIRE HYDRANT
FIRM = FLOOD INSURANCE RATE MAP
FL = FLUME
FM = FORCE MAIN
FMV = FORCE MAIN VALVE
FOM = FIBER OPTIC MARKER
FOV = FIBER OPTIC VAULT
GM = GAS METER
GV = GAS VALVE
GUY = GUY WIRE
HS = HOSE BIBS
ICV = IRRIGATION CONTROL VALVE
INW = INVERT
JB = JUNCTION BOX
LP = LIGHT POLE
LSA = LANDSCAPED AREA
MB = MAIL BOX
MBL = MINIMUM BUILDING LINE
MH = MANHOLE
MHW = MEAN HIGH WATER
MP = METAL PIPE
MW = MONITORING WELL
NTS = NOT TO SCALE
OCS = OUTLET CONTROL STRUCTURE
OUP = OVERHEAD UTILITY POLE
PH = PUMP HOUSE
PIV = POST INDICATOR VALVE
PC = POINT OF CURVATURE
PCC = POINT OF COMPOUND CURVATURE
POB = POINT OF BEGINNING
PRC = POINT OF REVERSE CURVATURE
PT = POINT OF TANGENCY
PUE = PRIMARY UNDERGROUND ELECTRIC
PVC = POLYVINYL CHLORIDE
R = RADIUS
RCP = REINFORCED CONCRETE PIPE
RW = RIGHT-OF-WAY
SCM = STORMWATER CONTROL MEASURE
SIP = SET IRON PIPE
SINK = SET MANHOLE
SPKN = SET PARKER KALON NAIL
SRRS = SET RAILROAD SPIKE
SS = SEWER SERVICE
SSMH = SANITARY SEWER MANHOLE
STMH = STORM SEWER MANHOLE
SUE = SECONDARY UNDERGROUND ELECTRIC
SV = SEWER VENT
SW = SIDEWALK
SWHPE = SMOOTH WALL HDPE
SWPP = SMOOTH WALL PLASTIC PIPE
TB = TOP OF BANK (TOPO ONLY)
TBR = TO BE REMOVED
TCC = TOP OF CURB
TDC = TRUNCATED DOME
TOC = TOP OF CONCRETE
TOG = TOP OF GRAVEL
TLMH = TELEPHONE MANHOLE
TP = TOP OF PAVEMENT
TSW = TOP OF SIDEWALK
TUMH = TELEPHONE MH
TOT = TOTAL
TPED = TELEPHONE PEDESTAL
TRANS = ELECTRICAL TRANSFORMER
TSB = TRAFFIC SIGNAL BOX
TSP = TRAFFIC SIGNAL SUPPORT POLE
UTP = UTILITY POLE
VG = VALLEY GUTTER
WLD = WOODLINE
WM = WATER METER BOX
WP = WETLAND POINT
WS = WRAPPED STEEL
WV = WATER VALVE
X = NOT TO SCALE
Y = CLASS 18" STONE APRON
Z = CONSTRUCTION ENTRANCE/EXIT
AA = EXISTING OVERHEAD UTILITIES
BB = EXISTING SANITARY SEWER LINE
CC = EXISTING SANITARY SEWER MAIN
DD = EXISTING WATER LINE
EE = LIMITS OF CONSTRUCTION
FF = UNDERGROUND TELEPHONE LINE
GG = GAS LINE
HH = FIBER OPTIC LINE
II = UNDERGROUND ELECTRICAL LINE
JJ = UNDERGROUND CABLE
KK = SILT FENCE
LL = ZONING CLASSIFICATION
MM = AREA TO BE DEMOLISHED
NN = TREE



PROPERTY ADDRESS: 4100 ACADEMIC DRIVE, NEW BERN, NC 28560

GRAPHIC SCALE: 1" = 30'
SHEET 2 OF 15
BOUNDARY, TOPOGRAPHIC SURVEY, AND DEMOLITION PLAN
PARCEL ID #8-211-008

PALATINE MEADOWS
LOT 2A
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS
CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC
OWNER: PALATINE MEADOWS LIMITED PARTNERSHIP
ADDRESS: 500 SOUTH FRONT STREET 10th FLOOR, COLUMBUS, OHIO 43215
PHONE: (614) 396-0053

WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS 20th DAY OF DECEMBER, 2021.

SURVEYOR'S CERTIFICATION
I, JOHN G. GETSINGER, JR., CERTIFY THAT THE BOUNDARY SURVEY, TOPOGRAPHICAL SURVEY, AND HORIZONTAL AND VERTICAL CONTROL SHOWN HEREON WERE COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN (SEE REFERENCES) OR FROM INFORMATION FOUND IN PLAT CABINET L-5100, SLIDE 504, OR AS REFERENCED HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK PAGE OR AS REFERENCED HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; THAT ALL INTERIOR LOT LINES SHOWN ARE PROPOSED AND SHALL NOT BE USED FOR THE CONVEYANCE OF PROPERTY; THAT THE TOPOGRAPHIC SURVEY WAS PERFORMED TO MEET FEDERAL GEOGRAPHIC DATA COMPLETION STANDARDS AS APPLICABLE; THAT THE TOPOGRAPHIC DATA WAS OBTAINED ON 11/10/2021; THAT THE SURVEY WAS COMPLETED ON 11/16/2021; THAT THE CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; THAT VERTICAL CONTROL WAS ESTABLISHED AT THE SITE TO THE CLASS 'X' STANDARD; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE 'STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA' (21 NCAC 56.1600).



SIGNED JOHN G. GETSINGER, JR., PLS L-4508

- GENERAL NOTES
1. ALL AREAS CALCULATED BY COORDINATE GEOMETRY.
2. A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. REFERENCE CRAVEN COUNTY FIRM 3720546900K DATED JUNE 19, 2020. BASE FLOOD ELEVATION IS 18.0' (NAVD 88).
3. REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS.
4. VERTICAL DATUM REFERENCED TO (NAVD 88).
5. TREE DIAMETER TAKEN AT BREAST HEIGHT.
6. EXISTING TREE SYMBOL DOES NOT REPRESENT TRUE DIAMETER OF TREE CANOPY.
7. UTILITY LINES SHOWN HEREON ARE APPROXIMATE BASED ON CITY OF NEW BERN GIS DRAWINGS & NC 811 LOCATION.



- 1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
4. SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.



CLOSURE CHECK BOUNDARY
CHECKED: JGG DATE: 12/20/2021

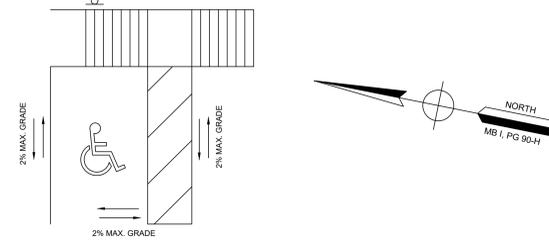
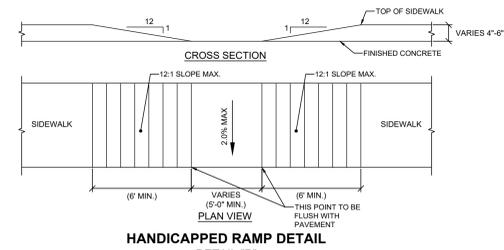
Baldwin Design Consultants, PA
ENGINEERING - SURVEYING - PLANNING
1700-D EAST BRUNTON BOULEVARD GREENVILLE, NC 27689 252.756.1390
DRAWN: MM/WPH/SOR DATE: 01/27/2022
CHECKED: MWBP SCALE: 1" = 30'

SITE DATA	
TOTAL AREA IN TRACT (LOTS 2A AND 2B)	5.000 ACRES
TOTAL AREA IN LOT 2A	3.745 ACRES
ZONING CLASSIFICATION	C-3
BUILDING HEIGHT	35 FT.
EXISTING IMPERVIOUS GRAVEL AREA (TO BE REMOVED)	5,577 S.F.
PROPOSED IMPERVIOUS BUILDING AREA	25,245 S.F.
PROPOSED IMPERVIOUS DRIVEWAY/PARKING AREA	38,584 S.F.
PROPOSED IMPERVIOUS CONC. PADS, SIDEWALK & DUMPSTER AREAS	14,358 S.F.
TOTAL IMPERVIOUS AREA	87,176 S.F.
NUMBER OF 1 BEDROOM UNITS	18
NUMBER OF 2 BEDROOM UNITS	24
NUMBER OF 3 BEDROOM UNITS	18
TOTAL NUMBER OF UNITS CREATED	60
NUMBER OF PARKING SPACES REQUIRED	105
NUMBER OF PARKING SPACES PROVIDED	105
NUMBER OF HANDICAP SPACES REQUIRED	5
NUMBER OF HANDICAP SPACES PROVIDED	12
NUMBER OF DUMPSTER PADS REQUIRED	2
NUMBER OF DUMPSTER PADS PROVIDED	2
NUMBER OF RECYCLING BINS REQUIRED	6
NUMBER OF RECYCLING BINS PROVIDED	15
% OF BUILDING AREA	15.5 %
USABLE OPEN SPACE REQUIRED	5% OR 0.19 ACRES
USABLE OPEN SPACE PROVIDED	8.5% OR 0.32 ACRES
LAND USE CLASSIFICATION	1.300

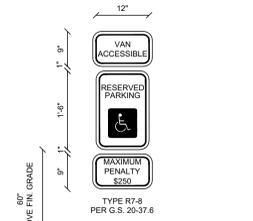
NCHFA PARKING SPACE REQUIREMENT TABULATION:	
No. OF DWELLING UNITS (60) x 1.75	= 105 SPACES
No. OF SPACES REQUIRED	105 SPACES

CITY OF NEW BERN PARKING SPACE REQUIREMENT TABULATION FOR PUBLICLY FUNDED AFFORDABLE HOUSING:	
1 BEDROOM UNIT (18) x 1	= 18 SPACES
2 BEDROOM UNIT (24) x 1	= 24 SPACES
3 BEDROOM UNIT (18) x 1	= 18 SPACES
ADDITIONAL PER NO. OF UNITS (60) + 4	= 15 SPACES
No. OF SPACES REQUIRED	75 SPACES

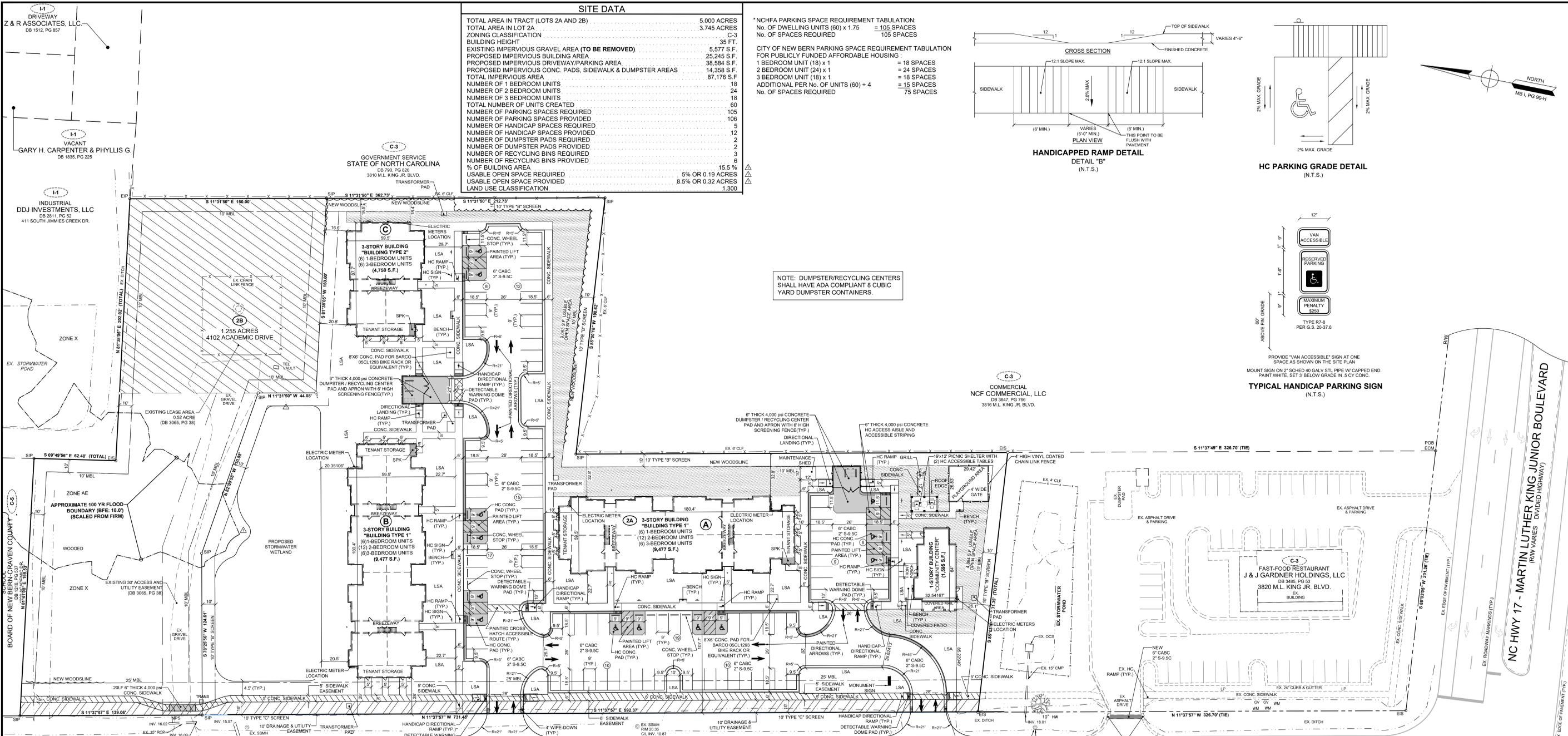


HC PARKING GRADE DETAIL (N.T.S.)



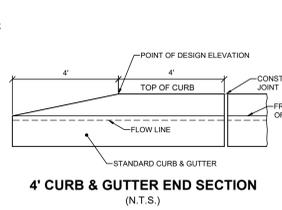
TYPICAL HANDICAP PARKING SIGN (N.T.S.)

NOTE: DUMPSTER/RECYCLING CENTERS SHALL HAVE COMPLIANT 8 CUBIC YARD DUMPSTER CONTAINERS.

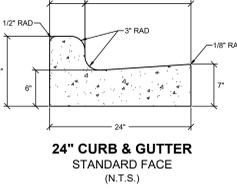


ACADEMIC DRIVE (60' RW 24' ASPHALT PUBLIC)

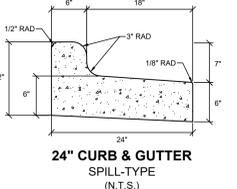
- PARKING LOT STRIPING NOTES**
1. ALL PARKING LOT STRIPING PAINT TO BE FEDERAL SPECIFICATION TRAFFIC PAINT.
  2. PAINT COLOR MAY BE YELLOW OR WHITE (OWNER'S CHOICE).
  3. PARKING LOT STRIPING IN HANDICAP ACCESS AREAS TO BE THE COLOR TO COMPLY WITH THE MOST CURRENT ADA REQUIREMENTS.
  4. STRIPING WIDTH TO BE 4".
  5. STRIPING PAINT TO BE WATER BASED SATIN WITH 40 MINUTE DRYING TIME.
  6. RESIN TYPE: ACRYLIC LATEX COPOLYMER.
  7. VISCOSITY: 80-90 KU.



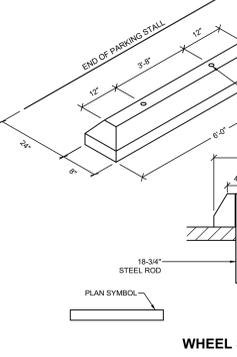
4' CURB & GUTTER END SECTION (N.T.S.)



24" CURB & GUTTER STANDARD FACE (N.T.S.)



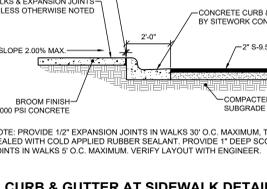
24" CURB & GUTTER SPILL-TYPE (N.T.S.)



WHEEL STOP DETAIL (N.T.S.)



36" FLUME "B" DETAIL (N.T.S.)



CURB & GUTTER AT SIDEWALK DETAIL (N.T.S.)

**C-3**  
MULTI-FAMILY  
THE TOWNS, LLC  
DB 3026, PG 683  
4179 ACADEMIC DR.

**C-3**  
MULTI-FAMILY  
Z & R ASSOCIATES, LLC  
DB 1550, PG 535  
4168 ACADEMIC DR.

**C-3**  
CONDO  
17 SOUTH CONDOMINIUM  
ASSOCIATION  
DB 40, PG 1020  
3900 M.L. KING JR. BLVD.

PROPERTY ADDRESS: 4100 ACADEMIC DRIVE  
NEW BERN, NC 28560



SHEET 3 OF 15  
SITE & STAKING PLAN  
PARCEL ID #6-211-008

**PALATINE MEADOWS**  
LOT 2A  
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS  
CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC  
OWNER: PALATINE MEADOWS LIMITED PARTNERSHIP  
ADDRESS: 500 SOUTH FRONT STREET 10th FLOOR COLUMBUS, OH 43215  
PHONE: (614) 396-0053

**Baldwin Design Consultants, PA**  
DESIGNED: IP  
APPROVED: IP  
DRAWN: MAHWHR/SOR  
DATE: 01/27/2022  
CHECKED: IP  
SCALE: 1" = 30'

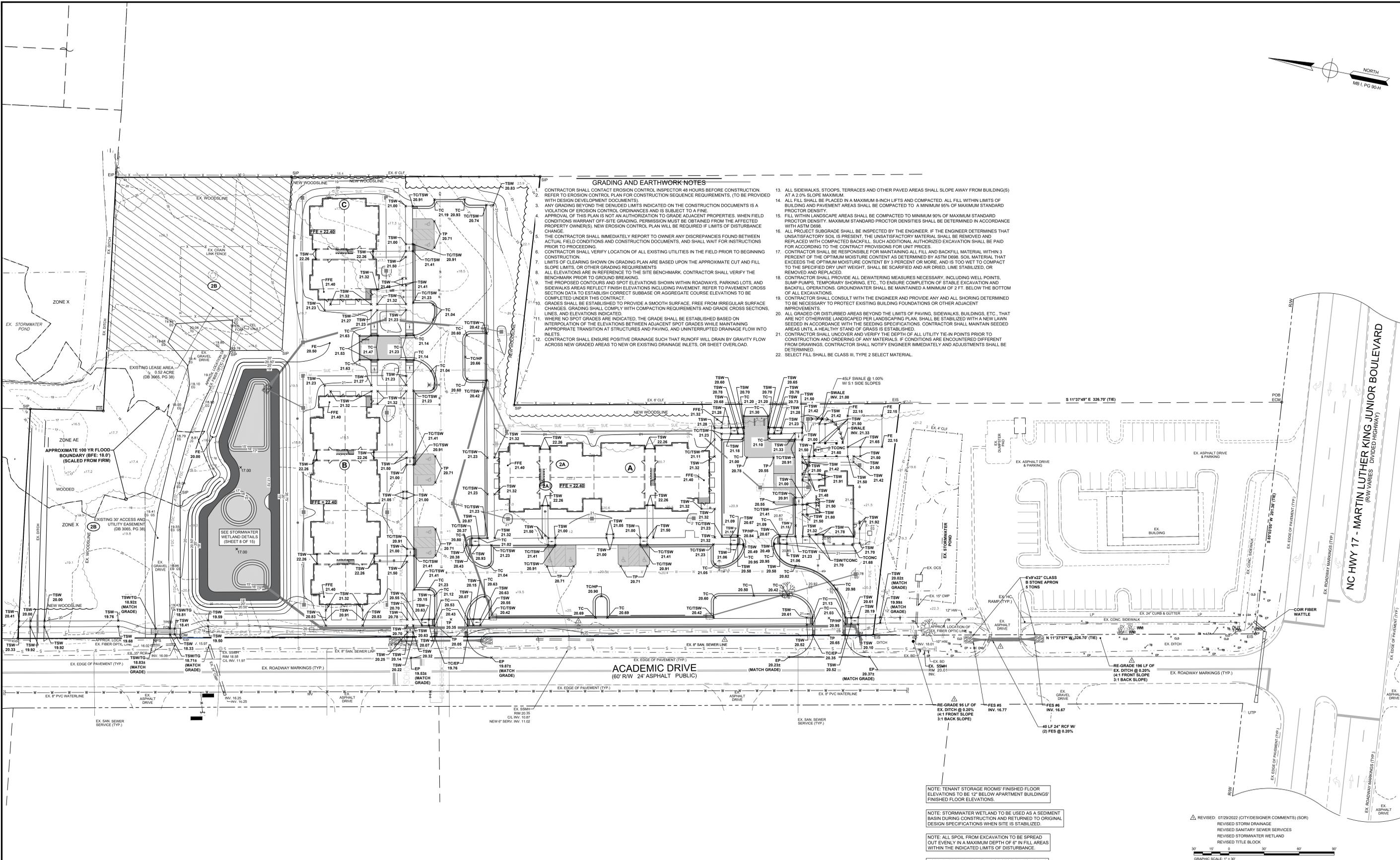
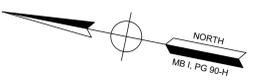
**North 811 Carolina**  
www.nc811.org  
Call 72 Hours Before You Dig!  
1-800-632-4949

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
4. SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.

**DIMENSION CONTROL AND MATERIALS PLAN NOTES**

1. ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING, CENTERLINE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE AT 90 DEGREE UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
4. ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
6. ALL ASPHALT PAVING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION.
7. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
8. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
9. ALL PARKING STALL STRIPING SHALL BE 4-INCH WHITE LINES, UNLESS OTHERWISE NOTED.
10. STOP SIGNS SHALL BE R1-1, 30"x30".
11. NO DEMOLITION LANDFILLS ALLOWED ON SITE.
12. IN GOD AREAS STRIPING SHOWN FOR REFERENCE ONLY; NO STRIPING TO BE INSTALLED IN TURF AREAS.

03 - SITE & STAKING.dwg DESKTOP-SUBMITD



**GRADING AND EARTHWORK NOTES**

1. CONTRACTOR SHALL CONTACT EROSION CONTROL INSPECTOR 48 HOURS BEFORE CONSTRUCTION. REFER TO EROSION CONTROL PLAN FOR CONSTRUCTION SEQUENCE REQUIREMENTS. (TO BE PROVIDED WITH DESIGN DEVELOPMENT DOCUMENTS)
2. ANY GRADING BEYOND THE DENOTED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION OF EROSION CONTROL ORDINANCES AND IS SUBJECT TO A FINE.
3. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S). NEW EROSION CONTROL PLAN WILL BE REQUIRED IF LIMITS OF DISTURBANCE CHANGE.
4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS, AND SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING.
5. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
6. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
7. ALL ELEVATIONS ARE IN REFERENCE TO THE SITE BENCHMARK. CONTRACTOR SHALL VERIFY THE BENCHMARK PRIOR TO GROUND BREAKING.
8. THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN WITHIN ROADWAYS, PARKING LOTS, AND SIDEWALKS AREAS REFLECT FINISH ELEVATIONS INCLUDING PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
9. GRADES SHALL BE ESTABLISHED TO PROVIDE A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. GRADING SHALL COMPLY WITH COMPACTION REQUIREMENTS AND GRADE CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
10. WHERE NO SPOT GRADES ARE INDICATED, THE GRADE SHALL BE ESTABLISHED BASED ON INTERPOLATION OF THE ELEVATIONS BETWEEN ADJACENT SPOT GRADES WHILE MAINTAINING APPROPRIATE TRANSITION AT STRUCTURES AND PAVING, AND UNINTERRUPTED DRAINAGE FLOW INTO INLETS.
11. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SUCH THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW GRADED AREAS TO NEW OR EXISTING DRAINAGE INLETS, OR SHEET OVERLOAD.
12. ALL SIDEWALKS, STAIRS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDING(S) AT A 2.0% SLOPE MAXIMUM.
13. ALL FILL SHALL BE PLACED IN A MAXIMUM 8-INCH LIFTS AND COMPACTED. ALL FILL WITHIN LIMITS OF BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM 95% OF MAXIMUM STANDARD PROCTOR DENSITY. MAXIMUM STANDARD PROCTOR DENSITIES SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D698.
14. ALL PROJECT SUBGRADE SHALL BE INSPECTED BY THE ENGINEER. IF THE ENGINEER DETERMINES THAT UNSATISFACTORY SOIL IS PRESENT, THE UNSATISFACTORY MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED BACKFILL. SUCH ADDITIONAL AUTHORIZED EXCAVATION SHALL BE PAID FOR ACCORDING TO THE CONTRACT PROVISIONS FOR UNIT PRICES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FILL AND BACKFILL MATERIAL WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698. SOIL MATERIAL THAT EXCEEDS THE OPTIMUM MOISTURE CONTENT BY 3 PERCENT OR MORE, AND IS TOO WET TO COMPACT TO THE SPECIFIED DRY UNIT WEIGHT, SHALL BE SCARIFIED AND AIR DRIED, LIME STABILIZED, OR REMOVED AND REPLACED.
16. CONTRACTOR SHALL PROVIDE ALL DEWATERING MEASURES NECESSARY, INCLUDING WELL POINTS, SUMP PUMPS, TEMPORARY SHORING, ETC. TO ENSURE COMPLETION OF STABLE EXCAVATION AND BACKFILL OPERATIONS. GROUNDWATER SHALL BE MAINTAINED A MINIMUM OF 2 FT. BELOW THE BOTTOM OF ALL EXCAVATIONS.
17. CONTRACTOR SHALL CONSULT WITH THE ENGINEER AND PROVIDE ANY AND ALL SHORING DETERMINED TO BE NECESSARY TO PROTECT EXISTING BUILDING FOUNDATIONS OR OTHER ADJACENT IMPROVEMENTS.
18. ALL GRADED OR DISTURBED AREAS BEYOND THE LIMITS OF PAVING, SIDEWALKS, BUILDINGS, ETC., THAT ARE NOT OTHERWISE LANDSCAPED PER LANDSCAPING PLAN, SHALL BE STABILIZED WITH A NEW LAWN SEED IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS. CONTRACTOR SHALL MAINTAIN SEEDED AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
19. CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
20. SELECT FILL SHALL BE CLASS III, TYPE 2 SELECT MATERIAL.

NOTE: TENANT STORAGE ROOMS' FINISHED FLOOR ELEVATIONS TO BE 12" BELOW APARTMENT BUILDINGS' FINISHED FLOOR ELEVATIONS.

NOTE: STORMWATER WETLAND TO BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION AND RETURNED TO ORIGINAL DESIGN SPECIFICATIONS WHEN SITE IS STABILIZED.

NOTE: ALL SPOIL FROM EXCAVATION TO BE SPREAD OUT EVENLY IN A MAXIMUM DEPTH OF 6" IN FILL AREAS WITHIN THE INDICATED LIMITS OF DISTURBANCE.

NOTE: THERE WILL BE NO LARGE STOCKPILES AT THIS SITE. ALL TOPSOIL & SPOIL FROM EXCAVATED AREAS SHALL BE USED IN FILL SECTIONS AND TO TOP DRESS AREAS WHERE STRUCTURAL IMPROVEMENTS WILL NOT BE PLACED.

NOTE: ANY BORROW MATERIAL ONTO THIS SITE MUST BE FROM A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE. ANY SOIL WASTE THAT LEAVES THIS SITE CAN BE TRANSPORTED TO A PERMITTED MINE OR SEPARATELY PERMITTED CONSTRUCTION SITES WITHOUT ADDITIONAL PERMITS UNDER NCGS 74-49(7)(g). DISPOSAL AT ANY OTHER LOCATION WOULD HAVE TO BE INCLUDED AS A PERMIT REVISION FOR THIS APPROVAL.

CONTACT PERSON RESPONSIBLE FOR MAINTENANCE: LANCE PAULICK (919) 210-9592

NOTE: STORAGE ROOMS' FINISHED FLOOR ELEVATIONS TO BE 2" BELOW BUILDINGS' FINISHED FLOOR ELEVATIONS

REVISED: 07/29/2022 (CITY/DESIGNER COMMENTS) (SOR)  
REVISED STORM DRAINAGE  
REVISED SANITARY SEWER SERVICES  
REVISED STORMWATER WETLAND  
REVISED TITLE BLOCK

GRAPHIC SCALE: 1" = 30'

SHEET 4 OF 15  
GRADING PLAN

**PALATINE MEADOWS**  
LOT 2A  
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS

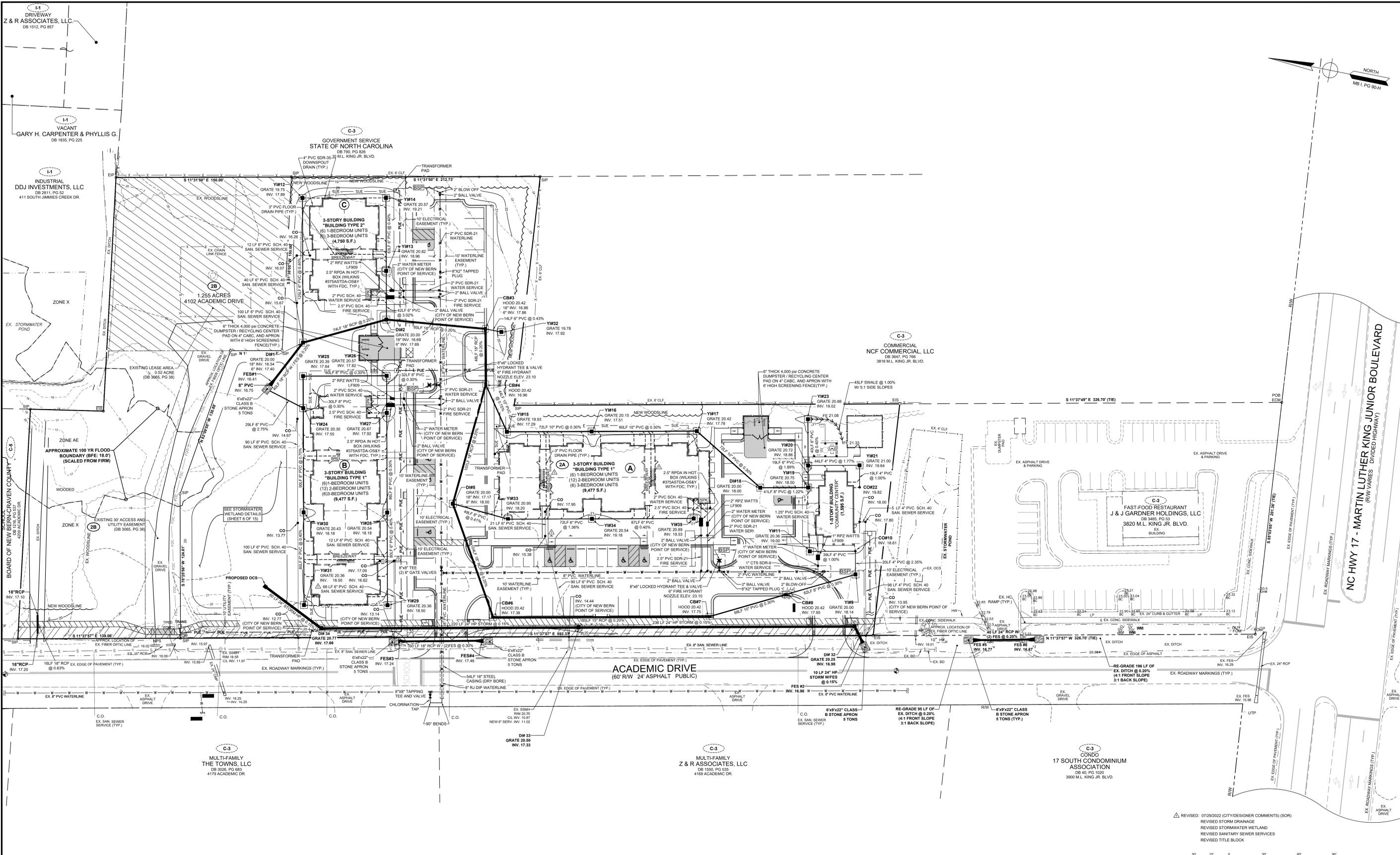
CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC  
OWNER: PALATINE MEADOWS, LP  
ADDRESS: 500 SOUTH FRONT STREET, 10TH FLOOR, COLUMBUS, OH 43215  
PHONE: (614) 396-3200

	DESIGNED: IP	APPROVED: IP
	DRAWN: MAHWHSOR	DATE: 01/27/2022
CHECKED: IP	SCALE: 1" = 30'	



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04 - GRADING.dwg DESKTOP-202012



REVIS: 07/29/2022 (CITY/DESIGNER COMMENTS) (BOR)  
 REVISED STORM DRAINAGE  
 REVISED STORMWATER WETLAND  
 REVISED SANITARY SEWER SERVICES  
 REVISED TITLE BLOCK

GRAPHIC SCALE: 1" = 30'

SHEET 5 OF 15  
 UTILITIES & STORM DRAINAGE PLAN

**PALATINE MEADOWS**

LOT 2A  
 REFERENCE: DEED BOOK 3084, PAGE 210 OF  
 THE CRAVEN COUNTY REGISTER OF DEEDS  
 CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

OWNER:  
 ADDRESS:  
 PHONE:

	DESIGNED: IP	APPROVED: IP
	DRAWN: MAHWRHSOR	DATE: 01/27/2022
CHECKED: IP	SCALE: 1" = 30'	

**NOTE:** EXISTING FIBER OPTIC CABLE TO BE LOWERED IF NECESSARY IN ORDER TO ALLOW FOR THE INSTALLATION OF 24" HP STORM. CALL CITY OF NEW BERN ELECTRICAL DEPARTMENT.

**NOTE:** ALL REINFORCED CONCRETE PIPE (RCP) TO BE A MINIMUM OF CLASS IV. USE TYPE 1 INSTALLATION, (100% COMPACTION).

**NOTE:** ALL PVC STORM DRAINAGE PIPES TO BE SDR-35, UNLESS OTHERWISE NOTED.

**NOTE:** ELECTRIC SUBCONTRACTOR TO PROVIDE ELECTRIC SERVICE TO BACK-FLOW PREVENTERS.

**NOTE:** ALL YARD INLETS TO BE NDS 1203 UNLESS OTHERWISE NOTED.



**North 811 Carolina**  
 www.nc811.org  
 Call 72 Hours Before You Dig!  
 1-800-632-4949

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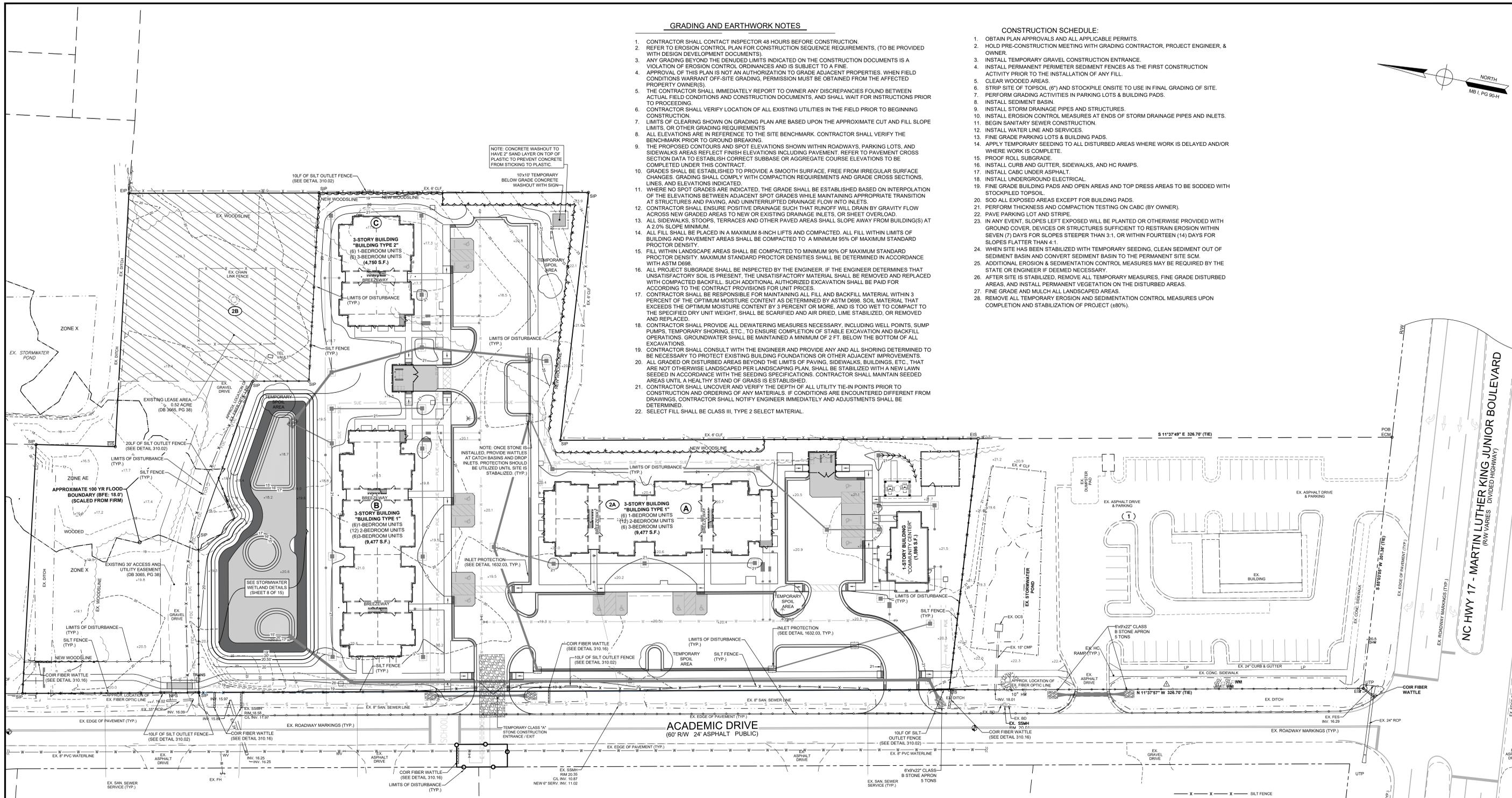
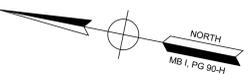
05 - UTILITIES & STORM DRAINAGE DESKTOP-SUBSET.DWG

GRADING AND EARTHWORK NOTES

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- ANY GRADING BEYOND THE DENUDED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION OF EROSION CONTROL ORDINANCES AND IS SUBJECT TO A FINE.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS, AND SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- ALL ELEVATIONS ARE IN REFERENCE TO THE SITE BENCHMARK. CONTRACTOR SHALL VERIFY THE BENCHMARK PRIOR TO GROUND BREAKING.
- THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN WITHIN ROADWAYS, PARKING LOTS, AND SIDEWALKS AREAS REFLECT FINISH ELEVATIONS INCLUDING PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- GRADES SHALL BE ESTABLISHED TO PROVIDE A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. GRADING SHALL COMPLY WITH COMPACTION REQUIREMENTS AND GRADE CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
- WHERE NO SPOT GRADES ARE INDICATED, THE GRADE SHALL BE ESTABLISHED BASED ON INTERPOLATION OF THE ELEVATIONS BETWEEN ADJACENT SPOT GRADES WHILE MAINTAINING APPROPRIATE TRANSITION AT STRUCTURES AND PAVING, AND UNINTERRUPTED DRAINAGE FLOW INTO INLETS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SUCH THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW GRADE AREAS TO NEW OR EXISTING DRAINAGE INLETS, OR SHEET OVERLOAD.
- ALL SIDEWALKS, SToops, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDING(S) AT A 2.0% SLOPE MINIMUM.
- ALL FILL SHALL BE PLACED IN A MAXIMUM 8 INCH LIFTS AND COMPACTED. ALL FILL WITHIN LIMITS OF BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM 95% OF MAXIMUM STANDARD PROCTOR DENSITY.
- FILL WITHIN LANDSCAPE AREAS SHALL BE COMPACTED TO MINIMUM 90% OF MAXIMUM STANDARD PROCTOR DENSITY. MAXIMUM STANDARD PROCTOR DENSITIES SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D698.
- ALL PROJECT SUBGRADE SHALL BE INSPECTED BY THE ENGINEER. IF THE ENGINEER DETERMINES THAT UNSATISFACTORY SOIL IS PRESENT, THE UNSATISFACTORY MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED BACKFILL. SUCH ADDITIONAL AUTHORIZED EXCAVATION SHALL BE PAID FOR ACCORDING TO THE CONTRACT PROVISIONS FOR UNIT PRICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FILL AND BACKFILL MATERIAL WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698. SOIL MATERIAL THAT EXCEEDS THE OPTIMUM MOISTURE CONTENT BY 3 PERCENT OR MORE, AND IS TOO WET TO COMPACT TO THE SPECIFIED DRY UNIT WEIGHT, SHALL BE SCARIFIED AND AIR DRIED, LIME STABILIZED, OR REMOVED AND REPLACED.
- CONTRACTOR SHALL PROVIDE ALL DEWATERING MEASURES NECESSARY, INCLUDING WELL POINTS, SUMP PUMPS, TEMPORARY SHORING, ETC., TO ENSURE COMPLETION OF STABLE EXCAVATION AND BACKFILL OPERATIONS. GROUNDWATER SHALL BE MAINTAINED A MINIMUM OF 2 FT. BELOW THE BOTTOM OF ALL EXCAVATIONS.
- CONTRACTOR SHALL CONSULT WITH THE ENGINEER AND PROVIDE ANY AND ALL SHORING DETERMINED TO BE NECESSARY TO PROTECT EXISTING BUILDING FOUNDATIONS OR OTHER ADJACENT IMPROVEMENTS.
- ALL GRADED OR DISTURBED AREAS BEYOND THE LIMITS OF PAVING, SIDEWALKS, BUILDINGS, ETC., THAT ARE NOT OTHERWISE LANDSCAPED PER LANDSCAPING PLAN, SHALL BE STABILIZED WITH A NEW LAWN SEEDING IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS. CONTRACTOR SHALL MAINTAIN SEEDED AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
- SELECT FILL SHALL BE CLASS III, TYPE 2 SELECT MATERIAL.

CONSTRUCTION SCHEDULE:

- OBTAIN PLAN APPROVALS AND ALL APPLICABLE PERMITS.
- HOLD PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, PROJECT ENGINEER, & OWNER.
- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
- INSTALL PERMANENT PERIMETER SEDIMENT FENCES AS THE FIRST CONSTRUCTION ACTIVITY PRIOR TO THE INSTALLATION OF ANY FILL.
- CLEAR WOODED AREAS.
- STRIP SITE OF TOPSOIL (6") AND STOCKPILE ONSITE TO USE IN FINAL GRADING OF SITE.
- PERFORM GRADING ACTIVITIES IN PARKING LOTS & BUILDING PADS.
- INSTALL SEDIMENT BASIN.
- INSTALL STORM DRAINAGE PIPES AND STRUCTURES.
- INSTALL EROSION CONTROL MEASURES AT ENDS OF STORM DRAINAGE PIPES AND INLETS.
- BEGIN SANITARY SEWER CONSTRUCTION.
- INSTALL WATER LINE AND SERVICES.
- FINE GRADE PARKING LOTS & BUILDING PADS.
- APPLY TEMPORARY SEEDING TO ALL DISTURBED AREAS WHERE WORK IS DELAYED AND/OR WHERE WORK IS COMPLETE.
- PROOF ROLL SUBGRADE.
- INSTALL CURB AND GUTTER, SIDEWALKS, AND HC RAMPS.
- INSTALL CABC UNDER ASPHALT.
- INSTALL UNDERGROUND ELECTRICAL.
- FINE GRADE BUILDING PADS AND OPEN AREAS AND TOP DRESS AREAS TO BE SODDED WITH STOCKPILED TOPSOIL.
- SOD ALL EXPOSED AREAS EXCEPT FOR BUILDING PADS.
- PERFORM THICKNESS AND COMPACTION TESTING ON CABC (BY OWNER).
- PAVE PARKING LOT AND STRIPE.
- IN ANY EVENT, SLOPES LEFT EXPOSED WILL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION WITHIN SEVEN (7) DAYS FOR SLOPES STEEPER THAN 3:1, OR WITHIN FOURTEEN (14) DAYS FOR SLOPES FLATTER THAN 4:1.
- WHEN SITE HAS BEEN STABILIZED WITH TEMPORARY SEEDING, CLEAN SEDIMENT OUT OF SEDIMENT BASIN AND CONVERT SEDIMENT BASIN TO THE PERMANENT SITE SCM.
- ADDITIONAL EROSION & SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY THE STATE OR ENGINEER IF DEEMED NECESSARY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES, FINE GRADE DISTURBED AREAS, AND INSTALL PERMANENT VEGETATION ON THE DISTURBED AREAS.
- FINE GRADE AND MULCH ALL LANDSCAPED AREAS.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES UPON COMPLETION AND STABILIZATION OF PROJECT (+80%).



EROSION CONTROL NOTES:

- NO LAND DISTURBING ACTIVITY BEYOND THE REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MEASURES MAY NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY THE STATE.
- SCHEDULING OF A PRE-CONSTRUCTION CONFERENCE WITH THE EROSION CONTROL INSPECTOR IS REQUIRED PRIOR TO INITIATING LAND DISTURBING ACTIVITIES. FOR INSPECTION PLEASE CALL (252) 946-6481. A 24-HOUR NOTICE IS REQUIRED.
- SEED OR OTHERWISE PROVIDE GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL DENUDED SLOPES WITHIN 7 DAYS FOR SLOPES STEEPER THAN 3:1 OR 14 DAYS FOR SLOPES FLATTER THAN 4:1.
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH RAIN EVENT OF 1/2" OR MORE. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN ISSUANCE OF A STOP WORK ORDER OR CIVIL PENALTIES UP TO \$5000 PER DAY OF VIOLATION. SITES UTILIZING SEDIMENT TRAPS MUST ALSO SPECIFY A MAXIMUM DEPTH OF SEDIMENT PRIOR TO CLEAN OUT.
- THE STATE ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.
- NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING THE STATE OF THE DATE OF THE LAND DISTURBING ACTIVITY.
- ACCEPTANCE & APPROVAL OF THIS PLAN IS CONDITIONED UPON YOUR COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS, REGULATIONS AND RULES. IN ADDITION, LOCAL CITY AND COUNTY ORDINANCES OR RULES MAY ALSO APPLY TO THIS LAND DISTURBING ACTIVITY. APPROVAL BY THE STATE DOES NOT SUPERSEDE ANY OTHER PERMIT OR APPROVAL.
- THE STATE RESERVES THE RIGHT TO ENTER AND INSPECT ANY PROPERTY WITHIN ITS JURISDICTION FOR COMPLIANCE WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.
- IN ANY EVENT, SLOPES LEFT EXPOSED WILL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION WITHIN FOURTEEN (14) CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING.
- MAINTAIN EROSION CONTROL MEASURES AS NECESSARY.

NOTE: STORMWATER WETLAND TO BE USED AS SEDIMENT BASIN DURING CONSTRUCTION AND RETURNED TO ORIGINAL DESIGN SPECIFICATIONS WHEN SITE IS STABILIZED.

NOTE: ALL SOIL FROM EXCAVATION TO BE SPREAD OUT EVENLY IN A MAXIMUM DEPTH OF 6" IN FILL AREAS WITHIN THE INDICATED LIMITS OF DISTURBANCE.

NOTE: THERE WILL BE NO LARGE STOCKPILES AT THIS SITE. ALL TOPSOIL & SOIL FROM EXCAVATED AREAS SHALL BE USED IN FILL SECTIONS AND TO TOP DRESS AREAS WHERE STRUCTURAL IMPROVEMENTS WILL NOT BE PLACED.

NOTE: ANY BORROW MATERIAL ONTO THIS SITE MUST BE FROM A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE. ANY SOIL WASTE THAT LEAVES THIS SITE CAN BE TRANSPORTED TO A PERMITTED MINE OR SEPARATELY PERMITTED CONSTRUCTION SITES WITHOUT ADDITIONAL PERMITS UNDER NCGS 74-497(d). DISPOSAL AT ANY OTHER LOCATION WOULD HAVE TO BE INCLUDED AS A PERMIT REVISION FOR THIS APPROVAL.

CONTACT PERSON RESPONSIBLE FOR MAINTENANCE: LANCE PAULICK (912) 219-9992.

DISTURBED AREA = 4.06 ACRES



SHEET 6 OF 15  
EROSION CONTROL PLAN

PALATINE MEADOWS

LOT 2A  
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS  
CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

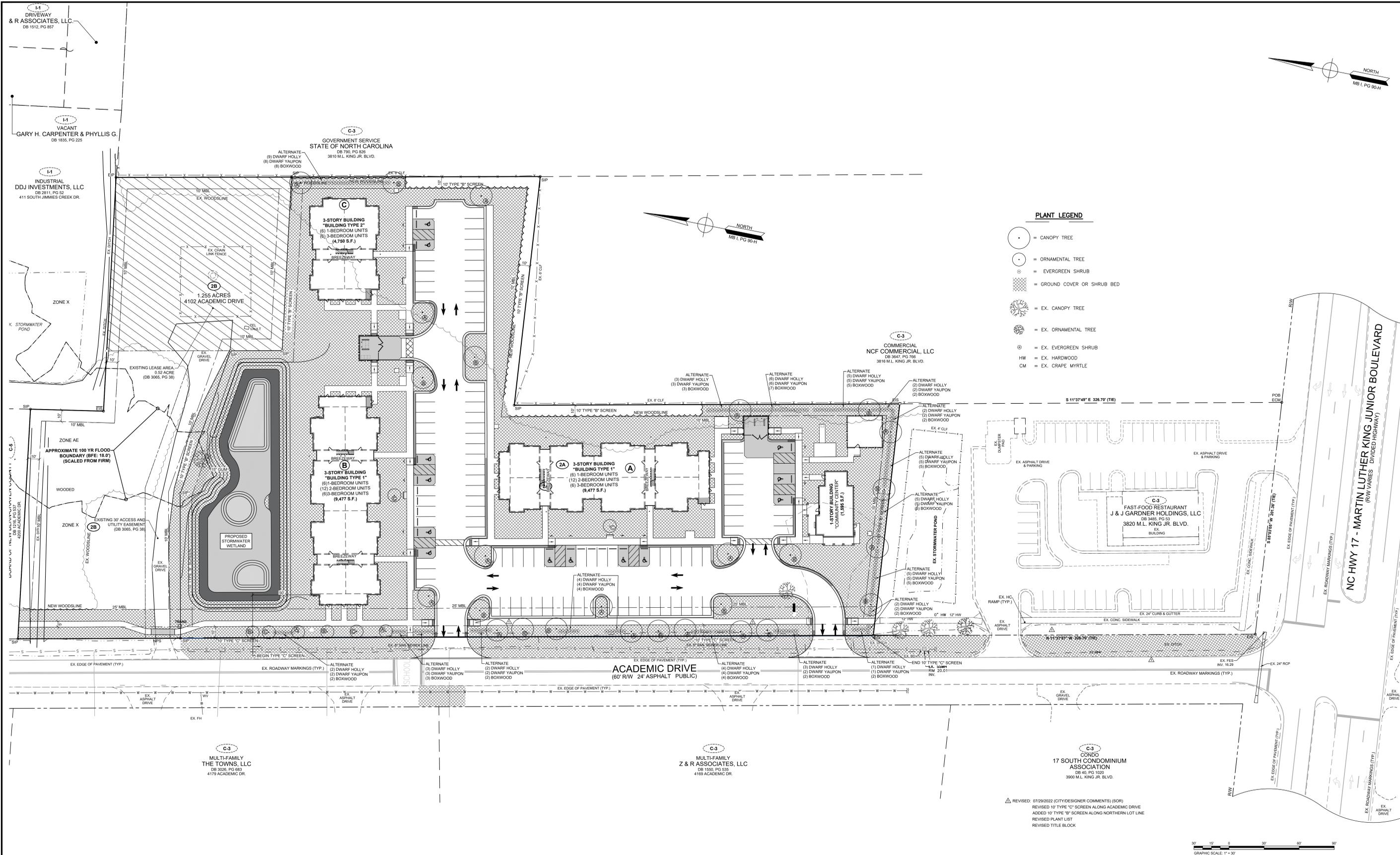
OWNER: PALATINE MEADOWS, LP  
ADDRESS: 500 SOUTH FRONT STREET, 10TH FLOOR COLUMBUS, OH 43215  
PHONE: (614) 396-3200

	DESIGNED: IP	APPROVED: IP
	DRAWN: MAHWRSOR	DATE: 01/27/2022
ENGINEERING - SURVEYING - PLANNING 1700-D EAST ARNOLD BOLLING GREENVILLE, NC 27685 252.756.1390	CHECKED: IP	SCALE: 1" = 30'



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.

05 - EROSION CONTROL PLAN - 20220120 - 20220120



**PLANT LEGEND**

- = CANOPY TREE
- = ORNAMENTAL TREE
- = EVERGREEN SHRUB
- = GROUND COVER OR SHRUB BED
- (with star) = EX. CANOPY TREE
- (with star) = EX. ORNAMENTAL TREE
- (with star) = EX. EVERGREEN SHRUB
- HW = EX. HARDWOOD
- CM = EX. CRAPE MYRTLE

**GUIDE FOR PLANTING TREES**

THE RECOMMENDED TREES HAVE MINIMAL MAINTENANCE REQUIREMENTS. HOWEVER, ALL TREES MUST HAVE A CERTAIN DEGREE OF CARE, ESPECIALLY DURING AND IMMEDIATELY AFTER PLANTING. TO PROTECT AN INVESTMENT IN NEW TREES, THE DEVELOPER SHOULD ENSURE THAT THE FOLLOWING GUIDELINES ARE FOLLOWED WHEN PLANTING.

1. THE BEST TIMES FOR PLANTING ARE EARLY SPRING AND EARLY FALL. TREES PLANTED IN THE SUMMER RUN THE RISK OF DEHYDRATION.
2. PLANT ALL TREES AT LEAST 3-1/2 FEET FROM THE END OF HEAD-IN PARKING SPACES TO PREVENT DAMAGE FROM CAR OVERHANGS.
3. PROVIDE A NO WORK ZONE AROUND THE TREE TO PREVENT DAMAGE TO THE PLANT AND COMPACTION OF THE SOIL.
4. WHEN DIGGING A TREE PIT, EXCAVATE TO A DEPTH THAT APPROXIMATES THE HEIGHT OF THE ROOT BALL. THE TOP OF THE ROOT BALL SHOULD BE LEVEL OR SLIGHTLY ABOVE GRADE.
5. THE WIDTH OF THE TREE PIT SHOULD BE NO LESS THAN TWICE THE DIAMETER OF THE ROOT BALL.
6. THE BOTTOM OF THE TREE PIT SHOULD BE UNDISTURBED SOIL.
7. SPREAD AT LEAST THREE INCHES OF MULCH OVER THE ENTIRE EXCAVATION IN ORDER TO RETAIN MOISTURE AND PREVENT ROT. KEEP DOWN WEEDS. THIS LAYER OF MULCH SHOULD BE PULLED AWAY FROM THE TRUNK OF THE TREE TO FORM A RING OF SOIL AROUND THE OUTSIDE OF THE TREE PIT. THIS RING WILL SERVE TO HOLD WATER. CONSCIENTIOUS POST-PLANTING CARE, ESPECIALLY WATERING, IS A MUST FOR STREET AND PARKING LOT TREES.

PLANT LIST						
PROPOSED MAJOR (CANOPY) TREES						
SYM	QUANT	BOTANICAL NAME	COMMON NAME	SIZE	CAL.	SPACING
A	15	QUERCUS PHellos	WILLOW OAK	30-40 FT.	2"	AS SHOWN
B	14	QUERCUS SHUMARDII	SHUMARD OAK	50-60 FT.	2"	AS SHOWN
PROPOSED MINOR (ORNAMENTAL) TREES						
SYM	QUANT	BOTANICAL NAME	COMMON NAME	SIZE	CAL.	SPACING
C	4	LAGERSTROEMIA INDICA	CRAPE MYRTLE	10-20 FT.	2"	AS SHOWN
PROPOSED EVERGREEN SHRUBS						
SYM	QUANT	BOTANICAL NAME	COMMON NAME	SIZE	CAL.	SPACING
○	-	NANDINA DOMESTICA	NANDINA	3-5 FT.	-	3'-0" O.C.
○	-	MARIPHORA TOCOCOSERA	DWARF HOLLY	3-5 FT.	-	3'-0" O.C.
○	54	ILEX VOMITORIA NANA	DWARF YALPON	3-5 FT.	6"	3'-0" O.C.
○	-	BUXUS	BOXWOOD	3-4 FT.	-	3'-0" O.C.
PROPOSED GROUND COVER						
SYM	QUANT	BOTANICAL NAME	COMMON NAME	SIZE	CAL.	SPACING
■	AS SHOWN	CENTAUDEA SOD	CENTAUDE SOD	N/A	-	-

NOTE: EXISTING WOODED AREA WITHIN 10' TYPE "B" SCREEN ALONG EASTERN PROPERTY LINE WILL BE USED TO SATISFY TYPE "B" SCREENING REQUIREMENTS.

MINIMUM PLANTING AREA = 3.745 ACRES X 0.20 = 0.749  
 1,000 ACRE / 43,560 S.F.  
 PLANTING AREA PROVIDED = 1.744 ACRES / 75,956 S.F.

SHEET 7 OF 15  
 VEGETATION PLAN

**PALATINE MEADOWS**

LOT 2A  
 REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS

CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

OWNER: PALATINE MEADOWS, LP  
 ADDRESS: 500 SOUTH FRONT STREET, 10TH FLOOR COLUMBUS, OH 43215  
 PHONE: (614) 396-3200

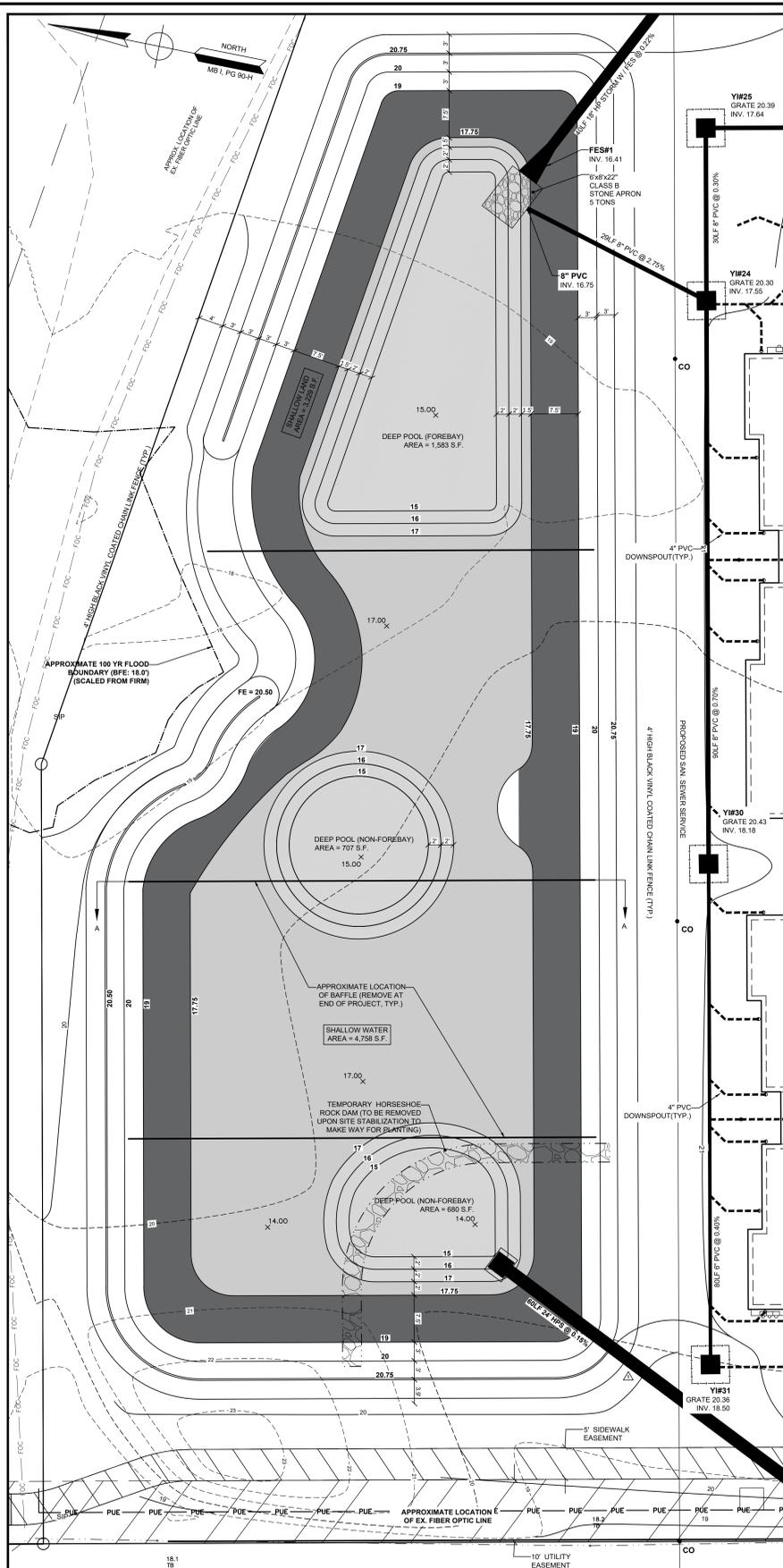
**Baldwin Design Consultants, PA**  
 LICENSED ENGINEER - SURVEYING - PLANNING  
 1700-C EAST ARNOLD BOLLING RD GREENVILLE, NC 27659 252.756.1390

DESIGNED: IP  
 DRAWN: MAHWRH/SOR  
 CHECKED: IP  
 DATE: 01/27/2022  
 SCALE: 1" = 30'

**North Carolina 811**  
 www.nc811.org  
 Call 72 Hours Before You Dig!  
 1-800-632-4949

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
4. SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.

07 - SITE VEGETATION.dwg/DESKTOP-20240127



Call 72 Hours Before You Dig!  
1-800-632-4949

### STORMWATER WETLAND DETAIL VIEW

SCALE: 1"= 10'

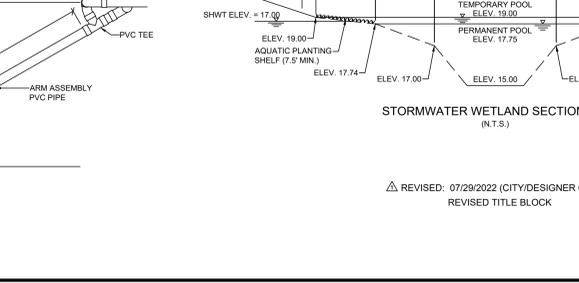
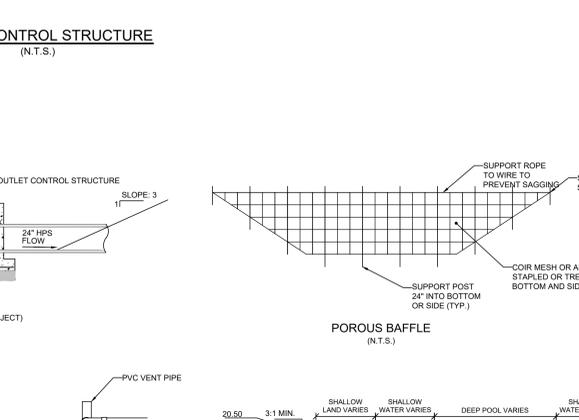
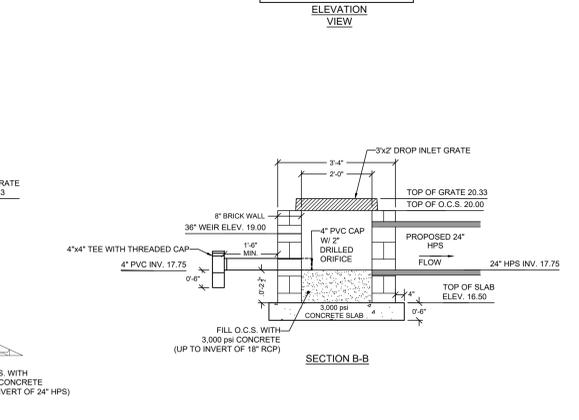
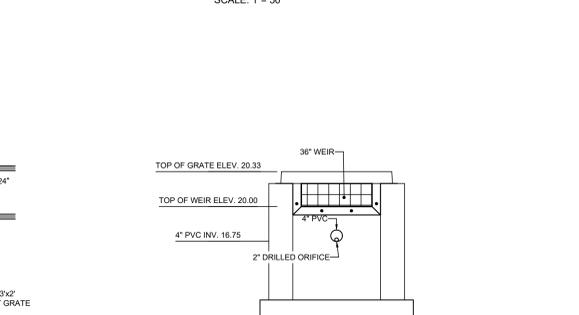
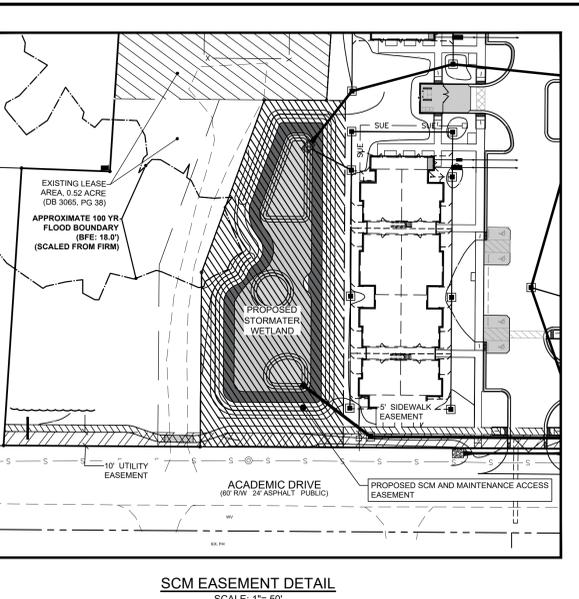
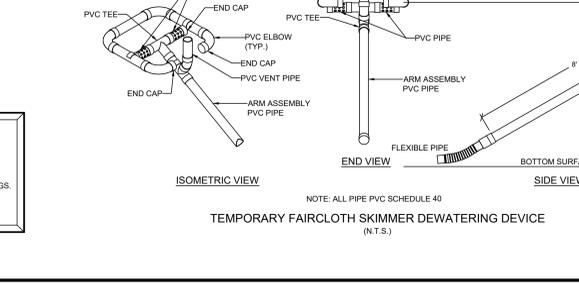
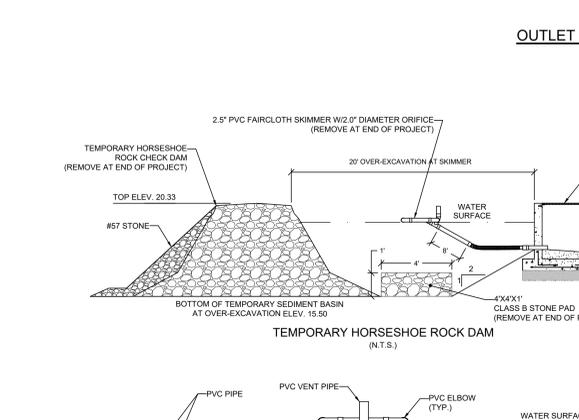
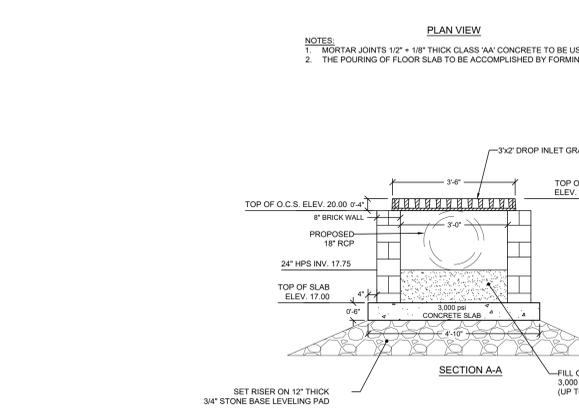
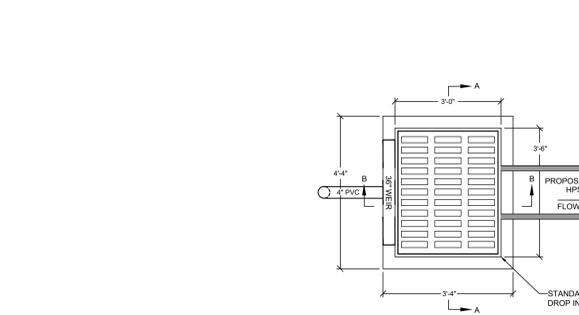
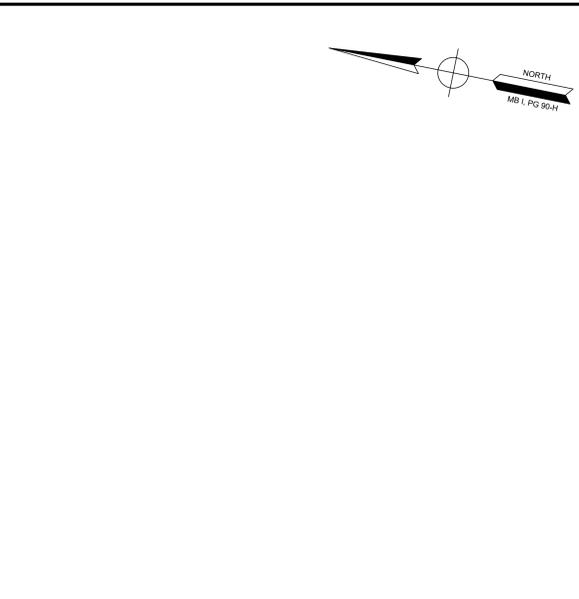
NOTE: OUTLET CONTROL STRUCTURE TO SERVE AS THE EMERGENCY OVERFLOW FOR THE PROPOSED SCM.

NOTE: CATTAILS ARE NOT ALLOWED AS A PLANT OPTION FOR THE WETLAND.

A SURVEY FOR THE AS-BUILT PLANS MUST BE COMPLETED BY A LAND SURVEYOR REGISTERED IN THE STATE OF NORTH CAROLINA AND CONFIRMED THAT THE AS-BUILT PLAN MEETS THE DESIGN REQUIREMENTS BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA. THE SURVEY SHALL INCLUDE THE FOLLOWING:

- CONFIRMATION THAT ACCUMULATED SEDIMENT AND DEBRIS IN THE TREATMENT AREA HAS BEEN REMOVED AFTER THE SITE IS STABILIZED.
- REQUIRED AND AS-BUILT ELEVATIONS OF THE POND BOTTOM, ORIFICE WEIR, TOP OF EMBANKMENT AND SPILLWAY; AND
- CONFIRMATION THAT RIPRAP OUTLET PROTECTION HAS BEEN PROVIDED IN ACCORDANCE WITH APPROVED CONSTRUCTION DRAWINGS.

TWO SEALED, SIGNED, AND DATED COPIES MUST BE SUBMITTED TO THE CITY OF NEW BERN STORMWATER DIVISION FOR REVIEW AND APPROVAL PRIOR TO FINAL APPROVAL OF SITE IMPROVEMENTS.



- ### STORMWATER WETLAND PLANTING SPECIFICATION FOR STORMWATER WETLAND
- ALL HERBACEOUS PLANTS WITHIN THE STORMWATER WETLAND PROPER (SHALLOW WATER AND SHALLOW LAND ZONES) SHALL BE INSTALLED BETWEEN MARCH 15 AND JULY 31.
  - UNLESS OTHERWISE DESIGNATED, PLANTS SHOULD BE INSTALLED AS LARGE DRIFTS (I.E. MASSES OF A SINGLE SPECIES) WITHIN THEIR RESPECTIVE PLANTING AREAS.
  - INSTALL A SLOW RELEASE FERTILIZER TABLET NEXT TO EACH PLANT WITHIN THE WETLAND PROPER. FOR HERBACEOUS SPECIES USE AG SAFE AQUATIC-TABS 20-10-5, 90 DAY CONTINUOUS FEEDING, 5 GRAMS, OR EQUIVALENT. FOR TREES AND SHRUBS USE AGRIFROM 20-10-5 PLUS MINORS PLANTING TABLETS, 2 YEAR SLOW RELEASE OR EQUIVALENT.
  - ALL PLANTS SHALL BE DIRECTLY DESCENDED FROM INDIVIDUALS GROWING WILD WITHIN 200 MILES OF THE PROJECT SITE. IF SUITABLE STOCK CANNOT BE OBTAINED, PLANTS OF OTHER GENETIC PROVENANCES MAY BE UTILIZED WITH THE APPROVAL OF THE OWNER OR OWNERS REPRESENTATIVE.
  - PLANT MATERIAL SHOULD CONFORM TO AMERICAN STANDARD NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - ALL PLANT MATERIAL TO BE CONTAINER GROWN PLANTS OF AT LEAST 4.0 CUBIC INCHES CAPACITY.
  - A MINIMUM OF TEN (10) DIFFERENT SPECIES, TOTAL OF WHICH FIVE (5) ARE EMERGENT SPECIES WITH NO MORE THAN 30% OF A SINGLE SPECIES.
  - RECOMMENDED PLANTS FOR PERMANENT SHALLOW WATER (3'-9" DEEP):  
PLANTS SHOULD BE OF EACH SPECIES AND PLANTED IN A NATURAL FLOWING ARRANGEMENT.
    - ACORUS SUBCORDATUM (SWEETFLAG)
    - PELTANDRA VIRGINICA (ARROW ARUM)
    - SAGITTARIA LATIFOLIA (DUCK POTATO)
    - PONTEDERA CORDATA (PICKERWEED)
    - SCIRPUS CYPERINUS (WOOLGRASS)

SHALLOW WATER SURFACE AREA = 4,758 S.F.  
TOTAL NUMBER OF PLANTS SPACED AT 24" O.C. = 1,200
  - RECOMMENDED PLANTS FOR SHALLOW LAND < 3" DEEP TO TEMPORARY POOL ELEVATION. PLANTS SHOULD BE OF EACH SPECIES AND PLANTED IN A NATURAL FLOWING ARRANGEMENT.
    - ASCLEPIAS INCARNATA (SWAMP MILKWEED)
    - LOBELIA CARDINALIS (CARDINAL FLOWER)
    - EUPATORIADAPHNUS FISTULOSUS (JOE PYE WEED)
    - HIBISCUS COCCINEUS (SCARLET ROSE MALLOW)
    - VERONIA NOVEBORACENSIS (IRON WEED)

SHALLOW LAND SURFACE AREA = 3,173 S.F.  
TOTAL NUMBER OF PLANTS SPACED AT 24" O.C. = 800

- ### STORMWATER WETLAND CONSTRUCTION SCHEDULE
- CLEAR AND GRUB WETLAND AREA.
  - EXCAVATE STORMWATER WETLAND AREA TO ROUGH ELEVATION AND SPREAD OUT EXCAVATED TOPSOIL EVENLY IN A MAXIMUM DEPTH OF 6" IN FILL AREAS WITHIN THE INDICATED LIMITS OF DISTURBANCE.
  - INSTALL EROSION CONTROL MEASURES TO STABILIZE POND AREA.
  - INSTALL OUTLET STRUCTURE.
  - WHEN SITE HAS BEEN STABILIZED WITH TEMPORARY SEEDING, CABG AND CURB AND GUTTER, CLEAN SEDIMENT OUT OF WETLANDS BASIN AND PREPARE BASIN FOR PLANTING.
  - UPON COMPLETION OF FINE GRADING, CONTACT THE CITY OF NEW BERN STORMWATER DIVISION FOR A SCM INSPECTION PRIOR TO AS-BUILT DRAWINGS AND INSTALLATION OF PLANTS.
  - INSTALL WETLANDS VEGETATION PER SPECIFICATIONS.
  - PERMANENT SEED BANKS AND SLOPES OF BERM AND STORMWATER WETLAND AREA.

- ### MAINTENANCE PLAN
- FREQUENCY - INSPECTION ACTIVITIES AFTER CONSTRUCTION
- INSPECT AFTER SEVERAL STORM EVENTS FOR BANK STABILITY, VEGETATION GROWTH, DRAINAGE SYSTEM FUNCTIONING, AND STRUCTURAL DAMAGE.
- SEMI-ANNUAL INSPECTION
- INSPECT FOR INVASIVE VEGETATION, DIFFERENTIAL SETTLEMENT, CRACKING, EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENT; THE CONDITION OF THE RIPRAP IN THE INLET AND THE OUTLET, AND PILOT CHANNELS; SEDIMENT ACCUMULATION IN THE BASIN; CLOGGING OF OUTLET; AND THE VIGOR AND DENSITY OF THE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR. CORRECT OBSERVED PROBLEMS AS NECESSARY.
  - NOTE SIGNS OF HYDROCARBON BUILDUP SUCH AS FLOATING OIL ON WATER SURFACE.
  - INSPECT FOR DAMAGE TO THE EMBANKMENT AND INLET/OUTLET STRUCTURES. REPAIR AS NECESSARY.
  - MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY.
  - EXAMINE INLET AND OUTLET DEVICES TO ENSURE THEY ARE FREE OF DEBRIS AND ARE OPERATIONAL.
- FREQUENCY - MAINTENANCE ACTIVITIES
- ONE-TIME
- REPLACE WETLAND VEGETATION TO MAINTAIN AT LEAST 50% OF SURFACE AREA COVERAGE IN WETLAND PLANTS AFTER THE SECOND GROWING SEASON.
- AS NEEDED MAINTENANCE
- REPAIR UNDERCUT AREAS, EROSION TO BANKS, AND BOTTOM AS REQUIRED, WHERE PERMITTED BY THE DEPARTMENT OF FISH AND GAME OR OTHER AGENCY REGULATIONS. STOCK STORMWATER WETLANDS REGULARLY WITH MOSQUITO FISH (GAMBUSIA SPP.) TO ENHANCE NATURAL MOSQUITO AND MIDGE CONTROL.
- FREQUENT (3 TO 4 TIMES PER YEAR)
- CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES.
  - MOW SIDE SLOPES AND REMOVE GRASS CLIPPINGS. REMOVE LITTER AND DEBRIS FROM BANKS, BASIN BOTTOM, TRASH RACKS, OUTLET STRUCTURES, AND VALVES AS REQUIRED.
- ANNUAL MAINTENANCE (IF NEEDED)
- SUPPLEMENT WETLAND PLANTS IF A SIGNIFICANT PORTION HAVE NOT ESTABLISHED (AT LEAST 50% OF THE SURFACE AREA).
  - REMOVE NUISANCE PLANT SPECIES.
  - CLEAN FOREBAY TO AVOID ACCUMULATION IN MAIN WETLAND AREA TO REDUCE THE FREQUENCY WHEN THE MAIN WETLAND AREA NEEDS TO BE CLEANED.
  - HARVEST PLANT SPECIES IF VEGETATION BECOMES TOO THICK CAUSING FLOW BACKUP AND FLOODING. MORE FREQUENT PLANT HARVESTING MAY BE REQUIRED BY LOCAL VECTOR CONTROL AGENCIES.
  - FERTILIZE NEW VEGETATION ONE TIME ONLY. THE OWNER SHALL NOT FERTILIZE VEGETATION AFTER THE INITIAL OCCURRENCE.
  - MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE ACCUMULATED SEDIMENT VOLUME EXCEEDS 10-20% OF THE BASIN VOLUME. PLANTS ARE 'CHOKED' WITH SEDIMENT, OR THE WETLAND BECOMES EUTROPHIC. IT IS SUGGESTED THAT THE MAIN AREA BE CLEANED ONE HALF AT A TIME WITH AT LEAST ONE GROWING SEASON IN BETWEEN CLEANINGS. THIS WILL HELP TO PRESERVE THE VEGETATION AND ENABLE THE WETLAND TO RECOVER MORE QUICKLY FROM THE CLEANING.

SEEDING AND MULCHING SCHEDULE PER ACRE. THE KINDS OF SEED AND FERTILIZER, AND THE RATES OF APPLICATION OF SEED, FERTILIZER, AND LIMESTONE, SHALL BE AS STATED BELOW, DURING PERIODS OF OVERLAPPING DATES, THE KIND OF SEED TO BE USED SHALL BE DETERMINED BY THE ENGINEER.

LIME	2 Tons per Acre
10-10-20	1,000 LB per Acre
0-20-0	500 LB per Acre
STRAW MULCH	2 TONS/AC (AFTER SEEDING)
ASPHALT TACK	200 GAL/TON OF MULCH

JANUARY 1-DECEMBER 31

- 50# Tall Fescue
- 5# Centipede
- 50# Pensacola Bahiagrass
- 500# Fertilizer
- 4000# Limestone

SLOPES 2:1 AND STEEPER AND WASTE AND BORROW LOCATIONS: JANUARY 1-DECEMBER 31

- 75# Tall Fescue
- 50# Centipede
- 500# Fertilizer
- 4000# Limestone

TEMPORARY SEEDING

- \*COOL SEASON\* PLANTED BETWEEN 15 AUGUST AND 15 APRIL
- 120# RYE GRAIN (NO RYE GRASS)
- \*WARM SEASON\* PLANTED BETWEEN 15 APRIL AND 15 AUGUST
- 65# GERMAN BROWN TOP OR FOX TAIL MILLET

SHEET 8 OF 15  
STORMWATER WETLAND DETAILS

## PALATINE MEADOWS

LOT 2A  
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS

CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

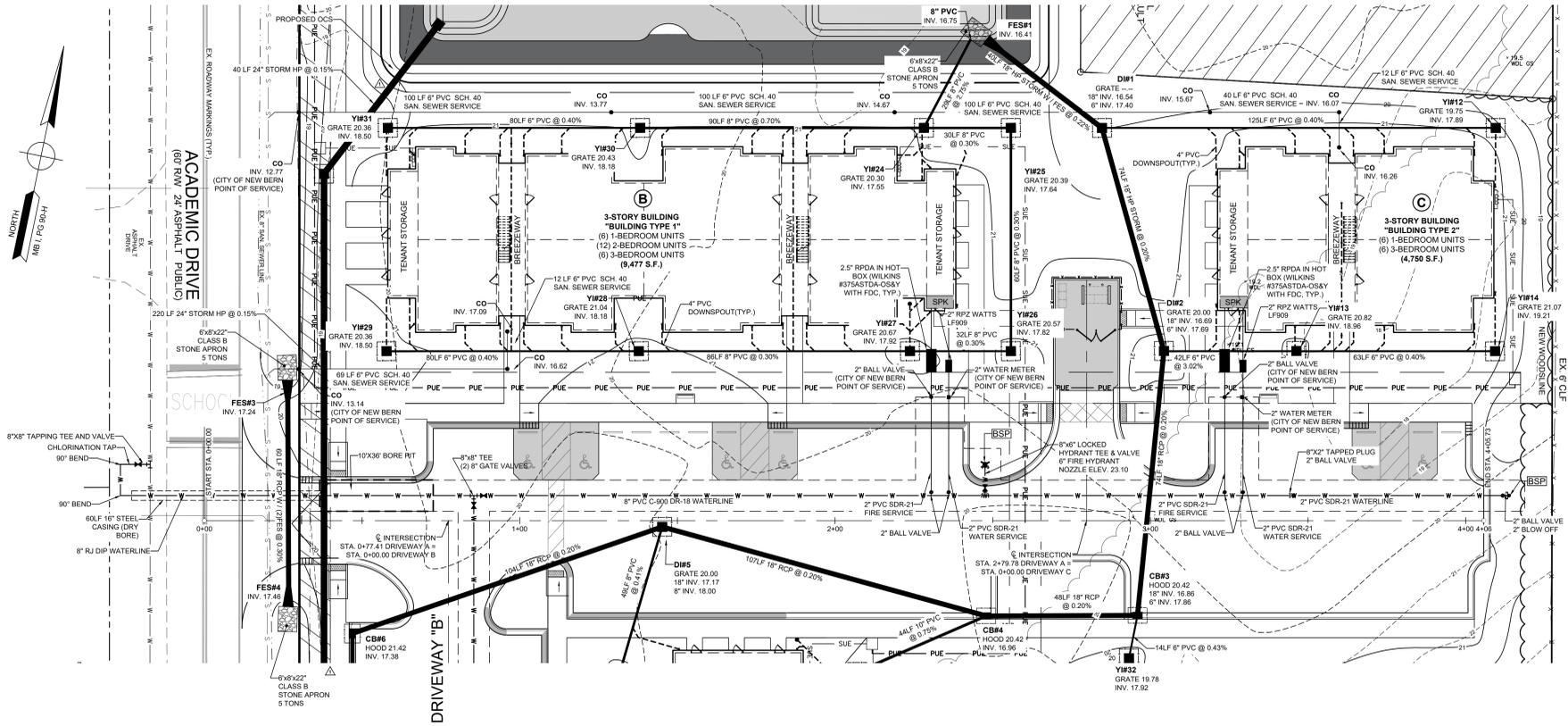
OWNER: PALATINE MEADOWS, LP  
ADDRESS: 500 SOUTH FRONT STREET, 10TH FLOOR  
COLUMBUS, OH 43215  
PHONE: (614) 396-3200

DESIGNED: IP  
APPROVED: IP  
DRAWN: MAHWRH  
DATE: 01/27/2022  
CHECKED: IP  
SCALE: AS NOTED

Baldwin Design Consultants, PA  
ENGINEERING - SURVEYING - PLANNING  
1700-C EAST ARNOLD BOLLING RD  
GREENVILLE, NC 27659 252.756.1390

REVISED: 07/29/2022 (CITY/DESIGNER COMMENTS) (SOR)  
REVISED TITLE BLOCK

D:\Work - Redacted\2022-10-100 PALATINE MEADOWS FINAL PLAT\2022-07-25 With Dev\1 Plan\working\08 - STORMWATER - dwg Sat Jul 30 2022 3:40am DESKTOP-2UB8T1D



- REQUIREMENTS FOR INSTALLATION OF POLYPROPYLENE PIPE**
- POLYPROPYLENE PIPE SHALL MEET THE REQUIREMENTS OF ASTM F2736 OR ASTM F2764.
  - JOINTS SHALL BE BELL AND SPIGOT WITH A GASKET MEETING THE REQUIREMENTS OF ASTM F477.
  - PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, BUT SHALL NOT BE BACKFILLED WITH MATERIALS LESS THAN AN NCDOT CLASS II OR BETTER UNLESS COMPACTION IS FIELD VERIFIED, AND BACKFILL MEETS MANUFACTURER'S STANDARDS.
  - IN AREAS WHERE HIGH GROUND WATER EXISTS, JOINTS SHALL MEET OR EXCEED LEAKAGE RATE FOUND IN ASTM C443.
  - ALL PIPES SHALL BE DESIGNED TO MEET A MINIMUM H-20 LOAD CONDITION.

**COMPACTION AND BACKFILL**

BACKFILL TYPE AND COMPACTION FOR REINFORCED CONCRETE, CORRUGATED HIGH DENSITY POLYETHYLENE, AND CORRUGATED ALUMINUM PIPE SHALL BE IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURES.

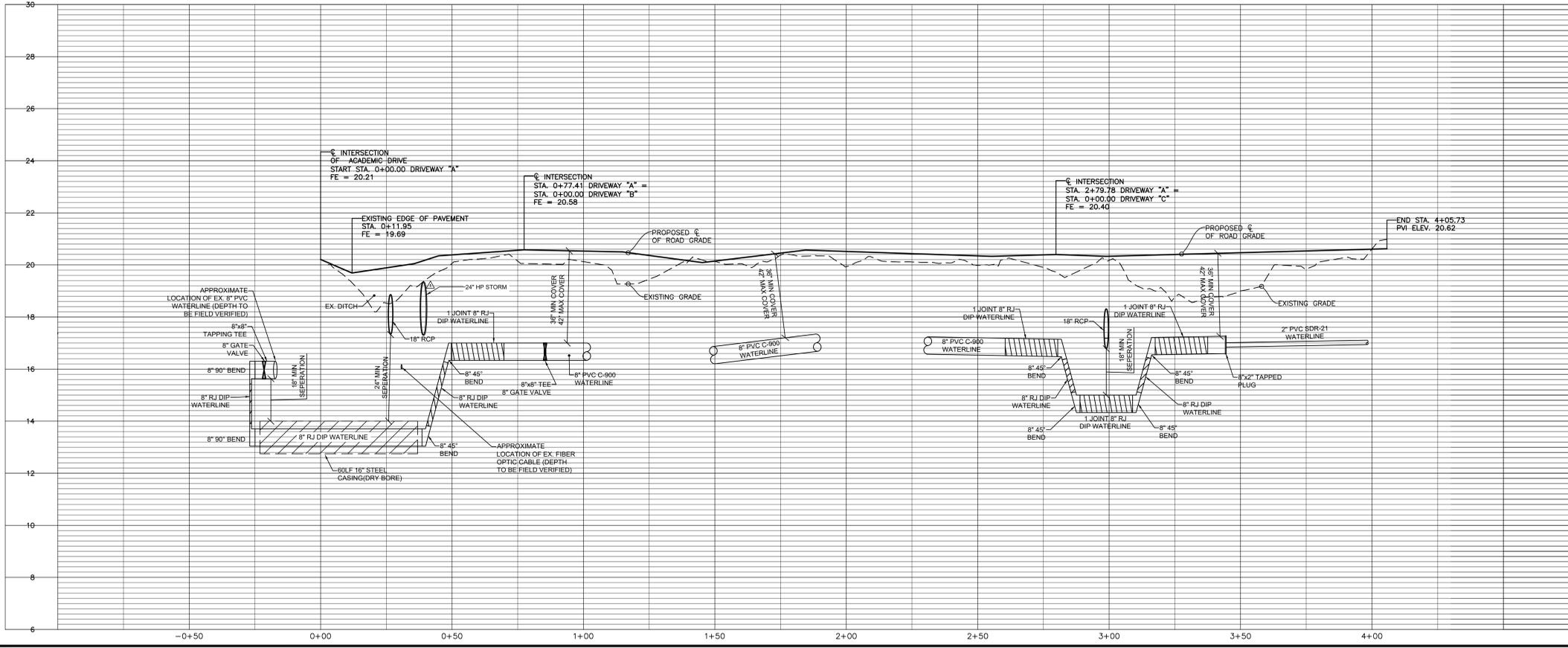
- REQUIREMENTS FOR INSTALLATION OF REINFORCED CONCRETE PIPE**
- REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M 170 (LATEST REVISION). ALL PIPE INSTALLED WITHIN THE STREET RIGHT-OF-WAY SHALL BE CLASS III OR HIGHER. MINIMUM AND MAXIMUM FILL HEIGHTS SHALL BE IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.
  - A FLEXIBLE PLASTIC JOINT MATERIAL SHALL BE APPLIED ON THE SPIGOT END OF THE PIPE. JOINTS SHALL BE PUSHED TOGETHER UNTIL PIPE IS COMPLETELY HOMED. JOINTS SHALL BE WRAPPED WITH A NON-WOVEN GEOTEXTILE FABRIC, EXTENDING A MINIMUM OF 12\"/>

**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING INVERTS PRIOR TO CONSTRUCTION.
- WATER VALVES ARE NOT TO BE LOCATED IN CURB & GUTTER.
- UTILITY CONTRACTOR TO VERIFY EXISTING ELEVATIONS PRIOR TO START OF CONSTRUCTION.
- SANITARY SEWER PIPE LENGTHS AND GRADES HAVE BEEN CALCULATED FROM INSIDE EDGE OF MANHOLE TO INSIDE EDGE OF MANHOLE.
- ALL PVC WATER MAINS SHALL MEET NSF REQUIREMENTS AND BEAR NSF LOGOS.
- CONTRACTOR SHALL UTILIZE DUCTILE IRON PIPE WATERLINE THAT ALLOWS FOR DEFLECTION AT THE JOINTS. MATERIAL INSTALLATION RECOMMENDATION SHALL ALLOW A MAXIMUM DEFLECTION OF 5 DEGREES PER JOINT.
- MAXIMUM OF 2-4\"/>

CHLORINATION TAP & BACTERIOLOGICAL SAMPLE POINT (BSP).  
 TEMPORARY CHLORINATION TAPS AND BACTERIOLOGICAL SAMPLE POINTS SHALL BE CONSTRUCTED OF THE SAME MATERIALS AS ONE INCH WATER SERVICES. TEMPORARY APPURTENANCES SHALL BE INSTALLED SUCH THAT THE ANGLE BALL VALVE IS SECURELY LOCATED 36\"/>

**DRIVEWAY "A"**



Call 72 Hours Before You Dig!  
 1-800-632-4949

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.

REVISOR: 07/29/2022 (CITY/DESIGNER COMMENTS) (SOR)

- REVISED STORMWATER WETLAND
- REVISED STORM DRAINAGE
- REVISED SEWER SERVICE
- ADDED PROPOSED LOT LINE
- REVISED TITLE BLOCK

NOTE: ALL UTILITIES TO BE LOCATED A MINIMUM OF 5' FROM BACK OF CURB.

NOTE: FDC CONNECTION TO BE 18\"/>

NOTE: GATE VALVES CAN NOT BE IN CURB & GUTTER.

HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



SHEET 9 OF 15  
 PLAN & PROFILE - DRIVEWAY "A" STA. 0+00.00 TO STA. 4+05.73

**PALATINE MEADOWS**

LOT 2A  
 REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS

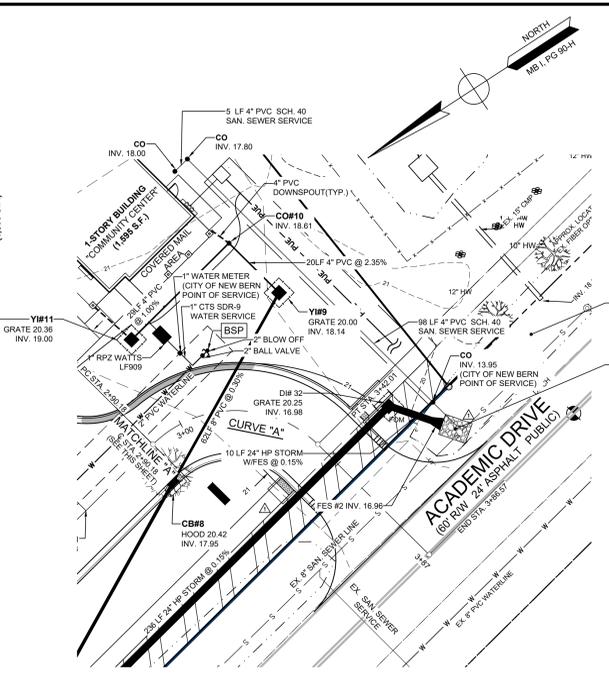
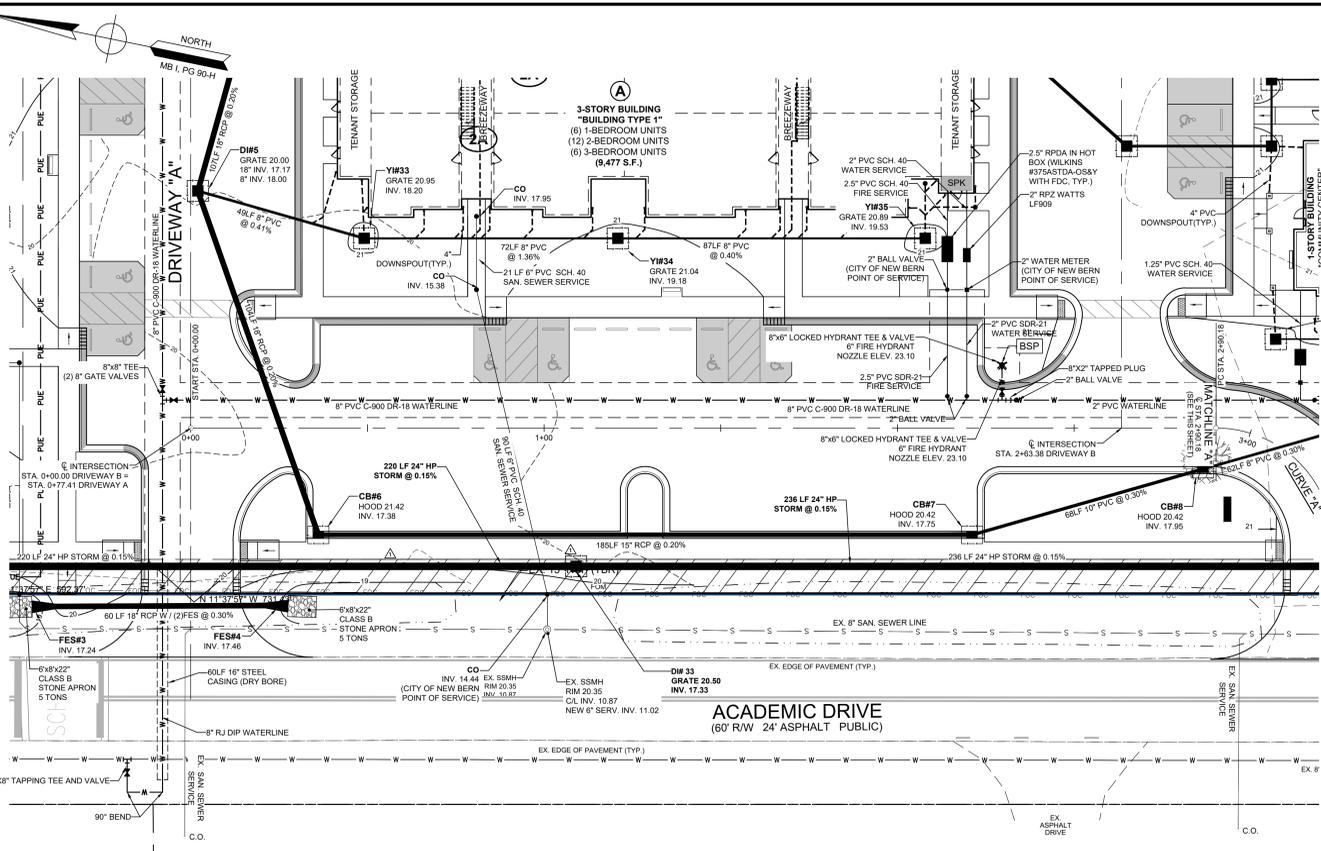
CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

OWNER: PALATINE MEADOWS, LP  
 ADDRESS: 500 SOUTH FRONT STREET, 10TH FLOOR COLUMBUS, OH 43215  
 PHONE: (614) 396-3200



	DESIGNED: IP	APPROVED: IP
	DRAWN: MAHWRSOR	DATE: 01/27/2022
CHECKED: IP	DATE: 11/06/2021	CHECKED: IP
		SCALE: AS NOTED

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**C/L CURVE DATA**

**CURVE "A"**

R = 33.00'  
 Δ = 90°00'00"  
 L = 51.84'  
 T = 33.00'  
 CH = S 33°22'03" W  
 46.67'

- REQUIREMENTS FOR INSTALLATION OF POLYPROPYLENE PIPE**
- POLYPROPYLENE PIPE SHALL MEET THE REQUIREMENTS OF ASTM F2736 OR ASTM F2764.
  - JOINTS SHALL BE BELL AND SPIGOT WITH A GASKET MEETING THE REQUIREMENTS OF ASTM F477.
  - PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, BUT SHALL NOT BE BACKFILLED WITH MATERIALS LESS THAN AN NCDOT CLASS II OR BETTER UNLESS COMPACTION IS FIELD VERIFIED, AND BACKFILL MEETS MANUFACTURER'S STANDARDS.
  - IN AREAS WHERE HIGH GROUND WATER EXISTS, JOINTS SHALL MEET OR EXCEED LEAKAGE RATE FOUND IN ASTM C443.
  - ALL PIPES SHALL BE DESIGNED TO MEET A MINIMUM H-20 LOAD CONDITION.

**COMPACTION AND BACKFILL**

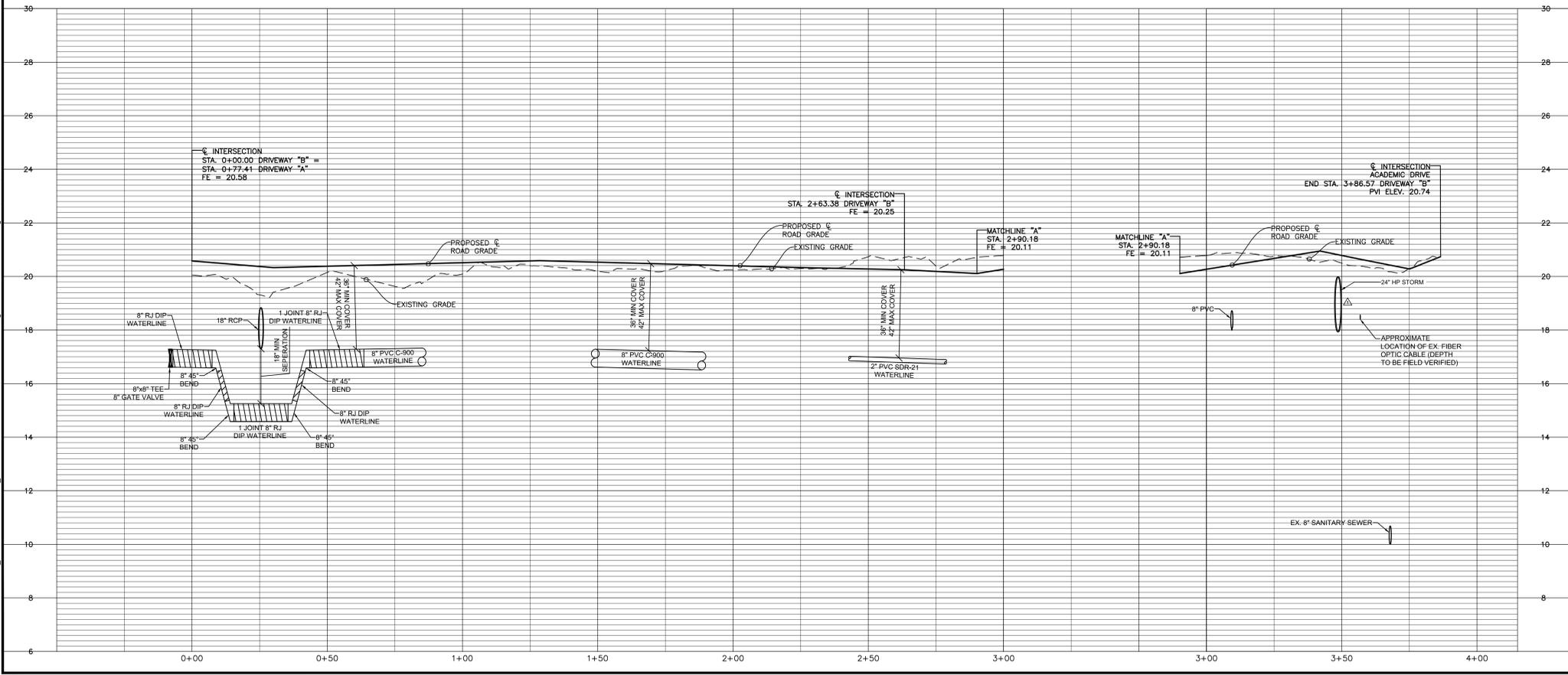
BACKFILL TYPE AND COMPACTION FOR REINFORCED CONCRETE, CORRUGATED HIGH DENSITY POLYETHYLENE, AND CORRUGATED ALUMINUM PIPE SHALL BE IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROAD AND STRUCTURES.

- REQUIREMENTS FOR INSTALLATION OF REINFORCED CONCRETE PIPE**
- REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M 170 (LATEST REVISION). ALL PIPE INSTALLED WITHIN THE STREET RIGHT-OF-WAY SHALL BE CLASS III OR HIGHER. MINIMUM AND MAXIMUM FILL HEIGHTS SHALL BE IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.
  - A FLEXIBLE JOINT MATERIAL SHALL BE APPLIED ON THE SPIGOT END OF THE PIPE. JOINTS SHALL BE PUSHED TOGETHER UNTIL PIPE IS COMPLETELY HOMOED. JOINTS SHALL BE WRAPPED WITH A NON-WOVEN GEOTEXTILE FABRIC, EXTENDING A MINIMUM OF 12" BEYOND EITHER SIDE OF THE CONNECTION.
  - BACKFILL SHALL BE A NCDOT CLASS II OR BETTER.
  - IN AREAS WHERE HIGH GROUND WATER EXISTS, JOINTS SHALL MEET ASTM C443.
  - ALL PIPES SHALL BE DESIGNED TO MEET A MINIMUM H-20 LOAD CONDITION.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING INVERTS PRIOR TO CONSTRUCTION.
  - WATER VALVES ARE NOT TO BE LOCATED IN CURB & GUTTER.
  - UTILITY CONTRACTOR TO VERIFY EXISTING ELEVATIONS PRIOR TO START OF CONSTRUCTION.
  - SANITARY SEWER PIPE LENGTHS AND GRADES HAVE BEEN CALCULATED FROM INSIDE EDGE OF MANHOLE TO INSIDE EDGE OF MANHOLE.
  - ALL PVC WATER MAINS SHALL MEET NSF REQUIREMENTS AND BEAR NSF LOGOS.
  - CONTRACTOR SHALL UTILIZE DUCTILE IRON PIPE WATERLINE THAT ALLOWS FOR DEFLECTION AT THE JOINTS. MATERIAL INSTALLATION RECOMMENDATION SHALL ALLOW A MAXIMUM DEFLECTION OF 5 DEGREES PER JOINT.
  - MAXIMUM OF 2-4" GRADE RINGS ALLOWED ON A MANHOLE.
  - UTILITY CONTRACTOR IS REQUIRED TO MONITOR ALL VERTICAL AND HORIZONTAL WATERLINE/FORCE MAIN BENDS WITH 3/4" PVC PIPE PAINTED BLUE IN A VERTICAL POSITION OVER THE BEND EXTENDING OUT OF THE GROUND APPROXIMATELY 12 TO 24 INCHES TO ENABLE SURVEYORS TO ACCURATELY LOCATE THESE BENDS WHEN PERFORMING AS-BUILT SURVEYS.
  - SEWER SERVICES LOCATED ON THE SAME SIDE OF THE ROADWAY AS SIDEWALK SHALL BE LOCATED 2' BEYOND BACK OF SIDEWALK.

CHLORINATION TAP & BACTERIOLOGICAL SAMPLE POINT (BSP):  
 TEMPORARY CHLORINATION TAPS AND BACTERIOLOGICAL SAMPLE POINTS SHALL BE CONSTRUCTED OF THE SAME MATERIALS AS ONE INCH WATER SERVICES. TEMPORARY APPURTENANCES SHALL BE INSTALLED SUCH THAT THE ANGLE BALL VALVE IS SECURELY LOCATED 36" MIN. ABOVE FINISH GRADE. UPON APPROVAL OF FINAL BACTERIOLOGICAL SAMPLES THE TUBING AND ANGLE BALL VALVE SHALL BE REMOVED, THE CORPORATION STOP CLOSED, AND A CAP PLACED ON THE CORPORATION STOP.

**DRIVEWAY "B"**



Call 72 Hours Before You Dig!  
1-800-632-4949

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.

NOTE: ALL 6" PVC STORM DRAINAGE PIPES TO BE SDR-35 UNLESS OTHERWISE NOTED.

NOTE: FIRE HYDRANTS TO BE LOCATED A MINIMUM OF 5' FROM BACK OF CURB.

NOTE: FOC CONNECTION TO BE 18"-36" ABOVE FINISHED GRADE AND TO BE LOCATED ON THE RPDA.

NOTE: GATE VALVES CAN NOT BE IN CURB & GUTTER.

HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'

GRAPHIC SCALE: 1" = 20'

REVISION: 07/28/2022 (CITY/DESIGNER COMMENTS) (SOR)  
 REVISED STORMWATER WETLAND  
 REVISED SAN. SEWER SERVICES  
 REVISED TITLE BLOCK

SHEET 10 OF 15  
 PLAN & PROFILE - DRIVEWAY "B" STA. 0+00.00 TO STA. 3+86.57

**PALATINE MEADOWS**

LOT 2A  
 REFERENCE: DEED BOOK 3084, PAGE 210 OF  
 THE CRAVEN COUNTY REGISTER OF DEEDS

CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

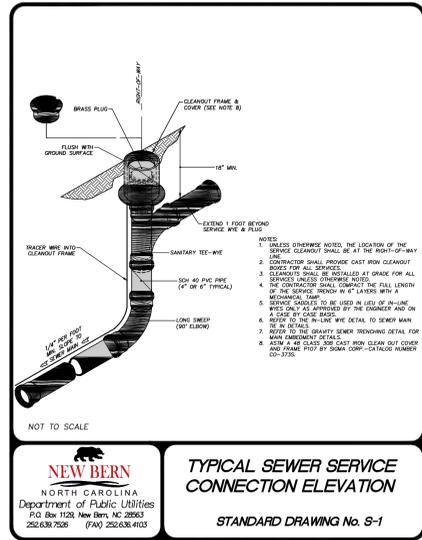
OWNER: PALATINE MEADOWS, LP  
 ADDRESS: 500 SOUTH FRONT STREET, 10TH FLOOR  
 COLUMBUS, OH 43215  
 PHONE: (614) 396-3200

<b>GRADE CHECK</b>		DESIGNED: IP	APPROVED: IP
CHECKED: IP	DATE: 11/06/2021	DRAWN: MAHWRSOR	DATE: 01/27/2022
		CHECKED: IP	SCALE: AS NOTED

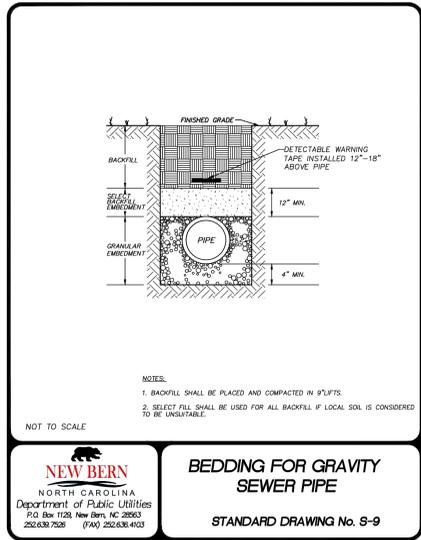
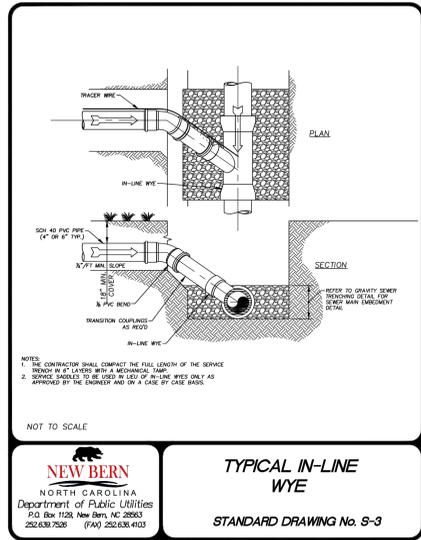
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D:\Work - Redacted\201001 - PALATINE MEADOWS - FINAL PLAT\2022-07-25 Win Dect\Plan\Working\12 - SANITARY SEWER.dwg Sat Jul 30 2022 4:01am DESKTOP-2UB8T1D

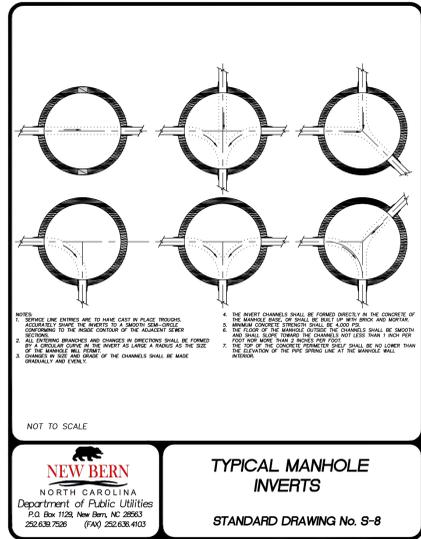


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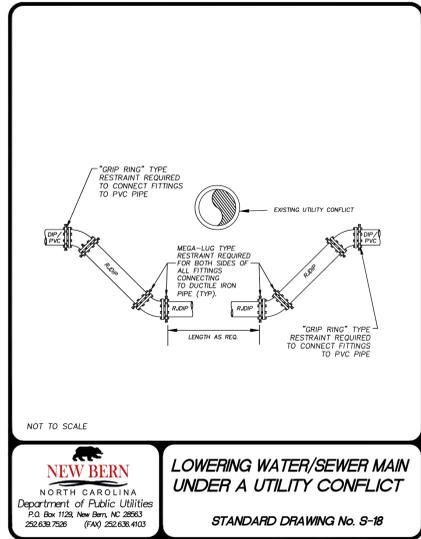


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Sheet: 1



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Sheet: 1



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Sheet: 1

REVISOR: 07/29/2022 (CITY/DESIGNER COMMENTS) (SOR)  
REVISED TITLE BLOCK

SHEET 12 OF 15  
SANITARY SEWER SYSTEM DETAILS

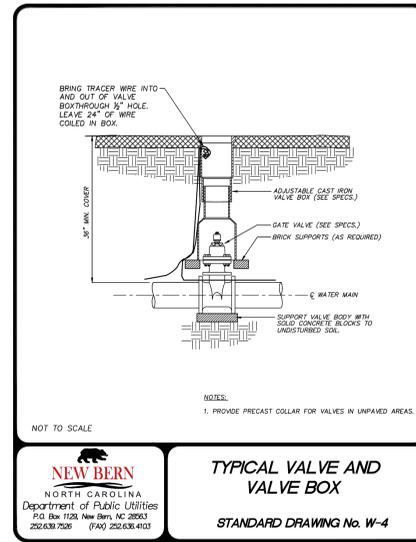
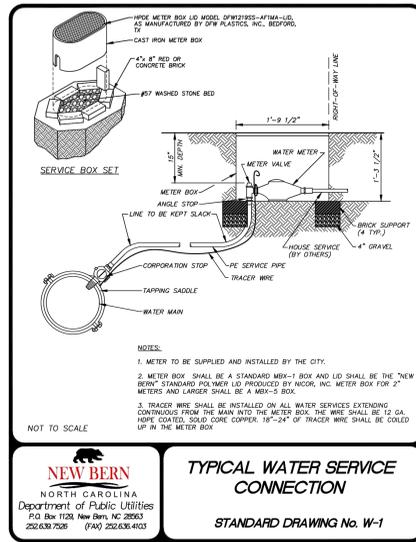
**PALATINE MEADOWS**  
LOT 2A  
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS  
CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

OWNER: PALATINE MEADOWS LIMITED PARTNERSHIP  
ADDRESS: 500 SOUTH FRONT STREET 10th FLOOR  
COLUMBUS, OHIO 43215  
PHONE: (614) 396-0053

DESIGNED: N/A  
APPROVED: IP  
DRAWN: DATE: 01/27/2022  
CHECKED: IP  
SCALE: AS NOTED

**Baldwin Design Consultants, PA**  
ENGINEERING - SURVEYING - PLANNING  
1700-D EAST ARLINGTON BOULEVARD  
GREENVILLE, NC 27688





**PIPE RESTRAINT CHARTS**

**Horizontal & Vertical Up Bends**

Pipe Size (Inch)	Bend Angle	Restraint Force (Lbs)
4"	15.75	5
	30	10
	45	15
	60	20
	75	25
6"	15.75	7
	30	14
	45	21
	60	28
	75	35
8"	15.75	9
	30	18
	45	27
	60	36
	75	45
10"	15.75	11
	30	22
	45	33
	60	44
	75	55
12"	15.75	13
	30	26
	45	39
	60	52
	75	65

**Vertical Down Bends**

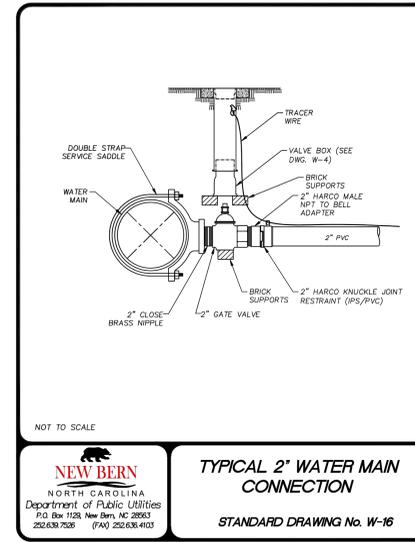
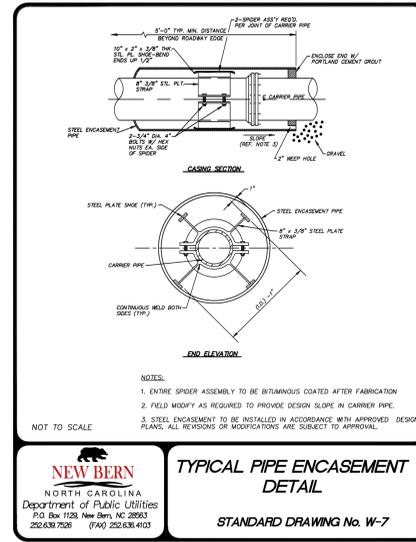
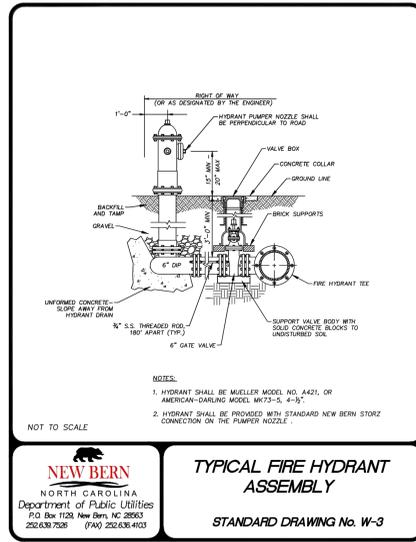
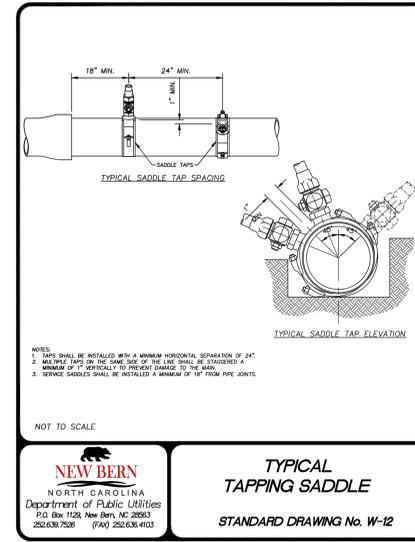
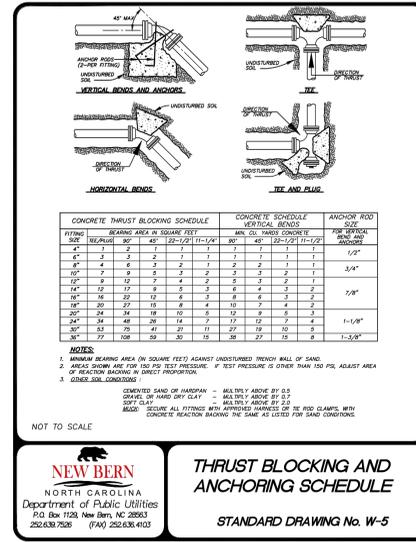
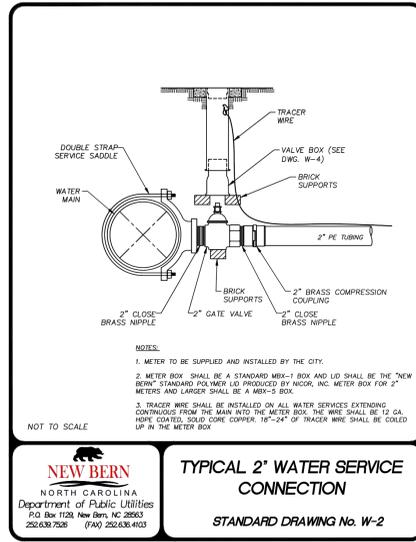
Pipe Size (Inch)	Bend Angle	Restraint Force (Lbs)
4"	15.75	6
	30	12
	45	18
	60	24
	75	30
6"	15.75	8
	30	16
	45	24
	60	32
	75	40
8"	15.75	10
	30	20
	45	30
	60	40
	75	50
10"	15.75	12
	30	24
	45	36
	60	48
	75	60
12"	15.75	14
	30	28
	45	42
	60	56
	75	70

**Tees, Reducers, Caps**

Fitting Type	Size (Inch)	Restraint Force (Lbs)
Tee	6	52
	8	68
	10	84
	12	100
Reducer	8x6	82
	10x8	108
	12x10	134
	14x12	160
Cap	6	38
	12	107

APPENDIX - A

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Sheet: 1



REVISED: 07/29/2022 (CITY/DESIGNER COMMENTS) (SOR)  
REVISED TITLE BLOCK

SHEET 13 OF 15  
WATER SYSTEM DETAILS

**PALATINE MEADOWS**

LOT 2A  
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS

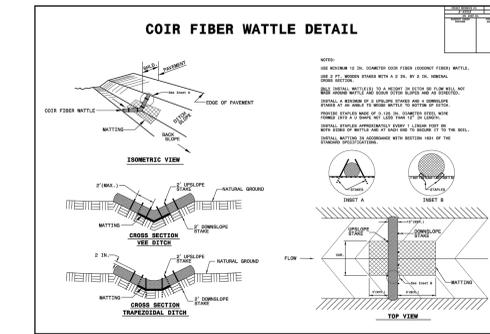
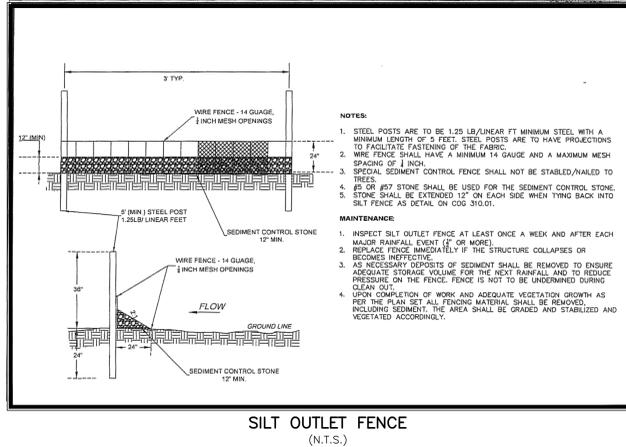
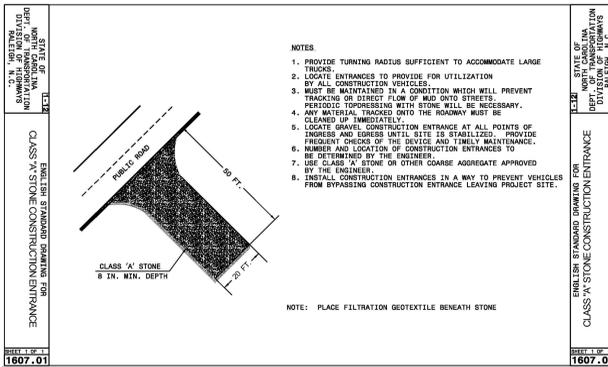
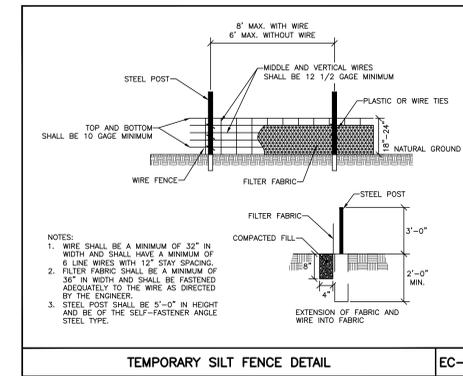
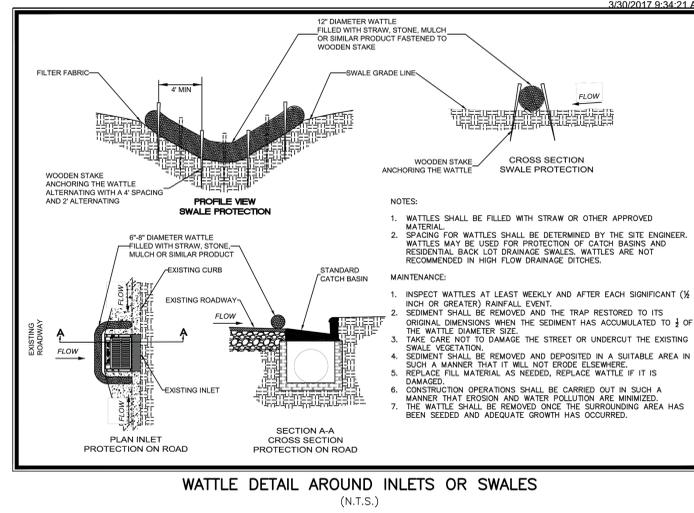
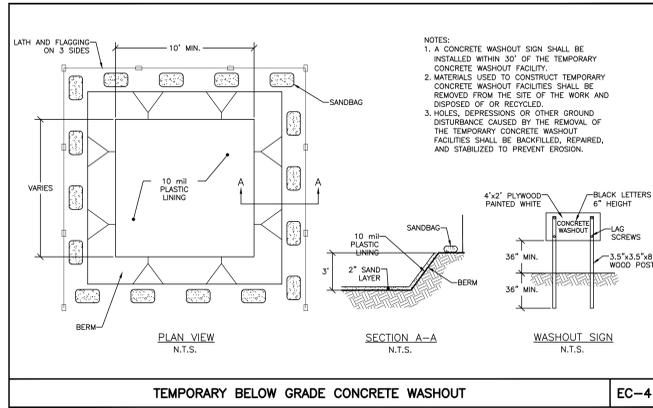
CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

OWNER: PALATINE MEADOWS LIMITED PARTNERSHIP  
ADDRESS: 500 SOUTH FRONT STREET 10th FLOOR COLUMBUS, OHIO 43215  
PHONE: (614) 396-0053

DESIGNED: N/A  
APPROVED: IP  
DRAWN: DATE: 01/27/2022  
CHECKED: IP  
SCALE: AS NOTED

**Baldwin Design Consultants, PA**  
ENGINEERING - SURVEYING - PLANNING  
1700-D EAST ARLINGTON BOULEVARD  
GREENVILLE, NC 27659

D:\Work - Redacted\2010-100 PALATINE MEADOWS FINAL PLAT\2022-07-25 WWS Dwr\Plan\Working\13 - WATER SYSTEM.dwg Sat, Jul 20, 2023 3:56am DESKTOP-2UB81TD



NEW STABILIZATION TIMEFRAMES (EFFECTIVE AUGUST 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERMETER DICES, DITCHES, DITCHES/SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE EXCEPT FOR PERIMETERS AND HQW ZONES.

**SEEDING AND MULCHING SCHEDULE PER ACRE**

THE KINDS OF SEED AND FERTILIZER, AND THE RATES OF APPLICATION OF SEED, FERTILIZER, AND LIMESTONE, SHALL BE AS STATED BELOW. DURING PERIODS OF OVERLAPPING DATES, THE KIND OF SEED TO BE USED SHALL BE DETERMINED BY THE ENGINEER.

LIME	2 TONS/AC
10-10-20	1,000 LBS/AC
0-20-0	500 LBS/AC
STRAW MULCH	2 TONS/AC (AFTER SEEDING)
ASPHALT TACK	200 GAL/TON OF MULCH

**JANUARY 1-DECEMBER 31**

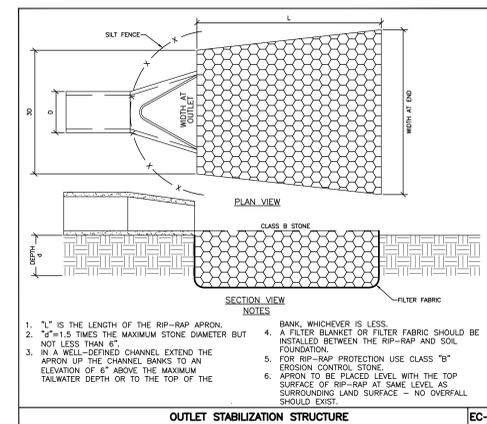
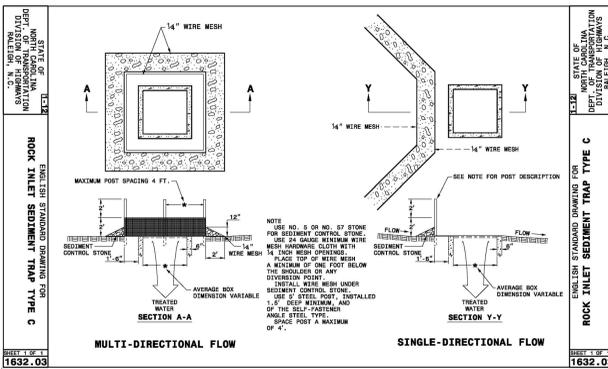
50#	TALL FESCUE
10#	GENTLEPEA
10#	BERMUDA GRASS
500#	FERTILIZER
4000#	LIMESTONE

**SLOPES 2:1 AND STEEPER AND WASTE AND BORROW LOCATIONS:  
JANUARY 1-DECEMBER 31**

75#	TALL FESCUE
10#	BERMUDA GRASS
500#	FERTILIZER
4000#	LIMESTONE

**TEMPORARY SEEDING**

"COOL SEASON" PLANTED BETWEEN 15 AUGUST AND 15 APRIL  
 120# FRYE GRASS (NO FRYE GRASS)  
 "WARM SEASON" PLANTED BETWEEN 15 APRIL AND 15 AUGUST  
 65# GERMAN BROWN TOP OR FOX TAIL MILLET



REVISD: 07/29/2022 (CITY/DESIGNER COMMENTS) (SOR)  
 REVISED TITLE BLOCK

SHEET 14 OF 15  
 EROSION CONTROL DETAILS

**PALATINE MEADOWS**

LOT 2A  
 REFERENCE: DEED BOOK 3084, PAGE 210 OF  
 THE CRAVEN COUNTY REGISTER OF DEEDS

CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC

OWNER: PALATINE MEADOWS LIMITED PARTNERSHIP  
 ADDRESS: 500 SOUTH FRONT STREET 10th FLOOR  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 396-0053

	DESIGNED: IP	APPROVED: IP
	DRAWN: DATE: 01/27/2022	CHECKED: IP



**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant and Materials Handling and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee must comply with all applicable laws, rules, and regulations of the State of North Carolina and the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timelines

Site Area Description	Stabilize within this many calendar days after ground disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed. 7 days for slopes greater than 50' in length and slopes steeper than 4:1-7:1 for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(e) Areas with slopes flatter than 4:1	14	7 days for Falls Lake Watershed

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below.

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other erosion control fabric</li> <li>Hydroseeding</li> <li>Wood erosion control products such as permanent soil reinforcement matting</li> <li>Temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Reeds seeding</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other erosion control fabric</li> <li>Geotextile fabric such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Drills or other permanent plantings covered with straw</li> <li>Uniform and evenly distributed ground cover</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Roll-on erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction activities. Refer to the NCG01 Construction General Permit (Section E) for more information.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NCG DWL of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (except when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEANING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

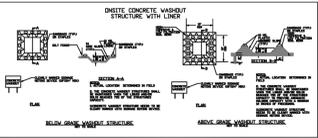
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sealed and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands, provide 16 or no alternative reasonably available. If 50 foot or not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating units.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile location on level ground, at least 50 feet away from storm drains, streams or wetlands unless no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of 10 feet.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from motor mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter surface.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlets (sleeves) to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone apron pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not use herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into soils, stormwater drains, ground water or surface waters. Clean up spills, leaks, or areas immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NPDES INSPECTION REQUIREMENTS**

MINIMUM SELF INSPECTION AND REPORTING REQUIREMENTS ARE AS FOLLOWS UNLESS OTHERWISE APPROVED IN WRITING BY THE DIVISION OF WATER QUALITY.

- A RAIN GAUGE SHALL BE MAINTAINED IN GOOD WORKING ORDER ON THE SITE UNLESS ANOTHER RAIN-MONITORING DEVICE HAS BEEN APPROVED BY THE DIVISION OF WATER QUALITY.
- A WRITTEN RECORD OF THE DAILY RAINFALL AMOUNTS SHALL BE RETAINED AND ALL RECORDS SHALL BE MADE AVAILABLE TO DIVISION OF WATER QUALITY OR AUTHORIZED AGENT UPON REQUEST. IF NO DAILY RAIN GAUGE OBSERVATIONS ARE MADE DURING WEEKEND OR HOLIDAY PERIODS, AND NO INDIVIDUAL-DAY RAINFALL INFORMATION IS AVAILABLE, THE CUMULATIVE RAIN MEASUREMENT FOR THOSE UN-ATTENDED DAYS WILL DETERMINE IF A SITE INSPECTION IS NEEDED. (NOTE: IF NO RAINFALL OCCURRED, THE PERMITTEE MUST RECORD "ZERO").
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. INSPECTION RECORDS MUST BE MAINTAINED FOR EACH INSPECTION EVENT AND FOR EACH MEASURE. AT A MINIMUM, INSPECTION RECORDS MUST OPERATE AT THE FREQUENCY INDICATED BELOW:
  - ALL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE INSPECTED BY OR UNDER THE DIRECTION OF THE PERMITTEE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS, AND
  - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED BY OR UNDER THE DIRECTION OF THE PERMITTEE WITHIN 24 HOURS AFTER ANY STORM EVENT OF GREATER THAN 0.50 INCHES OF RAIN PER 24 HOUR PERIOD.
- ONCE LAND DISTURBANCE HAS BEGUN ON THE SITE, STORMWATER RUNOFF DISCHARGE OUTFALLS SHALL BE INSPECTED BY OBSERVATION FOR EROSION, SEDIMENTATION AND OTHER STORMWATER DISCHARGE CHARACTERISTICS SUCH AS CLARITY, FLOATING SOLIDS, AND OIL SHEENS. INSPECTIONS OF THE OUTFALLS SHALL BE MADE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS, AND WITHIN 24 HOURS AFTER ANY STORM EVENT OF GREATER THAN 0.50 INCHES OF RAIN PER 24 HOUR PERIOD.
- INSPECTIONS ARE ONLY REQUIRED TO BE MADE DURING NORMAL BUSINESS HOURS. WHEN ADVERSE WEATHER CONDITIONS WOULD CAUSE THE SAFETY OF THE INSPECTION PERSONNEL TO BE IN JEOPARDY, THE INSPECTION CAN BE DELAYED UNTIL IT IS DEEMED SAFE TO PERFORM THE INSPECTION. WHEN INSPECTIONS WERE DELAYED BECAUSE OF SAFETY ISSUES SHOULD BE NOTED IN THE INSPECTION RECORD. IF THE INSPECTION CANNOT BE DONE ON THAT DAY, IT MUST BE COMPLETED ON THE FOLLOWING BUSINESS DAY.
- TWENTY-FOUR HOUR REPORTING FOR VISIBLE SEDIMENT DEPOSITION
- THE PERMITTEE SHALL REPORT TO THE DIVISION OF WATER QUALITY CENTRAL OFFICE OR THE APPROPRIATE REGIONAL OFFICE ANY VISIBLE SEDIMENT BEING DEPOSITED IN ANY STREAM OR WETLAND OR ANY NONCOMPLIANCE WHICH MAY ENDANGER HEALTH OR THE ENVIRONMENT. THE DIVISION OF WATER QUALITY SHALL BE KEPT ADVISED OF ANY INFORMATION THAT IS PROVIDED ORALLY OR ELECTRONICALLY WITHIN 24 HOURS FROM THE TIME THE PERMITTEE BECAME AWARE OF THE CIRCUMSTANCES.
- A WRITTEN SUBMISSION SHALL BE PROVIDED TO THE APPROPRIATE REGIONAL OFFICE OF THE DIVISION OF WATER QUALITY WITHIN 5 DAYS OF THE TIME THE PERMITTEE BECAME AWARE OF THE CIRCUMSTANCES. THE WRITTEN SUBMISSION SHALL CONTAIN A DESCRIPTION OF THE SEDIMENT DEPOSITION AND ACTIONS TAKEN TO ADDRESS THE CAUSE OF THE DEPOSITION. THE DIVISION OF WATER QUALITY STAFF MAY WAIVE THE REQUIREMENT FOR A WRITTEN REPORT ON A CASE-BY-CASE BASIS.
- RECORDS OF INSPECTIONS MADE DURING THE PREVIOUS 30 DAYS SHALL REMAIN ON THE SITE AND AVAILABLE FOR AGENCY INSPECTORS AT ALL TIMES DURING NORMAL WORKING HOURS. UNLESS THE DIVISION OF WATER QUALITY PROVIDES A SITE-SPECIFIC EXEMPTION BASED ON UNIQUE SITE CONDITIONS THAT MAKE THIS REQUIREMENT NOT PRACTICAL, RECORDS MUST BE MAINTAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION AND MADE AVAILABLE UPON REQUEST. THE RECORDS MUST PROVIDE THE DETAILS OF EACH INSPECTION INCLUDING OBSERVATIONS, AND ACTIONS TAKEN IN ACCORDANCE WITH THIS PERMIT. THE PERMITTEE SHALL RECORD THE REQUIRED RAINFALL AND MONITORING OBSERVATIONS ON THE INSPECTION RECORD FORM PROVIDED BY THE DIVISION OF WATER QUALITY. THE INSPECTION RECORD SHALL BE INCLUSIVE OF ALL OF THE ELEMENTS CONTAINED IN THE DIVISION'S FORM. USE OF ELECTRONICALLY-AVAILABLE RECORDS, IN LIEU OF THE REQUIRED PAPER COPIES FOR INSPECTION WILL BE ALLOWED IF SHOWN TO PROVIDE EQUAL ACCESS AND UTILITY AS THE HARD-COPY RECORDS.
- INSPECTION RECORDS MUST INCLUDE, AT A MINIMUM, THE FOLLOWING:
  - IDENTIFICATION OF THE MEASURES INSPECTED,
  - DATE AND TIME OF THE INSPECTION,
  - NAME OF THE PERSON PERFORMING THE INSPECTION,
  - INDICATION OF WHETHER THE MEASURES WERE OPERATING PROPERLY,
  - DESCRIPTION OF MAINTENANCE NEEDS FOR THE MEASURE,
  - CORRECTIVE ACTIONS TAKEN,
  - DATE OF ACTIONS TAKEN, AS WELL AS THE DATE AND AMOUNTS OF RAINFALL RECEIVED.
- STORMWATER DISCHARGE INSPECTIONS: INSPECTION RECORDS MUST INCLUDE AT A MINIMUM:
  - IDENTIFICATION OF THE DISCHARGE OUTFALL INSPECTED,
  - DATE AND TIME OF THE INSPECTION,
  - NAME OF THE PERSON PERFORMING THE INSPECTION,
  - EVIDENCE OF INDICATORS OF STORMWATER POLLUTION SUCH AS OIL SHEEN, FLOATING OR SUSPENDED SOLIDS OR DISCOLORATION,
  - INDICATION OF VISIBLE SEDIMENT LEAVING THE SITE,
  - ACTIONS TAKEN TO CORRECT/PREVENT SEDIMENTATION AND
  - DATE OF ACTIONS TAKEN.
- VISIBLE SEDIMENTATION FOUND OUTSIDE THE SITE LIMITS: INSPECTION RECORDS MUST INCLUDE:
  - AN EXPLANATION AS TO THE ACTIONS TAKEN TO CONTROL FUTURE RELEASES,
  - ACTIONS TAKEN TO CLEAN UP OR STABILIZE THE SEDIMENT THAT HAS LEFT THE SITE LIMITS AND
  - THE DATE OF ACTIONS TAKEN.
- VISIBLE SEDIMENTATION FOUND IN STREAMS OR WETLANDS: ALL INSPECTIONS SHOULD INCLUDE EVALUATION OF STREAMS OR WETLANDS ONSITE OR OFFSITE (WHERE ACCESSIBLE) TO DETERMINE IF VISIBLE SEDIMENTATION IS OCCURRING AND THE ACTIONS TAKEN TO REDUCE SEDIMENT CONTRIBUTIONS. SITES DISCHARGING TO STREAMS NAMED ON THE STATE'S 303(D) LIST AS IMPAIRED FOR SEDIMENT-RELATED CAUSES MAY BE REQUIRED TO PERFORM ADDITIONAL MONITORING, INSPECTIONS OR APPLICATION OF MORE-STRINGENT MANAGEMENT PRACTICES IF IT IS DETERMINED THAT THE ADDITIONAL REQUIREMENTS ARE NEEDED TO ASSURE COMPLIANCE WITH THE FEDERAL OR STATE IMPAIRED-WATERS CONDITIONS. IF A DISCHARGE COVERS A PERCENTAGE OF A STREAM SEGMENT THAT IS LISTED ON THE IMPAIRED STREAM LIST FOR SEDIMENT-RELATED CAUSES, AND A TOTAL MAXIMUM DAILY LOAD (TMDL) HAS BEEN PREPARED FOR THOSE POLLUTANTS, THE PERMITTEE MUST IMPLEMENT MEASURES TO ENSURE THAT THE DISCHARGE OF POLLUTANTS FROM THE SITE IS CONSISTENT WITH THE ASSUMPTIONS AND MEETS THE REQUIREMENTS OF THE APPROVED TMDL. THE DIVISION OF WATER QUALITY 303(D) LIST CAN BE FOUND AT: [http://www.dwr.state.nc.us/tmdl/general\\_303d.htm/](http://www.dwr.state.nc.us/tmdl/general_303d.htm/).

**EROSION CONTROL NOTES:**

- NO LAND DISTURBING ACTIVITY BEYOND THE REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MEASURES MAY PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY THE STATE.
- SCHEDULING OF A PRE-CONSTRUCTION CONFERENCE WITH THE EROSION CONTROL INSPECTOR IS REQUIRED PRIOR TO INITIATING LAND DISTURBING ACTIVITIES. FOR INSPECTION PLEASE CALL (252) 946-6481. A 24-HOUR NOTICE IS REQUIRED.
- SEED OR OTHERWISE PROVIDED GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL DENIED SLOPES WITHIN 7 DAYS FOR SLOPES STEEPER THAN 3:1 OR 14 DAYS FOR SLOPES FLATTER THAN 4:1.
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH RAIN EVENT OF 1/2" OR MORE. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN ISSUANCE OF A STOP WORK ORDER OR CIVIL PENALTIES UP TO \$8000 PER DAY OF VIOLATION. SITES UTILIZING SEDIMENT TRAPS MUST ALSO SCHEDULE A MAXIMUM OF 100% OF SEDIMENT PRIOR TO CLEAN OUT.
- THE STATE ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.
- NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING THE STATE OF THE DATE OF THE LAND DISTURBING ACTIVITY.
- ACCEPTANCE & APPROVAL OF THIS PLAN IS CONDITIONED UPON YOUR COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS, REGULATIONS AND RULES. IN ADDITION, LOCAL CITY AND COUNTY ORDINANCES AND RULES MAY ALSO APPLY TO THIS LAND DISTURBING ACTIVITY. APPROVAL BY THE STATE DOES NOT SUPERSEDE ANY OTHER PERMIT OR APPROVAL.
- THE STATE RESERVES THE RIGHT TO ENTER AND INSPECT ANY PROPERTY WITHIN ITS JURISDICTION FOR COMPLIANCE WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.
- IN ANY EVENT, SLOPES LEFT EXPOSED WILL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION WITHIN FOURTEEN (14) CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING.
- MAINTAIN EROSION CONTROL MEASURES AS NECESSARY.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19**

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a self-inspection is delayed for greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection Record.

Inspection Item	Frequency (during normal business hours)	Inspection records must include:
(1) Silt trap maintenance in good working order	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch or 24 hours	1. Date and time of inspection. 2. Name of the person performing the inspection. 3. Indication of whether the measures were operating properly. 4. Description of maintenance needs for the measure.
(2) EESC Measures	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch or 24 hours	1. Identification of the measures inspected. 2. Date and time of inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure.
(3) Stormwater discharge outlets (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch or 24 hours	1. Identification of the discharge outlets inspected. 2. Date and time of inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch or 24 hours	1. Identification of the perimeter of the site. 2. Date and time of inspection. 3. Name of the person performing the inspection. 4. Description, evidence, and date of corrective actions taken, and an indication as to whether the sediment that has left the site is being stabilized or otherwise controlled.
(5) Stream or wetland outlet or other discharge	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch or 24 hours	1. Identification of the outlet inspected. 2. Date and time of inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken, and an indication as to whether the sediment that has left the site is being stabilized or otherwise controlled.
(6) Ground stabilization measures	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch or 24 hours	1. Identification of the stabilization measures inspected. 2. Date and time of inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken, and an indication as to whether the sediment that has left the site is being stabilized or otherwise controlled.

Note: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. EESC Plan Documentation**

The approved EESC plan as well as any approved deviation that kept on the site. The approved EESC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EESC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each EESC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved EESC plan.	Initial and date each EESC measure on a copy of the approved EESC plan or complete, date and sign an inspection report that lists each EESC measure shown on the approved EESC plan. This documentation is required upon the initial installation of the EESC measures or if the EESC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved EESC plan.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for EESC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EESC measures.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be Kept on Site**

In addition to the EESC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical.

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**

All data used to complete the NCG01 and all inspection records shall be maintained for a period of three years after project completion and made available upon request. (40 CFR 122.41)

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that Must be Reported**

Permittees shall report the following to the Division:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume),
  - They are within 100 feet of surface waters (regardless of volume).
- Release of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 312.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timelines and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0388.

Occurrence	Reporting Timelines (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per item 1(b)(1)-(b) above	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> <li>A report of least one day before the end of the spill, if possible. The report shall include an evaluation of the anticipated quality and quantity of the discharge.</li> </ul>
(c) Unanticipated bypasses (40 CFR 122.41(d)(2))	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the quality and effect of the bypass.</li> </ul>
(d) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(d)(3))	<ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, its cause, the period of noncompliance, any ongoing corrective actions, and the date when the noncompliance was not been corrected. The anticipated time noncompliance is expected to continue and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(d)(3))</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

**PART III, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawal from sediment basins shall be allowed only when all of the following criteria have been met:

- The EESC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the EESC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, item (2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater to the receiving water body. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the site as a property designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices.
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19**

**MAINTENANCE PLAN**

**CONSTRUCTION ENTRANCE**

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ZINC STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

**SILT FENCE**

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. ENSURE SEDIMENT FENCE IS STILL TIED IN AS PER DRAWINGS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANING. REMOVE ALL TENCING MATERIALS AND UNDESIRABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**INLET PROTECTION - HARDWARE CLOTH AND GRAVEL INLET PROTECTION**

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

**GRADED AREAS**

PERIODICALLY CHECK ALL GRADED AREAS AND THE SUPPORTING EROSION AND SEDIMENTATION CONTROL PRACTICES, ESPECIALLY AFTER HEAVY RAINFALLS. PROMPTLY REMOVE ALL SEDIMENT FROM DIVERSIONS AND OTHER WATER-DISPOSAL PRACTICES. IF WASHOUTS OR BREAKS OCCUR, REPAIR THEM IMMEDIATELY. PROMPT MAINTENANCE OF SMALL ERODED AREAS BEFORE THEY BECOME SIGNIFICANT GULLIES. AREAS ARE TO BE SEED AS PER NORTH CAROLINA EROSION AND SEDIMENTATION NOTES AND SEEDING CRITERIA.

**ROCK RIP-RAP**

INSPECT CHANNELS AT REGULAR INTERVALS AS WELL AS MAJOR RAINS, AND MAKE REPAIRS PROMPTLY. GIVE SPECIAL ATTENTION TO THE OUTLET AND INLET SECTIONS AND OTHER POINTS WHERE CONCENTRATED FLOW ENTER CAREFULLY CHECK STABILITY AT ROAD CROSSINGS, AND LOOK FOR INDICATION OF PIPING, SCOURING HOLES, OR BANK FAILURES. MAKE REPAIRS IMMEDIATELY. MAINTAIN ALL VEGETATION ADJACENT TO THE CHANNEL IN A HEALTHY, VIGOROUS CONDITION TO PROTECT THE AREA FROM EROSION AND SCOUR DURING OUT OF BANK FLOW.

**DUST CONTROL**

MAINTAIN ALL AND ANY DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

**WATTLE**

INSPECT WATTLES AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT RAINFALL (1/2 INCH OR GREATER). MAKE ANY REPAIRS IMMEDIATELY.

SHOULD WATTLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE PROMPTLY.

REMOVE SEDIMENT DEPOSITS TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN EVENT WHEN SEDIMENT HAS ACCUMULATED TO 1/3 OF THE WATTLE DIAMETER SIZE.

TAKE CARE TO AVOID DAMAGE TO OR UNDERMINING THE WATTLE DURING CLEAN-OUT.

**CONCRETE WASHOUT**

OPERATING AND INSPECTING WASHOUT FACILITIES CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED WEEKLY AND ESPECIALLY AFTER HEAVY RAINS TO CHECK FOR LEAKS. IDENTIFY ANY PLASTIC LININGS AND SIDEWALLS HAVE BEEN DAMAGED BY CONSTRUCTION ACTIVITIES, AND DETERMINE WHETHER THE FACILITIES SHOULD BE REPAIRED PROMPTLY. BEFORE THE WASHOUT CONTAINER IS FILLED TO OVER 75 PERCENT OF ITS CAPACITY, DISCONTINUE POURING CONCRETE INTO THE FACILITY UNTIL IT HAS BEEN CLEANED OUT. ALLOW SLURRY TO EVAPORATE OR REMOVE FROM SITE IN A SAFE MANNER. ALL HARDENED MATERIALS SHOULD BE REMOVED AND RECYCLED. DAMAGED MATERIALS SHOULD BE REMOVED PROMPTLY BEFORE HEAVY RAINS. THE WASHOUT CONTAINERS LIQUID SHOULD BE LOWERED OR THE CONTAINER SHOULD BE COVERED TO AVOID AN OVERFLOW DURING THE RAIN STORM. ANY OVERFLOWING OF THE WASHOUT INTO THE WATERSHED MUST BE CLEANED AND REMOVED WITHIN 24 HOURS OF EVENT. REMOVE TEMPORARY CONCRETE WASHOUT FACILITY WHEN THEY ARE NO LONGER NEEDED AND RESTORE THE DISTURBED AREAS TO THEIR ORIGINAL CONDITION OR AS PROPOSED ON THE PLAN.

**TEMPORARY VEGETATION**

RESEED AND MULCH AREA WHERE SEEDLING EMERGENCE IS POOR, OR WHERE EROSION OCCURS, AS SOON AS POSSIBLE. DO NOT MOW. PROTECT FROM TRAFFIC AS MUCH AS POSSIBLE.

**MULCHING**

INSPECT ALL MULCHES PERIODICALLY, AND AFTER RAINSTORMS TO CHECK FOR RILL EROSION, DISLOCATION OR FAILURE. WHERE EROSION IS OBSERVED, APPLY ADDITIONAL MULCH. IF WASHOUT OCCURS, REPAIR THE SLOPE GRADE, RESEED AND REINSTALL MULCH. CONTINUE INSPECTIONS UNTIL VEGETATION IS FIRMLY ESTABLISHED.

**POROUS BAFFLE**

INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF A BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL. TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANING AND REPLACE IF DAMAGED DURING CLEAN-OUT OPERATIONS. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.

AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS AND UNDESIRABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.

**SKIMMER SEDIMENT BASIN**

INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.

REPAIR THE BAFFLES IF THEY ARE DAMAGED. RE-ANCHOR THE BAFFLES IF WATER IS FLOWING UNDERNEATH OR AROUND THEM. IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE ALSO CHECK THE OFFRICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED. IF SO REMOVE THE DEBRIS.

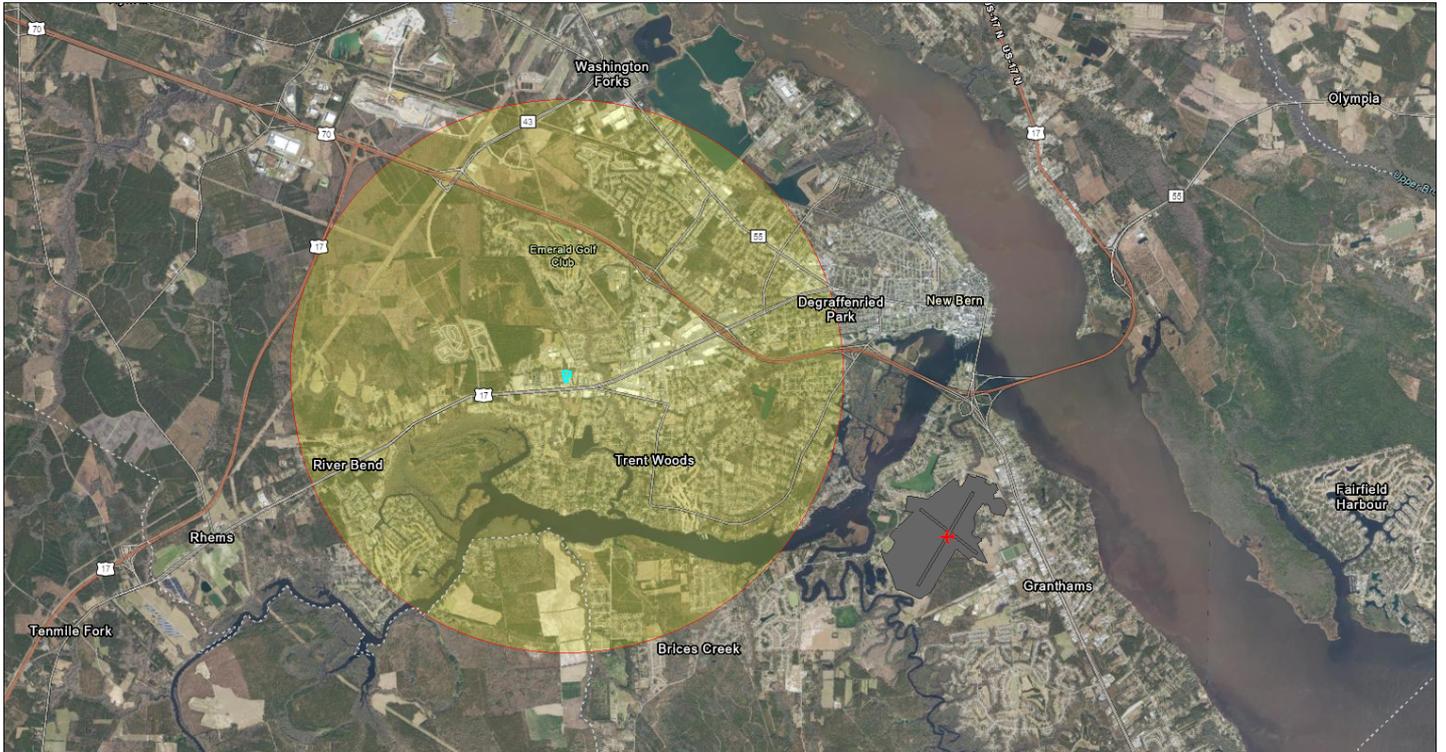
IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE OFFRICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLYING WITH WATER. BE SURE AND REPLACE THE OFFRICE BEFORE REPOSITIONING THE SKIMMER.

CHECK THE FABRIC LINED SPILLWAY FOR DAMAGE AND MAKE ANY REQUIRED REPAIRS WITH FABRIC THAT SPANS THE FULL WIDTH OF THE SPILLWAY. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE SKIMMER AND POOL AREAS.

**Attachment B**  
**Airport Hazards Map**

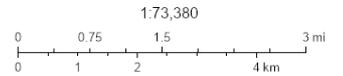
# NEPAssist Report

## Palatine Meadows - Airports 15,000-foot Buffer



July 22, 2022

- Project Buffer
- Palatine Meadows - Airports 15,000-foot Buffer
- Airport Points
- Airport Polygons



State of North Carolina DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METINASA, USGS, EPA, NPS, USDA, NOAA, CGLA, Earthstar Geographics, EPA OGI

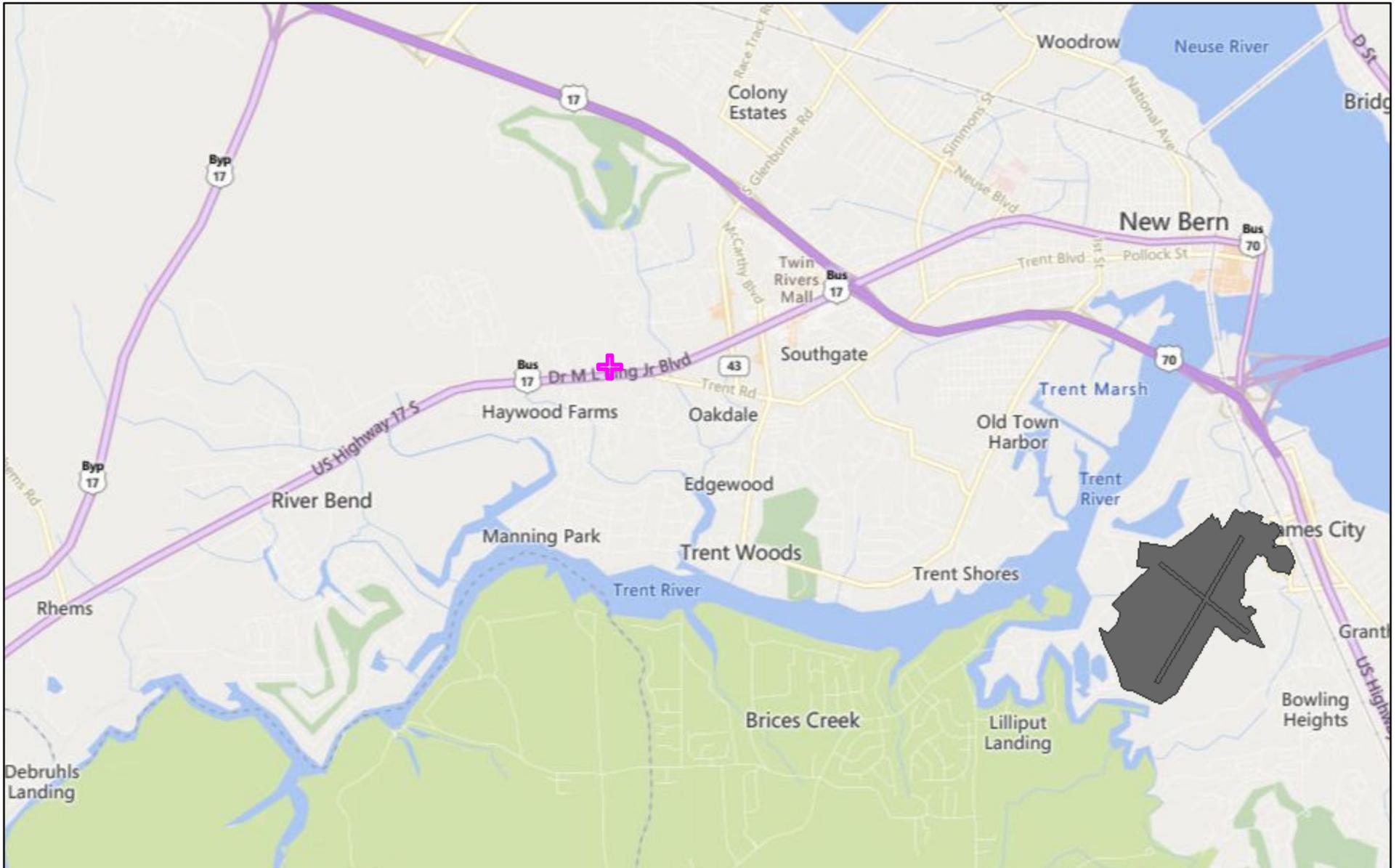
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Project Area	0.01 sq mi
Within 15000 feet of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 15000 feet of a Federal Land?	yes
Within 15000 feet of an impaired stream?	yes
Within 15000 feet of an impaired waterbody?	yes
Within 15000 feet of a waterbody?	yes
Within 15000 feet of a stream?	yes
Within 15000 feet of an NWI wetland?	Available Online
Within 15000 feet of a Brownfields site?	no
Within 15000 feet of a Superfund site?	no

Within 15000 feet of a Toxic Release Inventory (TRI) site?	yes
Within 15000 feet of a water discharger (NPDES)?	yes
Within 15000 feet of a hazardous waste (RCRA) facility?	yes
Within 15000 feet of an air emission facility?	yes
Within 15000 feet of a school?	no
Within 15000 feet of an airport?	no
Within 15000 feet of a hospital?	yes
Within 15000 feet of a designated sole source aquifer?	no
Within 15000 feet of a historic property on the National Register of Historic Places?	yes
Within 15000 feet of a Toxic Substances Control Act (TSCA) site?	no
Within 15000 feet of a Land Cession Boundary?	no
Within 15000 feet of a tribal area (lower 48 states)?	no
Within 15000 feet of the service area of a mitigation or conservation bank?	yes
Within 15000 feet of the service area of an In-Lieu-Fee Program?	yes

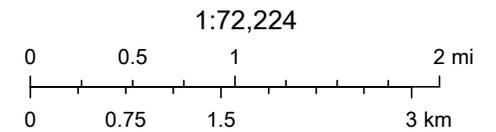
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# Airport Polygons



January 5, 2022

-  Search Result (point)
-  Airport Polygons



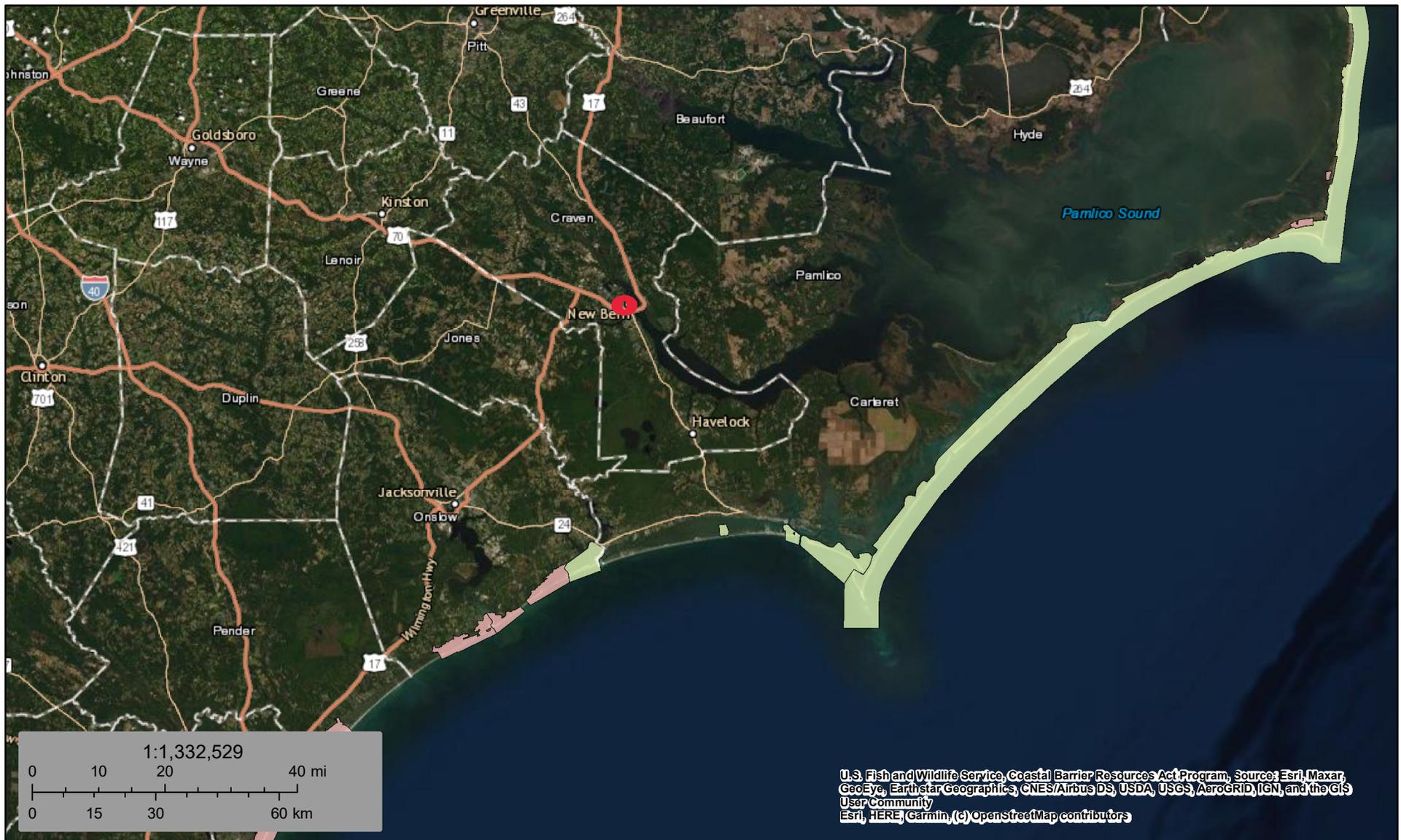
## **Attachment C**

### **CBRS Map**



# U.S. Fish and Wildlife Service Coastal Barrier Resources System

## CBRS Map New Bern, NC



January 24, 2022

### CBRS Units

- Otherwise Protected Area
- System Unit

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/cbra/maps/index.html>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<http://www.fws.gov/cbra/Determinations.html>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS mapper.

## **Attachment D**

### **FEMA FIRMs and Floodplain Management (EO 11988) and Protection of Wetlands (EO 11990) Determination**

**Palatine Meadows Project**  
**EO 11988 Floodplain Management and EO 11990 Protection of Wetlands Determination**  
***Affordable Housing Development Fund Program***

September 9, 2022

**Introduction & Overview**

The purpose of Executive Order (EO) 11988 Floodplain Management is “to avoid to the extent possible the long- and short-term adverse impacts associated with occupancy and modification of floodplains and to avoid direct or indirect support of floodplain development wherever there is a practicable alternative.” The purpose of EO 11990 Protection of Wetlands is “to avoid to the extent possible the long- and short-term adverse impacts associated with the destruction or modification of wetlands and to avoid direct or indirect support of new construction in wetlands wherever there is a practicable alternative.” This determination contains the analysis prescribed by 24 CFR Part 55.

This project involves U.S. Department of Housing and Urban Development (HUD) Community Development Block Grant Program – Disaster Recovery (CDBG-DR) funding for construction of new multifamily, affordable housing consisting of three residential buildings containing 60 apartment units for low-income families. The analysis that follows focuses on floodplain and wetland impacts, as there are direct wetland and floodplain impacts associated with this project. Based on the type of land use and facility and other case characteristics described herein, it is concluded that there is a reasonable basis to proceed with funding for this project/ activity within floodplain and wetland. The CDBG-DR funding is administered through the North Carolina Office of Recovery and Resiliency (NCORR) Affordable Housing Development Fund Program which is developing safer and more resilient communities while increasing the availability of affordable housing for low- and moderate-income families. Thus, alternatives preventing or impeding the development of safer and more resilient communities along with increasing affordable housing options are not considered reasonable alternatives.

**Description of Proposed Action & Land Use**

The proposed affordable housing multifamily development is an approximately 3.745-acre parcel located at 4100 Academic Drive (Parcel ID 8-211-008) in New Bern, Craven County, North Carolina 28562 (Site). Palatine Meadows (proposed action) is a new construction project that will result in 60 units of affordable rental housing targeting low-income families. The proposed action consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed action will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area that will require ground disturbance to install.

The proposed buildings and improvements will be located wholly within Zone X, outside and above the Special Flood Hazard Area (SFHA), except for the removal of a few trees in the 100-year floodplain (**Appendix 1**). Thus, flood insurance will not be required for the proposed action because all National Flood Insurance Program (NFIP) insurable structures will be located in Zone X.

The proposed action is needed to address an affordable housing inventory shortage, which was exacerbated by the impacts of Hurricanes Matthew (Oct. 8, 2016) and Florence (Sept. 14, 2018) when hundreds of homes were damaged or destroyed. Palatine Meadows will construct 60 units of affordable rental housing targeting low-income families. The proposed action will assist the City of New Bern and Craven County to provide affordable housing options for the local community.

### **Applicable Regulatory Procedure Per EO 11988 and EO 11990**

The proposed action corresponds with a noncritical action not excluded under 24 CFR §55.12. Funding is permissible for the use in the floodplain and wetland if the proposed action is processed under §55.20 and the findings of the determination are affirmative to suggest that the project may proceed.

According to 24 CFR §55, the activity planned to construct a multifamily, affordable housing development occurs in a community, the City of New Bern (CID 370074K), that is in good standing in the regular program of the NFIP. The proposed action involves removal of a few trees in the 100-year floodplain which is only a small portion of the proposed action's parcel. The improvements to be conducted in 100-year floodplain do not include insurable structures. Thus, the full eight-step floodplain determination process in §55.20 is required and the following analysis examines each step in a floodplain management determination process.

Based on a site visit, the City-owned drainage ditch located between the proposed action's parcel western boundary and Academic Drive meets the three wetland characteristics (soils, vegetation and hydrology) under 1987 Corps of Engineers Wetlands Delineation Manual and Regional Supplements (see **Appendix 1**). A portion of the drainage ditch contains standing water likely due to the nonfunctioning of the culvert but the entire ditch is being treated as wetland under this EO 11990 and 24 CFR 55 review. There are no wetlands identified on the proposed action's parcel or onsite or adjacent on the U.S. Fish and Wildlife Service's National Wetlands Inventory Map. There will be new construction within a wetland as a result of the proposed action along Academic Drive. Thus, in accordance with the decision-making process set forth in 24 CFR Part 55, this analysis focuses on both floodplains and wetlands.

#### ***Step 1. Determine Whether the Proposed Action is Located in the 100-year Floodplain (500-year for Critical Actions) or results in New Construction in Wetlands.***

Based on a site visit, and to be verified by a U.S. Army Corps of Engineers (USACE) Jurisdictional Determination, the proposed action is located in a wetland, as shown in **Appendix 1**. The resulting USACE-issued JD and any accompanying delineation will serve as the determination for the location of onsite wetlands. The wetlands will be determined whether they meet the HUD definition of wetlands under 24 CFR 55.2(b)(11) which can include non-jurisdictional and jurisdictional wetlands. The proposed action is considered new construction in wetlands consisting of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the proposed action's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres. The proposed action will require an USACE Preliminary Jurisdictional Determination and requisite Section 404 Permit(s) and/or Nationwide Permit(s), as applicable, under the Clean Water Act (CWA) (see §55.20(a)(1) and §55.28(a)).

Per the FEMA FIRM panel 3720546900K, effective on 6/19/2020, the proposed action parcel contains areas in Zone X, Zone X shaded, and Zone AE, as shown in **Appendix 1**. According to the FEMA Map Service Center, there are no Preliminary FIRMs available for the Site. No structures or improvements will be located within a FEMA-designated regulatory floodway. Parts of the northern portion of the Site are located within Zone X shaded (which refers to areas between the limits of the base flood and the 0.2-percent-annual-chance or 500-year floodplain), and Zone AE which is a SFHA and 100-year floodplain. The proposed action is not a critical action under 24 CFR 55.2(b)(3) and, therefore, the focus will be on modifications in the 100-year floodplain. The remainder of the Site where the buildings and improvements are wholly located is situated within Zone X, outside of the SFHA and 100-year floodplain. The areas within Zone AE (SFHA and 100-year floodplain) will not be developed as part of the proposed action. The 100-year floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to

the 100-year floodplain but has been specifically designed to remain outside of the floodplain. The proposed action has been designed to have only minimal activities conducted within the SFHA. In accordance with 24 CFR §55, the proposed action occurs in a community that is in the regular program of the NFIP and the community is currently in good standing.

**Step 2. Initiate Public Notice for Early Review of Proposal.**

Because the proposed action is located in floodplain and wetlands, NCORR published an early notice that allowed for public and agency input on the decision to provide funding for construction and development activities. The early public notice and 15-day comment period is complete. Public comments were received. Ms. Emily Thompson with the USACE Washington Regulatory Field Office responded that “[i]t appears this project would require a permit from the Corps with the proposed discharge of fill material within potential waters and wetlands of the US.” NCORR responded on September 6, 2022 that “[t]he Developer and consultant are in the process of preparing the USACE PJD Application and will be submitting soon. The Developer is required to submit and comply with the USACE JD and all requisite permits and their conditions. The Developer is also required to contact the NC DEQ DWR for a CWA Section 401 Water Quality Certification. The local Floodplain Administrator will be contacted as well. Permits required for this proposed action shall be obtained before commencing work. The proposed action’s activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions.” No additional response was received. Acknowledgement of receipt was submitted from the New Bern City Clerk. The State Environmental Clearinghouse sent additional comments which are included in the *Palatine Meadows Project Environmental Assessment (EA)* Environmental Review Record’s (ERR) **Attachment S** and incorporated into the ERR. (Early Notice comments and response are included in **Appendix 3** and ERR’s **Attachment S**.)

The early notice and corresponding 15-day public comment period started on August 24, 2022 with the "Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland" being published in the Sun Journal newspaper, with the 15-day period expiring on September 8, 2022. The notice targeted local residents, including those in the floodplain. The notice was also posted at <https://www.rebuild.nc.gov/about/plans-policies-reports/environmental-reviews> and sent via FedEx and email to the following federal and state agencies on August 24, 2022: HUD, Federal Emergency Management Agency (FEMA); USFWS; U.S. Environmental Protection Agency (EPA); USACE; NC State Environmental Clearinghouse; and NC Housing Finance Agency (NCHFA). The notice was also sent to Craven County and the City of New Bern. Project information has been sent to the NC SHPO, Catawba Indian Nation, and Tuscarora Nation for review and comment under Section 106 of the National Historic Preservation Act of 1966 (NHPA) (See ERR). (See **Appendix 2 and 3** for the Early Notice distributed to these agencies and the newspaper publication affidavit).

**Step 3. Identify and Evaluate Practicable Alternatives to Locating the Proposed Action in a 100-year Floodplain or Wetland.**

The North Carolina Affordable Housing Development Fund Program empowers the State’s most impacted communities with the technical expertise needed to develop thorough and implementable reconstruction plans to build physically, socially, and economically resilient and sustainable communities.

There are two alternatives for the current proposed action. The first alternative for the current proposed action is to find a different location for the proposed action within the local community. Alternative sites within Craven County were preliminarily reviewed but were eliminated from further consideration as they were not within close proximity to amenities (such as grocery stores, pharmacies, etc.), had zoning issues, or were not within the areas in Craven County which were funded by NCHFA. The proposed action Site is ideal for the development due to the close proximity and availability of amenities and existing utility services along Academic Drive. The proposed action will be a multifamily, affordable housing complex that will provide new, safe housing that is needed in the area for low-income households. The proposed

action will assist the City of New Bern and Craven County to provide affordable housing for the local community. This Site was found to be a suitable site with minimal adverse environmental impacts for multifamily, affordable housing in an area that needs it.

The second alternative for the current proposed action is the “no action” alternative. With the “no action” alternative, affordable housing would not be provided for low-income families in the local community. Under the “no action” alternative, the City would have to find other options to address the affordable housing inventory shortage which resulted after Hurricanes Matthew and Florence. Thus, the “no action” alternative is not feasible in relation to the desired objective of creating affordable housing options in this area of the City.

The above identified alternatives will be re-evaluated in response to public comments received.

***Step 4. Identify & Evaluate Potential Direct & Indirect Impacts Associated with Occupancy or Modification of 100-year Floodplain and Potential Direct & Indirect Support of Floodplain and Wetland Development that Could Result from Proposed Action.***

The focus of floodplain evaluation should be on adverse impacts to lives and property, and on natural and beneficial floodplain values. Natural and beneficial values include consideration of potential for adverse impacts on water resources such as natural moderation of floods, water quality maintenance, and groundwater recharge.

*Natural moderation of floods*

According to the FEMA FIRM Panel Number 3720546900K, effective 6/19/2020, parts of the northern portion of the Site are located within Zone X shaded or 500-year floodplain and Zone AE which is 100-year floodplain. The remainder of the Site where the buildings and improvements are wholly located is situated within Zone X, outside of the SFHA and 100-year floodplain. The areas within Zone AE (SFHA and 100-year floodplain) will not be developed as part of the proposed action. The proposed action will result in temporary impacts to 0.01 acres of 100-year floodplain and permanent impacts to 0 acres of 100-year floodplain. The 100-year floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to the floodplain but has been designed to remain outside of the floodplain. Construction and development activities for the proposed action have been designed to minimize impacts to wetlands and 100-year floodplain. Mitigation measures for the proposed action includes best management practices for erosion and sedimentation control such as silt fencing which will be utilized during construction. The proposed stormwater retention pond will alleviate some flooding by intercepting stormwater runoff. All proposed action activities will comply with the City of New Bern Local Floodplain Development Permit requirements, as applicable. Thus, while the proposed actions would directly affect the floodplain, it is not anticipated to have an adverse effect on the floodplain for the surrounding communities.

*Living resources such as flora and fauna*

The Site is a mostly grass-covered, undeveloped approximately 3.745-acre parcel. Electrical boxes are present on the edge of the Site. Gas pipeline markers, utility pole, and pad-mounted transformer are present on the Site. This landscape, combined with the Site’s location in a developed area, does not provide suitable habitat for the majority of protected species identified in state and federal databases. For this proposed action, the USFWS Raleigh Ecological Services’ online 10-step project review process was completed and “no effect” determinations for proposed/listed species and/or proposed/designated critical habitat, except for the Monarch Butterfly, NLEB and migratory birds, and a “no Eagle Act permit required” determination for eagles were made. The proposed action will have “no effect” on those identified species because there are no listed species, designated critical habitats or suitable habitat in the action area. NCORR submitted the 10-step project review package and signed NLEB 4(d) Rule Streamlined Consultation Form to the USFWS on February 17, 2022 as notification of its determination and requested acknowledgement of

receipt and determination whether the proposed action may affect, but is not likely to adversely affect the NLEB. Under the NLEB 4(d) Rule Streamlined Consultation Form, “[i]f the USFWS does not respond within 30 days from submittal of this form, the action agency may presume that its determination is informed by the best available information and that its project responsibilities under 7(a)(2) with respect to the NLEB are fulfilled through the USFWS January 5, 2016, Programmatic BO. The action agency will update this determination annually for multi-year activities.” The trees on the Site provide nesting habitat for migratory birds and may provide potential summer roosting habitat for the Northern Long-eared bat. While unlikely to occur, any take of Northern Long-eared Bats from the proposed action would be incidental and covered under the USFWS Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions. The USFWS recommends to avoid tree clearing from April 1 to October 31 for the NLEB. It is also recommended to conduct vegetation and tree clearing from September 1 to April 30 to avoid impacts to nesting migratory birds (nesting season is typically May-August).

The proposed action is not anticipated to introduce nuisance plant species to the Site such as invasive species, or plants that disrupt native plant communities. Additionally, the proposed action will implement the following voluntary conservation measures to benefit wildlife and in particular, pollinators: plant native trees, shrubs, and flowering plants in landscaping, use plants that bloom spring through fall and remove/control invasive plant species present. The proposed action’s activities will be completed in accordance with all applicable federal, state, and local laws, regulations, and permit requirements and conditions. Permits required for this proposed action shall be obtained before commencing work. An Erosion and Sedimentation Control Plan Approval and Permit, NPDES Construction Stormwater permit (NCG010000), and City of New Bern Local Floodplain Development Permit will be obtained prior to construction if required for the Site. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. BMPs for erosion and sedimentation control such as silt fencing will be utilized during construction. Thus, measures will be implemented to ensure the proposed action will have no impacts to floodplain during construction.

A jurisdictional determination application will be submitted to U.S. Army Corps of Engineers (USACE) for a CWA Section 404 permit and NC DEQ Division of Water Resources will be contacted for a CWA Section 401 Water Quality Certification. The proposed action’s activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions. Permits required for this proposed action shall be obtained before commencing work and appended to the ERR when received from the permitting agencies. Thus, there will be minimal effect on living resources such as flora and fauna.

#### *Impacts to Property & Lives*

The Site is mostly located within Zone X with a small northern portion of the Site located in Zone AE and Zone X shaded. The proposed action’s buildings and improvements are wholly located within Zone X, outside of the SFHA and 100-year floodplain. The areas within Zone AE (SFHA and 100-year floodplain) will not be developed as part of the proposed action. In Zone AE and SFHA, there will only be a few trees removed and no structures constructed that could increase flood levels during future storm events. A stormwater pond will be present adjacent to the floodplains but has been designed to remain outside of the floodplain, which should assist with reducing flooding on the Site and in the immediate area. According to a University of Florida/IFAS article, “Stormwater ponds’ primary purpose is flood control, and they are designed to intercept stormwater runoff (precipitation that runs off our buildings, roads, parking lots, and sidewalks), but they also provide other services like a place for sediment to settle out of the water column, habitat for wildlife, recreational opportunities like birding, and pollutant removal. Overall, stormwater ponds help mitigate the impacts of urban stormwater runoff while protecting our natural waterways from nutrient loading, erosion, sedimentation, and algal blooms.” Further, construction and development activities for the proposed action have been designed to minimize impacts to wetlands and 100-year

floodplain. Therefore, the proposed action should not increase impacts to property and lives.

#### *Cultural resources such as archaeological, historic & recreational aspects*

The Site is a mostly grass-covered, undeveloped approximately 3.745-acre parcel. Electrical boxes are present on the edge of the Site. Gas pipeline markers, utility pole, and pad-mounted transformer are present on the Site. As part of this review, the NC State Historic Preservation Office (SHPO) and Tribal Historic Preservation Offices (THPO) of all applicable Tribes, Nations, and Communities were consulted regarding any historic or tribal resources in the area that could be affected by the proposed actions. The NC SHPO responded on April 11, 2022 that “[w]e have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we have no comment on the project as proposed.” According to the HUD Tribal Directory Assessment Tool (TDAT), the Catawba Indian Nation and Tuscarora Nation are the only federally-recognized tribes with interests in Craven County, North Carolina. On March 15, 2022, the Catawba Indian Nation’s THPO responded that “[t]he Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. However, the Catawba are to be notified if Native American artifacts and/ or human remains are located during the ground disturbance phase of this project.” On February 17, 2022, NCORR consulted with the Tuscarora Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. A response has not been received, but will be included in the *Palatine Meadows Project EA* ERR when received. The SHPO and THPO consultation documentation is included in the *Palatine Meadows Project EA* ERR.

#### *Agricultural, aquacultural, & forestry resources*

The proposed action Site and immediate area are not used for agricultural, aquacultural or forestry resources. The surrounding properties contain a school, and industrial and commercial development. Adjacent to the north is a metal fabricator company and the New Bern High School; to the northeast is a cellphone tower, to the east is a tractor dealer and automotive company; to the south is a fast food restaurant and the tractor dealer; and to the west, beyond Academic Drive, is a housing development. The Site was agricultural until the 1960s when buildings were present on the southern portion. A residence was also present in the southern portion from the early 1980s to until the early 1990s. By the mid-1990s, the previous buildings were replaced with a commercial building. All buildings were no longer present by 2007. The surrounding properties were vacant or agricultural until starting in the 1970s when the properties were developed with commercial and residential properties. Thus, the proposed action will not have an effect on agricultural, aquacultural or forestry resources.

#### **Wetland Evaluation**

The purpose of wetland evaluation is to consider factors relevant to a proposal’s effect on the survival and quality of any wetlands to be disturbed. These factors should include public health (including water supply and water quality), maintenance of natural systems, cost increases attributed to construction in wetland, and other uses of wetland in the public interest. Based on a site visit, the City-owned drainage ditch located between the proposed action’s parcel and Academic Drive meets the three wetland characteristics (soils, vegetation and hydrology) under 1987 Corps of Engineers Wetlands Delineation Manual and Regional Supplements. There are no wetlands identified on the proposed action’s parcel or onsite or adjacent on the U.S. Fish and Wildlife Service’s National Wetlands Inventory Map. There will be new construction within a wetland as a result of the proposed action along Academic Drive. No wetland areas are located on the Site. The proposed action will result in temporary impacts to 0.0187 acres of wetlands, and permanent impacts to 270 square feet of wetlands in an existing drainage ditch located along Academic Drive. These impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the proposed action’s stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well

as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres. The proposed action has been designed to have minimal construction and development activities in the wetland. Further, mitigation measures are incorporated into the design plans and permit conditions will be complied with.

*Public health, safety, and welfare, including water supply, quality, recharge, and discharge; pollution; flood and storm hazards and hazard protection; and sediment and erosion.*

Water supply wells were not identified at the Site. The Site will be provided with municipal water supply which is available along Academic Drive. The proposed action should not negatively affect the municipal water supply of the region. Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the NC Department of Environmental Quality (DEQ) Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq. All public water supply systems must comply with state and federal drinking water monitoring requirements. If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the NC DEQ Division of Water Resources/ Public Water Supply Section. The proposed action will not include the discharge of sewer to surfaces of the Site or surrounding properties. The Site will be provided with City of New Bern municipal wastewater services which are available within Academic Drive.

Best management practices (BMPs) will be implemented during construction activities. The proposed action will have a stormwater permit and a Stormwater Pollution Prevention Plan (SWPPP). According to the NC DEQ, the proposed action must comply with 15A NCAC 2H 1000 State Stormwater Permitting Programs that regulate site development and post-construction stormwater runoff control. The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. BMPs for erosion and sedimentation control such as silt fencing will be utilized during construction. Thus, measures will be implemented to ensure the proposed action will have no impacts to wetlands during construction. The proposed action will conform to construction requirements of the State of North Carolina and Craven County.

A jurisdictional determination application will be submitted to USACE for a CWA Section 404 permit and NC DEQ Division of Water Resources will be contacted for a CWA Section 401 Water Quality Certification. The local Floodplain Administrator will be contacted as well. Permits required for this proposed action shall be obtained before commencing work. The proposed action activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions.

*Maintenance of natural systems, including conservation and long-term productivity of existing flora and fauna; species and habitat diversity and stability; natural hydrologic function; wetland type; fish; wildlife; timber; and food and fiber resources.*

The Site is located in the western portion of the City of New Bern, within walking distance of the New Bern High School and just north of Dr. Martin Luther King Jr. Boulevard, which is a retail/commercial corridor. The Site is currently an undeveloped approximately 3.745-acre parcel. Currently, the Site is a mostly grass-covered parcel. Electrical boxes are present on the edge of the Site. A gas pipeline marker is present in the central portion of the Site. Adjacent to the north is a metal fabricator company and the New Bern High School; to the northeast is a cellphone tower, to the east is a tractor dealer and automotive company; to the south is a fast food restaurant and the tractor dealer; and to the west, beyond Academic Drive, is a housing development. The Site was agricultural until the 1960s when buildings were present on the southern portion. A residence was also present in the southern portion from the early 1980s to until the early 1990s. By the

mid-1990s, the previous buildings were replaced with a commercial building. All buildings were no longer present by 2007. The surrounding properties were vacant or agricultural until starting in the 1970s when the properties were developed with commercial and residential properties.

Green infrastructure mitigation measures will be incorporated into the design plans. Natural landscape enhancements will be installed that maintain or restore natural hydrology through infiltration along with native plants used in landscaping. According to the EPA, “[g]reen infrastructure can be used to address stormwater runoff and sewer overflow problems. Green infrastructure works by slowing down the runoff, spreading it out over the land, and slowly soaking it into the ground, or in some cases reusing the water onsite. Green infrastructure is also sometimes referred to as low impact development. These techniques also help to remove pollutants from runoff, but allowing plants to filter out pollutants as the water slowly infiltrates into the ground.” See <https://www.epa.gov/nutrientpollution/sources-and-solutions-stormwater>. Thus, the proposed action has been designed and mitigation measures incorporated to have the minimal impacts on these features.

*Cost increases attributed to wetland-required new construction and mitigation measures to minimize harm to wetlands that may result from such use.*

The proposed scope of work involves mitigation measures such as native plants used in landscaping and BMPs during construction. A stormwater retention pond will be built near Zone AE. The stormwater retention pond will also require regular maintenance, as needed. As a part of the proposed action, the City of New Bern is requiring the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. The culverts are currently not draining nor functioning properly. In addition, the overflow from the proposed action’s stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. These culvert improvements are designed to improve drainage in the vicinity of the Site. These additional costs are minimal along with permits required to be obtained. There are no anticipated cost increases attributed to additional mitigation measures to minimize harm to wetlands as these measures are built into existing plans.

*Other uses of wetland in the public interest, including recreational, scientific, and cultural uses.*

The wetland is a drainage ditch located along Academic Drive. The wetland will not be filled and will remain after construction to improve drainage in the vicinity of the Site. There are no recreational, scientific or cultural uses of the wetland that will be impacted by the proposed action.

***Step 5. Where Practicable, Design or Modify the Proposed Action to Minimize the Potential Adverse Impacts To and From the 100-Year Floodplain and to Restore and Preserve its Natural and Beneficial Functions and Values.***

The buildings and most of the improvements will be constructed in Zone X and outside of SFHA. A small portion of the Site is located in Zone AE, and only a few trees will be removed in Zone AE. Construction and development activities for the proposed action have been designed to minimize impacts to wetlands and 100-year floodplain.

The short-term impacts will be mitigated by BMPs for debris, dust, and erosion control during construction activities. Mitigation measures will be incorporated to minimize potential adverse impacts to wetlands and 100-year floodplain. Natural landscape enhancements will be installed that maintain or restore natural hydrology through infiltration along with native plants used in landscaping. A stormwater retention pond will be constructed on the Site near Zone AE. An Erosion and Sedimentation Control Plan Approval and Permit and City of New Bern Local Floodplain Development Permit will be obtained if required for the

Site. Further, the proposed action will comply with all federal, state and local permit conditions and requirements.

It is a direct policy requirement to specify standards that mitigate future flood risk. These mitigation measures will help minimize flood water level for the area, green infrastructure features will help slow down water runoff and filter out pollutants and the stormwater pond will intercept runoff. However, it is still reasonable to promote awareness of future risks of natural hazards, including altered flooding patterns, plus the physical, social and economic impacts that potential flood events could convey.

***Step 6. Reevaluate the Alternatives and Proposed Action.***

The alternative to find a different location for the proposed action within the local community would not address the purpose and need of the proposed action. This Site was determined to be a suitable site using the NCHFA scoring system and the close proximity and availability of existing utility services along Academic Drive and surrounding existing development. No other suitable alternative sites were identified and reviewed. As such, this option was deemed not feasible.

The “no action” alternative would not address the purpose and need of the proposed action. The City would need to find other options to address the shortage in affordable housing inventory exacerbated by the effects of hurricanes that recently damaged and destroyed homes. Therefore, the “no action” alternative examined is not considered desirable and the proposed action is still practicable in light of potential adverse and beneficial impacts on the floodplain, the extent to which it may aggravate current hazards to other floodplains, and the potential to disrupt the natural and beneficial functions and values of floodplains and wetlands.

Implementation of the proposed action will abide by all applicable federal, state and local codes, including the City of New Bern Local Floodplain Development Permit, for construction within floodplain and wetlands. The impacts of these alternatives will be re-evaluated in response to any public comments received.

***Step 7. Issue Findings and Public Explanation.***

It is the finding of this report that there is no better alternative than to provide funding for the Palatine Meadows project. The City would need to find other suitable options to address the shortage in affordable housing inventory exacerbated by the effects of hurricanes.

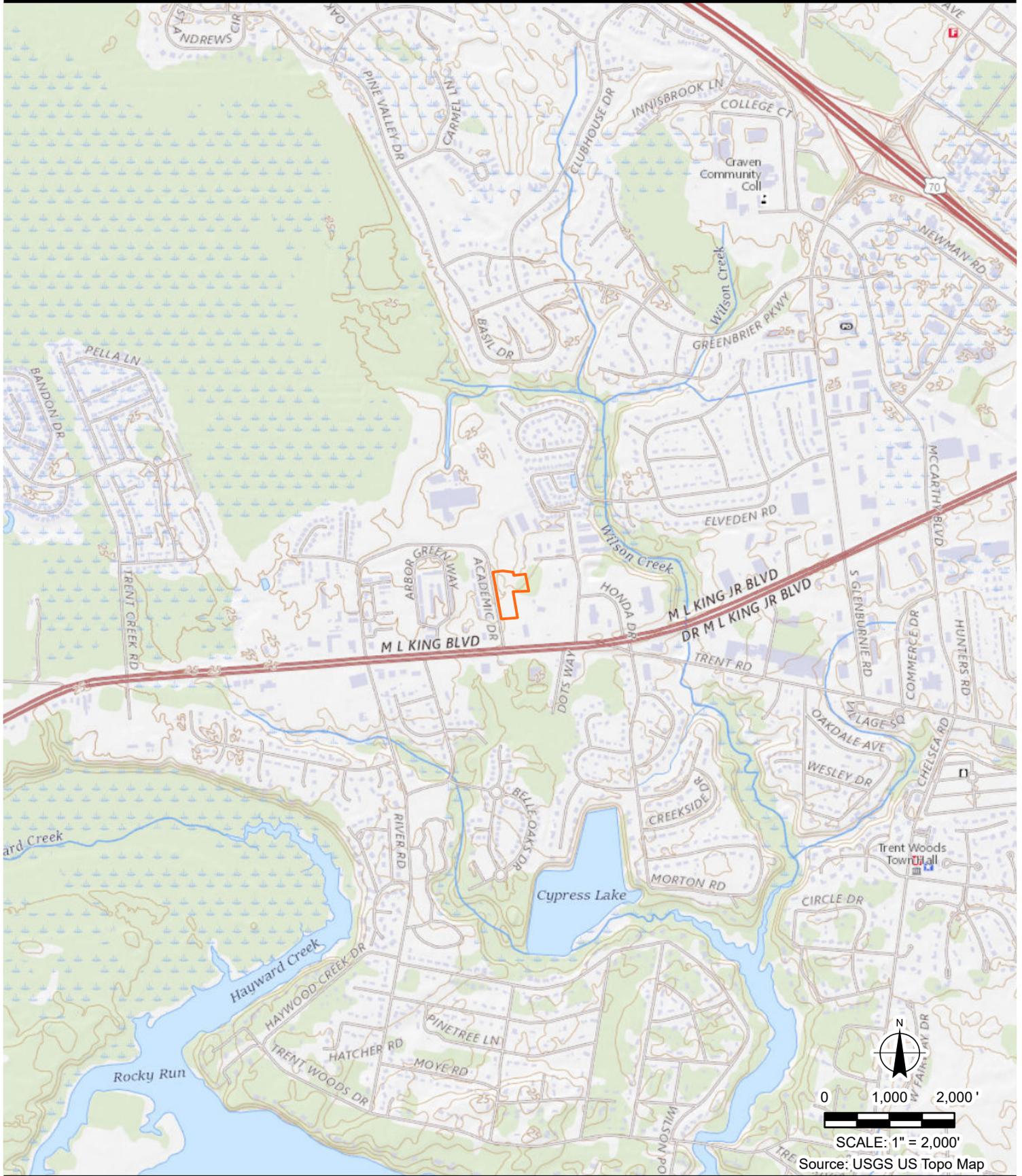
A final notice, formally known as “Notice of Policy Determination” will be published in accordance with 24 CFR 55. However, this notice will be combined with the Notice of Finding of No Significant Impact (FONSI) and Notice of Intent to Request Release of Funds (NOIRROF) for a 15-day comment period. The 15-day comment period starts with the combined notice publishing in the Sun Journal newspaper on September 16, 2022 and expires on October 3, 2022. The notice will also be posted at <https://www.rebuild.nc.gov/about/plans-policies-reports/environmental-reviews> and sent via FedEx and email to the following state and federal agencies on September 16, 2022: HUD, FEMA; EPA; USFWS; USACE; NC State Environmental Clearinghouse; and NCHFA. The notice will also be sent to Craven County and the City of New Bern. Project information has been sent to the NC SHPO, Catawba Indian Nation, and Tuscarora Nation for review and comment under Section 106 of the National Historic Preservation Act of 1966 (NHPA) (See ERR). (See **Appendix 4** for the Final Notice distributed to these agencies). Any comments received will be addressed, if significant, and added to the EA.

***Step 8. Continuing Responsibility of Responsible Entity & Recipient.***

NCORR is the responsible entity and will provide educational materials, when available. It is acknowledged there is a continuing responsibility by the responsible entity to ensure, to the extent feasible and necessary, compliance with the Steps herein.

## **APPENDIX 1**

- **Proposed Project Location Maps**
- **FEMA FIRMettes**
- **Site Layout with Drainage Ditch Location**
- **National Wetland Inventory Maps**
- **Site Plan Showing Impacts**



11001 Hampshire Avenue S  
Minneapolis, MN 55438  
952.995.2000  
braunintertec.com

Project No:  
B2111827

Drawing No:  
B2111827\_Fig1\_SiteLoc

Drawn By: JPM  
Date Drawn: 1/7/2022  
Checked By: JW  
Last Modified: 8/5/2022

Palatine Meadows

4100 Academic Drive

New Bern, North Carolina

**Site Location Map**

Figure 1



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Drawing Information

Project No:  
B211827

Drawing No:  
Fig2\_SiteLayout

Drawn By: JPM  
Drawn Date: 1/7/2022  
Checked By: JW  
Last Modified: 8/5/2022

Project Information

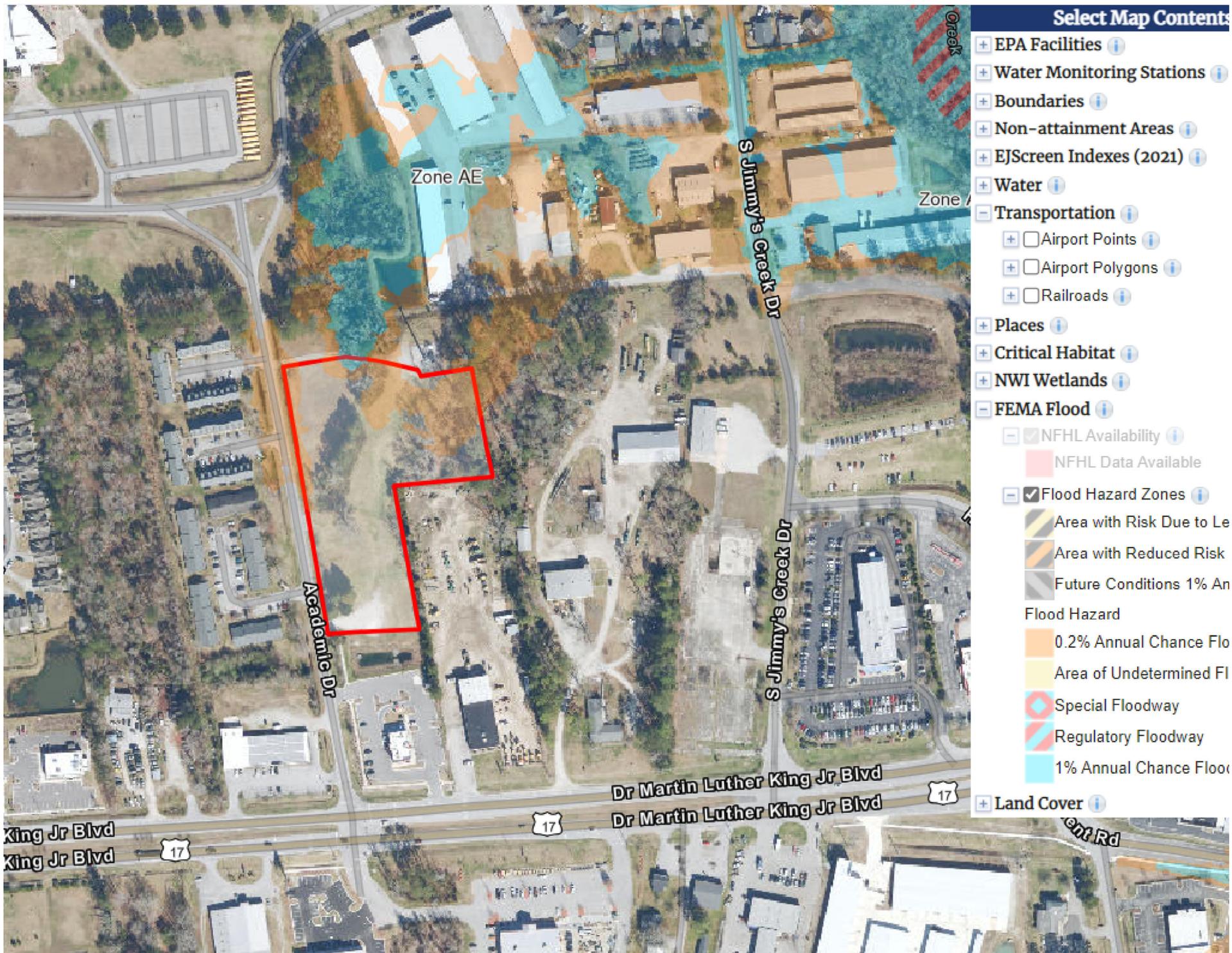
Palatine Meadows

4100 Academic Drive

New Bern, North  
Carolina

Site Layout

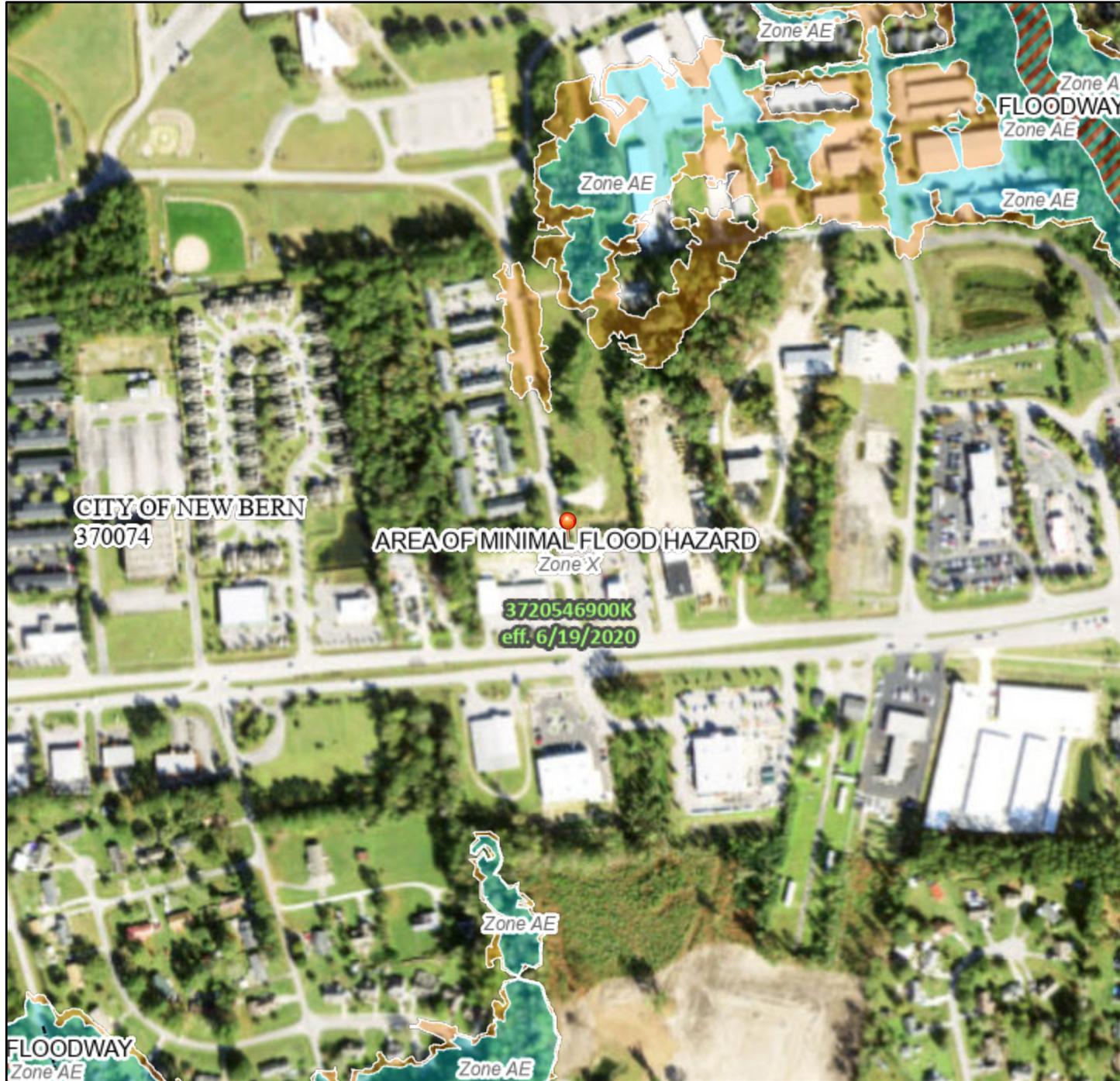
Figure 2



# National Flood Hazard Layer FIRMMette



77°7'6"W 35°6'1"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **1/13/2022 at 12:03 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

77°6'29"W 35°5'31"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020



-  Approximate Site Boundary
-  Proposed Stormwater Pond
-  Floodplain
-  Ditch
-  Wet Section of Ditch
-  Approximate Outfall Location



Drawing Information

Project No:  
B2111827

Drawing No:  
Fig3\_ProposedPlan

Drawn By: JPM  
Drawn Date: 1/7/2022  
Checked By: JW  
Last Modified: 8/18/2022

Project Information

Palatine Meadows

4100 Academic Drive

New Bern, North  
Carolina

**Proposed  
Project Plan**

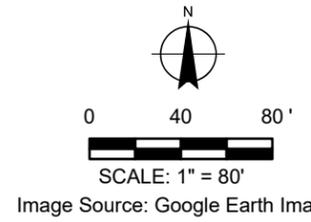


Image Source: Google Earth Imagery



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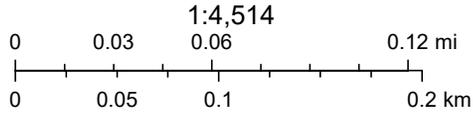
Figure 3

# Palatine Meadows - NWI Wetlands



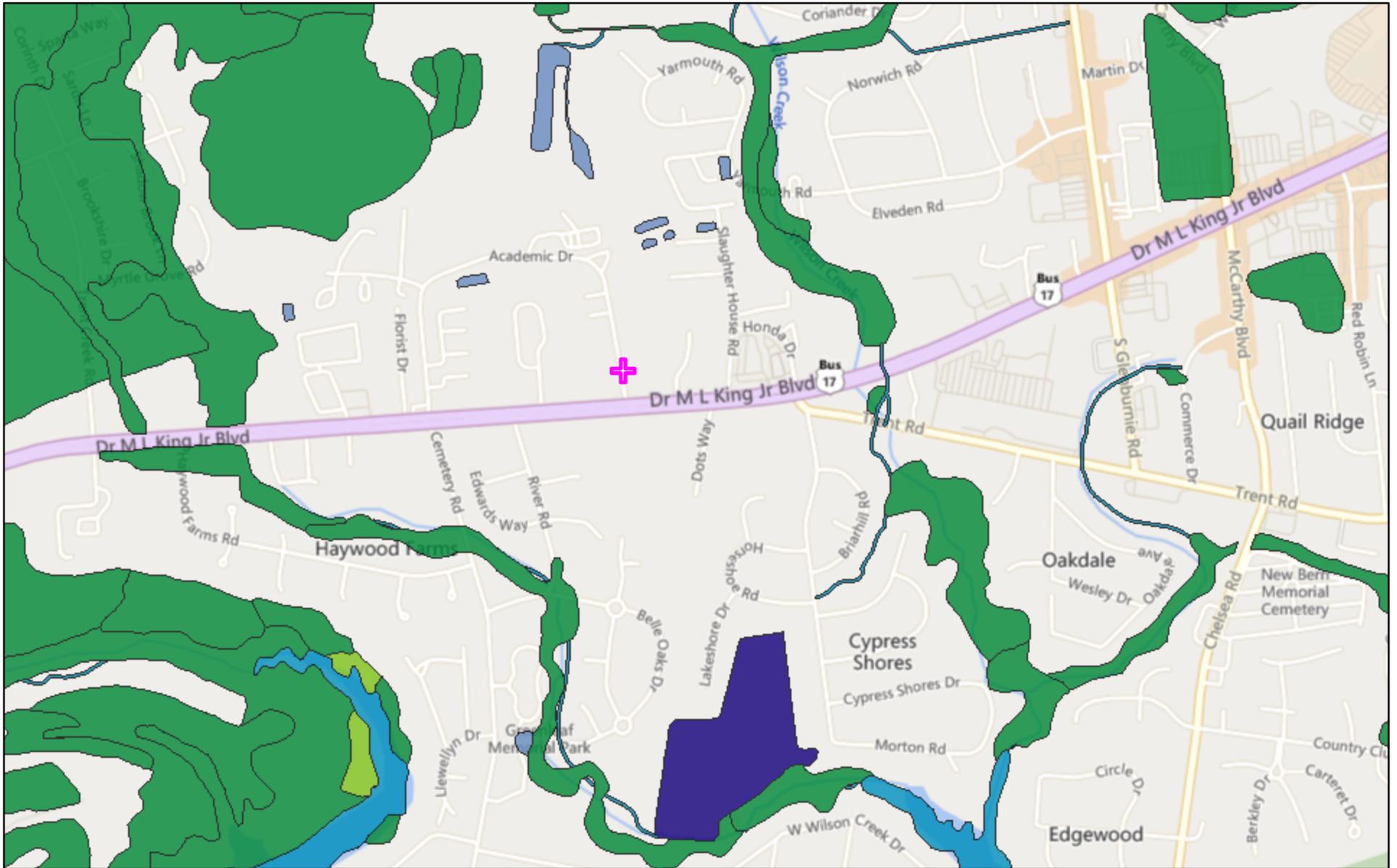
July 22, 2022

- Wetlands
-  Freshwater Emergent Wetland
  -  Lake
  -  Estuarine and Marine Deepwater
  -  Freshwater Forested/Shrub Wetland
  -  Other
  -  Estuarine and Marine Wetland
  -  Freshwater Pond
  -  Riverine



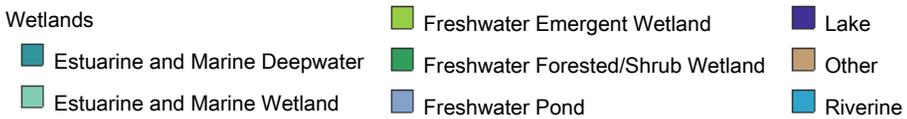
U.S. Fish and Wildlife Service, National Standards and Support Team, wetlands\_team@fws.gov, NC CGIA, Maxar, Esri Community Maps

# National Wetlands Inventory Map

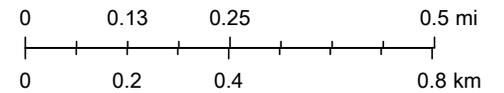


January 6, 2022

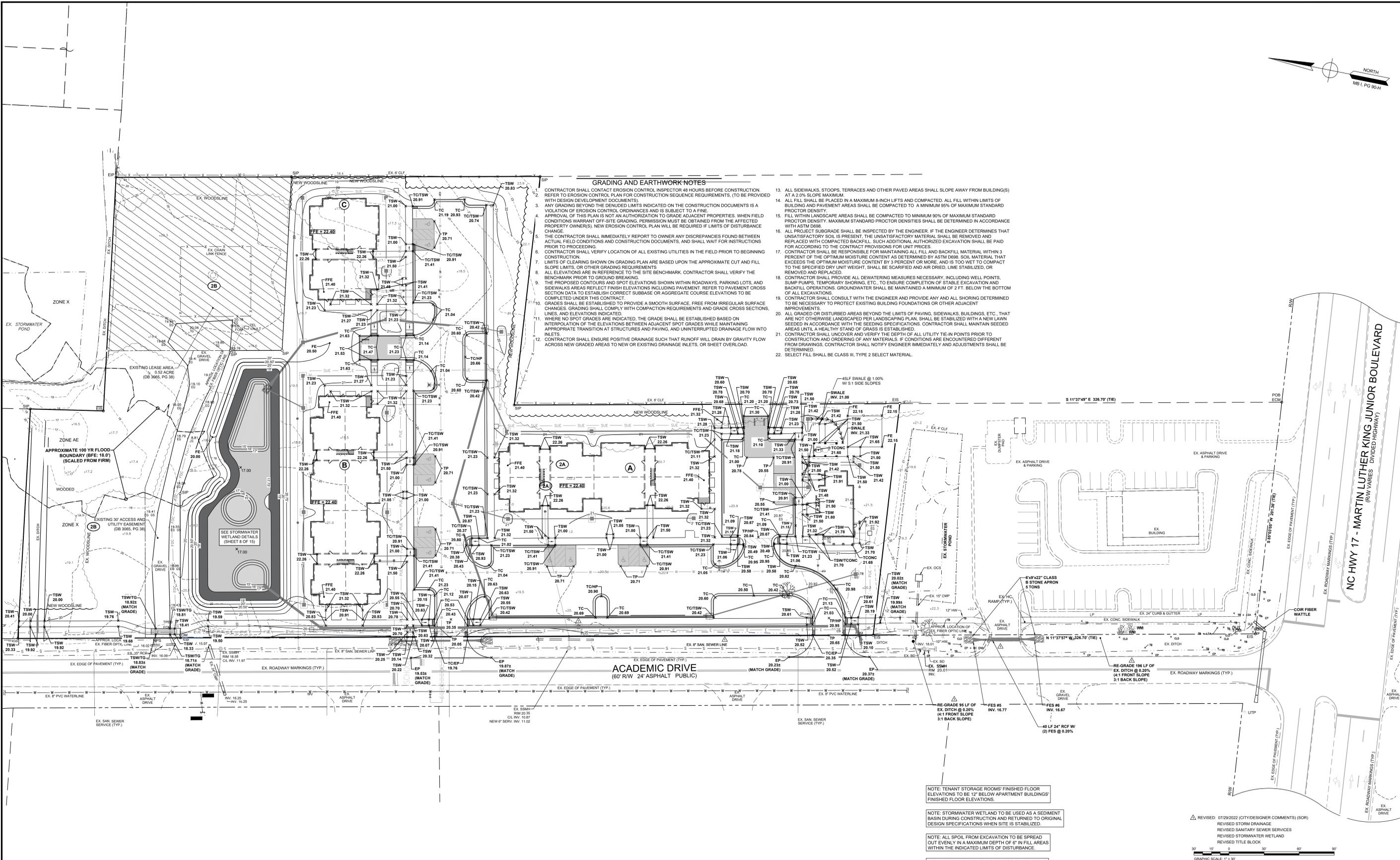
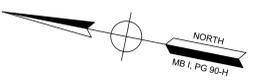
Wetlands



1:18,056



U.S. Fish and Wildlife Service, National Standards and Support Team,



**GRADING AND EARTHWORK NOTES**

1. CONTRACTOR SHALL CONTACT EROSION CONTROL INSPECTOR 48 HOURS BEFORE CONSTRUCTION. REFER TO EROSION CONTROL PLAN FOR CONSTRUCTION SEQUENCE REQUIREMENTS. (TO BE PROVIDED WITH DESIGN DEVELOPMENT DOCUMENTS)
2. ANY GRADING BEYOND THE DENOTED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION OF EROSION CONTROL ORDINANCES AND IS SUBJECT TO A FINE.
3. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S). NEW EROSION CONTROL PLAN WILL BE REQUIRED IF LIMITS OF DISTURBANCE CHANGE.
4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS, AND SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING.
5. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
6. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
7. ALL ELEVATIONS ARE IN REFERENCE TO THE SITE BENCHMARK. CONTRACTOR SHALL VERIFY THE BENCHMARK PRIOR TO GROUND BREAKING.
8. THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN WITHIN ROADWAYS, PARKING LOTS, AND SIDEWALKS AREAS REFLECT FINISH ELEVATIONS INCLUDING PAVEMENT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
9. GRADES SHALL BE ESTABLISHED TO PROVIDE A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. GRADING SHALL COMPLY WITH COMPACTION REQUIREMENTS AND GRADE CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
10. WHERE NO SPOT GRADES ARE INDICATED, THE GRADE SHALL BE ESTABLISHED BASED ON INTERPOLATION OF THE ELEVATIONS BETWEEN ADJACENT SPOT GRADES WHILE MAINTAINING APPROPRIATE TRANSITION AT STRUCTURES AND PAVING, AND UNINTERRUPTED DRAINAGE FLOW INTO INLETS.
11. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SUCH THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW GRADED AREAS TO NEW OR EXISTING DRAINAGE INLETS, OR SHEET OVERLOAD.
12. ALL SIDEWALKS, STAIRS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDING(S) AT A 2.0% SLOPE MAXIMUM.
13. ALL FILL SHALL BE PLACED IN A MAXIMUM 8-INCH LIFTS AND COMPACTED. ALL FILL WITHIN LIMITS OF BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM 95% OF MAXIMUM STANDARD PROCTOR DENSITY. MAXIMUM STANDARD PROCTOR DENSITIES SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D698.
14. ALL PROJECT SUBGRADE SHALL BE INSPECTED BY THE ENGINEER. IF THE ENGINEER DETERMINES THAT UNSATISFACTORY SOIL IS PRESENT, THE UNSATISFACTORY MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED BACKFILL. SUCH ADDITIONAL AUTHORIZED EXCAVATION SHALL BE PAID FOR ACCORDING TO THE CONTRACT PROVISIONS FOR UNIT PRICES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL FILL AND BACKFILL MATERIAL WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698. SOIL MATERIAL THAT EXCEEDS THE OPTIMUM MOISTURE CONTENT BY 3 PERCENT OR MORE, AND IS TOO WET TO COMPACT TO THE SPECIFIED DRY UNIT WEIGHT, SHALL BE SCARIFIED AND AIR DRIED, LIME STABILIZED, OR REMOVED AND REPLACED.
16. CONTRACTOR SHALL PROVIDE ALL DEWATERING MEASURES NECESSARY, INCLUDING WELL POINTS, SUMP PUMPS, TEMPORARY SHORING, ETC. TO ENSURE COMPLETION OF STABLE EXCAVATION AND BACKFILL OPERATIONS. GROUNDWATER SHALL BE MAINTAINED A MINIMUM OF 2 FT. BELOW THE BOTTOM OF ALL EXCAVATIONS.
17. CONTRACTOR SHALL CONSULT WITH THE ENGINEER AND PROVIDE ANY AND ALL SHORING DETERMINED TO BE NECESSARY TO PROTECT EXISTING BUILDING FOUNDATIONS OR OTHER ADJACENT IMPROVEMENTS.
18. ALL GRADED OR DISTURBED AREAS BEYOND THE LIMITS OF PAVING, SIDEWALKS, BUILDINGS, ETC., THAT ARE NOT OTHERWISE LANDSCAPED PER LANDSCAPING PLAN, SHALL BE STABILIZED WITH A NEW LAWN SEED IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS. CONTRACTOR SHALL MAINTAIN SEEDED AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
19. CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND ADJUSTMENTS SHALL BE DETERMINED.
20. SELECT FILL SHALL BE CLASS III, TYPE 2 SELECT MATERIAL.

NOTE: TENANT STORAGE ROOMS' FINISHED FLOOR ELEVATIONS TO BE 12" BELOW APARTMENT BUILDINGS' FINISHED FLOOR ELEVATIONS.

NOTE: STORMWATER WETLAND TO BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION AND RETURNED TO ORIGINAL DESIGN SPECIFICATIONS WHEN SITE IS STABILIZED.

NOTE: ALL SPOIL FROM EXCAVATION TO BE SPREAD OUT EVENLY IN A MAXIMUM DEPTH OF 6" IN FILL AREAS WITHIN THE INDICATED LIMITS OF DISTURBANCE.

NOTE: THERE WILL BE NO LARGE STOCKPILES AT THIS SITE. ALL TOPSOIL & SPOIL FROM EXCAVATED AREAS SHALL BE USED IN FILL SECTIONS AND TO TOP DRESS AREAS WHERE STRUCTURAL IMPROVEMENTS WILL NOT BE PLACED.

NOTE: ANY BORROW MATERIAL ONTO THIS SITE MUST BE FROM A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE. ANY SOIL WASTE THAT LEAVES THIS SITE CAN BE TRANSPORTED TO A PERMITTED MINE OR SEPARATELY PERMITTED CONSTRUCTION SITES WITHOUT ADDITIONAL PERMITS UNDER NCGS 74-49(7)(g). DISPOSAL AT ANY OTHER LOCATION WOULD HAVE TO BE INCLUDED AS A PERMIT REVISION FOR THIS APPROVAL.

CONTACT PERSON RESPONSIBLE FOR MAINTENANCE: LANCE PAULICK (919) 210-9592

NOTE: STORAGE ROOMS' FINISHED FLOOR ELEVATIONS TO BE 2" BELOW BUILDINGS' FINISHED FLOOR ELEVATIONS

REVISED: 07/29/2022 (CITY/DESIGNER COMMENTS) (SOR)  
REVISED STORM DRAINAGE  
REVISED SANITARY SEWER SERVICES  
REVISED STORMWATER WETLAND  
REVISED TITLE BLOCK

GRAPHIC SCALE: 1" = 30'

SHEET 4 OF 15  
GRADING PLAN

**PALATINE MEADOWS**  
LOT 2A  
REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS

CITY OF NEW BERN, NUMBER 8 TOWNSHIP, CRAVEN COUNTY, NC  
OWNER: PALATINE MEADOWS, LP  
ADDRESS: 500 SOUTH FRONT STREET, 10TH FLOOR, COLUMBUS, OH 43215  
PHONE: (614) 396-3200

	DESIGNED: IP	APPROVED: IP
	DRAWN: MAHWHSOR	DATE: 01/27/2022
CHECKED: IP	SCALE: 1" = 30'	



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE SAFETY OF THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE PLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
4. SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 PART 1926, SUBPART, OR AS AMENDED.

04 - GRADING.dwg DESKTOP-202012

## **APPENDIX 2**

### **Early Notice and Public Review of a Proposed Activity in Wetlands and 100-Year Floodplain**



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor  
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

### EARLY NOTICE AND PUBLIC REVIEW OF A PROPOSED ACTIVITY IN A 100-YEAR FLOODPLAIN AND WETLAND

#### PALATINE MEADOWS

4100 ACADEMIC DRIVE, NEW BERN, CRAVEN COUNTY, NORTH CAROLINA

August 24, 2022

To: All interested Agencies, Groups and Individuals

This is to give notice that the North Carolina Office of Recovery and Resiliency (NCORR) has received an application from Palatine Meadows LP to use Community Development Block Grant – Disaster Recovery (CDBG-DR) funding from the Affordable Housing Development Fund Program to construct Palatine Meadows (hereinafter, the “Proposed Activity”) and is conducting an evaluation as required by Executive Order 11988 and Executive Order 11990 in accordance with U.S. Department of Housing and Urban Development (HUD) regulations (24 CFR Part 55). There are three primary purposes for this notice. First, to provide the public an opportunity to express their concerns and share information about the Proposed Activity, including alternative locations outside of the floodplain and wetland. Second, adequate public notice is an important public education tool. The dissemination of information about floodplains and wetlands facilitates and enhances governmental efforts to reduce the risks associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the government determines it will participate in actions taking place in floodplain and wetland, it must inform those who may be put at greater or continued risk. Funding for the Proposed Activity will be provided by the HUD CDBG-DR program for storm recovery activities in North Carolina.

The Proposed Activity is needed to address an affordable housing inventory shortage, which was exacerbated by the impacts of Hurricanes Matthew (Oct. 8, 2016) and Florence (Sept. 14, 2018) when hundreds of homes were damaged or destroyed. Palatine Meadows will construct 60 units of affordable rental housing targeting low-income families. The Proposed Activity will assist the City of New Bern and Craven County to provide affordable housing options for the local community.

The Proposed Activity entails development of an undeveloped lot with 60 units in three residential buildings, a community building, playground, recreation areas, and surface parking. The Proposed Activity is located on an approximately 3.745-acre parcel at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562 (Parcel ID 8-211-008).

The Proposed Activity will result in temporary impacts to 0.01 acres of 100-year floodplain and 0.0187 acres of wetlands. The Proposed Activity will result in permanent impacts to 0 acres of 100-year floodplain

**Mailing Address:**  
Post Office Box 110465  
Durham, NC 27709



Phone: (984) 833-5350  
[www.ncdps.gov](http://www.ncdps.gov)  
[www.rebuild.nc.gov](http://www.rebuild.nc.gov)

*An Equal Opportunity Employer*

and 270 square feet of wetlands in an existing drainage ditch located along Academic Drive. These impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the Proposed Activity's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres. A small portion of 100-year floodplain is located on the northern portion of the Site. The floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to the floodplain but has been designed to remain outside of the floodplain.

Floodplain maps based on the FEMA Flood Insurance Rate Map (FIRM) and wetland maps showing the drainage ditch location are available for review at <https://www.rebuild.nc.gov/about/plans-policies-reports/environmental-reviews>. A full description of the Proposed Activity, FIRM and maps may also be viewed in person by appointment only at: NCORR, 200 Park Offices Drive, Durham, NC 27713. Call (984) 833-5350 to make an appointment.

Written comments must be received by NCORR at the following address on or before September 8, 2022: Laura Hogshead, Director, NCORR, ATTN: Palatine Meadows, P.O. Box 110465, Durham, NC 27709. Comments may also be submitted by email to [publiccomments@rebuild.nc.gov](mailto:publiccomments@rebuild.nc.gov) with "ATTN: Palatine Meadows Comments" in the subject line.

## **APPENDIX 3**

- **Affidavit for Publication of Early Notice**
- **Distribution List to Interested Agencies,  
Groups and Individuals**
- **Early Notice Comments and Response**

# LOCALiQ

StarNews | The Dispatch | Times-News  
Sun Journal | The Daily News | The Star  
The Free Press | Gaston Gazette

PO Box 631245 Cincinnati, OH 45263-1245

## PROOF OF PUBLICATION

Sarah Crump  
Ncorr  
PO BOX 110465  
DURHAM NC 27709

RECEIVED  
SEP 06 2022  
N COR

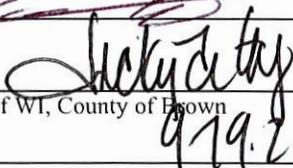
STATE OF NORTH CAROLINA, COUNTY OF CRAVEN

The Sun Journal, a newspaper printed and published in the city of New Bern, and of general circulation in the County of Craven, State of North Carolina, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue dated:

08/24/2022

and that the fees charged are legal.  
As required by the laws of the State of North Carolina, New Bern Sun Journal meets the requirements of NC statute I-597 as the newspaper of record for Craven County.  
Sworn to and subscribed before on 08/24/2022

  
\_\_\_\_\_  
Legal Clerk

  
\_\_\_\_\_  
Notary, State of WI, County of Brown

My commission expires  
Publication Cost: \$444.50  
Order No: 7690888 # of Copies:  
Customer No: 491626 1  
PO #: PALATINE MEADOWS

**THIS IS NOT AN INVOICE!**

*Please do not use this form for payment remittance.*

VICKY FELTY  
Notary Public  
State of Wisconsin



EARLY NOTICE AND PUBLIC REVIEW OF A  
PROPOSED ACTIVITY  
IN A 100-YEAR FLOODPLAIN AND WETLAND

PALATINE MEADOWS  
4100 ACADEMIC DRIVE, NEW BERN, CRAVEN  
COUNTY, NORTH CAROLINA  
August 24, 2022

To: All interested Agencies, Groups and Individuals

This is to give notice that the North Carolina Office of Recovery and Resiliency (NCORR) has received an application from Palatine Meadows LP to use Community Development Block Grant - Disaster Recovery (CDBG-DR) funding from the Affordable Housing Development Fund Program to construct Palatine Meadows (hereinafter, the "Proposed Activity") and is conducting an evaluation as required by Executive Order 11988 and Executive Order 11990 in accordance with U.S. Department of Housing and Urban Development (HUD) regulations (24 CFR Part 55). There are three primary purposes for this notice. First, to provide the public an opportunity to express their concerns and share information about the Proposed Activity, including alternative locations outside of the floodplain and wetland. Second, adequate public notice is an important public education tool. The dissemination of information about floodplains and wetlands facilitates and enhances governmental efforts to reduce the risks associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the government determines it will participate in actions taking place in floodplain and wetland, it must inform those who may be put at greater or continued risk. Funding for the Proposed Activity will be provided by the HUD CDBG-DR program for storm recovery activities in North Carolina.

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The Proposed Activity will result in temporary impacts to 0.01 acres of 100-year floodplain and 0.0187 acres of wetlands. The Proposed Activity will result in permanent impacts to 0 acres of 100-year floodplain 2 and 270 square feet of wetlands in an existing drainage ditch located along Academic Drive. These impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the Proposed Activity's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres. A small portion of 100-year floodplain is located on the northern portion of the Site. The floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to the floodplain but has been designed to remain outside of the floodplain.

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***EARLY NOTICE DISTRIBUTION LIST***

**PALATINE MEADOWS  
4100 ACADEMIC DRIVE, NEW BERN,  
CRAVEN COUNTY, NORTH CAROLINA**

Publication 8/24/22, comments end 9/8/22

**FEDERAL AGENCIES**

<b>Agency</b>	<b>Name &amp; Address</b>	<b>Method</b>
<b>HUD NC</b>	Mr. Lenwood E. Smith, II Environmental Protection Specialist Greensboro Field Office U.S. Dept. of Housing and Urban Development 1500 Pinecroft Road, Suite 401 Greensboro, NC 27407-3838	<a href="mailto:Lenwood.E.Smith@hud.gov">Lenwood.E.Smith@hud.gov</a>
<b>FEMA, Region IV</b>	Ms. Gracia B. Szczech, Regional Administrator U.S. Dept. of Homeland Security FEMA, Region IV 3003 Chamblee Tucker Road Atlanta, GA 30341	FedEx
<b>FEMA ATTN: 11988</b>	<i>Hard copies may also be mailed to</i> Attn: 11988/NEPA Reviewer (EHP) DHS/FEMA RIV 3003 Chamblee Tucker Road Atlanta, GA 30341	<a href="mailto:FEMA-R4EHP@fema.dhs.gov">FEMA-R4EHP@fema.dhs.gov</a> with the subject line <b>REVIEW REQUEST: 11988/NEPA</b>
<b>US EPA, Region 4</b>	Mr. John Blevins, Acting Regional Administrator U.S. EPA, Region 4 Laboratory Services & Applied Science Div. 980 College Station Road Athens, GA 30605-2720	FedEx
<b>US EPA, Region 4</b>	Ms. Ntale Kajumba, NEPA Coordinator U.S. EPA, Region 4 Laboratory Services & Applied Science Div. 980 College Station Road Athens, GA 30605-2720	<a href="mailto:Kajumba.ntale@epa.gov">Kajumba.ntale@epa.gov</a> cc: <a href="mailto:blevins.john@epa.gov">blevins.john@epa.gov</a>
<b>USFWS – Raleigh Field Office</b>	USFWS – Raleigh Field Office ATTN: John Ellis P.O. Box 33726 Raleigh, NC 27636 ph.: 919-856-4520, ext. 26	<a href="mailto:john_ellis@fws.gov">john_ellis@fws.gov</a> cc: <a href="mailto:leigh_mann@fws.gov">leigh_mann@fws.gov</a>

<b>USACE – Wilmington District</b>	Emily Thompson – Craven County USACE – Wilmington District 69 Darlington Avenue Wilmington, NC 28403	<a href="mailto:emily.b.thompson@usace.army.mil">emily.b.thompson@usace.army.mil</a>
<b>TRIBES, NATIONS AND COMMUNITIES</b> (who asked to be notified)		
<b>Catawba Indian Nation</b>	Dr. Wenonah George Haire, THPO ATTN: THPO Archaeology Dept. Catawba Indian Nation 1536 Tom Steven Road Rock Hill, SC 29730	Does not want Notice
<b>Catawba Indian Nation</b>	Chief Bill Harris Catawba Indian Nation 996 Avenue of the Nations Rock Hill, SC 29730	Does not want Notice
<b>Tuscarora Nation</b>	Chief Tom Jonathan Tuscarora Nation 5226 Walmore Road Lewiston, NY 14092	No response to Section 106 Review package sent on February 17, 2022
<b>Tuscarora Nation</b>	Mr. Bryan Printup, THPO Tuscarora Nation 5226 Walmore Road Lewiston, NY 14092 <a href="mailto:BPrintup@hetf.org">BPrintup@hetf.org</a>	No response to Section 106 Review package sent on February 17, 2022
<b>NC STATE AGENCIES</b>		
<b>STATE CLEARING- HOUSE</b>	Ms. Crystal Best North Carolina Department of Administration State Environmental Review Clearinghouse 1301 Mail Service Center Raleigh, North Carolina 27699-1301	<a href="mailto:State.Clearinghouse@doa.nc.gov">State.Clearinghouse@doa.nc.gov</a> <a href="mailto:crystal.best@doa.nc.gov">crystal.best@doa.nc.gov</a>
<b>NCHFA</b>	Ronda G. Moore Senior Attorney, Manager of Real Estate Transactions North Carolina Housing Finance Agency P.O. Box 28066 Raleigh, NC 27611-8066 Phone: 919-875-3621	<a href="mailto:rgmoore@nchfa.com">rgmoore@nchfa.com</a>

**LOCAL AGENCIES**

<b>COUNTY</b>	JACK B. VEIT III, County Manager Craven County 406 Craven Street New Bern, NC 28560-4971 252-636-6600	<a href="mailto:jveit@cravencountync.gov">jveit@cravencountync.gov</a>
<b>COUNTY</b>	DON BAUMGARDNER Planning Director Craven County 2828 Neuse Boulevard New Bern, NC 28562 Phone (252) 636-6618	<a href="mailto:dbaumgardner@cravencountync.gov">dbaumgardner@cravencountync.gov</a>
<b>COUNTY</b>	Nan Holton Clerk to the Board of Commissioners Craven County 406 Craven Street New Bern, NC 28560-4971 252-636-6600	<a href="mailto:nholton@cravencountync.gov">nholton@cravencountync.gov</a>
<b>CITY</b>	Foster Hughes, City Manager City of New Bern 300 Pollock St. New Bern, NC 28560 Phone: (252) 636-4000	<a href="mailto:hughesf@newbernnc.gov">hughesf@newbernnc.gov</a>
<b>CITY</b>	Ms. Brenda E. Blanco City Clerk City of New Bern 300 Pollock St. New Bern, NC 28560 Phone: (252) 639-2701	<a href="mailto:blancob@newbernnc.gov">blancob@newbernnc.gov</a>

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:11 PM  
**To:** Smith, Lenwood E  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello Mr. Lenwood Smith:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM  
Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:19 PM  
**To:** FEMA-R4EHP@fema.dhs.gov  
**Subject:** REVIEW REQUEST: 11988/NEPA - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

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Andrea

Andrea Gievers, JD, MSEL, ERM  
Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:13 PM  
**To:** 'Kajumba.ntale@epa.gov'  
**Cc:** 'blevins.john@epa.gov'  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

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Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM  
Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:14 PM  
**To:** john\_ellis@fws.gov  
**Cc:** leigh\_mann@fws.gov  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM  
Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:15 PM  
**To:** emily.b.thompson@usace.army.mil  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

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NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:16 PM  
**To:** State Clearinghouse  
**Cc:** Best, Crystal  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

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NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:16 PM  
**To:** 'rgmoore@nchfa.com'  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

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Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:17 PM  
**To:** jveit@cravencountync.gov  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

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Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:17 PM  
**To:** dbaumgardner@cravencountync.gov  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

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Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:17 PM  
**To:** nholton@cravencountync.gov  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM  
Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:18 PM  
**To:** 'hughesf@newbernnc.gov'  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM  
Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Wednesday, August 24, 2022 12:18 PM  
**To:** 'blancob@newbernnc.gov'  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC  
**Attachments:** NCORR Early Notice Palatine Meadows 8.24.22.pdf

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM  
Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

**1 From** Please print and press hard.  
 Date 8/24/22 Sender's FedEx Account Number 8950-9899-0  
 Sender's Name Andrea Gievers Phone (845) 682-1700  
 Company NCORR  
 Address 123 Kings Hill Road  
 City Walden State NY ZIP 12586

**2 Your Internal Billing Reference**  
 First 24 characters will appear on invoice. Palatine EN

**3 To** Recipient's Name Ms. Gracia Szczech Phone ( )  
 Company FEMA, Region 4  
 Address 3003 Chamblee Tucker Rd  
 City Atlanta State GA ZIP 30341

**4 Express Package Service** \* To most locations. Packages up to 150 lbs. For packages over 150 lbs., use the FedEx Express Freight US Airbill.

**Next Business Day**  
 FedEx First Overnight  
 FedEx Priority Overnight  
 FedEx Standard Overnight

**2 or 3 Business Days**  
 FedEx 2Day A.M.  
 FedEx 2Day  
 FedEx Express Saver

**5 Packaging** \* Declared value limit \$500.  
 FedEx Envelope\*  FedEx Pak\*  FedEx Box  FedEx Tube  Other

**6 Special Handling and Delivery Signature Options** Fees may apply. See the FedEx Service Guide.

Saturday Delivery  
 No Signature Required  
 Direct Signature  
 Indirect Signature

**Does this shipment contain dangerous goods?**  
 No  Yes  Yes  Dry Ice  Cargo Aircraft Only

**7 Payment Bill to:** This airbill can be used only when billing to a FedEx account number. For cash, check, or credit card transactions, please go to a staffed shipping location.

Sender Acct. No. in Section 1 will be billed. Recipient Third Party  
 Total Packages Total Weight Total Declared Value\*  
 lbs \$ .00

Our liability is limited to US\$100 unless you declare a higher value. See back for details. By using this airbill you agree to the service conditions on the back of this airbill and in the current FedEx Service Guide, including terms that limit our liability.  
 Rev. Date 3/21 • Part #167002 • ©2012-2021 FedEx • PRINTED IN U.S.A. **644**



**1 From** Please print and press hard.  
 Date 8/24/22 Sender's FedEx Account Number 8950-9899-0  
 Sender's Name Andrea Gievers Phone (845) 682-1700  
 Company NCORR  
 Address 123 Kings Hill Road  
 City Walden State NY ZIP 12586

**2 Your Internal Billing Reference**  
 First 24 characters will appear on invoice. Palatine - EN

**3 To** Recipient's Name Mr. John Blevins Phone ( )  
 Company USEPA, Region 4  
 Address Lab Svcs & Applied Science Dev.  
 City Athens State GA ZIP 30605-2720

**4 Express Package Service** \* To most locations. Packages up to 150 lbs. For packages over 150 lbs., use the FedEx Express Freight US Airbill.

**Next Business Day**  
 FedEx First Overnight  
 FedEx Priority Overnight  
 FedEx Standard Overnight

**2 or 3 Business Days**  
 FedEx 2Day A.M.  
 FedEx 2Day  
 FedEx Express Saver

**5 Packaging** \* Declared value limit \$500.  
 FedEx Envelope\*  FedEx Pak\*  FedEx Box  FedEx Tube  Other

**6 Special Handling and Delivery Signature Options** Fees may apply. See the FedEx Service Guide.

Saturday Delivery  
 No Signature Required  
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**Does this shipment contain dangerous goods?**  
 No  Yes  Yes  Dry Ice  Cargo Aircraft Only

**7 Payment Bill to:** This airbill can be used only when billing to a FedEx account number. For cash, check, or credit card transactions, please go to a staffed shipping location.

Sender Acct. No. in Section 1 will be billed. Recipient Third Party  
 Total Packages Total Weight Total Declared Value\*  
 lbs \$ .00

Our liability is limited to US\$100 unless you declare a higher value. See back for details. By using this airbill you agree to the service conditions on the back of this airbill and in the current FedEx Service Guide, including terms that limit our liability.  
 Rev. Date 3/21 • Part #167002 • ©2012-2021 FedEx • PRINTED IN U.S.A. **644**



## Gievers, Andrea

---

**From:** Gievers, Andrea  
**Sent:** Tuesday, September 6, 2022 12:32 PM  
**To:** Thompson, Emily B CIV USARMY CESAW (USA)  
**Subject:** RE: [External] RE: PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC

Hi Emily:

Thank you so much for your time and response. The Developer and consultant are in the process of preparing the USACE PJD Application and will be submitting soon. The Developer is required to submit and comply with the USACE JD and all requisite permits and their conditions. The Developer is also required to contact the NC DEQ DWR for a CWA Section 401 Water Quality Certification. The local Floodplain Administrator will be contacted as well. Permits required for this proposed project shall be obtained before commencing work. The proposed project activities will be completed in accordance with all applicable federal, state and local laws, regulations, and permit requirements and conditions. Let me know if you have any questions. Thank you!

Sincerely,

Andrea Gievers

---

**From:** Thompson, Emily B CIV USARMY CESAW (USA) <Emily.B.Thompson@usace.army.mil>  
**Sent:** Wednesday, August 24, 2022 4:31 PM  
**To:** Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>  
**Subject:** [External] RE: PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC

**CAUTION:** External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

Hi Andrea,

It appears this project would require a permit from the Corps with the proposed discharge of fill material within potential waters and wetlands of the US. Has the site been delineated and reviewed/approved by the Corps yet? I would recommend that as a first step permitting to ensure the impacts are quantified accurately. Once we know those impacts are accurately accounted for, we would be able to determine what permit may be the most appropriate.

Sincerely,  
Emily

Emily B. Thompson  
Regulatory Specialist  
U.S. Army Corps of Engineers  
Washington Regulatory Field Office  
2407 W. 5th Street  
Washington, NC 27889  
(910) 251-4629  
[Emily.B.Thompson@usace.army.mil](mailto:Emily.B.Thompson@usace.army.mil)

We at the U.S. Army Corps of Engineers Regulatory Branch are committed to improving service to our customers. We would appreciate your feedback on how we are performing our duties. Our automated Customer Service Survey is located at: <https://regulatory.ops.usace.army.mil/customer-service-survey/>

Thank you for taking the time to visit this site and complete the survey.

---

**From:** Gievers, Andrea <[andrea.l.gievers@rebuild.nc.gov](mailto:andrea.l.gievers@rebuild.nc.gov)>

**Sent:** Wednesday, August 24, 2022 12:15 PM

**To:** Thompson, Emily B CIV USARMY CESAW (USA) <[Emily.B.Thompson@usace.army.mil](mailto:Emily.B.Thompson@usace.army.mil)>

**Subject:** [Non-DoD Source] PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

Sincerely,

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Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

---

Email correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized state official.

## Gievers, Andrea

---

**From:** Brenda Blanco <blancob@newbernc.gov>  
**Sent:** Friday, August 26, 2022 8:30 AM  
**To:** Gievers, Andrea  
**Subject:** [External] RE: PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC

**CAUTION:** External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

This will acknowledge receipt of the notice. Thank you.



*Brenda E. Blanco*, MMC, CMC, NCCMC  
City Clerk  
City of New Bern  
300 Pollock Street  
PO Box 1129  
New Bern, NC 28563-1129  
Ph: 252-639-2701  
Fax: 252-639-2841

---

**From:** Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>  
**Sent:** Wednesday, August 24, 2022 12:18 PM  
**To:** Brenda Blanco <blancob@newbernc.gov>  
**Subject:** PUBLIC NOTICE - Early Notice - Palatine Meadows, New Bern, Craven County, NC

Hello:

Please find attached the Public Notice for HUD 24 CFR §55.20(b) - *Early Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland* for the NCORR Affordable Housing Development Fund Program's **Palatine Meadows** proposed project located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562. Please feel free to contact me if you have any questions. Thank you for your time and assistance.

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Andrea

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Environmental SME  
Community Development  
NC Office of Recovery and Resiliency  
[Andrea.L.Gievers@Rebuild.NC.Gov](mailto:Andrea.L.Gievers@Rebuild.NC.Gov)  
(845) 682-1700

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----- If you are not the intended recipient, you must destroy this message and inform the sender immediately. This electronic mail message and any attachments, as well as any electronic mail message(s) sent in response to it may be considered public record and as such subject to request and review by anyone at any time. It also may contain information which is confidential within the meaning of applicable federal and state laws.

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## **APPENDIX 4**

### **Combined FONSI/NOI-RROF/ Final Notice and Public Explanation of a Proposed Activity in a 100- year Floodplain and Wetland**



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor  
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

### PUBLIC NOTICE

#### **COMBINED NOTICE OF FINDING OF NO SIGNIFICANT IMPACT (*FONSI*), NOTICE OF INTENT TO REQUEST RELEASE OF FUNDS (*NOI-RROF*), AND FINAL NOTICE AND PUBLIC REVIEW OF A PROPOSED ACTIVITY IN A 100-YEAR FLOODPLAIN AND WETLAND**

**PALATINE MEADOWS  
4100 ACADEMIC DRIVE, NEW BERN,  
CRAVEN COUNTY, NORTH CAROLINA**

**SEPTEMBER 16, 2022**

**Name of Responsible Entity and Recipient:** North Carolina Office of Recovery and Resiliency (NCORR), P.O. Box 110465, Durham, NC 27709. Contact: Director Laura Hogshead (984) 833-5350.

Pursuant to 24 CFR Section 58.43, this combined Notice of Finding of No Significant Impact (FONSI), Notice of Intent to Request Release of Funds (NOI-RROF), and Final Notice and Public Review of a Proposed Activity in a 100-year Floodplain and Wetland satisfies three separate procedural requirements for project activities proposed to be undertaken by NCORR.

**Project Description:** NCORR is responsible for the direct administration of the United States Department of Housing and Urban Development (HUD) Community Development Block Grant – Disaster Recovery (CDBG-DR) program in North Carolina. NCORR proposes to provide CDBG-DR funding of \$3,810,000.00 for the Palatine Meadows (“Proposed Project”), which is located at 4100 Academic Drive in New Bern, Craven County, North Carolina 28562 (Parcel ID 8-211-008). The Proposed Project is anticipated to have a total cost of \$12,077,819.00. The Proposed Project will involve the new construction of a multifamily, affordable housing project consisting of 60 units in three residential buildings, a community building, playground, recreation areas, and surface parking. The City is seeking affordable housing to address the shortage in inventory exacerbated by the effects of the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). Palatine Meadows will provide a multifamily residential development for low-income households in the City of New Bern.

**Mailing Address:**  
Post Office Box 110465  
Durham, NC 27709



**Phone: (984) 833-5350**  
[www.ncdps.gov](http://www.ncdps.gov)  
[www.rebuild.nc.gov](http://www.rebuild.nc.gov)

*An Equal Opportunity Employer*

**PUBLIC EXPLANATION OF A PROPOSED ACTIVITY IN A 100-YEAR FLOODPLAIN AND WETLAND**

NCORR has conducted an evaluation as required by Executive Orders 11988 and 11990, in accordance with HUD regulations at 24 CFR 55.20 Subpart C Procedures for Making Determinations on Floodplain Management and Wetlands Protection. The Proposed Project will result in temporary impacts to 0.01 acres of 100-year floodplain and 0.0187 acres of wetlands. The Proposed Project will result in permanent impacts to 0 acres of 100-year floodplain and 270 square feet of wetlands in an existing drainage ditch located along Academic Drive. These impacts will consist of the replacement of two City-owned culverts located under the existing driveway access to Academic Drive in order to facilitate drainage flow to the south. In addition, the overflow from the Proposed Project's stormwater pond will discharge to this drainage ditch when the pond meets maximum capacity. A total of 100 linear feet of 15-inch diameter existing culvert pipe will be replaced with 18-inch diameter pipe. Stone aprons will be placed on either end of the new culvert pipes (total of 4 aprons) as well as at the outflow from the pond (1 apron). Each apron is 6 feet by 9 feet. The total impact to the drainage ditch will be 0.0187 acres. A small portion of 100-year floodplain is located on the northern portion of the Site. The floodplain will only be modified to remove a few trees. A stormwater pond will be built adjacent to the floodplain but has been designed to remain outside of the floodplain. Since the action will include new construction in wetland and floodplain, EO 11988 and EO 11990 require that the Proposed Project not be supported if there are practicable alternatives to development in floodplain and new construction in wetlands. Alternatives and the 8-step process have been documented in the EO 11988 Floodplain Management and EO 11990 Protection of Wetlands Determination which is available for review. Applicable permits from the U.S. Army Corps of Engineers, NC Department of Environmental Quality, and local jurisdictions will be acquired before work is commenced. The Proposed Project will be constructed in accordance with permit requirements and their conditions.

There are three primary purposes for this notice. First, people who may be affected by activities in floodplains/ wetlands and those who have an interest in the protection of the natural environment have an opportunity to express their concerns and provide information about these areas. Second, adequate public notice is an important public education tool. The dissemination of information and request for public comment about floodplains/ wetlands can facilitate and enhance federal efforts to reduce the risks associated with the occupancy and modification of these special areas. Third, as a matter of fairness, when the federal government determines it will participate in actions taking place in floodplains/ wetlands, it must inform those who may be put at greater or continued risk.

**FINDING OF NO SIGNIFICANT IMPACT**

An Environmental Assessment (EA) for the Proposed Project has been prepared in accordance with the National Environmental Policy Act of 1969 (NEPA) and HUD environmental review regulations at 24 CFR Part 58. The EA is incorporated by reference into this FONSI. Subject to public comments, no further review of the Proposed Project is anticipated. NCORR has determined that the EA for the project identified herein complies with the requirements of HUD environmental review regulations at 24 CFR Part 58. NCORR has determined that the Proposed Project will have no significant impact on the human environment and therefore does not require the preparation of an environmental impact statement under NEPA.

**Public Review:** Public viewing of the EA and EO 11988 Floodplain Management and EO 11990 Protection of Wetlands Determination is available online at <https://www.rebuild.nc.gov/about/plans-policies-reports/environmental-reviews>. Documents may also be viewed in person by appointment only at: NCORR, 200 Park Offices Drive, Durham, NC 27713. Call (984) 833-5350 to make an appointment.

Further information may be requested by writing to the above address, emailing [publiccomments@rebuild.nc.gov](mailto:publiccomments@rebuild.nc.gov) or by calling (984) 833-5350. This combined notice is being sent to individuals and groups known to be interested in these activities, local news media, appropriate local, state and federal agencies, the regional office of the U.S. Environmental Protection Agency having jurisdiction, and to the HUD Field Office, and is being published in a newspaper of general circulation in the affected community.

**Public Comments on the Proposed Activity within Floodplain and Wetland, FONSI and/or NOIRROF:** Any individual, group or agency may submit written comments on the Proposed Project. The public is hereby advised to specify in their comments which “notice” their comments address. Comments should be submitted via email, in the proper format, on or before October 3, 2022 at [publiccomments@rebuild.nc.gov](mailto:publiccomments@rebuild.nc.gov). Written comments may also be submitted by mail, in the proper format, to be received on or before October 3, 2022, and addressed to: NCORR – Public Comments, P.O. Box 110465, Durham, NC 27709. All comments must be received on or before October 3, 2022 or they will not be considered. If modifications result from public comment, these will be made prior to proceeding with the expenditure of funds.

#### **REQUEST FOR RELEASE OF FUNDS AND CERTIFICATION**

On or after October 4, 2022, the NCORR certifying officer will submit a request and certification to HUD for the release of CDBG-DR funds as authorized by related laws and policies for the purpose of implementing this part of the North Carolina CDBG-DR program.

NCORR certifies to HUD that Laura Hogshead, in her capacity as Certifying Officer, consents to accept the jurisdiction of the U.S. federal courts if an action is brought to enforce responsibilities in relation to the environmental review process and that these responsibilities have been satisfied. HUD’s approval of the certification satisfies its responsibilities under NEPA and related laws and authorities, and allows NCORR to use CDBG-DR program funds.

**Objection to Release of Funds:** HUD will accept objections to its release of funds and NCORR’s certification for a period of fifteen days following the anticipated submission date or its actual receipt of the request (whichever is later). Potential objectors may contact HUD or the NCORR Certifying Officer to verify the actual last day of the objection period.

The only permissible grounds for objections claiming a responsible entity’s non-compliance with 24 CFR Part 58 are: (a) Certification was not executed by NCORR’s Certifying Officer; (b) the responsible entity has omitted a step or failed to make a decision or finding required by HUD regulations at 24 CFR Part 58; (c) the responsible entity has committed funds or incurred costs not authorized by 24 CFR Part 58 before release of funds and approval of environmental certification;

or (d) another federal agency acting pursuant to 40 CFR Part 1504 has submitted a written finding that the project is unsatisfactory from the standpoint of environmental quality.

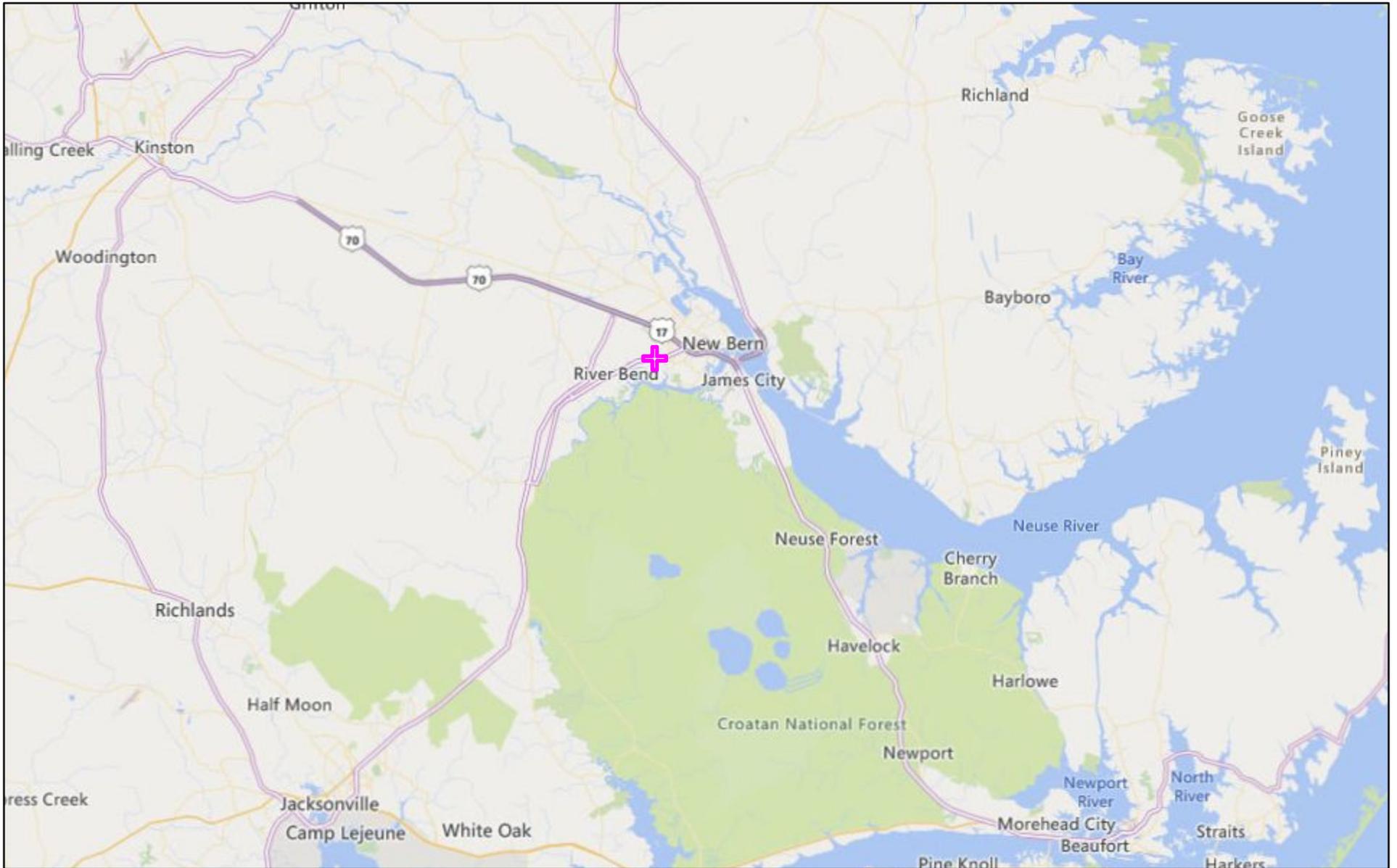
Objections must be prepared and submitted in accordance with the required procedures (24 CFR Part 58) and shall be addressed to Tennille Smith Parker, Director, Disaster Recovery and Special Issues Division, Office of Block Grant Assistance, U.S. Department of Housing & Urban Development, 451 7<sup>th</sup> Street SW, Washington, DC 20410, Phone: (202) 402-4649, or emailed to [disaster\\_recovery@hud.gov](mailto:disaster_recovery@hud.gov).

Laura Hogshead  
Certifying Officer  
September 16, 2022

## **Attachment E**

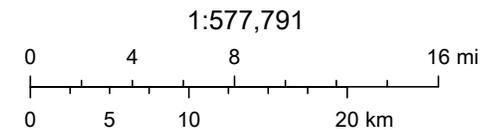
### **Clean Air**

# Clean Air



January 6, 2022

 Search Result (point)





## North Carolina Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of June 30, 2022

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

\* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m<sup>3</sup>) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

NORTH CAROLINA

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
<b>NORTH CAROLINA</b>								
Cabarrus County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	178,011	37/025
Cabarrus County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,928	37/025
Catawba County	PM-2.5 (1997)-NAAQS revoked	Hickory-Morganton-Lenoir, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	154,358	37/035
Chatham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Part	32,372	37/037
Davidson County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	162,878	37/057
Davidson County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	162,878	37/057

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Davie County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Part	1	37/059
Durham County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	267,587	37/063
Durham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	267,587	37/063
Durham County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	267,587	37/063
Edgecombe County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	56,552	37/065
Forsyth County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	350,670	37/067
Forsyth County	Carbon Monoxide (1971)	Winston-Salem, NC	9293	11/07/1994	Moderate <= 12.7ppm	Whole	350,670	37/067
Franklin County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	60,619	37/069
Gaston County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	190,849	37/071

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Granville County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Part	17,725	37/077
Granville County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	59,916	37/077
Guilford County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	488,406	37/081
Guilford County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	488,406	37/081
Haywood County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Cos (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	985	37/087
Iredell County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Part	68,089	37/097
Iredell County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	65,899	37/097
Johnston County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	168,878	37/101
Lincoln County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	78,265	37/109
Lincoln County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	64,189	37/109

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Mecklenburg County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Whole	919,628	37/119
Mecklenburg County	Carbon Monoxide (1971)	Charlotte, NC	929394	09/18/1995	Not Classified	Whole	919,628	37/119
Nash County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	95,840	37/127
Orange County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	133,801	37/135
Person County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	39,464	37/145
Rowan County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	138,428	37/159
Rowan County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	130,057	37/159
Swain County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Cos (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	3,288	37/173
Union County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	201,292	37/179

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Union County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,055	37/179
Wake County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	900,993	37/183
Wake County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	900,993	37/183
Wake County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	900,993	37/183

Important Notes

Discover.

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2022-06-30

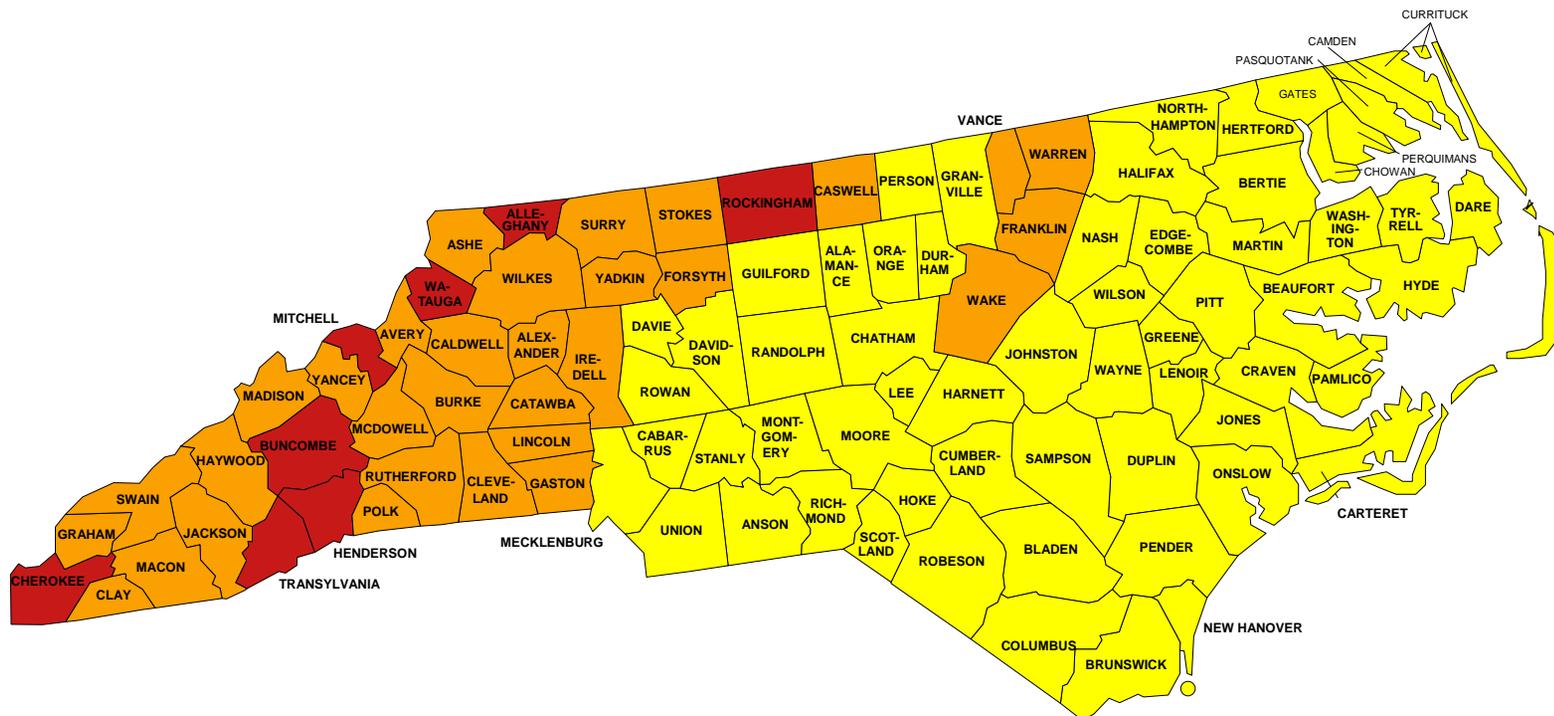
# NORTH CAROLINA - EPA Map of Radon Zones

<http://www.epa.gov/radon/zonemap.html>

The purpose of this map is to assist National, State and local organizations to target their resources and to implement radon-resistant building codes.

This map is not intended to determine if a home in a given zone should be tested for radon. Homes with elevated levels of radon have been found in all three zones.

**All homes should be tested, regardless of zone designation.**



Zone 1



Zone 2



Zone 3

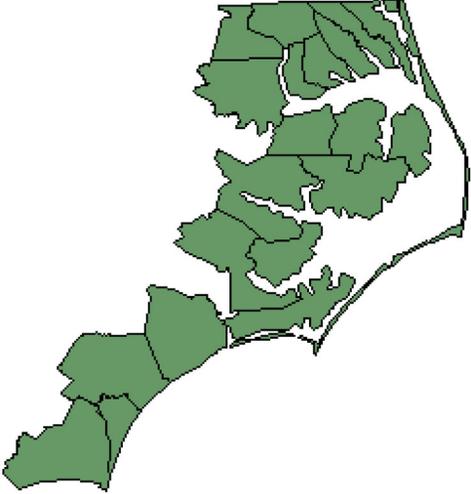
**IMPORTANT:** Consult the publication entitled "Preliminary Geologic Radon Potential Assessment of North Carolina" (USGS Open-file Report 93-292-D) before using this map. <http://energy.cr.usgs.gov/radon/grpinfo.html> This document contains information on radon potential variations within counties. EPA also recommends that this map be supplemented with any available local data in order to further understand and predict the radon potential of a specific area.

**Attachment F**  
**CZMA Map and Email**



## CAMA Counties

The following counties are subject to the rules and policies of the Coastal Resources Commission, which administers the Coastal Area Management Act. If you are planning to develop in one of these counties, check to see whether your project is also in an Area of Environmental Concern (<https://deq.nc.gov/about/divisions/coastal-management/coastal-management-rules/coastal-development-rules>). If it is, you may need a CAMA permit.

CAMA Counties		
<ul style="list-style-type: none"> <li>• Beaufort</li> <li>• Bertie</li> <li>• Brunswick</li> <li>• Camden</li> <li>• Carteret</li> <li>• Chowan</li> <li>• Craven</li> <li>• Currituck</li> <li>• Dare</li> <li>• Gates</li> </ul>	<ul style="list-style-type: none"> <li>• Hertford</li> <li>• Hyde</li> <li>• New Hanover</li> <li>• Onslow</li> <li>• Pamlico</li> <li>• Pasquotank</li> <li>• Pender</li> <li>• Perquimans</li> <li>• Tyrrell</li> <li>• Washington</li> </ul>	

Showing 1 to 1 of 1 entries

## About Coastal Management

**From:** [Govoni, Daniel](#)  
**To:** [Wolff, Jennifer](#)  
**Subject:** RE: [External] Palatine Meadows in New Bern, NC DCM2022020  
**Date:** Monday, March 21, 2022 11:39:47 AM  
**Attachments:** [image001.png](#)

---

Hello Jennifer

North Carolina's coastal zone management program consists of, but is not limited to, the Coastal Area Management Act, the State's Dredge and Fill Law, Chapter 7 of Title 15A of North Carolina's Administrative Code, and the land use plan of the County and/or local municipality in which the proposed project is located. It is the objective of the Division of Coastal Management (DCM) to manage the State's coastal resources to ensure that proposed federal actions would be compatible with safeguarding and perpetuating the biological, social, economic, and aesthetic values of the State's coastal waters.

DCM has reviewed the submitted information pursuant to the management objectives and enforceable policies of Subchapters 7H and 7M of Chapter 7 in Title 15A of the North Carolina Administrative Code and concurs that the proposed activity is consistent with North Carolina's approved coastal management program.

Prior to the initiation of the activities described, the applicant should obtain any other required State approvals or authorizations. Should the proposed action be modified further, a revised consistency determination could be necessary. This might take the form of either a supplemental consistency determination pursuant to 15 CFR 930.46, or a new consistency determination pursuant to 15 CFR 930.36. Likewise, if further project assessments reveal environmental effects not previously considered, a supplemental consistency certification may be required. If you have any questions, please contact me at (252) 808-2808. Thank you for your consideration of the North Carolina Coastal Management Program.

Daniel

**Daniel M. Govoni**  
Policy Analyst  
Federal Consistency Coordinator  
NC Division of Coastal Management  
Department of Environmental Quality

252-515-5435  
[Daniel.Govoni@ncdenr.gov](mailto:Daniel.Govoni@ncdenr.gov)

Morehead City, NC 28557

*Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties.*

---

**From:** Wolff, Jennifer <jwolff@braunintertec.com>  
**Sent:** Friday, January 21, 2022 11:26 AM  
**To:** Govoni, Daniel <daniel.govoni@ncdenr.gov>  
**Subject:** [External] Palatine Meadows in New Bern, NC

---

**CAUTION:** External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

Mr. Govoni-

I am working with Woda Cooper on an affordable housing project Palatine Meadows, located at 4140 Academic Drive, Craven County, New Bern. HUD funds will be used for this project and so an environmental review is being completed. As part of that review, HUD requires that we confirm that we seek a CAMA Consistency Determination, in accordance with 15 CFR 930.39. The Consistency Determination must discuss the following:

1. A statement indicating whether the proposed activity is consistent with the NC coastal zone management program.
2. A description of the evaluation used to determine the consistency.
3. Information sufficient to support the consistency statement.

The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. I have attached a topographic map, proposed project plan, and an aerial photograph for your reference. While the proposed project is located within one of North Carolina's 20 coastal counties, the site itself is not located within 575 linear feet of a SA or HQW waterbody. The northern portion of the project is located within a FEMA Flood zone but that area will not be developed.

If you need additional information for your review and consistency determination, please let me know.

Thank you for your attention to this matter.

Jenn



**Jennifer B. Wolff, PG (MN), CPG, CHMM**

Group Manager - Senior Environmental Scientist

11001 Hampshire Avenue S | Minneapolis, MN 55438

952-995-2454 direct | 612-360-8630 cell

\*\*\*Working from home

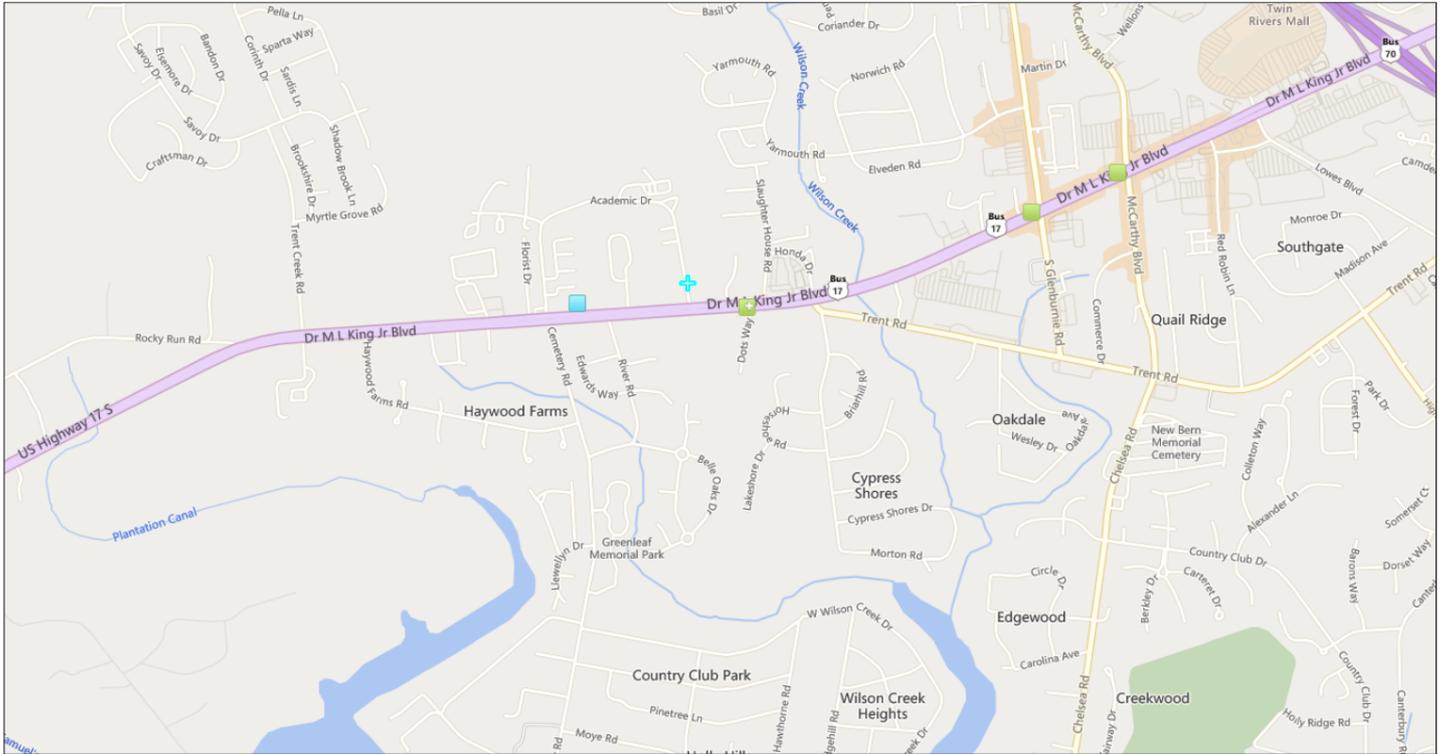
[jwolff@braunintertec.com](mailto:jwolff@braunintertec.com) PG licensed in MN

[braunintertec.com](http://braunintertec.com) |

**Attachment G**  
**Contamination and Toxics**

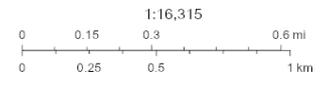
# NEPAssist Report

## Palatine Meadows



February 7, 2022

- Toxic Releases (TRI)
- Hazardous Waste (RCRA)Info
- Hazardous Waste (RCRA)Info
- + Palatine Meadows



© 2022 Microsoft Corporation © 2022 TomTom

Project Location	35.096098,-77.113226
Within 0.5 miles of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a Federal Land?	no
Within 0.5 miles of an impaired stream?	no
Within 0.5 miles of an impaired waterbody?	no
Within 0.5 miles of a waterbody?	yes
Within 0.5 miles of a stream?	yes
Within 0.5 miles of an NWI wetland?	Available Online
Within 0.5 miles of a Brownfields site?	no
Within 0.5 miles of a Superfund site?	no
Within 0.5 miles of a Toxic Release Inventory (TRI) site?	yes
Within 0.5 miles of a water discharger (NPDES)?	no
Within 0.5 miles of a hazardous waste (RCRA) facility?	yes
Within 0.5 miles of an air emission facility?	no

Within 0.5 miles of a school?	no
Within 0.5 miles of an airport?	no
Within 0.5 miles of a hospital?	no
Within 0.5 miles of a designated sole source aquifer?	no
Within 0.5 miles of a historic property on the National Register of Historic Places?	no
Within 0.5 miles of a Toxic Substances Control Act (TSCA) site?	no
Within 0.5 miles of a Land Cession Boundary?	no
Within 0.5 miles of a tribal area (lower 48 states)?	no
Within 0.5 miles of the service area of a mitigation or conservation bank?	yes
Within 0.5 miles of the service area of an In-Lieu-Fee Program?	yes

Created on: 2/7/2022 6:20:45 PM



NORTH CAROLINA  
*Environmental Quality*

ROY COOPER

*Governor*

ELIZABETH S. BISER

*Secretary*

MICHAEL SCOTT

*Director*

Date: March 9, 2022

To: Michael Scott, Director  
Division of Waste Management

Through: Janet Macdonald  
Inactive Hazardous Sites Branch

From: Bonnie S. Ware  
Inactive Hazardous Sites Branch

Subject: NEPA Project # 22-0174, Palatine Meadows/CDBG-DR, Craven County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the Palatine Meadows/CDBG-DR project. Proposed project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

One (1) Superfund Section site was identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



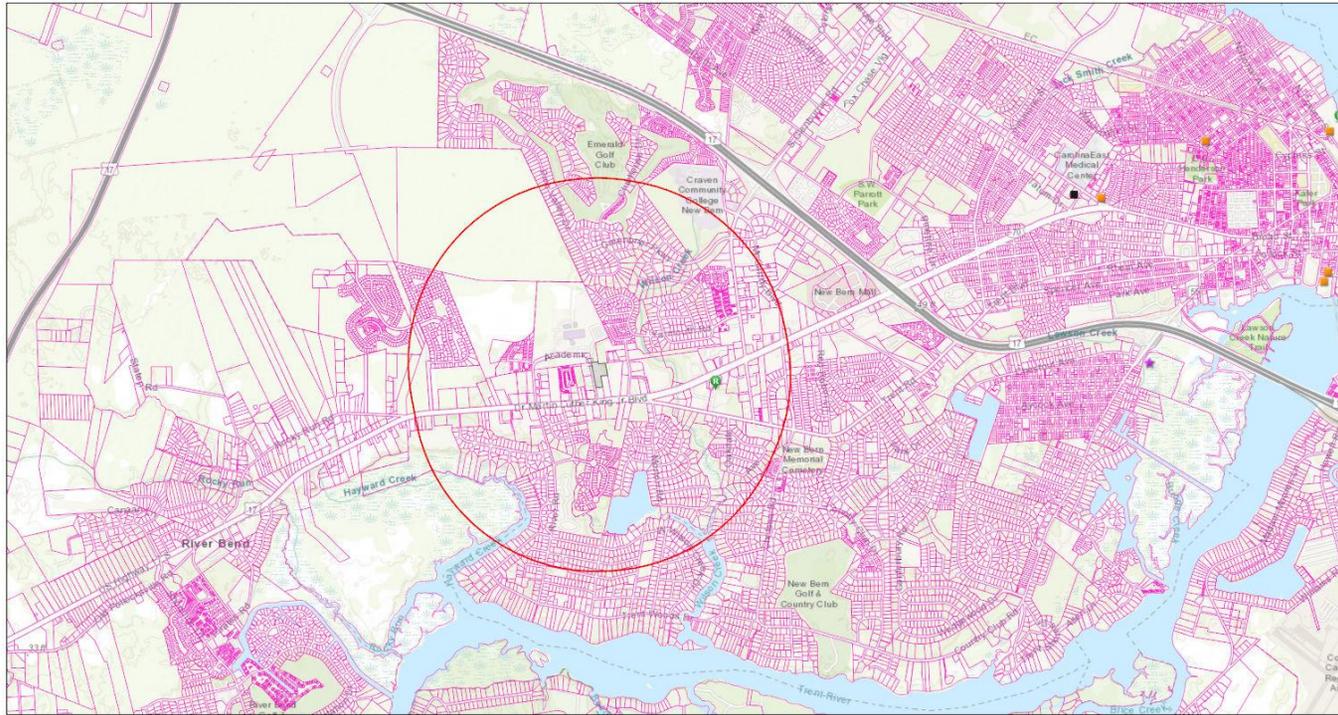
North Carolina Department of Environmental Quality | Division of Waste Management  
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646  
919.707.8200

# SUPERFUND SECTION SITES ONLY : SEPA/NEPA

## Area of Interest (AOI) Information

Area : 2,266.22 acres

Mar 9 2022 13:15:01 Eastern Standard Time



- NC Brownfields Location\_View
-  Recorded
-  Pre Regulatory Landfill Sites
-  Inactive Hazardous Sites
-  DryCleaning Contaminated
-  Parcels (Polygons) - Parcels



State of North Carolina DOT, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, METI/NASA, EPA, USDA

Superfund Section Sites Only : 22-0174 Craven County

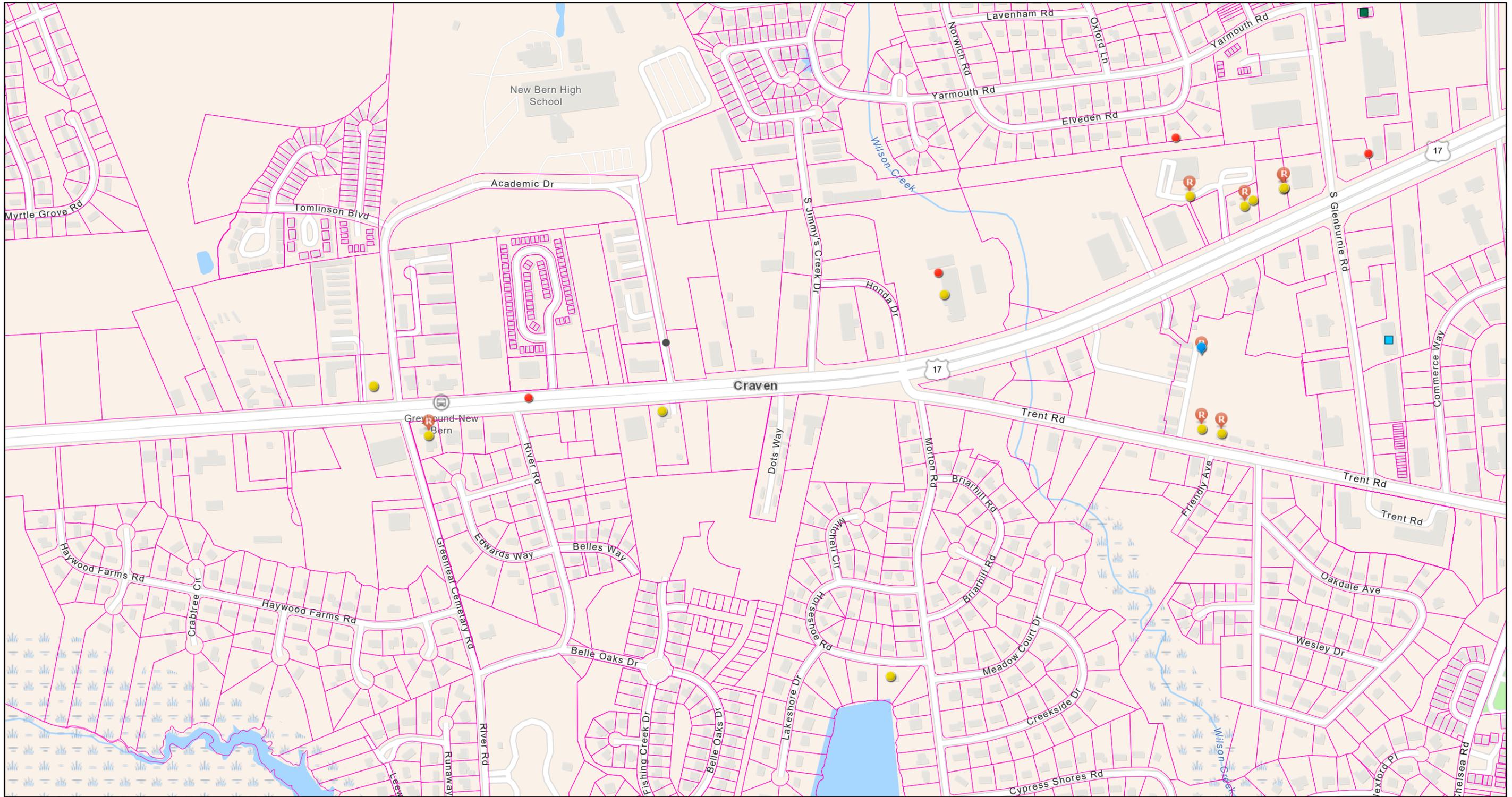
## Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	0	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	0	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	1	N/A	N/A

## Brownfields Program Sites

#	BF_ID	BF_Name	Count
1	2006116025	Clarke Power Services	1

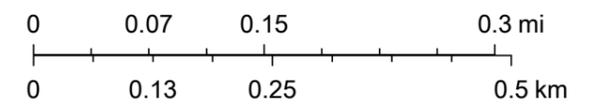
# NC DWM Site Locator Tool



2/7/2022, 5:29:59 PM

1:9,028

- Brownfields Program Sites
- AST Incidents
- County Boundary
- DryCleaning Compliance
- Land Use Restriction and/or Notices
- DryCleaning City Directories
- Notice and Restriction
- UST Incidents
- Parcels (Polygons) - Parcels



NCDOT GIS Unit, Esri Community Maps Contributors, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

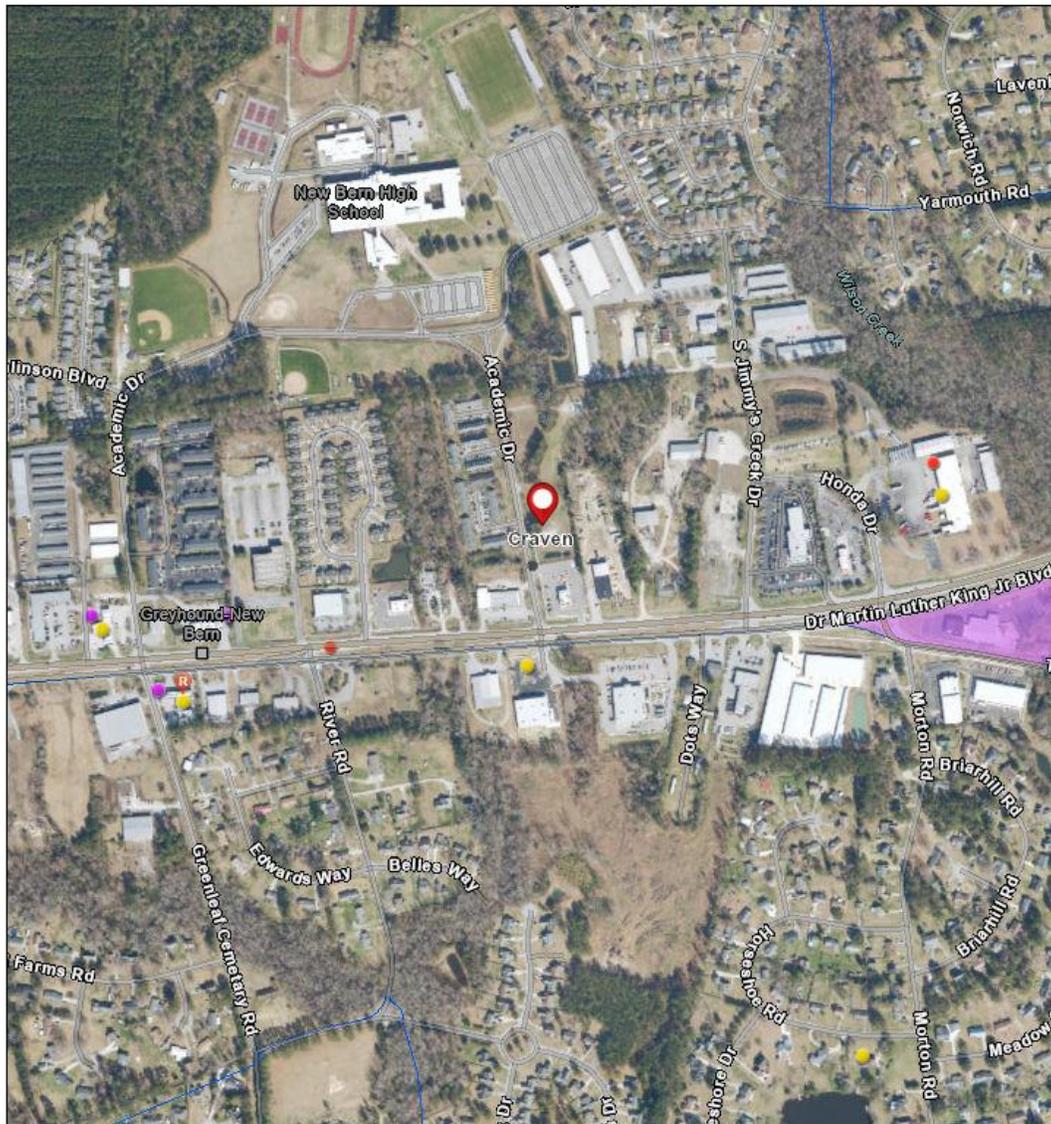


# NCDEQ Facility Screening Report - Palatine Meadows 1-mile

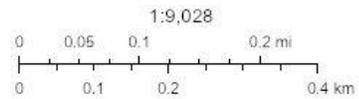
## Area of Interest (AOI) Information

Area : 87,513,003.33 ft<sup>2</sup>

Jul 22 2022 13:11:40 Eastern Daylight Time



- Underground Storage Tank Incidents
- Above Ground Storage Tank Incidents
- Underground Storage Tank Active Facilities
- Land Use Restriction and/or Notices
- R Notice and Restriction



NCDOT GIS Unit, Esri Community Maps Contributors, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, Source: Esri, DigitalGlobe, GeoEye, Earthstar

## Summary

Name	Count	Area(ft <sup>2</sup> )	Length(mi)
Air Quality Permit Sites	0	N/A	N/A
NPDES Wastewater Treatment Facility Permits	0	N/A	N/A
Animal Feed Operation Permits (View)	0	N/A	N/A
Solid Waste Septage Sites	0	N/A	N/A
Coal Ash Structural Fills (CCB) (Closed)	0	N/A	N/A
Permitted Solid Waste Landfills (Open and Closed)	0	N/A	N/A
Land Clearing and Inert Debris (LCID) Notifications	0	N/A	N/A
Inactive Hazardous Sites	0	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	1	N/A	N/A
Hazardous Waste Sites	0	N/A	N/A
Underground Storage Tank Incidents	15	N/A	N/A
Above Ground Storage Tank Incidents	5	N/A	N/A
Underground Storage Tank Active Facilities	7	N/A	N/A
Petroleum Contaminated Soil Remediation Permits	0	N/A	N/A

## Brownfields Program Sites

#	BF_ID	BF_Number	BF_Name	Status	Address
1	2006116025	20061-16-025	Clarke Power Services	Recorded	Glenburnie Rd; Trent Rd; Milk Jr. Blvd

#	City	County	BF_Mgr	BF_Acreage	Status_Date	Count
1	New Bern	Craven	James Rudder	34	2/27/2017	1

## Underground Storage Tank Incidents

#	IncidentNumber	USTNum	IncidentName	FacilID	Address
1	3743	WA-77	SCOTCHMAN STORE #111	No Data	1915 SOUTH GLENBURNIE RD.
2	6458	WA-245	FISHER OIL CO (SOUTH 17 FUEL MARKET)	00-0-0000031540	3524 HWY 17 S
3	10195	WA-733	COCA COLA OF NEW BERN	unregistered	3710 US 17 S.
4	15230	WA-1307	ASKEW BUILDING SUPPLY	00-0-0000034988	3600 CLARENDON (HWY 17 SOUTH)
5	18323	WA-1557	BALLARD TIRE & OIL CO. BULK FACILITY	00-0-0000001260	3500 CLARENDON BLVD
6	19742	WA-1716	BALLARD BULK PLANT/CAR WASH	00-0-0000001258	3502 CLARENDON BOULEVARD
7	20502	WA-1789	BALLARD RESIDENCE	No Data	3824 HORSESHOE ROAD
8	38082	WA-26907	SOUTH 17 FUEL MARKET	00-0-0000031540	3524 MARTIN LUTHER KING JR. BL
9	38437	WA-27273	WILCO HESS 1853 ( see also 38641)	00-0-0000026889	1915 S. GLENBURNIE RD.
10	38521	WA-27343	HANDY MART 53	0-00-0000034104	4013 MARTIN LUTHER KING BLVD.
11	38603	WA-27436	RAYMOND HARDY PROPERTY	No Data	3706 TRENT ROAD
12	38604	WA-27437	HARRELL PROPERTY (LINDA MORRIS)	No Data	3704 TRENT ROAD
13	38641	WA-27480	SPEEDWAY 8282	00-0-026889	1915 GLENBURNIE ROAD
14	38693	WA-27544	Speedway #8275	0-035397	4100 Dr. ML King Jr. Boulevard
15	38776	WA-27645	FAMILY OUTREACH CHURCH	No Data	3901 DR. MLK JR. BLVD.

#	CityTown	County	ZipCode	Mgr	ROCode
1	NEW BERN	CRAVE	28560	SNH	WAS
2	NEW BERN	CRAVE	28562	SNH	WAS
3	NEW BERN	CRAVE	28560	SNH	WAS
4	NEW BERN	CRAVE	28560	SNH	WAS
5	NEW BERN	CRAVE	28560	SNH	WAS
6	NEW BERN	CRAVE	285622226	SNH	WAS
7	NEW BERN	CRAVE	285625018	SNH	WAS
8	NEW BERN	CRAVE	28562	CCS	WAS
9	NEW BERN	CRAVE	28560	BDS	WAS
10	NEW BERN	CRAVE	28562	BDS	WAS
11	NEW BERN	CRAVE	28561	SNH	WAS
12	NEW BERN	CRAVE	28561	SNH	WAS
13	NEW BERN	CRAVE	No Data	ALW	WAS
14	New Bern	CRAVE	28562	ABE	WAS
15	New Bern	CRAVE	28562	ALW	WAS

#	DateOccurred	DateReported	Comm	Reg	ConfRisk
1	September 26, 1988	September 26, 1988	C	N	Low Risk
2	February 19, 1990	February 19, 1990	C	R	Low Risk
3	November 13, 1992	May 18, 1993	C	R	Low Risk
4	January 10, 1996	March 14, 1996	C	R	Low Risk
5	November 28, 1998	November 28, 1998	C	R	Low Risk
6	July 15, 1998	February 10, 1999	C	R	Low Risk
7	August 30, 1999	August 31, 1999	N	N	Low Risk
8	March 17, 2010	May 28, 2010	C	R	Low Risk
9	October 1, 2013	October 3, 2013	C	R	Low Risk
10	August 19, 2014	August 19, 2014	C	R	Low Risk
11	October 27, 2015	March 10, 2016	N	N	Low Risk
12	October 27, 2015	March 10, 2016	N	N	Low Risk
13	March 21, 2017	March 21, 2017	C	R	Intermediate Risk
14	March 20, 2018	April 6, 2018	C	R	Low Risk
15	August 13, 2019	August 14, 2019	C	N	Low Risk

#	LandUse	CloseOut	LURFiled	LUR_Resc	LUR_State
1	RES	October 1, 1998	No Data	No Data	No Data
2	RES	September 11, 2006	No Data	No Data	No Data
3	RES	July 27, 2000	No Data	No Data	No Data
4	RES	February 23, 2005	November 24, 2004	No Data	No Data
5	RES	March 16, 2006	August 25, 2006	No Data	No Data
6	RES	August 2, 2006	August 25, 2006	No Data	No Data
7	RES	September 20, 2000	No Data	No Data	No Data
8	RES	September 21, 2011	September 26, 2011	No Data	No Data
9	RES	September 5, 2014	No Data	No Data	B
10	RES	March 25, 2015	April 1, 2015	No Data	No Data
11	RES	May 16, 2016	May 31, 2016	No Data	B
12	RES	May 16, 2016	May 31, 2016	No Data	B
13	No Data	No Data	December 27, 2017	No Data	B
14	No Data	August 8, 2019	June 17, 2019	No Data	G
15	RES	November 5, 2019	October 1, 2019	No Data	B

#	CurrStatus	CDNum	RRADate	RRARisk	RRARankCURR
1	A	189	No Data	No Data	0
2	A	299	September 11, 2006	L	20
3	A	0	No Data	No Data	0
4	A	267	No Data	No Data	0
5	A	299	March 16, 2006	L	0
6	A	299	June 22, 2006	L	75
7	A	190	No Data	No Data	0
8	A	508	July 5, 2001	L	60
9	C	668	September 5, 2014	L	40
10	A	668	March 12, 2015	L	55
11	A	670	No Data	No Data	0
12	A	670	No Data	No Data	0
13	C	0	December 20, 2018	I	180
14	C	0	February 15, 2019	L	60
15	C	0	September 26, 2019	L	115

#	RRAAbate	LatDec	LongDec	Count
1	No Data	35.103176	-77.099263	1
2	R	35.098611	-77.100555	1
3	No Data	35.096944	-77.107222	1
4	No Data	35.098682	-77.101917	1
5	R	35.098814	-77.099896	1
6	R	35.098833	-77.099878	1
7	No Data	35.090202	-77.108377	1
8	R	35.098513	-77.100728	1
9	R	35.102943	-77.099042	1
10	R	35.094459	-77.118350	1
11	No Data	35.094577	-77.101656	1
12	No Data	35.094496	-77.101226	1
13	D	35.103031	-77.099272	1
14	R	35.095332	-77.119537	1
15	D	35.094889	-77.113304	1

### Above Ground Storage Tank Incidents

#	IncidentNumber	USTNum	IncidentName	FacIID	Address
1	10464	WA-88297	COCA COLA OF NEW BERN	No Data	3710 DR. MARTIN LUTHER KING
2	17554	WA-17554	ALCOKE PROPERTY - FORMER RIVERSIDE IRONWORKS	No Data	3402 CLARENDON BLVD
3	17830	WA-17830	CRAVEN OIL COMPANY	No Data	1915 GLENBURNIE RD
4	88142	WA-88142	HAROLD WATSON WASTE OIL SERVICE SPILL	No Data	HIGHWAY 17
5	93220	WA-89049	DUKE ENERGY SPILL	No Data	3956 DR. MARTIN LUTHER KING

#	CityTown	County	ZipCode	Mgr	ROCode
1	NEW BERN	CRAVE	28560	SNH	WAS
2	NEW BERN	CRAVE	28562	SNH	WAS
3	NEW BERN	CRAVE	28562	SNH	WAS
4	NEW BERN	CRAVE	28560	CCS	WAS
5	NEW BERN	CRAVE	28501	SNH	WAS

#	DateOccurred	DateReported	Comm	Reg	ConfRisk
1	716688000000	724982400000	C	N	Low Risk
2	865468800000	865468800000	C	N	Low Risk
3	874540800000	1172448000000	C	N	Low Risk
4	627004800000	627004800000	C	R	Unknown Risk
5	1396656000000	1396656000000	C	N	Low Risk

#	LandUse	CloseOut	LURFiled	LUR_Resc	LUR_State
1	RES	964742400000	No Data	No Data	No Data
2	RES	900547200000	No Data	No Data	No Data
3	RES	1625097600000	1514419200000	No Data	B
4	RES	No Data	No Data	No Data	No Data
5	RES	1396656000000	No Data	No Data	No Data

#	CurrStatus	CDNum	RRADate	RRARisk	RRAAbate
1	A	293	No Data	No Data	No Data
2	A	293	No Data	No Data	No Data
3	C	0	1491350400000	L	D
4	C	0	No Data	No Data	No Data
5	A	607	No Data	No Data	No Data

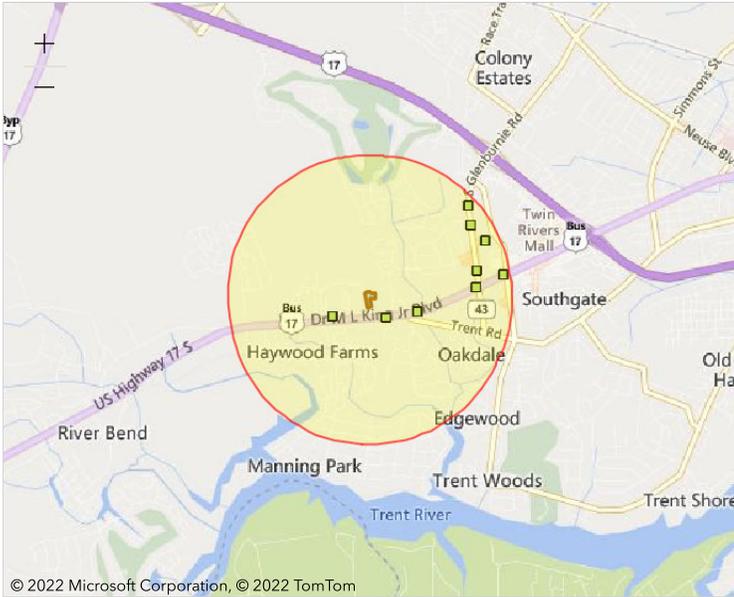
#	RRA_Rank	LatDec	LongDec	Count
1	0.00	35.097336	-77.107345	1
2	0.00	35.099444	-77.098055	1
3	140.00	35.103184	-77.098843	1
4	0.00	35.099722	-77.102222	1
5	0.00	35.095125	-77.116198	1

## Underground Storage Tank Active Facilities

#	FACILID	FACILNAME	FACILADDRESS	FACILCITY	FACILZIP
1	00-0-0000001260	BALLARD TIRE AND OIL CO., INC.	3500 CLARENDON BLVD	NEW BERN	28560
2	00-0-0000026889	SPEEDWAY #8282	1915 GLEN BURNIE ROAD	NEW BERN	28560
3	00-0-0000029922	THE YORK RITE	2100 SOUTH GLENBURNIE ROAD	NEW BERN	28560
4	00-0-0000033661	S & Y MARKET	4010 MARTIN LUTHER KING BLVD	NEW BERN	28560
5	00-0-0000034104	PARK N SHOP #17	4013 MARTIN LUTHER KING BLVD	NEW BERN	28562
6	00-0-0000035397	SPEEDWAY #8275	4100 M L KING DRIVE	NEW BERN	28562
7	00-0-0000042389	HARRIS TEETER FUEL 421 - NEW BERN, NC	3601 DR MARTIN LUTHER KING JR BLVD	NEW BERN	28562

#	FACILOWNERTYPE	NUMREGTANKS	NUMNONREGTANKS	NUMNONREGNONCOMTANKS	FACILLATDEC	FACILLONGDEC	Count
1	Private/Corporate	0	0	1	35.098600	-77.098800	1
2	Private/Corporate	5	0	0	35.103000	-77.099300	1
3	Private/Corporate	0	0	1	35.097717	-77.099178	1
4	Private/Corporate	5	0	0	35.095500	-77.117700	1
5	Private/Corporate	3	0	0	35.094604	-77.118728	1
6	Private/Corporate	4	0	0	35.095500	-77.119700	1
7	Private/Corporate	4	0	0	35.096871	-77.101998	1

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  - MARINE & INDUSTRIAL PLASTICS (NEW BERN,NC) ([https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?](https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?fac_search=handler_id&fac_search_type=Equal+To&postal_code=&location_address=&add_search_type=Beginning+With&city_name=&county_name=&state_code=&naics_type=Equal+to&naics_to=&univ_search=0&univA:)
  - CARQUEST AUTO PARTS #1119 (NEW BERN,NC) ([https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?](https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?fac_search=handler_id&fac_search_type=Equal+To&postal_code=&location_address=&add_search_type=Beginning+With&city_name=&county_name=&state_code=&naics_type=Equal+to&naics_to=&univ_search=0&univA:)
  - TARGET STORE T1015 (NEW BERN,NC) ([https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?](https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?fac_search=handler_id&fac_search_type=Equal+To&postal_code=&location_address=&add_search_type=Beginning+With&city_name=&county_name=&state_code=&naics_type=Equal+to&naics_to=&univ_search=0&univA:)

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<p><b>COSMOPROF #6395</b> Handler ID: NCR000176610 1807 S. GLENBURNIE RD NEW BERN, NC 28562</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.10715 <b>Longitude:</b> -77.10015</p> <p><b>Hazardous Waste Generator:</b> Very Small Quantity Generator</p> <p><b>Owner Name:</b> MORTON HOLDINGS INC</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
---	---

**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
MIDDLETON DEBBIE	3001 COLORADO BLVD.	DENTON	TX	76210	940- 297- 4964	Public
DEBBIE MIDDLETON	COLORADO BLVD.	DENTON	TX	76210	940- 297- 4964	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Very Small Quantity Generator

**No PROCESS INFORMATION is available for the facility listed above.**

**LIST OF NAICS CODES AND DESCRIPTIONS**

NAICS CODE	NAICS DESCRIPTION
446120	COSMETICS, BEAUTY SUPPLIES, AND PERFUME STORES

## LIST OF WASTE CODES AND DESCRIPTIONS

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE
D002	CORROSIVE WASTE
D005	BARIUM
D007	CHROMIUM
D008	LEAD
D009	MERCURY
D011	SILVER
D018	BENZENE
D035	METHYL ETHYL KETONE
U002	2-PROPANONE (I) (OR) ACETONE (I)
U112	ACETIC ACID, ETHYL ESTER (I) (OR) ETHYL ACETATE (I)
U118	2-PROPENOIC ACID, 2-METHYL-, ETHYL ESTER (OR) ETHYL METHACRYLATE
U123	FORMIC ACID (C,T)
U154	METHANOL (I) (OR) METHYL ALCOHOL (I)

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<p><b>AAMCO TRANSMISSIONS</b> Handler ID: NCD981759939 3415 CLARENDON BLVD NEW BERN, NC 28560</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.095925 <b>Longitude:</b> -77.106758</p> <p><b>Hazardous Waste Generator:</b></p> <p><b>Owner Name:</b> JOHN BRUBAKER &amp; DAN STALLINGS</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
---	---

**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
JOHN BRUBAKER				00000	919-637-9696	Public
BRUBAKER JOHN				00000	919-637-9696	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Not in a universe

**No PROCESS INFORMATION is available for the facility listed above.**

**No NAICS Codes are available for the facility listed above.**

**No Waste Codes are available for the facility listed above.**

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<p><b>TRACTOR5 SUPPLY #1636</b> Handler ID: NCR000164186 3821 DR ML KING BLVD NEW BERN, NC 28562</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.095287 <b>Longitude:</b> -77.110799</p> <p><b>Hazardous Waste Generator:</b> Very Small Quantity Generator</p> <p><b>Owner Name:</b> ARTTSCOTWO LLC</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
---	---

**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
WERNEIWSKI PAT PERRY	5401 VIRGINIA WAY	BRENTWOOD	TN	37027	615- 440- 4682	Public
PAT PERRY WERNEIWSKI	VIRGINIA WAY	BRENTWOOD	TN	37027	615- 440- 4682	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Very Small Quantity Generator

**No PROCESS INFORMATION is available for the facility listed above.**

**LIST OF NAICS CODES AND DESCRIPTIONS**

NAICS CODE	NAICS DESCRIPTION
453998	ALL OTHER MISCELLANEOUS STORE RETAILERS (EXCEPT TOBACCO STORES)
452319	ALL OTHER GENERAL MERCHANDISE STORES

**LIST OF WASTE CODES AND DESCRIPTIONS**

<b>WASTE CODE</b>	<b>WASTE DESCRIPTION</b>
D001	IGNITABLE WASTE
D002	CORROSIVE WASTE
D004	ARSENIC
D005	BARIUM
D006	CADMIUM
D007	CHROMIUM
D008	LEAD
D009	MERCURY
D010	SELENIUM
D011	SILVER
D014	METHOXYCHLOR (1,1,1-TRICHLORO-2,2-BIS [P-METHOXYPHENYL] ETHANE)
D016	2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)
D018	BENZENE
D026	CRESOL
D035	METHYL ETHYL KETONE
U002	2-PROPANONE (l) (OR) ACETONE (l)
U240	2,4-D, SALTS & ESTERS (OR) ACETIC ACID, (2,4-DICHLOROPHENOXY)-, SALTS & ESTERS (OR) DICHLOROPHENOXYACETIC ACID 2,4-D
U279	CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE

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## RCRAInfo Facility Information

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<p><b>BAYLINER MARINE CORP</b> Handler ID: NCD980803654 US HWY 17 S NEW BERN, NC 28560</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.095418 <b>Longitude:</b> -77.117746</p> <p><b>Hazardous Waste Generator:</b></p> <p><b>Owner Name:</b> BAYLINER MARINE CORPORATION</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
--	---

**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
WILLIAMS JERRY	US HWY 17 S	NEW BERN	NC	28560	919-633- 6511	Public
JERRY WILLIAMS	US HWY 17 S	NEW BERN	NC	28560	919-633- 6511	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Not in a universe

**No PROCESS INFORMATION is available for the facility listed above.**

**No NAICS Codes are available for the facility listed above.**

**LIST OF WASTE CODES AND DESCRIPTIONS**

WASTE CODE	WASTE DESCRIPTION
------------	-------------------

U002	2-PROPANONE (I) (OR) ACETONE (I)
------	----------------------------------

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# Detailed Facility Report

## Facility Summary

**BAYLINER MARINE CORP.**

3800 HWY. 17 S., NEW BERN, NC 28560

**FRS (Facility Registry Service) ID:** 110002338426

**EPA Region:** 04

**Latitude:** 35.095418

**Longitude:** -77.117746

**Locational Data Source:** TRIS

**Industries:** Transportation Equipment Manufacturing

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Inactive Other, (NCD980803654)

**Safe Drinking Water Act (SDWA):** No Information

[Go To Enforcement/Compliance Details](#)  
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## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** 28560BYLNR3800H

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110002338426					N	35.095418	-77.117746
TRI	EP313	28560BYLNR3800H	Toxics Release Inventory	Last Reported for 1990			N	35.095418	-77.117746
RCRAInfo	RCRA	NCD980803654	Other	Inactive ( )			N		

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110002338426	BAYLINER MARINE CORP.	3800 HWY. 17 S., NEW BERN, NC 28560	Craven County
TRI	EP313	28560BYLNR3800H	BAYLINER MARINE CORP	3800 HWY 17 S, NEW BERN, NC 28560	Craven County
RCRAInfo	RCRA	NCD980803654	BAYLINER MARINE CORP	US HWY 17 S, NEW BERN, NC 28560	Craven County

## Facility SIC (Standard Industrial Classification) Codes

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	SIC Code	SIC Description	System	Identifier	NAICS Code	NAICS Description
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System	Identifier	SIC Code	SIC Description	System	Identifier	NAICS Code	NAICS Description
TRI	28560BYLNR3800H	3732	Boat Building And Repairing	TRI	28560BYLNR3800H	336612	Boat Building

### Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

Compliance Monitoring History

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not counted in EPA compliance monitoring strategies or annual results.*

### Compliance Summary Data

Statute	Source ID	Current <u>SNC (Significant Noncompliance)/HPV (High Priority Violation)</u>	Current As Of	Qtrs with <u>NC (Noncompliance)</u> (of 12)	Data Last Refreshed
RCRA	NCD980803654	No	08/06/2022	0	08/05/2022

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: NCD980803654)		10/01-12/31/19	01/01-03/31/20	04/01-06/30/20	07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												

Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Cost	Comp Action Cost
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No data records returned

## Environmental Conditions

### Watersheds

12-Digit <u>WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))</u>	<u>WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))</u>	State Water Body Name ( <u>ICIS (Integrated Compliance Information System)</u> )	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with <u>ESA (Endangered Species Act)-listed Aquatic Species?</u>
---	--	--	---------------------------------	--------------------------------------	--	--

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to <u>POTWs (Publicly Owned Treatment Works)</u>	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	---	------------------------	------------------	------------------------	--------------------------

No data records returned

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

## Community

### EJScreen EJ Indexes

Twelve environmental justice (EJ) indexes of EJScreen, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. The index values below are for the Census block group or 1-mile maximum (US or State) in which the facility is located. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

Show EJ Indexes calculated based on: Census Block Group - US ▼

Census Block Group EJ Indexes (percentile)	
Particulate Matter 2.5	39.3
Ozone	35
Diesel Particulate Matter	43.6
Air Toxics Cancer Risk	37.4
Air Toxics Respiratory Hazard Index	32.7
Traffic Proximity	23.3
Lead Paint	45.4
Risk Management Plan (RMP) Facility Proximity	40.9
Hazardous Waste Proximity	37.7
Superfund Proximity	37.9
Underground Storage Tanks (UST)	21.1
Wastewater Discharge	56.3

Number of EJ Indexes Above 80th Percentile
0

[View EJScreen Report](#) (US/regional/state percentiles, 1-mile average)

### Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2015 - 2019 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	3,259
Population Density	1,068/sq.mi.
Housing Units in Area	1,528

General Statistics (ACS (American Community Survey))	
Total Persons	1,900
Percent People of Color	20%
Households in Area	816
Households on Public Assistance	45
Persons With Low Income	445
Percent With Low Income	24%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	35.095418
Center Longitude	-77.117746
Land Area	97%
Water Area	3%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	46 (5.64%)
\$15,000 - \$25,000	85 (10.42%)
\$25,000 - \$50,000	177 (21.69%)
\$50,000 - \$75,000	113 (13.85%)
Greater than \$75,000	395 (48.41%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	213 (7%)
Minors 17 years and younger	684 (21%)
Adults 18 years and older	2,576 (79%)
Seniors 65 years and older	587 (18%)

Race Breakdown (U.S. Census) - Persons (%)	
White	2,548 (78%)
African-American	536 (16%)
Hispanic-Origin	99 (3%)
Asian/Pacific Islander	77 (2%)
American Indian	10 (0%)
Other/Multiracial	88 (3%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	19 (1.32%)
9th through 12th Grade	62 (4.31%)
High School Diploma	283 (19.65%)
Some College/2-year	305 (21.18%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	504 (35%)

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## RCRAInfo Facility Information

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<p><b>PUBLIX SUPERMARKET 1533 RIVER PLACE</b> Handler ID: NCR000177311 2004 SOUTH GLENBURNIE ROAD NEW BERN, NC 28562</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.10028 <b>Longitude:</b> -77.09905</p> <p><b>Hazardous Waste Generator:</b> Very Small Quantity Generator</p> <p><b>Owner Name:</b> NEW BERN ASSOCIATES, LLC</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
---	---

**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
WILLIAMS BRENDA	3300 PUBLIX CORPORATE PARKWAY	LAKELAND	FL	33811	863- 668- 8118	Public
BRENDA WILLIAMS	PUBLIX CORPORATE PARKWAY	LAKELAND	FL	33811	863- 668- 8118	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Very Small Quantity Generator

**No PROCESS INFORMATION is available for the facility listed above.**

**LIST OF NAICS CODES AND DESCRIPTIONS**

NAICS CODE	NAICS DESCRIPTION
446110	PHARMACIES AND DRUG STORES

**No Waste Codes are available for the facility listed above.**

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## RCRAInfo Facility Information

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<p><b>WALGREENS 17902</b> Handler ID: NCR000156653 3500 DR ML KING JR BLVD NEW BERN, NC 28562</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.0985 <b>Longitude:</b> -77.09915</p> <p><b>Hazardous Waste Generator:</b> Very Small Quantity Generator</p> <p><b>Owner Name:</b> ZP NO. 165 LLC</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
---	---

**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
DASCOLI A KIMBERLY	200 WILMOT ROAD	DEERFIELD	IL	60015	847- 315- 2812	Public
KIMBERLY DASCOLI	WILMOT ROAD	DEERFIELD	IL	60015	847- 315- 2812	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Very Small Quantity Generator

**No PROCESS INFORMATION is available for the facility listed above.**

**LIST OF NAICS CODES AND DESCRIPTIONS**

NAICS CODE	NAICS DESCRIPTION
446110	PHARMACIES AND DRUG STORES
44611	PHARMACIES AND DRUG STORES

**LIST OF WASTE CODES AND DESCRIPTIONS**

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE
D002	CORROSIVE WASTE
D005	BARIUM
D007	CHROMIUM
D009	MERCURY
D010	SELENIUM
D011	SILVER
D013	LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)
D016	2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)
D018	BENZENE
D024	M-CRESOL
D026	CRESOL
D035	METHYL ETHYL KETONE
P001	2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%
U002	2-PROPANONE (I) (OR) ACETONE (I)
U035	BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL
U044	CHLOROFORM (OR) METHANE, TRICHLORO-
U058	2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE
U122	FORMALDEHYDE
U129	CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE
U154	METHANOL (I) (OR) METHYL ALCOHOL (I)

U205	SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)
U240	2,4-D, SALTS & ESTERS (OR) ACETIC ACID, (2,4-DICHLOROPHENOXY)-, SALTS & ESTERS (OR) DICHLOROPHENOXYACETIC ACID 2,4-D
U279	CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE

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### RCRAInfo Facility Information

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<p><b>TARGET STORE T1015</b> Handler ID: NC0991302901 3410 DR. MARTIN LUTHER KING JR. BLVD NEW BERN, NC 28562</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.099833 <b>Longitude:</b> -77.095632</p> <p><b>Hazardous Waste Generator:</b> Small Quantity Generator</p> <p><b>Owner Name:</b> TARGET CORPORATION</p>		<p><i>*You can navigate within the map with your mouse</i></p>
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**BIENNIAL REPORT SUMMARY**

REPORT YEAR	GENERATION (Tons)	MANAGEMENT (Tons)	WASTE RECEIVED (Tons)	WASTE SHIPPED (Tons)	INCINERATION (Tons)	DISPOSAL (Tons)	ACUT GENE (Tons)
2019	.3			.3			
2017							
2015	.9			.9			
2013	1			1			
2011	.5			.5			

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CON
HASTY CHERYL	P.O. BOX 111	MINNEAPOLIS	MN	55440	800-587-2228	Public
CHERYL HASTY	P.O. BOX 111	MINNEAPOLIS	MN	55440	800-587-2228	Permi

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

**LIST OF NAICS CODES AND DESCRIPTIONS**

NAICS CODE	NAICS DESCRIPTION
452112	DISCOUNT DEPARTMENT STORES
452210	DEPARTMENT STORES

455110	DEPARTMENT STORES
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**LIST OF WASTE CODES AND DESCRIPTIONS**

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE
D002	CORROSIVE WASTE
D003	REACTIVE WASTE
D005	BARIUM
D006	CADMIUM
D007	CHROMIUM
D008	LEAD
D009	MERCURY
D010	SELENIUM
D011	SILVER
D016	2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)
D018	BENZENE
D027	1,4-DICHLOROBENZENE
D035	METHYL ETHYL KETONE
D039	TETRACHLOROETHYLENE
U002	2-PROPANONE (I) (OR) ACETONE (I)
U134	HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)
U154	METHANOL (I) (OR) METHYL ALCOHOL (I)
U188	PHENOL
U279	CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE

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# Detailed Facility Report

## Facility Summary

TARGET STORE T1015

3410 DR MARTIN LUTHER KING JR, NEW BERN, NC 28562

FRS (Facility Registry Service) ID: 110043981386  
 EPA Region: 04  
 Latitude: 35.099833  
 Longitude: -77.095632  
 Locational Data Source: FRS  
 Industries: General Merchandise Retailers  
 Indian Country: N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	03/16/2017
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information  
 Clean Water Act (CWA): No Information  
 Resource Conservation and Recovery Act (RCRA): Active SQG, (NC0991302901)  
 Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)  
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## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information  
 Greenhouse Gas Emissions (eGGRT): No Information  
 Toxic Releases (TRI): No Information  
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110043981386					N	35.099833	-77.095632
RCRAInfo	RCRA	NC0991302901	SQG	Active (H)			N	35.093842	-77.131625

### Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110043981386	TARGET STORE T1015	3410 DR MARTIN LUTHER KING JR, NEW BERN, NC 28562	Craven County
RCRAInfo	RCRA	NC0991302901	TARGET STORE T1015	3410 DR. MARTIN LUTHER KING JR. BLVD, NEW BERN, NC 28562	Craven County

### Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

### Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	NC0991302901	455110	Department Stores

### Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not counted in EPA compliance monitoring strategies or annual results.*

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	NC0991302901	No	08/06/2022	0	08/05/2022

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: NC0991302901)		10/01-12/31/19	01/01-03/31/20	04/01-06/30/20	07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22
	Facility-Level Status	No Violation Identified											
	Violation	Agency											

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Cost	Comp Action Cost
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No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (ICIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
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No data records returned

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

## Community

## EJScreen EJ Indexes

Twelve environmental justice (EJ) indexes of EJScreen, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. The index values below are for the Census block group or 1-mile maximum (US or State) in which the facility is located. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

Show EJ Indexes calculated based on: Census Block Group - US ▼

Census Block Group EJ Indexes (percentile)	
Particulate Matter 2.5	32.7
Ozone	27.7
Diesel Particulate Matter	39.7
Air Toxics Cancer Risk	30.9
Air Toxics Respiratory Hazard Index	26
Traffic Proximity	19.2
Lead Paint	41.6
Risk Management Plan (RMP) Facility Proximity	32.5
Hazardous Waste Proximity	35.1
Superfund Proximity	33.9
Underground Storage Tanks (UST)	11.9
Wastewater Discharge	60.2

Number of EJ Indexes Above 80th Percentile
0

[View EJScreen Report](#) (US/regional/state percentiles, 1-mile average)

## Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2015 - 2019 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	4,340
Population Density	1,388/sq.mi.
Housing Units in Area	2,131

General Statistics (ACS (American Community Survey))	
Total Persons	4,180
Percent People of Color	40%
Households in Area	1,908
Households on Public Assistance	197
Persons With Low Income	1,581
Percent With Low Income	38%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	35.099833
Center Longitude	-77.095632
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	272 (14.29%)
\$15,000 - \$25,000	162 (8.51%)
\$25,000 - \$50,000	595 (31.25%)
\$50,000 - \$75,000	338 (17.75%)
Greater than \$75,000	537 (28.2%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	229 (5%)
Minors 17 years and younger	849 (20%)
Adults 18 years and older	3,491 (80%)
Seniors 65 years and older	1,023 (24%)

Race Breakdown (U.S. Census) - Persons (%)	
White	3,132 (72%)
African-American	754 (17%)
Hispanic-Origin	151 (3%)
Asian/Pacific Islander	284 (7%)
American Indian	19 (0%)
Other/Multiracial	152 (4%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	338 (11.12%)
9th through 12th Grade	146 (4.8%)
High School Diploma	603 (19.84%)
Some College/2-year	670 (22.04%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	954 (31.38%)

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## RCRAInfo Facility Information

[<< Return](#)

<p><b>CARQUEST AUTO PARTS #1119</b> Handler ID: NCR000151670 1901 S GLENBURNIE RD NEW BERN, NC 28562</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.10511 <b>Longitude:</b> -77.09983</p> <p><b>Hazardous Waste Generator:</b> Very Small Quantity Generator</p> <p><b>Owner Name:</b> C F SMITH PARTNERSHIP #9 LLC</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
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**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
DILLON A ELIZABETH	PO BOX 26006	RALEIGH	NC	27616	919- 573- 3445	Public
ELIZABETH DILLON	PO BOX 26006	RALEIGH	NC	27616	919- 573- 3445	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Very Small Quantity Generator

**No PROCESS INFORMATION is available for the facility listed above.**

**LIST OF NAICS CODES AND DESCRIPTIONS**

NAICS CODE	NAICS DESCRIPTION
44131	AUTOMOTIVE PARTS AND ACCESSORIES STORES

**LIST OF WASTE CODES AND DESCRIPTIONS**

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE
D002	CORROSIVE WASTE
D003	REACTIVE WASTE
D005	BARIUM
D007	CHROMIUM
D008	LEAD
F001	THE FOLLOWING SPENT HALOGENATED SOLVENTS USED IN DEGREASING: TETRACHLOROETHYLENE, TRICHLORETHYLENE, METHYLENE CHLORIDE, 1,1,1-TRICHLOROETHANE, CARBON TETRACHLORIDE AND CHLORINATED FLUOROCARBONS; ALL SPENT SOLVENT MIXTURES/BLENDS USED IN DEGREASING CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
F003	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
F005	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
F035	WASTEWATERS, PROCESS RESIDUALS, PRESERVATIVE DRIPPAGE, AND SPENT FORMULATIONS FROM WOOD PRESERVING PROCESSES GENERATED AT PLANTS THAT USE INORGANIC PRESERVATIVES CONTAINING ARSENIC OR CHROMIUM. THIS LISTING DOES NOT INCLUDE K001 BOTTOM SEDIMENT SLUDGE FROM THE TREATMENT OF WASTEWATER FROM WOOD PRESERVING PROCESSES THAT USE CREOSOTE AND/OR PENTACHLOROPHENOL.

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**Total Number of Facilities Retrieved: 1**

**Data Refresh Information** <<https://epa.gov/resources/echo-data/about-the-data#sources>>



# Detailed Facility Report

## Facility Summary

CARQUEST AUTO PARTS #1119

1901 S GLENBURNIE RD, NEW BERN, NC 28562

FRS (Facility Registry Service) ID: 110044979226  
 EPA Region: 04  
 Latitude: 35.10511  
 Longitude: -77.09983  
 Locational Data Source: FRS  
 Industries: Motor Vehicle and Parts Dealers  
 Indian Country: N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	03/19/2014
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

Clean Air Act (CAA): No Information  
 Clean Water Act (CWA): No Information  
 Resource Conservation and Recovery Act (RCRA): Active VSQG, (NCR000151670)  
 Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)  
[Known Data Problems](#)

## Other Regulatory Reports

Air Emissions Inventory (EIS): No Information  
 Greenhouse Gas Emissions (eGGRT): No Information  
 Toxic Releases (TRI): No Information  
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110044979226					N	35.10511	-77.09983
RCRAInfo	RCRA	NCR000151670	VSQG	Active (H )			N	35.124078	-77.087142

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110044979226	CARQUEST AUTO PARTS #1119	1901 S GLENBURNIE RD, NEW BERN, NC 28562	Craven County
RCRAInfo	RCRA	NCR000151670	CARQUEST AUTO PARTS #1119	1901 S GLENBURNIE RD, NEW BERN, NC 28562	Craven County

## Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	NCR000151670	44131	Automotive Parts and Accessories Stores

## Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

## Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
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No data records returned

Entries in italics are not counted in EPA compliance monitoring strategies or annual results.

### Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	NCR000151670	No	08/06/2022	0	08/05/2022

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: NCR000151670)		10/01-12/31/19	01/01-03/31/20	04/01-06/30/20	07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
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No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Cost	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	----------	------------------

No data records returned

## Environmental Conditions

### Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database))	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (JCIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
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No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
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No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
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No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

No data records returned

## Community

## EJScreen EJ Indexes

Twelve environmental justice (EJ) indexes of EJScreen, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. The index values below are for the Census block group or 1-mile maximum (US or State) in which the facility is located. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

Show EJ Indexes calculated based on: Census Block Group - US ▼

Census Block Group EJ Indexes (percentile)	
Particulate Matter 2.5	32.7
Ozone	27.7
Diesel Particulate Matter	39.7
Air Toxics Cancer Risk	30.9
Air Toxics Respiratory Hazard Index	26
Traffic Proximity	19.2
Lead Paint	41.6
Risk Management Plan (RMP) Facility Proximity	32.5
Hazardous Waste Proximity	35.1
Superfund Proximity	33.9
Underground Storage Tanks (UST)	11.9
Wastewater Discharge	60.2

Number of EJ Indexes Above 80th Percentile
0

[View EJScreen Report](#) (US/regional/state percentiles, 1-mile average)

## Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2015 - 2019 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	4,005
Population Density	1,283/sq.mi.
Housing Units in Area	2,092

General Statistics (ACS (American Community Survey))	
Total Persons	3,854
Percent People of Color	43%
Households in Area	1,828
Households on Public Assistance	194
Persons With Low Income	1,579
Percent With Low Income	41%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	35.10511
Center Longitude	-77.09983
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	255 (13.94%)
\$15,000 - \$25,000	166 (9.08%)
\$25,000 - \$50,000	624 (34.12%)
\$50,000 - \$75,000	328 (17.93%)
Greater than \$75,000	456 (24.93%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	227 (6%)
Minors 17 years and younger	726 (18%)
Adults 18 years and older	3,278 (82%)
Seniors 65 years and older	1,115 (28%)

Race Breakdown (U.S. Census) - Persons (%)	
White	2,749 (69%)
African-American	773 (19%)
Hispanic-Origin	173 (4%)
Asian/Pacific Islander	305 (8%)
American Indian	22 (1%)
Other/Multiracial	156 (4%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	394 (13.75%)
9th through 12th Grade	142 (4.96%)
High School Diploma	570 (19.9%)
Some College/2-year	685 (23.91%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	778 (27.16%)

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## RCRAInfo Facility Information

[<< Return](#)

<p><b>MARINE &amp; INDUSTRIAL PLASTICS</b> Handler ID: NCD986185213 3498 MARTIN DR NEW BERN, NC 28562</p> <p><b>County Name:</b> CRAVEN</p> <p><b>Latitude:</b> 35.10344 <b>Longitude:</b> -77.09797</p> <p><b>Hazardous Waste Generator:</b></p> <p><b>Owner Name:</b> MARINE AND INDUSTRIAL PLASTICS</p>	<p><i>*You can navigate within the map with your mouse.</i></p>
--	---

**No BIENNIAL REPORT data is available for the facility listed above.**

**LIST OF FACILITY CONTACTS**

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
WILLIAMS HUNTER	3498 MARTIN DR	NEW BERN	NC	28562	252-224- 0256	Public
HUNTER WILLIAMS	3498 MARTIN DR	NEW BERN	NC	28562	252-224- 0256	Permit

**HANDLER / FACILITY CLASSIFICATION**

Unspecified Universe for the facility listed above.

**HANDLER TYPE**

Not in a universe

**No PROCESS INFORMATION is available for the facility listed above.**

**No NAICS Codes are available for the facility listed above.**

**LIST OF WASTE CODES AND DESCRIPTIONS**

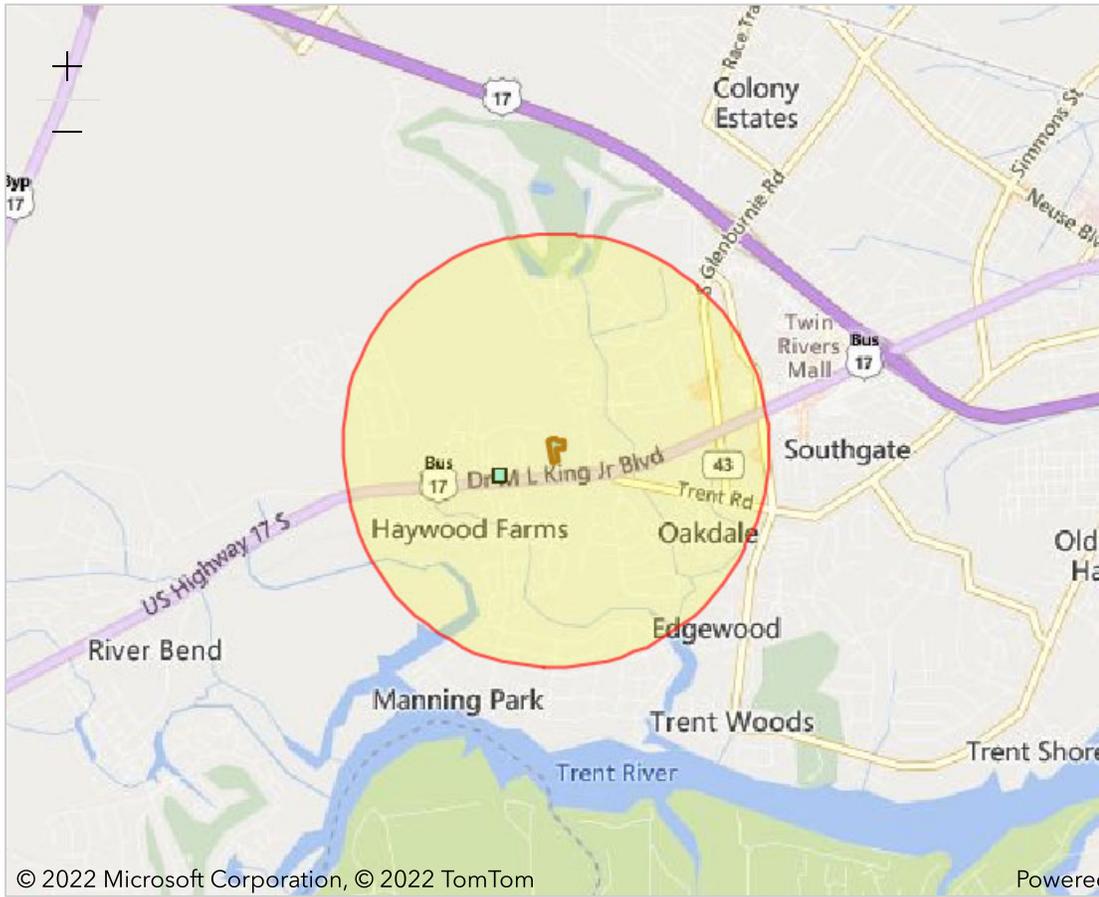
WASTE CODE	WASTE DESCRIPTION
------------	-------------------

F003	THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
U160	2-BUTANONE, PEROXIDE (R,T) (OR) METHYL ETHYL KETONE PEROXIDE (R,T)

Go To Top Of The Page

**Total Number of Facilities Retrieved: 1**

**Data Refresh Information** <<https://epa.gov/resources/echo-data/about-the-data#sources>>



**Report question: *Within 1 of a Toxic releases site? yes***

Modify question by entering a new buffer distance and unit for the selected study area:

**Name**

**Distance**

BAYLINER MARINE CORP (NEW BERN,NC) (<https://enviro.epa.gov/facts/tri/ef-facilities/#/Facility/28560BYLNR3800H>)

0.26 mile



# Detailed Facility Report

## Facility Summary

**BAYLINER MARINE CORP.**

3800 HWY. 17 S., NEW BERN, NC 28560

**FRS (Facility Registry Service) ID:** 110002338426

**EPA Region:** 04

**Latitude:** 35.095418

**Longitude:** -77.117746

**Locational Data Source:** TRIS

**Industries:** Transportation Equipment Manufacturing

**Indian Country:** N

## Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
<b>Compliance Status</b>	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

## Regulatory Information

**Clean Air Act (CAA):** No Information

**Clean Water Act (CWA):** No Information

**Resource Conservation and Recovery Act (RCRA):** Inactive Other, (NCD980803654)

**Safe Drinking Water Act (SDWA):** No Information

[Go To Enforcement/Compliance Details](#)  
[Known Data Problems](#)

## Other Regulatory Reports

**Air Emissions Inventory (EIS):** No Information

**Greenhouse Gas Emissions (eGGRT):** No Information

**Toxic Releases (TRI):** 28560BYLNR3800H

**Compliance and Emissions Data Reporting Interface (CEDRI):** No Information

## Facility/System Characteristics

### Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110002338426					N	35.095418	-77.117746
TRI	EP313	28560BYLNR3800H	Toxics Release Inventory	Last Reported for 1990			N	35.095418	-77.117746
RCRAInfo	RCRA	NCD980803654	Other	Inactive ( )			N		

## Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110002338426	BAYLINER MARINE CORP.	3800 HWY. 17 S., NEW BERN, NC 28560	Craven County
TRI	EP313	28560BYLNR3800H	BAYLINER MARINE CORP	3800 HWY 17 S, NEW BERN, NC 28560	Craven County
RCRAInfo	RCRA	NCD980803654	BAYLINER MARINE CORP	US HWY 17 S, NEW BERN, NC 28560	Craven County

## Facility SIC (Standard Industrial Classification) Codes

## Facility NAICS (North American Industry Classification System) Codes

System	Identifier	SIC Code	SIC Description	System	Identifier	NAICS Code	NAICS Description
--------	------------	----------	-----------------	--------	------------	------------	-------------------

System	Identifier	SIC Code	SIC Description	System	Identifier	NAICS Code	NAICS Description
TRI	28560BYLNR3800H	3732	Boat Building And Repairing	TRI	28560BYLNR3800H	336612	Boat Building

### Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
------------------	------------	---------------	---------------------------

No data records returned

## Enforcement and Compliance

Compliance Monitoring History

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

*Entries in italics are not counted in EPA compliance monitoring strategies or annual results.*

### Compliance Summary Data

Statute	Source ID	Current <u>SNC (Significant Noncompliance)/HPV (High Priority Violation)</u>	Current As Of	Qtrs with <u>NC (Noncompliance)</u> (of 12)	Data Last Refreshed
RCRA	NCD980803654	No	08/06/2022	0	08/05/2022

### Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: NCD980803654)		10/01-12/31/19	01/01-03/31/20	04/01-06/30/20	07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22	07/01-09/30/22
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												

Informal Enforcement Actions

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

*Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.*

Formal Enforcement Actions

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Cost	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	----------	------------------

No data records returned

## Environmental Conditions

### Watersheds

12-Digit <u>WBD (Watershed Boundary Dataset)</u> HUC ( <u>RAD (Reach Address Database)</u> )	<u>WBD (Watershed Boundary Dataset)</u> Subwatershed Name ( <u>RAD (Reach Address Database)</u> )	State Water Body Name ( <u>ICIS (Integrated Compliance Information System)</u> )	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with <u>ESA (Endangered Species Act)</u> -listed Aquatic Species?
--	---	--	---------------------------------	--------------------------------------	--	---

No data records returned

### Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	--------------	----------------------	----------------	-----------

No data records returned

### Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

## Pollutants

### Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to <u>POTWs (Publicly Owned Treatment Works)</u>	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	---	------------------------	------------------	------------------------	--------------------------

No data records returned

### Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name
---------------

## Community

### EJScreen EJ Indexes

Twelve environmental justice (EJ) indexes of EJScreen, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. The index values below are for the Census block group or 1-mile maximum (US or State) in which the facility is located. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

Show EJ Indexes calculated based on: Census Block Group - US ▼

Census Block Group EJ Indexes (percentile)	
Particulate Matter 2.5	39.3
Ozone	35
Diesel Particulate Matter	43.6
Air Toxics Cancer Risk	37.4
Air Toxics Respiratory Hazard Index	32.7
Traffic Proximity	23.3
Lead Paint	45.4
Risk Management Plan (RMP) Facility Proximity	40.9
Hazardous Waste Proximity	37.7
Superfund Proximity	37.9
Underground Storage Tanks (UST)	21.1
Wastewater Discharge	56.3

Number of EJ Indexes Above 80th Percentile
0

[View EJScreen Report](#) (US/regional/state percentiles, 1-mile average)

### Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2015 - 2019 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	3,259
Population Density	1,068/sq.mi.
Housing Units in Area	1,528

General Statistics (ACS (American Community Survey))	
Total Persons	1,900
Percent People of Color	20%
Households in Area	816
Households on Public Assistance	45
Persons With Low Income	445
Percent With Low Income	24%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	35.095418
Center Longitude	-77.117746
Land Area	97%
Water Area	3%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	46 (5.64%)
\$15,000 - \$25,000	85 (10.42%)
\$25,000 - \$50,000	177 (21.69%)
\$50,000 - \$75,000	113 (13.85%)
Greater than \$75,000	395 (48.41%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	213 (7%)
Minors 17 years and younger	684 (21%)
Adults 18 years and older	2,576 (79%)
Seniors 65 years and older	587 (18%)

Race Breakdown (U.S. Census) - Persons (%)	
White	2,548 (78%)
African-American	536 (16%)
Hispanic-Origin	99 (3%)
Asian/Pacific Islander	77 (2%)
American Indian	10 (0%)
Other/Multiracial	88 (3%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	19 (1.32%)
9th through 12th Grade	62 (4.31%)
High School Diploma	283 (19.65%)
Some College/2-year	305 (21.18%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	504 (35%)

LAST UPDATED ON AUGUST 4, 2022

[DATA REFRESH INFORMATION](#)

**Attachment H**  
**Phase I ESA Report**



## Phase I Environmental Site Assessment

**Palatine Meadows  
4140 Academic Drive  
New Bern, North Carolina 28562**



**Prepared for:**

Woda Cooper Companies, Inc  
500 South Front Street, 10th Floor  
Columbus, Ohio 43215

**Prepared by:**

Professional Service Industries, Inc.  
5021-A West W.T. Harris Boulevard  
Charlotte, North Carolina 28269

April 9, 2021

PSI Project Number: 04571591

A handwritten signature in blue ink, appearing to read "Dana Samelson".

Dana Samelson  
Environmental Assessor

A handwritten signature in blue ink, appearing to read "Jeff Townsend".

Jeff Townsend, LEP, REPA  
Principal Consultant

### Phase I ESA Summary Table

Professional Service Industries, Inc. (PSI), an Intertek company, performed a Phase I ESA of the Palatine Meadows located at 4140 Academic Drive, in New Bern, North Carolina 28562. PSI performed the assessment to comply with the contract between Woda Cooper Companies, Inc (the client) and PSI.

Our assessment did not include evaluation of BERs that are beyond the scope of ASTM E1527 (ASTM non-scope services, such as asbestos, mold, lead based paint, radon, wetlands, etc.).

Report Section		No Issues Identified	REC	CREC	HREC	VEC	De-minimis	BER Issue	Notes
3.0	USER-PROVIDED INFORMATION	✓							
5.2	SUBJECT PROPERTY OBSERVATIONS	✓							
5.3	OFF-SITE OBSERVATIONS	✓							
6.0	HISTORICAL USES	✓							
7.0	ENVIRONMENTAL REGULATORY RECORDS REVIEW	✓							
8.0	VAPOR ENCROACHMENT SCREENING	✓							



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PERSONNEL QUALIFICATIONS



## LIST OF COMMONLY USED ACRONYMS AND ABBREVIATIONS

ACM	Asbestos-Containing Material
AHERA	Asbestos Hazard Emergency Response Act
AMSL	Above Mean Sea Level
APN	Assessor's Parcel Number (also referred to as a PIN)
AST	Above-Ground Storage Tank
ASTM	American Society for Testing and Materials
AUL	Activity & Use Limitation
BER	Business Environmental Risk
BFA	Brownfields Agreement
Bgs	Below the ground surface
BTEX	Benzene, Toluene, Ethylbenzene, Xylenes
CERCLA	Comprehensive Environmental Response, Compensation & Liability Act
CERCLIS	Comprehensive Environmental Response, Compensation & Liability Information System (now called SEMS)
CESQG	Conditionally Exempt Small Quantity Generator of Hazardous Waste (now called VSQG)
CFR	Code of Federal Regulations
COC	Chemical(s) of Concern
CREC	Controlled Recognized Environmental Condition
CWA	Clean Water Act
DSCA	Dry Cleaning Solvent Cleanup Act
DWM	Division of Waste Management
DWR	Division of Water Resources
EDR	Environmental Data Resources, Inc.
EP	Environmental Professional
EPA	U.S. Environmental Protection Agency
ERIS	Environmental Risk Information Services, Inc.
ESA	Environmental Site Assessment
FEMA	Federal Emergency Management Agency



FOIA	Freedom of Information Act
HREC	Historical Recognized Environmental Condition
HSDS	Hazardous Substance Disposal Site
HUD	U.S. Department of Housing & Urban Development
HVAC	Heating, Ventilation & Air Conditioning System
IHSB	Inactive Hazardous Sites Branch
LAST	Leaking Above-Ground Storage Tank
LBP	Lead-Based Paint
LLP	Landowner Liability Protection
LQG	Large Quantity Generator of Hazardous Waste
LUST/ LST	Leaking Underground Storage Tank
MCL	Maximum Concentration Level
mg/kg	Milligrams per Kilogram
mg/L	Micrograms per liter
mg/L	Milligrams per Liter
MSDS	Material Safety Data Sheet (now called Safety Data Sheet (SDS))
MTBE	Methyl Tert-Butyl Ether
NCDEQ	North Carolina Department of Environmental Quality
ND	Not Detected
NFA	No Further Action (also called No Further Remediation (NFR))
NORP	Notice of Residual Petroleum
NORR	Notice of Regulatory Requirements
NOV	Notice of Violation
NPDES	National Pollution Discharge Elimination System
NPL	National Priorities List (a.k.a. Superfund)
NRCS	Natural Resources Conservation Service
NWI	National Wetlands Inventory
OSHA	U.S. Occupational Safety & Health Administration



PAH	Polynuclear (Polycyclic) Aromatic Hydrocarbons
PCB	Polychlorinated Biphenyl
PCE	Perchloroethylene (also called Tetrachloroethylene)
pCi/L	Picocuries per Liter
PFAS	Per & Polyfluoroalkyl Substances
PFOA	Perfluorooctanoic Acid
PFOS	Perfluorooctanesulfonic Acid
ppb	Parts per Billion
ppm	Parts per Million
RBCA	Risk-Based Corrective Action
RCRA	Resource Conservation & Recovery Act
REC	Recognized Environmental Condition
RFI	Request for Information
SF	Square Feet
SQG	Small Quantity Generator of Hazardous Waste
SSURGO	Soil Survey Geographic Database
TCE	Trichloroethylene
TPH	Total Petroleum Hydrocarbons
USACE	U.S. Army Corps of Engineers
USDA	U.S. Department of Agriculture
USFWS	U.S. Fish & Wildlife Service
USGS	U.S. Geological Survey
UST	Underground Storage Tank
VEC	Vapor Encroachment Condition
VES	Vapor Encroachment Screening
VIC	Vapor Intrusion Condition
VOC	Volatile Organic Compound

## CERTIFICATION

PSI, an Intertek company, has completed a Phase I ESA of the Palatine Meadows located at 4140 Academic Drive in New Bern, North Carolina ("the subject property"). PSI performed the Phase I ESA in conformance with ASTM E1527-13, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process* (the Practice). The assessment was completed at the request of Woda Cooper Companies, Inc ("the client") in accordance with the scope of work outlined in PSI's Proposal Number 0457-333206, which was authorized by the client on February 1, 2021.

The conclusions developed herein represent our professional judgment based on information and data available to us at the time of the assessment, and observations made at the time of our site reconnaissance. In accordance with ASTM E1527-13 § 4.6, the report is valid for a period of 180 days from the time of issuance.

Site Assessor:

A blue ink signature of Dana Samelson.

Dana Samelson  
Environmental Assessor

Reviewed by:

A blue ink signature of Jeff Townsend.

Jeff Townsend, LEP, REPA  
Principal Consultant

### ***Environmental Professional Certification***

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in 312.10 of this part. I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

Environmental  
Professional:

A blue ink signature of Andy Acosta.

Andy Acosta  
Department Manager



## 1.0 EXECUTIVE SUMMARY

### 1.1 FINDINGS

A summary of findings is provided below. The report should be read in its entirety to obtain a more complete understanding of the information provided and to aid in any decisions made or actions taken based on this information.

#### 1.1.1 SUBJECT PROPERTY DESCRIPTION AND CURRENT USE

The subject property consists of a 5.0± acre parcel located at 4140 Academic Drive, in New Bern, North Carolina. The property is currently mostly undeveloped with the exception of a cellphone tower developed on the northeastern portion of the property.

#### 1.1.2 ADJOINING PROPERTY DESCRIPTION AND USE

Usage of adjoining properties is discussed in the following table.

Direction	Description of Adjoining Property Use
North	Retention pond and Full Width Fabrication (metal fabricator) to the northeast; New Bern High School to the northwest.
East	James River Equipment (tractor dealer) and BBD Automotive.
South	Hardee's and James River Equipment (tractor dealer) followed by Dr. MLK Jr Blvd.
West	Academic Drive followed by housing development.

#### 1.1.3 HISTORICAL USE OF SUBJECT PROPERTY AND SURROUNDING AREA

##### SUBJECT PROPERTY

From 1901 to at least 1950 the subject property appeared to be vacant land likely used for agricultural purposes. By the early 1960s to at least the mid-1970s, structures appear to be developed on the southern portion of the property. By the early 1980s to at least the early-1990s, an additional structure that appears to be residential is observed on the north end of the property. The structures on the south portion of the property appear to have been razed and that portion of the property appears to be redeveloped with a long rectangular commercial structure. By 1998 the property appears to be developed with multiple commercial structures possibly cargo storage containers. By 2007, the subject property appears in its present-day configuration of mostly grass-covered property with a cellphone tower developed on the northeast portion of the property.



#### NORTH ADJOINING PROPERTY

From 1901 to at least 1903, the north adjoining property appears to be developed with a railway followed by a marsh/swamp area. Several structures also appear to be developed on the property. From 1938 to at least 1950, the railway developed on the north adjoining property appears to be followed by agricultural land. From the early 1960s to at least the early 1970s, the land appears to be commercially developed. From the mid-1970s to at least the late 1980s, the northwestern agricultural land is disturbed. A retention pond is under construction beginning in 1982. From the early 1990s to at least the late 2000s, a high school is observed to the north/northwest and the remaining agricultural land to the northeast is developed into residential land. By 2010, the north adjoining property appears more or less in its present-day configuration of wooded land.

#### EAST ADJOINING PROPERTY

From 1901 to at least the 1903, the east adjoining property appears to be vacant land followed by and unpaved road. From the late 1930s to at least the early 1950s, the east adjoining property appears to be agricultural land followed by Jimmies Creek Drive; vacant and wooded land beyond. From the early 1960s to at least the mid-1960s, the east adjoining property appears to be agricultural land followed by commercial structures and Jimmies Creek Drive. Vacant and wooded land beyond. From the mid-1970s to at least the late 1990s, the agricultural land is cleared and developed into commercial land with several structures, followed by Jimmies Creek Drive, a vacant field, then commercial property. By 2005, the east adjoining property appears in its present-day configuration of commercial property.

#### SOUTH ADJOINING PROPERTY

From 1901 to at least 1903, the south adjoining property appears to be vacant land followed by a road and tributary associated with Wilson Creek. Vacant land followed. From the late 1930s to at least the early 1950s, the south adjoining property appears as mostly agricultural land followed by Dr M L King Jr Blvd; mostly agricultural land beyond (wooded land to southwest). Several structures are observed (aerial photography). A tributary of Wilson Creek is observed to the southeast. From the early 1960s to at least the mid-1960s, the south adjoining property appears as mostly agricultural land followed by Dr M L King Jr Blvd; land appears to be further developed for either residential and/or commercial/retail use. Agricultural land beyond. From the mid-1970s to at least the early 1980s, Dr. M L King Jr Blvd is further developed. A mobile home community is observed to the southeast. A residential development is observed east of mobile home. Residential and agricultural land beyond (aerial photography). Tributary of Wilson Creek no longer depicted (topo map). From the early 1990s to at least the mid-2010s, immediately adjoining land is used for commercial purposes. Followed by Dr MLK Jr Blvd. Followed by Mill Outlet Village to the southwest and retail/commercial to the southeast (Colony Tires & Services and convenience store). Wooded land beyond to the south, residential land beyond to the southwest and southeast. By 2018, the south adjoining property appears to be developed with the present-day Hardee's restaurant followed by MLK Jr. Boulevard. Wooded land is cleared for development in 2020. Commercial and residential land beyond to the southeast and southwest

#### WEST ADJOINING PROPERTY



From 1901 to at least 1903, the west adjoining property appears to be vacant with no structures. From the late 1930s to at least the early 1970s, the west adjoining property appears to be partially wooded and agricultural land. Several structures that appear to be residential are depicted in 1950. From the early 1980s to at least the late 1980s, Academic Dr appears to be developed followed by developed land, followed by commercial land and agricultural field beyond. From the early 1990s to at least the mid-2000s, Academic Dr appears to be followed by commercial and wooded land. Residential and commercial/industrial land beyond. By 2006, the west adjoining property appears to be in its present-day of configuration of Academic Drive followed by commercial property to the south and residential property to the north.

#### **1.1.4 GOVERNMENTAL RECORDS REVIEW**

PSI subcontracted with ERIS to provide a review of governmental database records for spill sites, tanks, hazardous waste handlers, and other facilities of potential concern within proximity to the subject property.

The subject property was not identified as a spill site or regulated facility on the regulatory databases that were searched.

One or more off-site facilities were identified in the database search within the appropriate AMSD and were evaluated by PSI during this assessment. These facilities are discussed in Section 7.1 of this report and the regulatory radius map report is appended.

#### **1.1.5 SIGNIFICANT DATA GAPS**

The ASTM E1527 Standard Practice defines a significant data gap as a lack of or inability to obtain information required by the practice that would limit our ability to draw conclusions with regard to RECs in connection with the subject property. Based on our experience, the information that we gathered and evaluated did not present significant data gaps that affected our ability to identify RECs in connection with the subject property.

### **1.2 CONCLUSIONS**

PSI performed a Phase I ESA of the subject property in conformance with the scope and limitations of ASTM Practice E1527-13. Any exceptions to or deletions from this practice are described in Section 2.3 of this report. The following conclusions have been made with regard to evidence of RECs, HRECs, CRECs, VECs, and de minimis conditions in connection with the subject property, as defined in ASTM E1527-13.

#### **1.2.1 RECOGNIZED ENVIRONMENTAL CONDITIONS**

This assessment has revealed no evidence of RECs in connection with the subject property.

#### **1.2.2 CONTROLLED RECOGNIZED ENVIRONMENTAL CONDITIONS**

This assessment has revealed no evidence of CRECs in connection with the subject property.



### **1.2.3 HISTORICAL RECOGNIZED ENVIRONMENTAL CONDITIONS**

This assessment has revealed no evidence of HRECs in connection with the subject property.

### **1.2.4 VAPOR ENCROACHMENT CONDITIONS**

This assessment has revealed no VECs in connection with the subject property.

### **1.2.5 DE MINIMIS CONDITIONS**

PSI did not identify evidence of de minimis conditions on the subject property.

## **1.3 RECOMMENDATIONS**

PSI recommends no further assessment for RECs in connection with the subject property at this time.



## 2.0 PHASE I ESA SCOPE AND METHODOLOGY

### 2.1 PURPOSE OF SERVICES

PSI performed the Phase I ESA in conformance with ASTM E1527-13, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process* (the Practice). The purpose of the Practice was to define good commercial practice for conducting a Phase I ESA and as such, the Practice is intended to permit the user to satisfy one of the requirements to qualify for the LLPs. The goal of the processes established by the Practice is to identify RECs in connection with the subject property.

Based on the information provided, PSI understands that your purpose for having the Phase I ESA performed is to satisfy one of the requirements to qualify for one of the LLPs.

### 2.2 PHASE I ESA METHODOLOGY

PSI performed a Phase I ESA of the subject property. The scope of our services and general methodology is presented below.

The information sources that PSI used, including published material, material obtained from commercial and other sources, is listed below and cited as it is presented in the report. The information or excerpts thereof is appended.

This assessment included the following components:

- Records review;
- Reconnaissance;
- Interviews;
- VES in accordance with ASTM E2600-15, *Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions* [VES Standard Guide]; and
- Preparation of this report, including our evaluation.

### 2.3 LIMITATIONS, EXCEPTIONS, DEVIATIONS AND DATA GAP

PSI considers that limitations, exceptions, and deviations from the Practice manifest as a lack of or inability to obtain information required by the Practice. This represents the definition of the 'data gap' contained in the Practice. PSI listed the component objectives of the Practice on the appended Data Gap Worksheet and tracked the information obtained against the objectives. Therefore, the limitations, exceptions and deviations are identified in the Worksheet.

In general, when required information was incomplete, not provided, otherwise not obtained, or indicated a need for additional information, PSI attempted to use information from other sources to meet the Practices' performance objectives. When the data gaps affected the Environmental Professional's ability to identify RECs, PSI considered the data gap(s) to be significant. PSI identified significant data gaps (if any) on the Data Gap Worksheet and reported them in Section 1.1.5.



## 2.4 SIGNIFICANT ASSUMPTIONS

PSI made the following significant assumptions in developing our Phase I ESA findings and conclusions:

- Regulatory Agency Information - PSI considers all information provided by our environmental database subcontractor regarding the regulatory status of facilities to be complete, accurate and current.
- Other Regulatory Information - PSI considers all information obtained from regulatory or other governmental agencies to be complete, accurate and current.
- Title, Lien and AUL Information - PSI considers all information provided by real estate title record review firms regarding property use or ownership, encumbrances or other limitations, if provided, to be complete, accurate and current.
- Interviews - PSI considers all information provided through interviews to be accurate, complete, unbiased, current, and provided in good faith.
- Groundwater - PSI interpreted and inferred the direction of the shallow groundwater movement based on the information we obtained during this assessment and our experience. Actual groundwater flow may be locally influenced by many factors beyond the scope of this assessment. Subsurface investigation is typically necessary to determine site-specific groundwater flow direction.



### 3.0 USER-PROVIDED INFORMATION

PSI considers the client to be the 'User' of our assessment, defined in ASTM Practice E1527 as "the party seeking to use ASTM E1527 to complete a Phase I ESA of the property. A User may include, without limitation, a potential purchaser of property, a potential tenant of property, an owner of property, a lender, or a property manager. The User has specific obligations for completing a successful application of this practice...."

#### 3.1 USER QUESTIONNAIRE

The EPA All Appropriate Inquiry Rule (40 CFR Part 312) and ASTM E1527 § 6 require the User to answer certain questions related to the subject property, in order to obtain certain LLPs from CERCLA liability. To facilitate this process, PSI provided the client with a User Questionnaire, which is appended if it has been returned. A summary of the required questions and client responses is provided below.

Question	Yes	No	Unknown	N/A	Client did not respond
Did a review of recorded land title records or other sources identify any environmental liens filed or recorded against the subject property under federal, tribal, state or local law?		✓			
Did a review of land title records or other sources identify any activity use limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place on the subject property?		✓			
Do you have specialized knowledge or experience related to the subject property or nearby properties?		✓			
Does the purchase price being paid reasonably reflect the fair market value of the subject property?	✓				
If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the property?				✓	



Question	Yes	No	Unknown	N/A	Client did not respond
Are you aware of commonly known or reasonably ascertainable information about the property that would help the environmental professional to identify conditions indicative of a releases or threatened releases? For example:					
Do you know of the past uses of the property?		✓			
Do you know of specific chemicals that are present or were once present at the property?		✓			
Do you know of spills or other chemical releases that have taken place at the property?		✓			
Do you know of any environmental cleanups that have taken place at the property?		✓			
Based on your knowledge and experience related to the subject property are there any obvious indicators that point to the presence or likely presence of contamination at the subject property?		✓			
Do you know of any pending, threatened, or past litigation or administrative proceedings relevant to hazardous substances or petroleum products in, on, or from the property?		✓			
Do you know of any notices from any governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products?		✓			

**NOTES**

The client returned PSI’s questionnaire indicating ‘NO’ to the questions: “Did a review of land title records (or judicial records where appropriate) identify any environmental cleanup liens filed or recorded against the subject property under federal, tribal, state or local law?” or “Did a review of land title records (or judicial records where appropriate) identify any activity and land use limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place at the subject property and/or have been filed or recorded in a registry under federal, tribal, state, or local law?” The completed questionnaire is appended.



### **3.2 TITLE RECORDS**

Based on a review of the local tax assessor's records, the subject property is currently owned by Raines Properties LLC.

The property was transferred from Raines, Marvin L JR & McCotter to the current owner in 2012.

The Client did not provide title records to PSI, but indicated in the User Questionnaire that they were not aware of environmental liens or AULs recorded in connection with the subject property. We presume that the client will conduct a title review to search for liens/AULs outside the scope of this assessment.

### **3.3 SUGGESTED INFORMATION**

The client provided PSI with the following suggested information described by the Practice.

- The reason for performing the Phase I ESA.
- The type of property and type of property transaction.
- The complete and correct address of the subject property or other documentation identifying the location and extents of the subject property.
- The scope of services desired for the Phase I ESA, including any evaluation for BERs or other items that are beyond the scope of ASTM E1527.
- Identification of the parties who will rely upon the report.
- Identification of the key site contact and contact information.

### **3.4 HELPFUL DOCUMENTS AND PRIOR INVESTIGATIONS**

The Practice requires that the environmental professional ask the subject property owner, the key site manager (if any is identified), and the User for certain helpful documents about the property and certain legal proceedings involving hazardous substances and the subject property. PSI mailed or e-mailed questions or performed interviews requesting this information.

The client did not provide prior environmental reports or other helpful documents within the performance period of this assessment.



## 4.0 PHYSICAL SETTING

PSI reviewed USGS topographic (topo) maps, information from the USDA and/or NRCS and/or other information regarding the physical setting of the subject property to assist with the interpretation of subsurface water movement near the subject property. Physical setting information is summarized in the table below.

### Summary of Physical Setting Information

Physical Setting Attributes	Description	Source
Subject property elevation:	Approximately 19 feet AMSL	Topo Map "New Bern, NC" 7.5 minute Quadrangle, 2016
Topographic gradient:	The subject property and surrounding area is generally flat.	Topo Map ERIS Physical Setting Report Google Earth
Closest surface water:	Retention/storm pond located on the north adjoining property.	ERIS Physical Setting Report Google Earth
Other resource or physical characteristics mapped on the subject property?	No	ERIS Physical Setting Report
Is a flood hazard zone mapped on the subject property?	No	ERIS Physical Setting Report



Physical Setting Attributes	Description	Source
<p>Predominant soil type(s) mapped on the subject property:</p>	<p>GoA- Goldsboro loamy fine sand, 0 to 2 percent slopes. This map unit is found on flats on marine terraces, coastal plains. This soil type is moderately well drained with moderately high to high permeability. This soil type is not considered hydric.</p> <p>To- Torhunta fine sandy loam, 0 to 2 percent slopes. This map unit is found on marine terraces, depressions, coastal plains. This soil type is very poorly drained with moderately high to high permeability. This soil is considered hydric.</p>	<p>ERIS Physical Setting Report</p>
<p>Geology/Hydrogeology:</p>	<p>River Bend Formation - limestone, calcarenite overlain by and intercalated with indurated, sandy, molluscan-mold limestone.</p>	<p>ERIS Physical Setting Report</p>
<p>Estimated depth to first groundwater:</p>	<p>Characteristics are indeterminate based on the qualitative data that PSI reviewed during this assessment. Therefore we are unable to infer the estimated depth to first groundwater.</p>	<p>ERIS Physical Setting Report</p>
<p>Anticipated regional groundwater flow direction:</p>	<p>South</p>	<p>ERIS Physical Setting Report</p>
<p>Oil and Gas Resources:</p>	<p>None mapped on or adjacent to the subject property</p>	<p>ERIS Physical Setting Report</p>
<p>Mining Resources:</p>	<p>None mapped on or adjacent to the subject property</p>	<p>ERIS Physical Setting Report</p>



## 5.0 SITE RECONNAISSANCE

The location and approximate boundaries of the subject property are illustrated on the appended figures. The legal description of the subject property, if provided to PSI, is appended.

Ian Matey, Pre Construction Specialist of Woda Cooper Companies, Inc. granted PSI access to the subject property. Our assessor was unescorted during the site reconnaissance.

The ground reconnaissance consisted of observing the periphery of the subject property and viewing the subject property from accessible adjoining public access areas. Visual reconnaissance of adjoining properties was limited to areas and facilities that were readily observable from the subject property or from public access areas. PSI also systematically toured the interior portions of the subject property to provide an overlapping field of view.

The peripheries of surface features and/or structures, where present on the subject property, were observed along with accessible interior common areas.

PSI photographed selected features. The captioned photographs collected during the site reconnaissance are appended.

### 5.1 SUBJECT PROPERTY DESCRIPTION AND CURRENT USES

<b>General Subject Property Information</b>	
<b>Subject Property Address</b>	4140 Academic Drive, New Bern, North Carolina 28562
<b>Parcel Identification Number(s)</b>	8-211-008
<b>Parcel Size (acres)</b>	5.0±
<b>Subject Property Contact/Escort</b>	Ian Matey / None
<b>Date of Reconnaissance</b>	March 22, 2021
<b>Utilities</b>	
<b>Water</b>	Not Provided
<b>Wastewater/Sewer</b>	Not Provided
<b>Electricity</b>	Not Provided
<b>Natural Gas</b>	Not Provided

The subject property consists of a 5.0± acre parcel located at 4140 Academic Drive, in New Bern, North Carolina. The property is currently mostly undeveloped with the exception of a cellphone tower developed on the northeastern portion of the property.



## 5.2 SUBJECT PROPERTY OBSERVATIONS

A summary of the subject property uses and conditions is tabulated below. Detailed information is discussed following the summary for any "yes" answers, along with an opinion about the significance of the observation.

Identified? (check if Yes)	Item Description
<b>Equipment/Activities/Uses</b>	
	Medical/Dental Offices - Biomedical Wastes
	Dry Cleaners/Laundromats
	Automotive/Equipment Repair
	Emergency Generators
	Elevators
	Hydraulic Lifts
	Photo Processing
	Grease Traps and Oil/Water Separators
	Wastewater Treatment Systems
	Septic or Sewage Tanks
	Air Compressors
✓	Transformers or Other Mechanical/Electrical Equipment That Could Contain PCBs
	Pipeline Markers
	Oil and Gas Wells
	Stormwater Retention/Detention Systems
	Quarries, Pits, Lakes, Ponds, or Lagoons
	Use, Storage, or Disposal of Hazardous Substances
	Use, Storage, or Disposal of Petroleum Products
	ASTs/USTs
	Drums or Other Bulk Chemical Containers
	Suspect Containers/Unidentified Contents
✓	Drains or Sumps



<b>Identified? (check if Yes)</b>	<b>Item Description</b>
	Drinking Water, Irrigation, or Monitoring Wells
	Agrochemical Use/Application
	Railroad Spur, Siding, or Right-of-Way
	Interior/Pavement Stains or Corrosion
	Stained Soil/Stressed Vegetation
	Chemical Odors
	Surface Water Sheen or Discoloration
	Exterior Pipe Discharges/Unknown Pipes/Effluent Discharges
✓	Pools of Liquid or Standing Water
	Solid Waste Dumping/Landfilling/Suspect Fill Material
	Construction Debris/Material Stockpiles
	Other Uses or Conditions of Concern

### 5.2.1 TRANSFORMERS OR OTHER ELECTRICAL OR MECHANICAL EQUIPMENT THAT COULD CONTAIN PCBS

One pad-mounted electrical transformers and/or electrical switchgear was observed at western boundary of the subject property. PSI did not observe non-PCB labeling on the transformers at the time of the site reconnaissance. PSI believes the electrical equipment is the property and responsibility of Not Provided, the local electrical utility company, who would be responsible for cleanup related to the equipment that could not be attributed to tenant negligence. The identified electrical equipment appeared to be in good condition, with no apparent evidence of staining, leakage, or corrosion noted. Based on their observed condition and the local utility ownership, the observed transformer is not considered to be evidence of a REC in connection with the subject property.

### 5.2.2 DRAINS OR SUMPS

PSI observed a drainage ditch along the western property boundary. PSI observed standing water in the drainage ditch, but no staining or stressed vegetation in the vicinity of the ditch at the time of the site reconnaissance. The presence of this drainage ditch is not considered to be evidence of a REC in connection with the subject property.



### 5.2.3 POOLS OF LIQUID OR STANDING WATER

PSI observed small pools of standing water at the subject property. These pools can be attributed to recent rains and are not considered to be evidence of a REC in connection with the subject property.

### 5.3 OFF-SITE OBSERVATIONS

A summary of the adjoining property uses and conditions is tabulated below. Detailed information is discussed following the summary for any "yes" answers, along with an opinion about the significance of the observation.

Direction	Description of Adjoining Property Use
North	Retention pond and Full Width Fabrication (metal fabricator) to the northeast; New Bern High School to the northwest.
East	James River Equipment (tractor dealer) and BBD Automotive.
South	Hardee's and James River Equipment (tractor dealer) followed by Dr. MLK Jr Blvd.
West	Academic Drive followed by housing development.

Identified? (check if Yes)	Item Description
	<b>Equipment/Activities/Uses</b>
	Medical/Dental Offices - Biomedical Wastes
	Dry Cleaners/Laundromats
	Automotive/Equipment Repair
	Emergency Generators
	Elevators
	Hydraulic Lifts
	Photo Processing
	Grease Traps and Oil/Water Separators
	Wastewater Treatment Systems
	Septic or Sewage Tanks
	Air Compressors
✓	Transformers or Other Mechanical/Electrical Equipment That Could Contain PCBs



<b>Identified? (check if Yes)</b>	<b>Item Description</b>
	Pipeline Markers
	Oil and Gas Wells
✓	Stormwater Retention/Detention Systems
	Quarries, Pits, Lakes, Ponds, or Lagoons
	Use, Storage, or Disposal of Hazardous Substances
	Use, Storage, or Disposal of Petroleum Products
	ASTs/USTs
	Drums or Other Bulk Chemical Containers
	Suspect Containers/Unidentified Contents
	Drains or Sumps
	Drinking Water, Irrigation, or Monitoring Wells
	Agrochemical Use/Application
	Railroad Spur, Siding, or Right-of-Way
	Interior/Pavement Stains or Corrosion
	Stained Soil/Stressed Vegetation
	Chemical Odors
	Surface Water Sheen or Discoloration
	Exterior Pipe Discharges/Unknown Pipes/Effluent Discharges
	Pools of Liquid or Standing Water
	Solid Waste Dumping/Landfilling/Suspect Fill Material
	Construction Debris/Material Stockpiles
	Other Uses or Conditions of Concern

### 5.3.1 TRANSFORMERS OR OTHER MECH./ELEC. EQUIPMENT THAT COULD CONTAIN PCBS

One pad-mounted electrical transformer was observed on the south adjoining property. PSI did not observe non-PCB labeling on the transformer at the time of the site reconnaissance. PSI believes the electrical equipment is the property and responsibility of the local electrical company, who would be responsible for cleanup related to the equipment that could not be attributed to tenant negligence. The identified



electrical equipment appeared to be in good condition, with no apparent evidence of staining, leakage, or corrosion noted. Based on their observed condition and the local utility ownership, the observed transformer is not considered to be evidence of a REC in connection with the subject property.

### **5.3.2 STORMWATER RETENTION/DETENTION SYSTEMS**

PSI identified a stormwater retention basin located on a northern adjoining property and one on a southern adjoining property. A drop inlet was observed at the latter. No obvious staining, stressed vegetation, or oily sheen was noted in connection with standing water observed at the bottom of the basin area at the time of the site reconnaissance. PSI was unable to observe where the water discharged in and out of the basins. As such, the presence of the identified stormwater retention basins is not considered to represent evidence of a REC in connection with the subject property.



## 6.0 HISTORICAL USES

PSI utilized readily ascertainable historical data resources in order to research the history of the subject property and surrounding area. The intent of this review was to identify historical tenancies or uses of the subject property and surrounding area, which might be considered evidence of a REC. Generally, PSI reviewed the following readily ascertainable historical data resources, where they were available:

- Readily available historical topographic maps were reviewed to evaluate land development in the area over time. It should be noted that the scale of topographic maps in some cases does not allow for mapping of individual structures and developed areas may be shown by shading only.
- Selected historical aerial photographs were reviewed at 5-10 year intervals to obtain information concerning the development and history of the subject property and surroundings.
- PSI reviewed readily ascertainable historical city directories at 5-10 year intervals in order to obtain information on tenancies on the subject property and adjoining properties.
- PSI requested available historical fire insurance maps from ERIS. The Sanborn® Map Company and other regional providers historically mapped urban areas for use by insurance underwriters. In some cases, these maps provide useful information in evaluating previous tenancies and uses of the subject property and surrounding area. "Sanborn", "Sanborn Map", "Sanborn Map Company", and "Sanborn Fire Insurance Maps" are recognized trademarks of the Sanborn Map Company, a subsidiary of Environmental Data Resources, Inc.

Copies of select historical documents are provided in the report appendix; however, it should be noted that some of the resources used by PSI may be copyrighted and PSI has summarized these resources herein, but we have not included copies of these resources in the appendix.

### 6.1 CURRENT AND PRIOR USE INTERVIEWS

PSI conducted or attempted to conduct interviews with persons who are knowledgeable of the current use and history of the subject property. The following individuals were interviewed.

Name	Title/Role	Date Interviewed	Summary
Denis Blackburne	Client	Various	No information regarding RECs in connection with the subject property.
Ian Matey	Owner Representative	March 22, 2021	Mr. Matey provided PSI access to the subject property.



Name	Title/Role	Date Interviewed	Summary
Danny Hill	City of New Bern Fire Marshal	March 12, 2021	Responded: "Our records do not indicate any fire department responses to the referenced address"

No evidence of RECs was identified as a result of the interviews conducted during this assessment.

## 6.2 SUMMARY OF RESOURCES

PSI reviewed the following resources in order to evaluate the historic uses of the subject property, adjoining and/or surrounding area.

Source Type	Years Reviewed	Source
Topo Maps	1901, 1903, 1950, 1974, 1983, 1988, 1994, 2016	ERIS
Aerial Photographs	1938, 1950, 1961, 1964, 1974, 1982, 1983, 1993, 1998, 2005, 2006, 2008, 2009, 2010, 2012, 2014, 2016, 2018, 2020	ERIS
Aerial Photographs	1985, 1993, 1998, 2004-2009, 2011, 2014, 2015, 2017-2019	The Google Earth Application
City Directories	1937, 1941, 1947-48, 1954, 1964, 1967, 1970, 1975, 1980, 1985, 1990, 1995, 2000, 2005, 2010, 2015, 2020	ERIS
Fire Insurance Maps	Unmapped Property	ERIS
Property Cards	2020	The Craven County GIS Website

## 6.3 SUMMARY HISTORY OF THE SUBJECT PROPERTY AND VICINITY

A chronological summary of the history and use of the subject property and immediately adjoining and surrounding properties is provided in the following tables.



### 6.3.1 SUBJECT PROPERTY

Year(s)	Interpreted Use/Observations
1901-1903	Vacant land (topo map).
1938-1950	Appears to be agricultural land with no apparent structures (aerial photography and topo map).
1961-1974	A few structures are observed on south portion of property (aerial photography).
1982-1993	An additional structure that appears to be residential is observed on the north end of the property. The structures on the south portion of the property are no longer observed, instead long rectangular commercial structures are observed in 1993 (aerial photography and topo maps).
1998	Property appears to be developed with multiple commercial structures possibly cargo storage containers.
2004-2020	Property is now mostly grass-covered with some tree coverage with no structures observed until 2005, when an unpaved driveway leading to a cement pad is observed on northeast corner of property. A tall pole structure is observed on cement pad in 2007 (aerial photography).

The subject property appeared to be used for agricultural purposes. Although no information or observations indicating the misuse or misapplication of pesticides, herbicides, or fertilizers was obtained during the site reconnaissance, in certain instances, the chemicals historically applied to the property, or their breakdown products, could be persistent and not biodegrade. As with agriculturally developed land, there exists the possibility that pesticides, herbicides, or fertilizers have been applied that may still be present at residual concentrations. Therefore, although some potential exists that you should be aware of, PSI does not consider this occurrence to represent a REC in connection with the subject property.

No evidence of RECs was identified as a result of the historical review of the subject property that was conducted during this assessment.

### 6.3.2 IMMEDIATELY ADJOINING AND/OR SURROUNDING PROPERTIES

NORTH	
Year(s)	Interpreted Use/Observations
1901-1903	A railway followed by marsh/swamp land. Several structures are depicted (topo maps).
1938-1950	A railway followed by agricultural land to the north and northeast, wooded land to the northwest (aerial photography and topo map).
1961-1974	Land developed for commercial use to the northeast (aerial photography and topo map).



<b>NORTH</b>	
<b>Year(s)</b>	<b>Interpreted Use/Observations</b>
1974-1988	The northwestern agricultural land is disturbed. A retention pond is under construction beginning in 1982 (aerial photography and topo map).
1993-2009	A high school is observed to the north/northwest and the remaining agricultural land to the northeast is developed into residential land (aerial photography and topo map).
2010-2020	Same as above with a retention pond observed immediately adjoining. Additional commercial structures are observed immediately adjoining to the north/northeast (aerial photography and topo map).

<b>EAST</b>	
<b>Year(s)</b>	<b>Interpreted Use/Observations</b>
1901-1903	Vacant land followed by an unpaved road; vacant and wooded land beyond (topo maps).
1938-1950	Agricultural land followed by Jimmies Creek Drive; vacant and wooded land beyond (aerial photography).
1961-1964	Agricultural land followed by commercial structures and Jimmies Creek Dr. Vacant and wooded land beyond (aerial photography).
1974-1998	Agricultural land is cleared and developed into commercial land with several structures, followed by Jimmies Creek Dr, a vacant field, then commercial property (aerial photography and topo maps).
2005-2020	Vacant field east of Jimmies Creek Dr is cleared and developed into commercial property (aerial photography and topo map).

<b>SOUTH</b>	
<b>Year(s)</b>	<b>Interpreted Use/Observations</b>
1901-1903	Vacant land followed by a road and tributary of Wilson Creek. Vacant land beyond (topo maps).
1938-1950	Mostly agricultural land followed by Dr M L King Jr Blvd; mostly agricultural land beyond (wooded land to southwest). Several structures are observed (aerial photography). A tributary of Wilson Creek is observed to the southeast (topo map).
1961-1964	Mostly agricultural land followed by Dr M L King Jr Blvd; land appears to be further developed for either residential and/or commercial/retail use. Agricultural land beyond (aerial photography).



<b>SOUTH</b>	
<b>Year(s)</b>	<b>Interpreted Use/Observations</b>
1974-1983	Land south of Dr M L King Jr Blvd is further developed. A mobile home community is observed to the southeast. A residential development is observed east of mobile home. Residential and agricultural land beyond (aerial photography). Tributary of Wilson Creek no longer depicted (topo map).
1993-2016	Immediately adjoining land is used for commercial purposes. Followed by Dr MLK Jr Blvd. Followed by Mill Outlet Village to the southwest and retail/commercial to the southeast (Colony Tires & Services and convenience store). Wooded land beyond to the south, residential land beyond to the southwest and southeast (aerial photography and topo maps).
2018-2020	Immediately adjoining land is developed into commercial property (Hardee's). Wooded land is cleared for development in 2020. Commercial and residential land beyond to the southeast and southwest (aerial photography).

<b>WEST</b>	
<b>Year(s)</b>	<b>Interpreted Use/Observations</b>
1901-1903	Vacant land with with no structures (topo maps).
1938-1974	Partially wooded and agricultural land. Several structures that appear to be residential are depicted in 1950 (aerial photography and topo map).
1982-1988	Academic Dr followed by developed land, followed by commercial land and agricultural field beyond (aerial photography and topo maps).
1993-2005	Academic Dr followed by commercial and wooded land. Residential and commercial/ industrial land beyond (aerial photography and topo map).
2006-2020	Most of the wooded land is cleared and developed into a housing development (aerial photography and topo map).

An adjoining property or properties appear to have been used for agricultural purposes. Although no information or observations indicating the misuse or misapplication of pesticides, herbicides, or fertilizers was obtained during the site reconnaissance, in certain instances, the chemicals historically applied to the property, or their breakdown products, could be persistent and not biodegrade. As with any agriculturally developed land, there exists the possibility that pesticides, herbicides, or fertilizers have been applied that may still be present at residual concentrations. Therefore, although some potential exists that you should be aware of, PSI does not consider this occurrence to represent a REC in connection with the subject property.



It should be noted that adjoining property appears to have formerly been a railroad right-of-way. While no information indicating the misuse or misapplication of herbicides, or the misuse or improper placement of creosote-covered railroad ties was obtained during this assessment, in certain instances, the chemicals historically applied to the adjoining property and railroad ties historically placed on the adjoining property could be persistent and not biodegrade. As with any land that has been developed as a railroad right-of-way, there exists the possibility that herbicides have been applied or creosote-covered railroad ties placed which may still be present on adjoining property and which may have impacted the subject property. However, PSI does not consider the presence of this railroad right-of-way to be evidence of a REC in connection with the subject property.

No evidence of RECs was identified as a result of the historical review of adjoining and surrounding properties that was conducted during this assessment.



## **7.0 ENVIRONMENTAL REGULATORY RECORDS REVIEW**

### **7.1 DATABASE FINDINGS**

PSI retained ERIS to provide environmental database information attributed to the subject property and its surroundings. ERIS obtains environmental databases published by local, state, tribal, and federal agencies and maps the information for electronic searches. ERIS's service includes reporting Standard Environmental Records Sources as listed in the Practice.

The search, where applicable, was performed to AMSDs listed in ASTM E1527-13. The search radius required by ASTM varies by database.

ERIS also provides data for searches of other regulatory databases they believe may have useful information. The AMSDs for those databases are determined by ERIS.

Unplottable (orphan) sites (if any were listed) having insufficient address information to be mapped were evaluated for potential location within the applicable AMSD. Those that could be determined to be within the AMSD are discussed, as appropriate.

The distribution of listed sites with respect to the subject property is tabulated and mapped in ERIS's Database Report, which is appended. The reader is referred to the table, which can be found near the front of ERIS's report. The full names of the database abbreviations and acronyms used below and in ERIS's report can be found in the Database Descriptions appendix of that report.

#### **7.1.1 SUBJECT PROPERTY**

The subject property was not listed on the searched governmental databases as a spill site or regulated facility.

#### **7.1.2 ADJOINING PROPERTIES**

ERIS's report did not identify sites adjoining the subject property.

#### **7.1.3 SURROUNDING PROPERTIES**

ERIS identified a number of regulated facilities and/or spill sites within the search radius. Those non-adjoining sites that warranted further discussion are summarized and discussed in the table below. PSI considered the remaining database listings unlikely to impact the subject property based upon factors including (but not limited to):

- The nature of the listing;
- The use of the facility;
- When the facility was listed and its current listed status;



- The developmental density of the setting;
- The potential for vapors to encroach from the property to the subject property;
- The distance between the listing and subject sites related to whether releases are likely to migrate based on local surface and subsurface drainage conditions; and/or
- The presence of intervening drainage divides; and/or inferred groundwater movement.

## **7.2 REGULATORY AGENCY INQUIRIES**

PSI sought information about the subject property and/or surrounding area from the governmental agencies listed in the following sections. Information was requested by telephone, in person, via e-mail, through an RFI, or through a written FOIA or equivalent request, as appropriate.

### **7.2.1 STATE REGULATORY AGENCY**

PSI submitted a FOIA request, or their state or local equivalent, to NC DEQ. However, a response has not been received from that agency as of the date of this report. This is a limitation and evaluated on the appended Data Gap Worksheet. When a response is received, it will be reviewed and if changes to the findings or conclusions of this report are warranted, an addendum will be issued.

### **7.2.2 LOCAL OR REGIONAL HEALTH DEPARTMENT OR ENVIRONMENTAL DIVISION**

PSI submitted a FOIA request to Craven County Health Department. However, a response has not been received from that agency as of the date of this report. This is a limitation and evaluated on the appended Data Gap Worksheet. When a response is received, it will be reviewed and if changes to the findings or conclusions of this report are warranted, an addendum will be issued.

### **7.2.3 FIRE DEPARTMENT OR FIRE PROTECTION DISTRICT**

PSI contacted the City of New Bern Fire Department for information related to any spills or hazardous materials incidents on the subject property. Mr. Danny Hill, the desk officer indicated that the fire department did not have any records related to the subject property.



## **8.0 VAPOR ENCROACHMENT SCREENING**

### **8.1 METHODOLOGY**

The ASTM E1527-13 process requires the Environmental Professional to evaluate the potential for vapor encroachment onto the subject property, and to determine if such vapor encroachment constitutes evidence of a REC in connection with the subject property. The Practice does not specifically state the methods that must be used to screen for potential vapor encroachment issues. PSI utilized the VES Standard Guide as a basis to conduct a VES for the subject property. PSI used the Tier I procedure from the VES Standard Guide during this assessment. Where Tier II information is readily available during the normal course of conducting the Phase I ESA, PSI has combined the Tier I and Tier II steps.

The VES process utilizes information regarding the potential presence of releases on or near the subject property that were collected as a normal part of the Phase I ESA process. If the User Questionnaire was returned, PSI also reviewed the answers to the vapor encroachment screening questions. No additional data was collected specifically for the purpose of the VES. In order to identify potential sites of concern within the VES AMSDs, PSI reviewed, as available and appropriate, governmental database records, regulatory agency files, topo maps, aerial photography, fire insurance maps, and other information.

The AMSDs were expanded or reduced in the up-gradient, down-gradient, or cross-gradient directions by the environmental professional based on experience in the local area and applying professional judgment to factors such as: where a well-defined regional groundwater flow direction is identified; or whether other geologic features such as low permeability soils or hydrogeologic boundaries (such as rivers or streams) exist which would tend to limit the potential for migration of groundwater or vapors in a particular direction.

If a VEC was identified, the environmental professional determined whether the VEC represented evidence of a REC in connection with the subject property within the context of the Phase I ESA Standard Practice. It should be noted that the identification of a VEC in connection with the subject property does not necessarily indicate that a potential for migration of vapors into existing or proposed structures on the subject property is likely.

### **8.2 VES RESULTS**

PSI did not identify sites of concern within the VES search radii; therefore, PSI concludes that no VECs exist on the subject property.

### **8.3 VES LIMITATIONS**

The VES process is not intended to be an exhaustive screening and cannot wholly eliminate uncertainty regarding the presence of VECs in connection with the subject property. In addition, to the limitations inherent in the ASTM Standard Guide, the screening is intended to reduce, but not eliminate uncertainty regarding whether or not a VEC exists in connection with the subject property.



## **9.0 WARRANTY AND RELIANCE**

### **9.1 STANDARD OF CARE AND WARRANTIES**

Our services were not intended to be technically exhaustive. There is a possibility that with the proper application of methodologies, conditions may exist on the property that could not be identified within the scope of the assessment(s) or that were not reasonably identifiable from the available information.

No ESA can wholly eliminate uncertainty regarding the potential for RECs in connection with the property. The ESA was intended to reduce, but not eliminate uncertainty regarding the potential for RECs in connection with a property.

Our report is based on commonly known and reasonably ascertainable information, including limited, ground-level visual inspection of the property except where otherwise explicitly indicated, in general conformance with ASTM E1527-13. Findings and conclusions derived from the methodologies described in the Practice contain all of the inherent limitations in the methodologies that are referred to in the Practice.

PSI has assumed that factual information provided to us by the Client, or obtained from governmental and historical research firm, the public domain, interviews, and other sources is accurate and unbiased. PSI assumes no liability for the accuracy of data provided to us by others.

PSI did not perform any exploratory probing or discovery, perform tests, operate any specific equipment, or take measurements or samples to perform the ESA scope. The ESA was not a building code, safety, regulatory or environmental compliance inspection. The ESA is not intended to reduce the risk of the presence of mold and physical deficiencies conducive to mold nor the risk that mold or physical deficiencies conducive to mold may pose to the buildings and building occupants.

The methodologies include reviewing information provided by other sources. PSI treats information obtained from the record reviews and interviews concerning the property as reliable and the ASTM protocol does not require PSI to independently verify the information. Therefore, PSI cannot and does not warrant or guarantee that the information provided by these other sources is accurate or complete.

PSI has performed the services in a manner consistent with that level of care and skill ordinarily exercised by other members of our profession currently practicing in the same locality and under similar conditions, within the limitations of ASTM E1527-13 standard, and the All Appropriate Inquiries Rule established by the U.S. Environmental Protection Agency (40 CFR Part 312). No other warranties are implied or expressed.

The observations and recommendations presented in this report are time dependent, and conditions will change. This report speaks only as of its date.

No other warranties are implied or expressed.

### **9.2 RELIANCE**

Woda Cooper Companies, Inc, PSI's client, may rely on this report.



### **9.3 THIRD PARTY RELIANCE**

This report was prepared pursuant to a contract between PSI and its client. That contractual relationship included an exchange of information about the subject property that was unique and serves as the basis upon which this report was prepared. Because of the importance of these understandings, our assessment may not be sufficient for the intended purposes of another party.

Reliance or any use of this report by anyone other than those parties identified above for which it was prepared, except with express written permission, is prohibited and therefore not foreseeable to PSI. Any unauthorized reliance on or use of this report, including any of the information or conclusions contained herein, will be at the third party's risk. No warranties or representations expressed or implied in this report are made to any such third party.

Third party reliance letters may be issued:

- upon timely request;
- subject to the permission of our original client; and
- payment of the then-current fee for such letters.

All third parties relying on our report, by such reliance, agree that such reliance is limited by our proposal and/or General Conditions, as applicable.

# FIGURES



**Figure 1 - Topographic Map**  
Palatine Meadows  
4140 Academic Drive  
New Bern, North Carolina 28562  
Project Number: 04571591





**Figure 2 - Site Vicinity Map**  
 Palatine Meadows  
 4140 Academic Drive  
 New Bern, North Carolina 28562  
 Project Number: 04571591



# **PHOTOGRAPHS**



Photo 1: View of subject property from southern boundary facing north.



Photo 2: View from southeast corner of subject property facing north.



Photo 3: View of utility pole on subject property.



Photo 4: View of electrical boxes on subject property.



Photo 5: View of back of electrical box.



Photo 6: View of eastern boundary of southern portion of subject property.



Photo 7: View of eastern adjoining property.



Photo 8: View of subject property from eastern boundary.



Photo 9: View of pipeline marker on subject property.



Photo 10: View of enclosed cell phone tower area on subject property.



Photo 11: View of cellphone tower on subject property.



Photo 12: View of enclosure of cell phone tower on subject property.



Photo 13: View of northeastern adjoining property.



Photo 14: View of north adjoining retention pond.



Photo 15: View of top portion of subject property facing west.



Photo 16: View of inundated area on subject property.



Photo 17: View of inundated area on subject property.



Photo 18: View of northwestern corner of subject property.



Photo 19: View of western adjoining property.



Photo 20: View from northwestern corner of subject property facing southwest.



Photo 21: View of northern portion of subject property facing east.



Photo 22: Pipeline markets and pad-mounted transformer on subject property.



Photo 23: View of drainage ditch along western boundary of subject property facing north.



Photo 24: View of drainage ditch along western property facing south.



Photo 25: View of western boundary of subject property.



Photo 26: View of northwest adjoining property (high school).



Photo 27: Closer view of drainage ditch on subject property.



Photo 28: View of subject property from eastern boundary facing west.



Photo 29: Closer view of drainage ditch on subject property.



Photo 30: View of cement paved area on subject property.



Photo 31: View of southern portion of subject property facing south.



Photo 32: View of drainage ditch on subject property.



Photo 33: View of western boundary of subject property facing north.



Photo 34: View of electrical boxes on subject property.



Photo 35: View of southern portion of subject property facing south.



Photo 36: View of southern adjoining retention pond and drop inlet and Hardee's.



Photo 37: View of southern adjoining property and Dr. M L King Jr Blvd.

# **USER QUESTIONNAIRE RESPONSES**



## USER QUESTIONNAIRE

Pursuant to ASTM E1527, ASTM E2600, and the EPA All Appropriate Inquiry Rule, the User of the report must answer specific questions regarding the property and supply this information to the Environmental Professional. While we understand that you may have only limited knowledge of the property, please answer the questions to the best of your ability based on your current knowledge, and return the completed questionnaire to PSI.

### Phase I ESA Questions

1. Did a review of land title records (or judicial records where appropriate) identify any environmental cleanup liens filed or recorded against the subject property under federal, tribal, state or local law?  
 No     Yes     Unknown (if yes, please briefly discuss on the next page or as an attachment)
2. Did a review of land title records (or judicial records where appropriate) identify any activity and land use limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place at the subject property and/or have been filed or recorded in a registry under federal, tribal, state, or local law?  
 No     Yes     Unknown (if yes, please briefly discuss on the next page or as an attachment)
3. Do you have any specialized knowledge or experience related to the subject property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the subject property or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business?  
 No     Yes (if yes, please briefly discuss on the next page or as an attachment)
4. Does the purchase price being paid reasonably reflect the fair market value of the subject property?  
 No     Yes     Not Applicable  

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the property?  
 No     Yes
5. Are you aware of commonly known or reasonably ascertainable information about the property that would help the environmental professional to identify conditions indicative of releases or threatened releases? For example:
  - (a) Do you know of the past uses of the property?  
 No     Yes (if yes, please briefly discuss on the next page or as an attachment)
  - (b) Do you know of specific chemicals that are present or were once present at the property?  
 No     Yes (if yes, please briefly discuss on the next page or as an attachment)
  - (c) Do you know of spills or other chemical releases that have taken place at the property?  
 No     Yes (if yes, please briefly discuss on the next page or as an attachment)
  - (d) Do you know of any environmental cleanups that have taken place at the property?  
 No     Yes (if yes, please briefly discuss on the next page or as an attachment)
6. Based on your knowledge and experience related to the subject property are there any obvious indicators that point to the presence or likely presence of contamination at the subject property?  
 No     Yes (if yes, please briefly discuss on the next page or as an attachment)
7. Do you know of any pending, threatened, or past litigation or administrative proceedings relevant to hazardous substances or petroleum products in, on, or from the property?  No     Yes (if yes, please briefly discuss on the next page or as an attachment)
8. Do you know of any notices from any governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products?  
 No     Yes (if yes, please briefly discuss below or as an attachment)



Further Explain any Answers Requiring Clarification: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Vapor Encroachment Screening Questions**

1. Currently, what type of property is the subject property?  
 Commercial  Industrial  Residential  Multi-Tenant  Vacant Land
  
2. Are there buildings on the subject property?  
 Yes  No  Unknown (if **yes**, indicate number and construction type):  
 \_\_\_\_\_
  
3. Will buildings or structures be constructed on the subject property in the future?  
 Yes  No  Unknown (if **yes**, indicate number and construction type)  
 \_\_\_\_\_
  
4. If buildings exist or are proposed, do/will they have elevators?  
 Yes  No  Unknown
  
5. What type of below-grade level exists or is proposed?  
 Full/Partial Basement  Crawl Space  Parking Garage  Multi-Level  
 None/Unknown (if **none/unknown**, skip to question 11)
  
6. Is there ventilation currently/proposed in the below-grade level?  
 Yes  No  Unknown
  
7. Are there sump pumps, floor drains or trenches existing or proposed in the below-grade level?  
 Yes  No  Unknown
  
8. Is there a radon or methane mitigation system installed or proposed?  
 Yes  No  Unknown (If **yes**, please indicate if passive or active): \_\_\_\_\_
  
9. What type of heating system exists or is proposed in the building? (check all that apply)  
 Hot Air Circulation  Hot Air Radiation  Hot Water Radiation  
 Hot Water Circulation  Fireplace  Radiant Floor Heat  Fuel Oil Furnace  
 Electric Baseboard  Heat Pump  Wood Stove  Steam Radiation  
 Coal Furnace  Kerosene Heater  Used Oil Heater  Natural Gas Furnace  
 Other
  
10. How are the utility systems fueled/powered or proposed to be fueled/powered?  
 (check all that apply)  
 Natural Gas  Propane  Kerosene  Coal  Wood  Electricity  
 Fuel Oil  Solar  Wind  Other
  
11. Have there ever been any environmental problems at the subject property?  
 Yes  No  Unknown (if **yes**, please describe)
  
12. Does/will a gas station or dry cleaner operate anywhere on the subject property?  
 Yes  No  Unknown



- 13. Do/will any of the tenants use hazardous chemicals in relatively large quantities on the subject property?  
 Yes  No  Unknown
- 14. Have any tenants ever complained about odors in the building or experienced health-related problems that may have been associated with the building?  
 Yes  No  Unknown
- 15. Are the current or proposed operations on the subject property going to require/require special OSHA or EPA permitting?  
 Yes  No  Unknown
- 16. Are there any existing or proposed underground or aboveground storage tanks (ASTs/USTs) on the subject property?  
 Yes  No  Unknown (if **yes**, please describe)
- 17. Are there sensitive receptors (for example: children, elderly, people in poor health, and so forth) that occupy or will occupy the subject property?  
 Yes  No  Unknown

**Further Explain any Answers Requiring Clarification:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Helpful Documents Checklist**

Pursuant to ASTM E 1527 §10.8, do you know whether any of the following documents exist related to the subject property, and if so, whether copies will be provided to PSI for review? If so, please submit such documentation to PSI as soon as practical. Please check all that apply.

- Environmental site assessment reports (for example: Phase I/II ESAs or RBCA reports)
- Environmental compliance audit reports; or risk assessments
- Environmental permits or hazardous waste generation notices or reports
- Registrations for above or underground storage tanks, or underground injection systems
- Safety data sheets (formerly known as Material Safety Data Sheets or MSDSs)
- Community right-to-know plans; safety plans; preparedness and prevention plans; spill prevention, countermeasure and control (SPCC) plans; etc.
- Notices or other correspondence from any governmental agency relating to past or current violations of environmental laws with respect to the property or relating to environmental liens on the property
- Geotechnical studies; or reports regarding hydrogeologic conditions on the property or vicinity
- Recorded activity and land use limitations (AULs)

Ian Matey  
 Name (Authorized User Representative)  
 \_\_\_\_\_  
*Ian Matey*  
 Signature

pre con specialist  
 Title  
 \_\_\_\_\_  
 2/1/2021  
 Date

# **LIEN/AUL DOCUMENTATION**

No lien or activity and use limitation information, other than that presented on the User Questionnaire(s) and/or the ERIS Database Report, was obtained during this assessment.

# **HISTORICAL DOCUMENTATION: TOPOGRAPHIC MAPS**



# TOPOGRAPHIC MAPS

**Project Property:** Palatine Meadows  
4140 Academic Drive  
New Bern NC 28562

**Project No:** 04571591

**Requested By:** Intertek PSI

**Order No:** 21022200157

**Date Completed:** February 23, 2021

We have searched USGS collections of current topographic maps and historical topographic maps for the project property. Below is a list of maps found for the project property and adjacent area. Maps are from 7.5 and 15 minute topographic map series, if available.

<b>Year</b>	<b>Map Series</b>
1901	15
1903	15
1950	7.5
1974	7.5
1983	7.5
1988	7.5
1994	7.5
2016	7.5

Topographic Maps included in this report are produced by the USGS and are to be used for research purposes including a phase I report. Maps are not to be resold as commercial property.

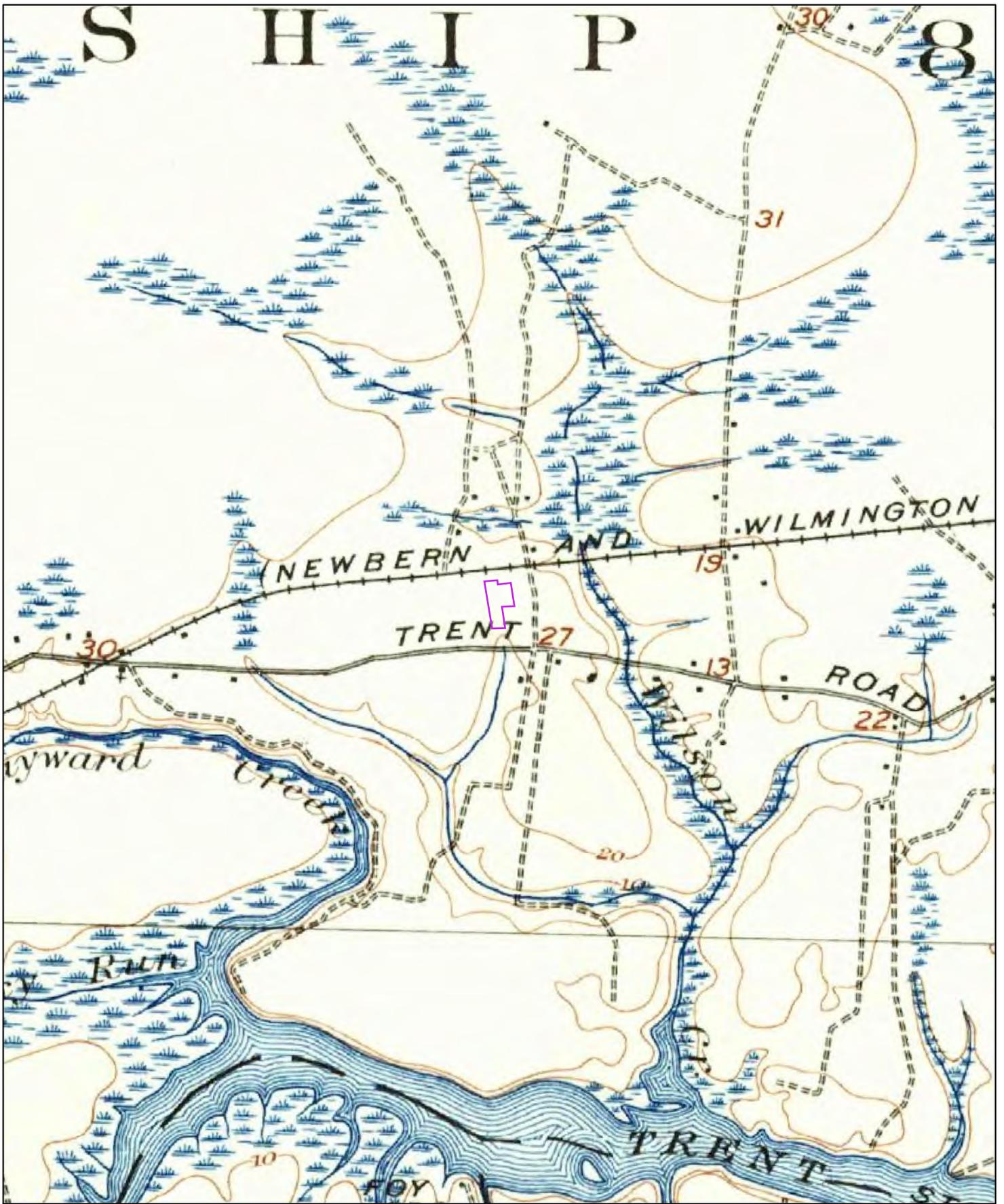
No warranty of Accuracy or Liability for ERIS: The information contained in this report has been produced by ERIS Information Inc.(in the US) and ERIS Information Limited Partnership (in Canada), both doing business as 'ERIS', using Topographic Maps produced by the USGS. This maps contained herein does not purport to be and does not constitute a guarantee of the accuracy of the information contained herein. Although ERIS has endeavored to present you with information that is accurate, ERIS disclaims, any and all liability for any errors, omissions, or inaccuracies in such information and data, whether attributable to inadvertence, negligence or otherwise, and for any consequences arising therefrom. Liability on the part of ERIS is limited to the monetary value paid for this report.

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## **Environmental Risk Information Services**

A division of Glacier Media Inc.

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1901

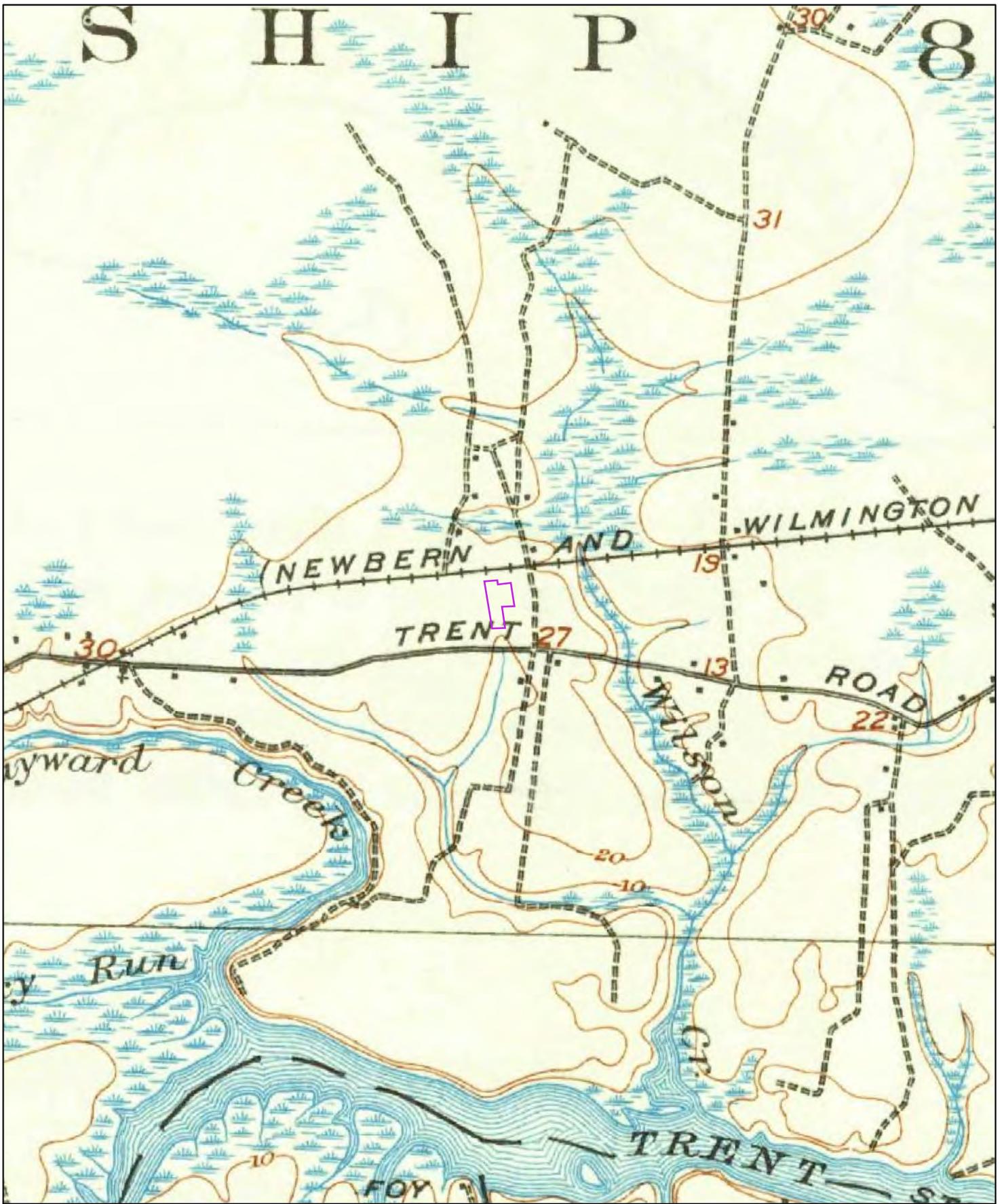


Order No. 21022200157

Quadrangle(s): New Bern, NC

Source: USGS 15 Minute Topographic Map





1903

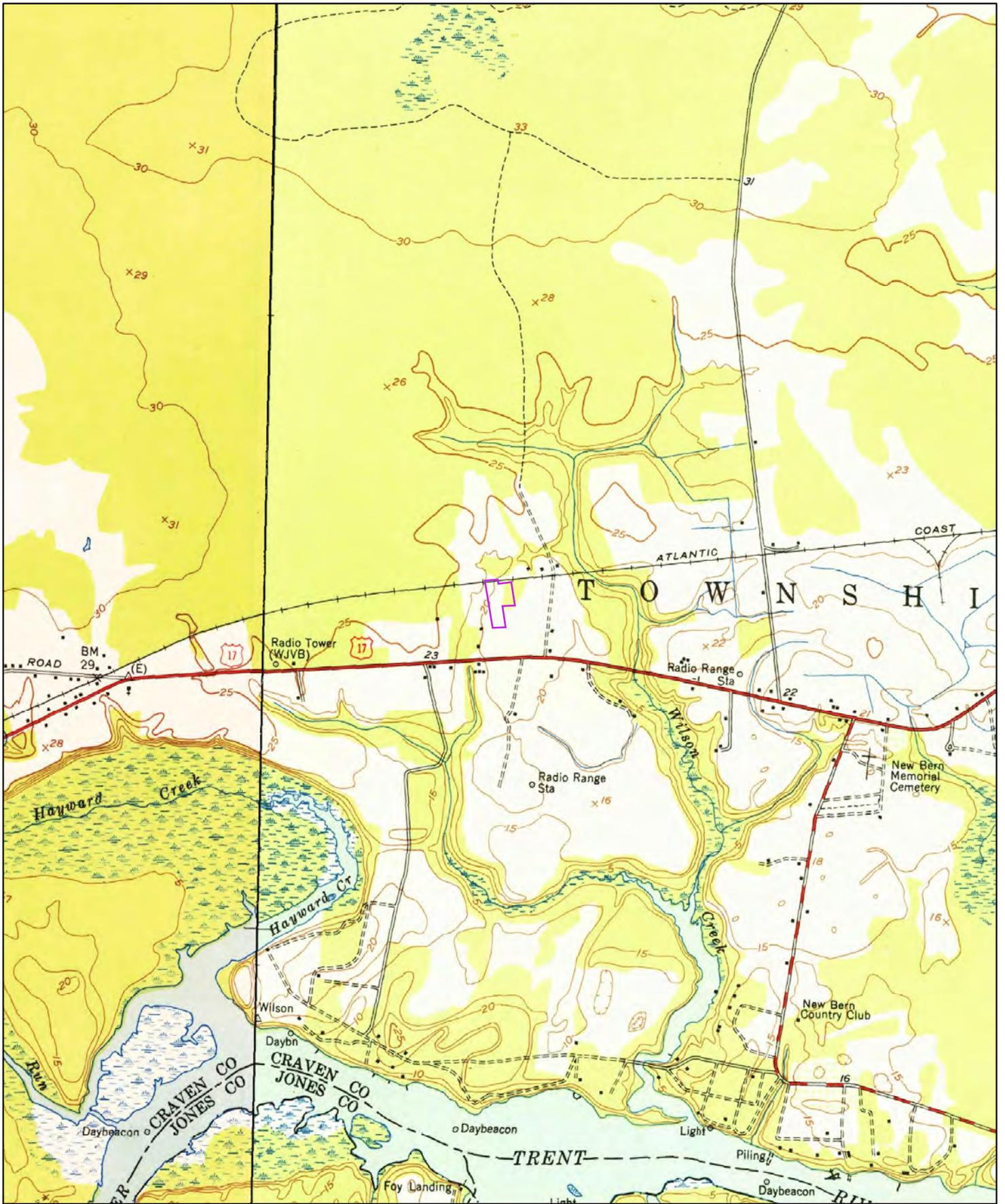


Order No. 21022200157

Quadrangle(s): New Bern, NC

Source: USGS 15 Minute Topographic Map





1950

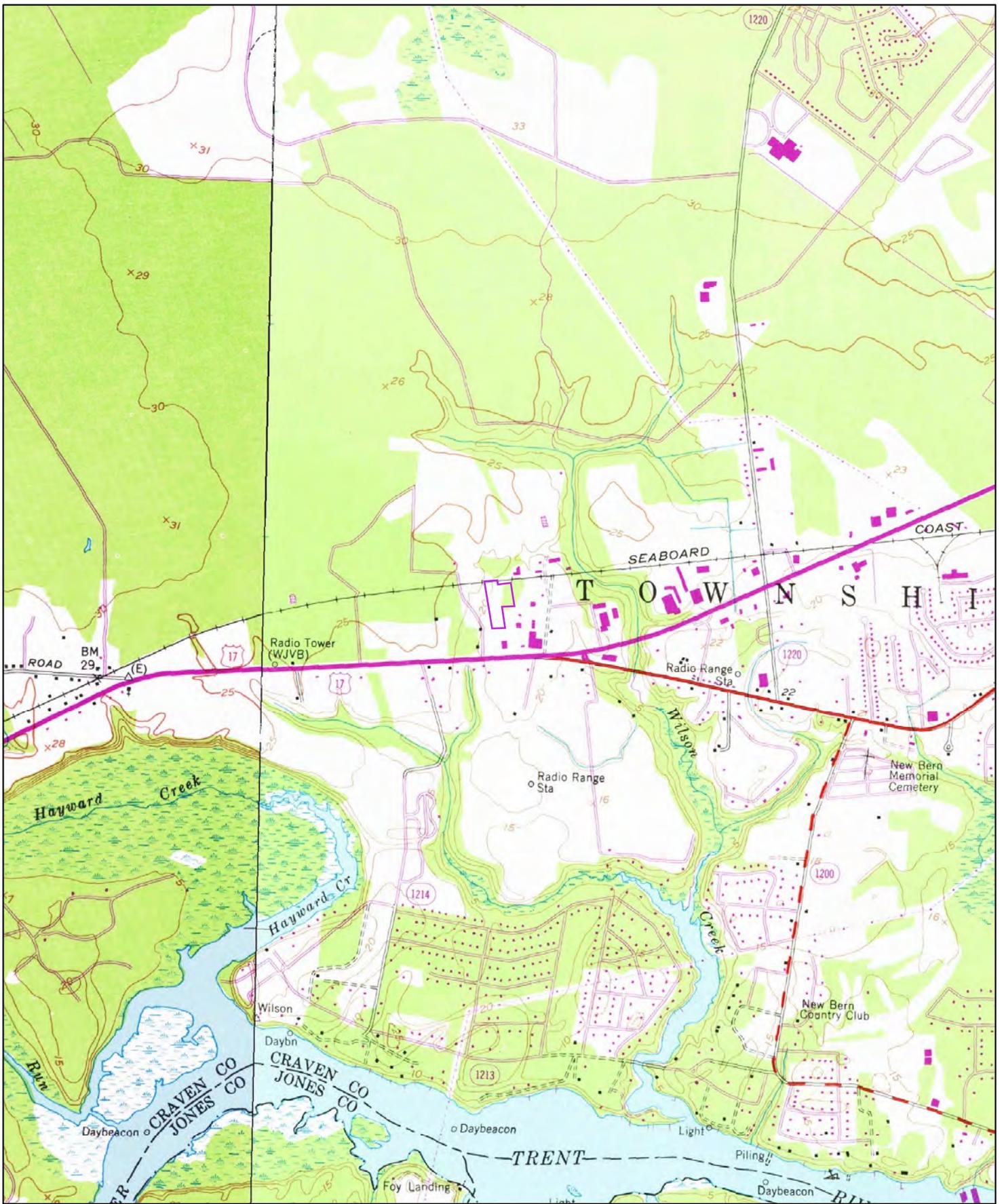


Order No. 21022200157

Quadrangle(s): New Bern, NC

Source: USGS 7.5 Minute Topographic Map





1974

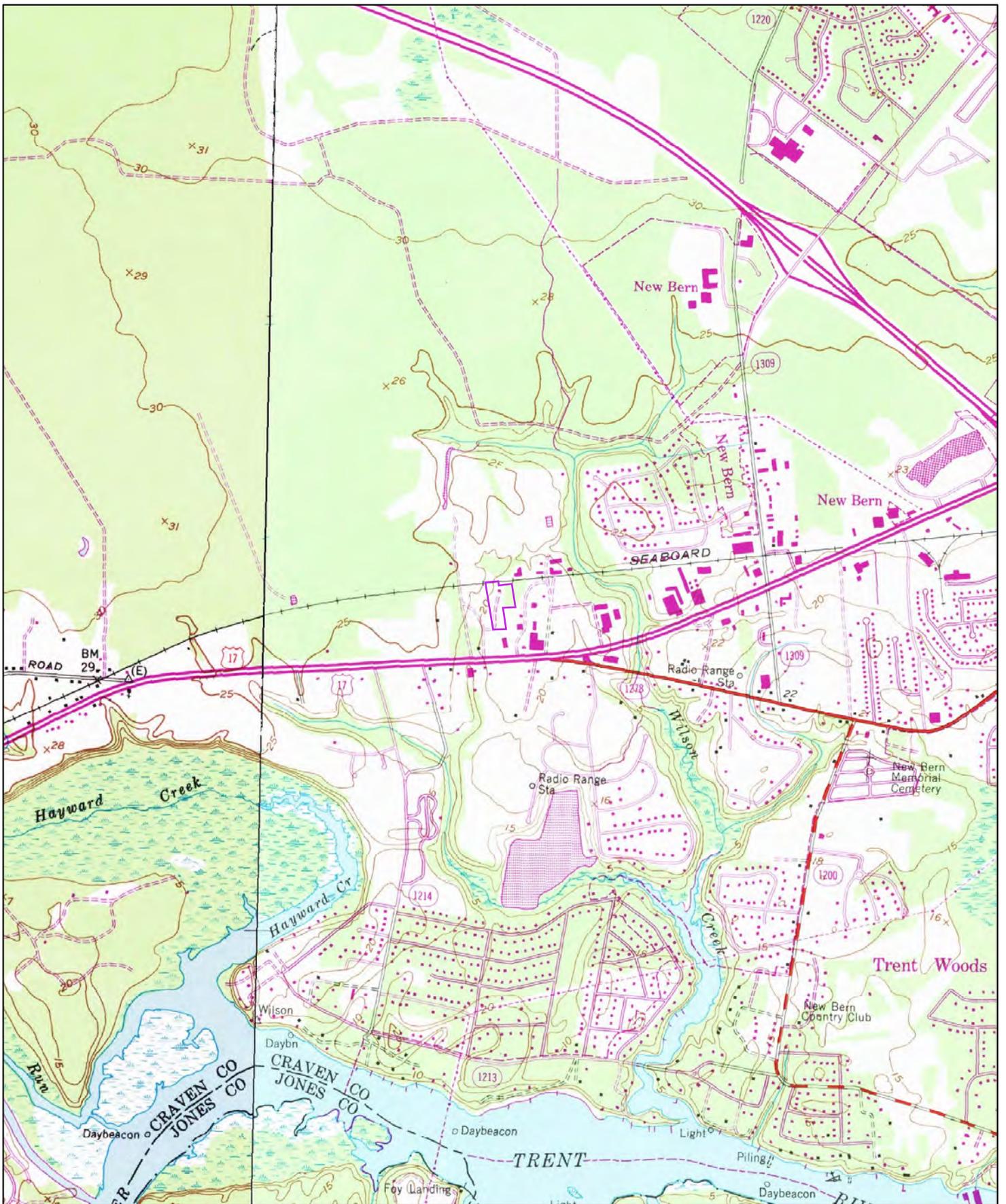


Order No. 21022200157

Quadrangle(s): New Bern, NC

Source: USGS 7.5 Minute Topographic Map





1983

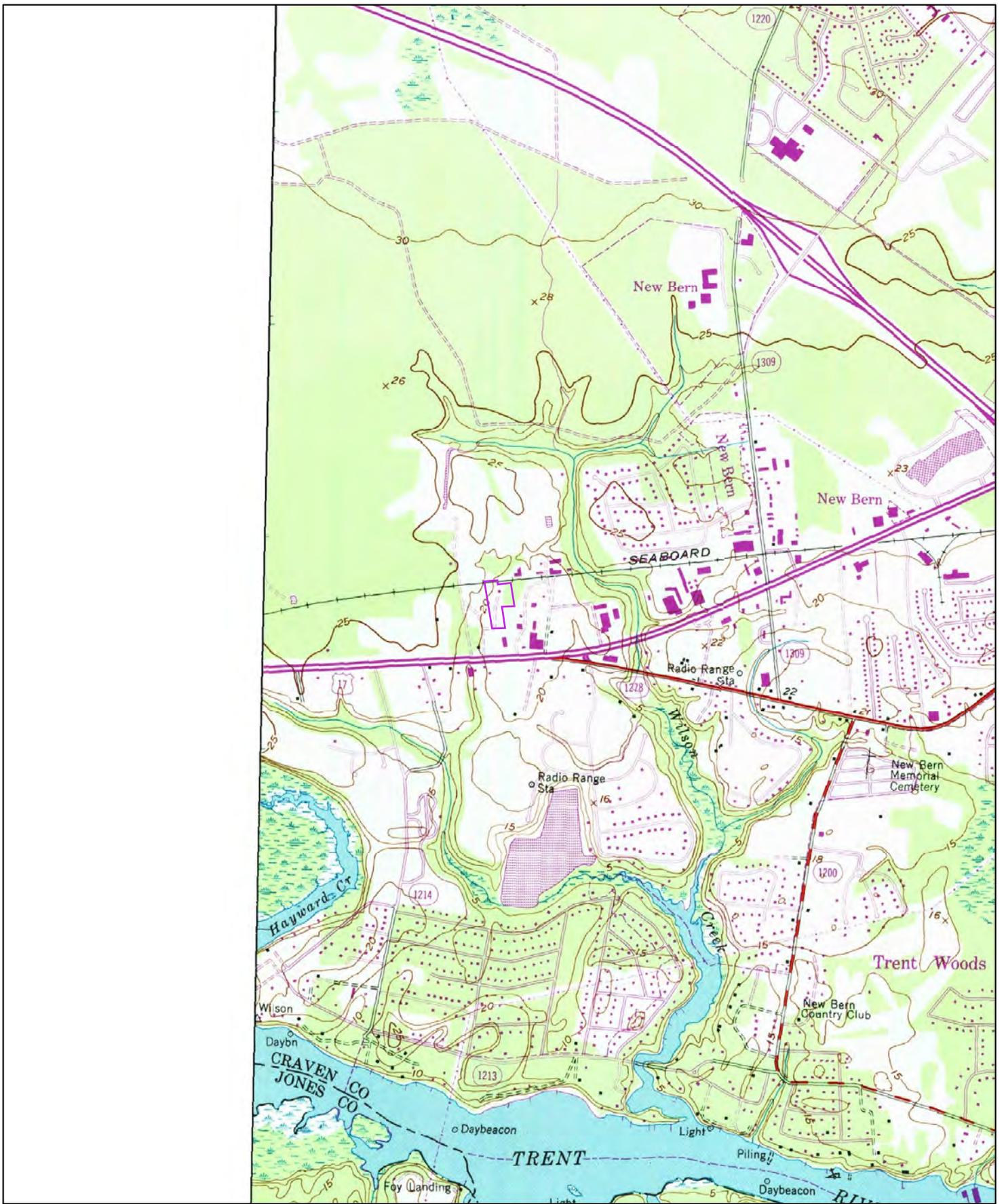


Order No. 21022200157

Quadrangle(s): New Bern, NC

Source: USGS 7.5 Minute Topographic Map





1988

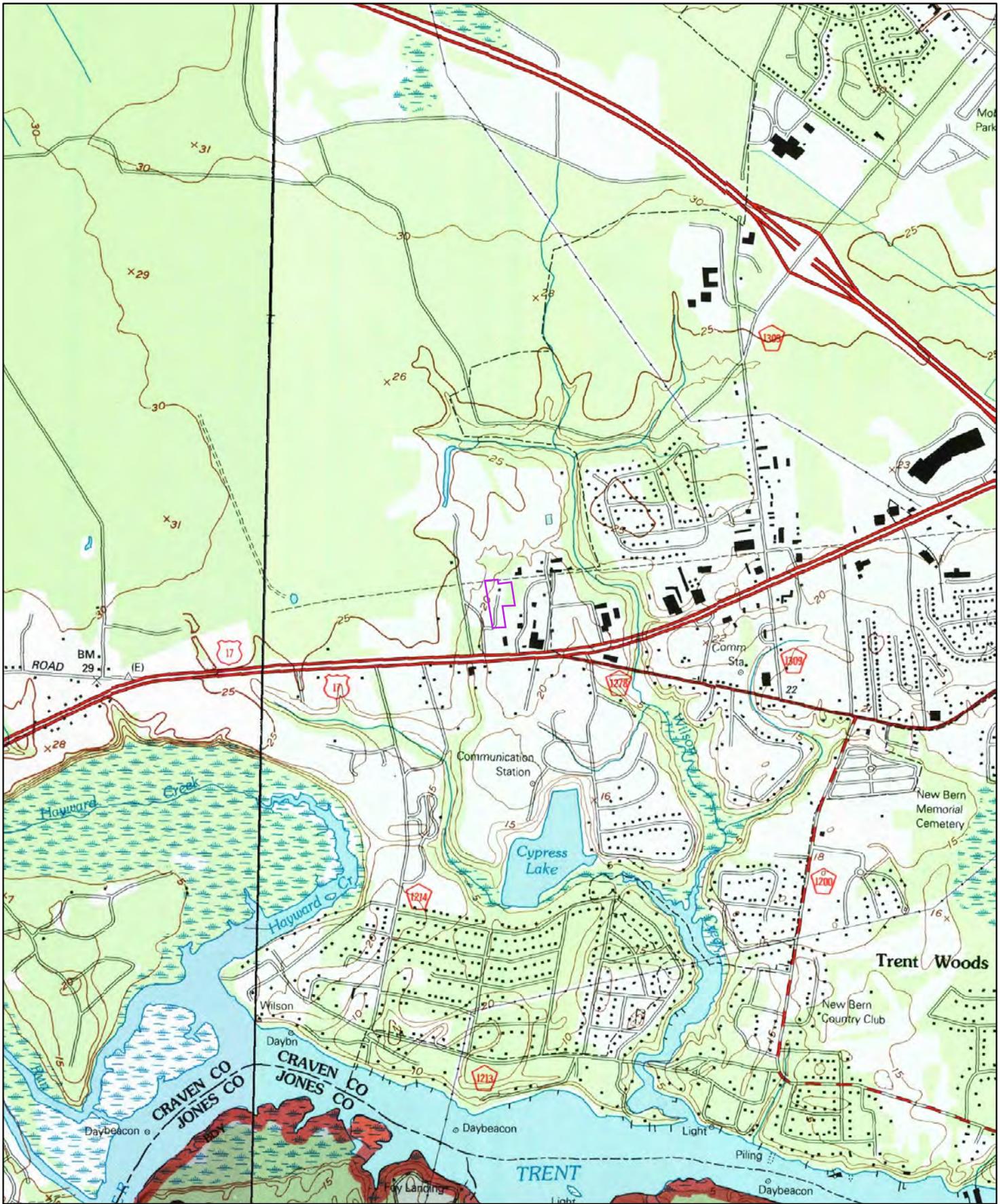


Order No. 21022200157

Quadrangle(s): New Bern, NC

Source: USGS 7.5 Minute Topographic Map





1994



Order No. 21022200157

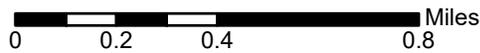
Quadrangle(s): New Bern, NC

Source: USGS 7.5 Minute Topographic Map





2016



Order No. 21022200157

Quadrangle(s): New Bern, NC

Source: USGS 7.5 Minute Topographic Map



# **HISTORICAL DOCUMENTATION: AERIAL PHOTOGRAPHS**



# HISTORICAL AERIALS

**Project Property:** Palatine Meadows  
4140 Academic Drive  
New Bern NC 28562

**Requested By:** Intertek PSI

**Order No:** 21022200157

**Data Completed:** February 23,2021

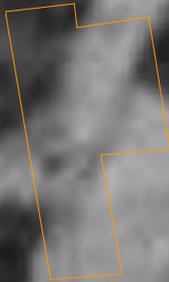
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1950	Army Mapping Service	1" to 500'	
1961	United States Air Force	1" to 500'	
1964	United States Air Force	1" to 500'	
1974	US Geological Survey	1" to 500'	
1982	National High Altitude Photography	1" to 500'	
1983	National High Altitude Photography	1" to 500'	
1993	US Geological Survey	1" to 500'	
1998	US Geological Survey	1" to 500'	
2005	National Agriculture Information Program	1" to 500'	
2006	National Agriculture Information Program	1" to 500'	
2008	National Agriculture Information Program	1" to 500'	
2009	National Agriculture Information Program	1" to 500'	
2010	National Agriculture Information Program	1" to 500'	
2012	National Agriculture Information Program	1" to 500'	
2014	National Agriculture Information Program	1" to 500'	
2016	National Agriculture Information Program	1" to 500'	
2018	National Agriculture Information Program	1" to 500'	
2020	National Agriculture Information Program	1" to 500'	

## **Environmental Risk Information Services**

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one inch 



Year:1938

Address:4140 Academic Drive, New Bern, NC

Order No:21022200157

Source:USDA

Approx Center:35.097455/-77.11292085

Scale:1" to 500'

Comment:Photo Index-Best Avail

**ERIS**  
ENVIRONMENTAL RISK INFORMATION SERVICES



one inch 



Year:1950  
Source:AMS  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:1961  
Source:USAF  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157

**ERIS**  
ENVIRONMENTAL RISK INFORMATION SERVICES



one inch



Year:1964  
Source:USAF  
Scale:1" to 500'  
Comment:

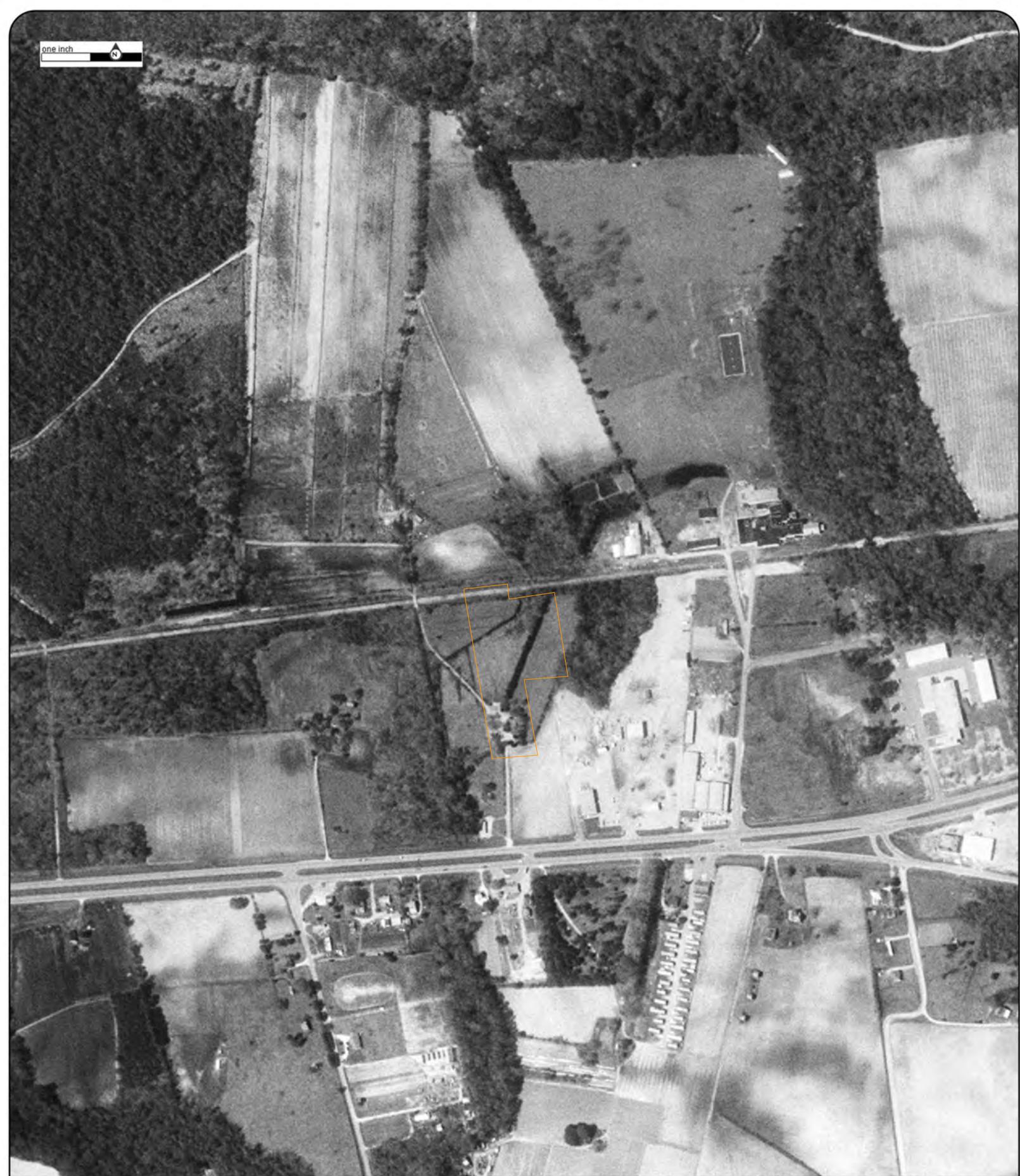
Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157

**ERIS**  
ENVIRONMENTAL RISK INFORMATION SERVICES



one inch



Year:1974  
Source:USGS  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157

**ERIS**  
ENVIRONMENTAL RISK INFORMATION SERVICES



one inch



Year:1982  
Source:NHAP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:1983

Address:4140 Academic Drive, New Bern, NC

Order No:21022200157

Source:NHAP

Approx Center:35.097455/-77.11292085

Scale:1" to 500'

Comment:



one inch



Year:1993  
Source:USGS  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:1998  
Source:USGS  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch 



Year:2005  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:2006  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



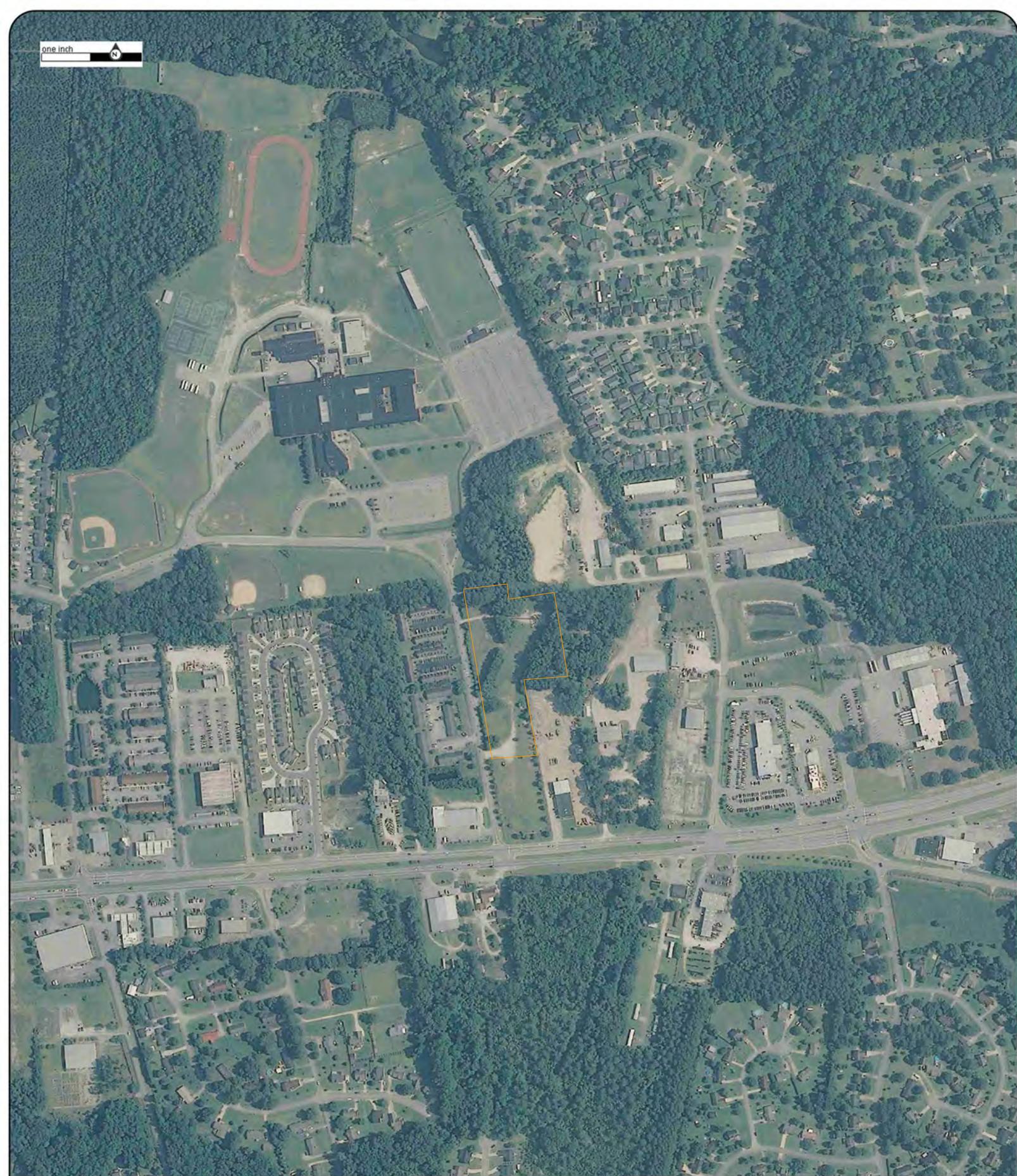
Year:2008  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:2009  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:2010  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:2012  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:2014  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:2016  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



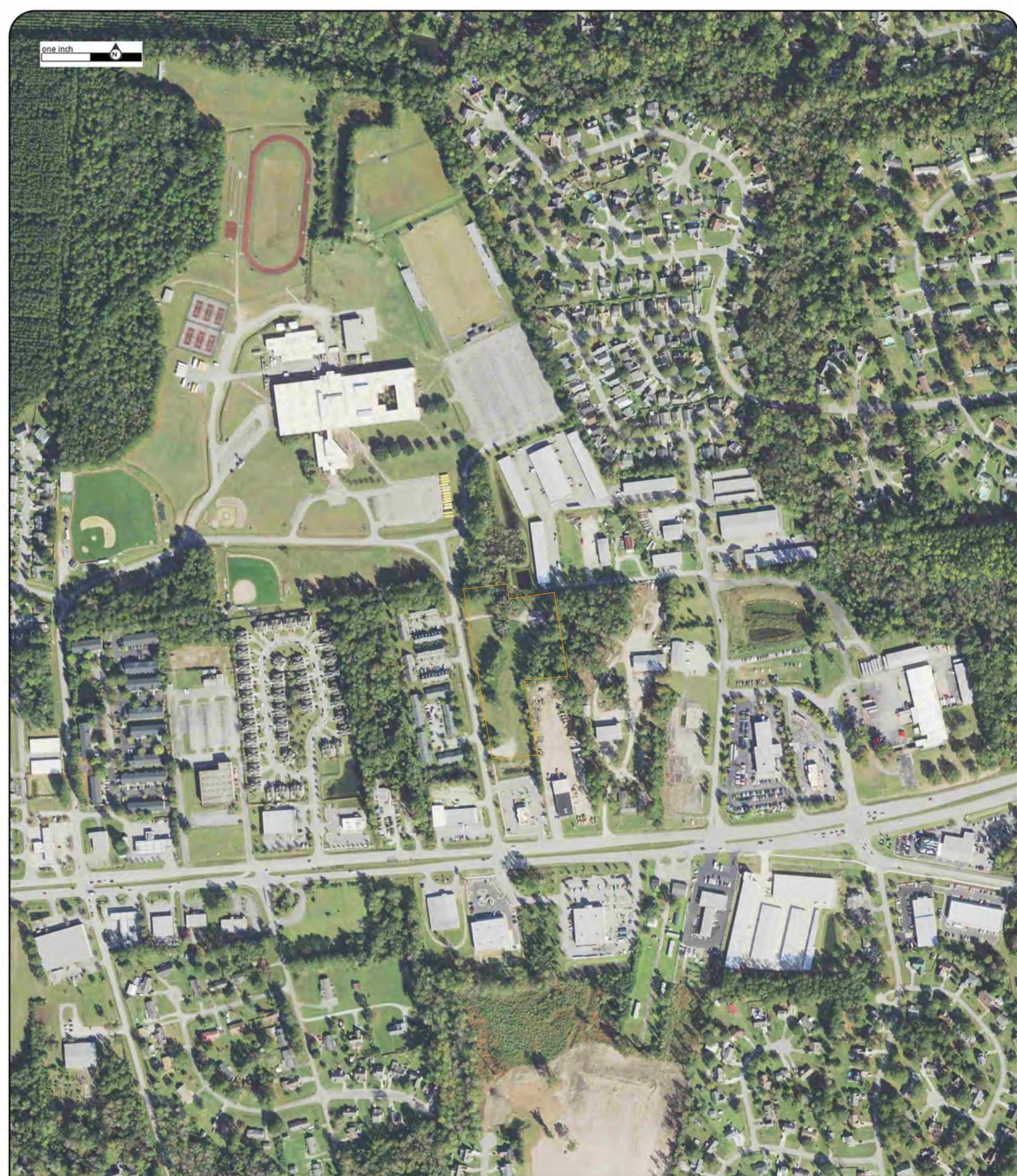
Year:2018  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



one inch



Year:2020  
Source:NAIP  
Scale:1" to 500'  
Comment:

Address:4140 Academic Drive, New Bern, NC  
Approx Center:35.097455/-77.11292085

Order No:21022200157



# **HISTORICAL DOCUMENTATION: CITY DIRECTORIES**

**ERIS**  
ENVIRONMENTAL RISK INFORMATION SERVICES



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CITY  
**DIRECTORY**

**Project Property:** *Palane Meadows  
4140 Academic Drive  
New Bern, NC 28562*

**Project No:** *04571591*

**Requested By:** *Intertek PSI*

**Order No:** *21022200157*

**Date Completed:** *March 1, 2021*

March 1, 2021  
RE: CITY DIRECTORY RESEARCH  
Palane Meadows  
4140 Academic Drive New Bern, NC

Thank you for contacting ERIS for an City Directory Search for the site described above. Our staff has conducted a reverse listing City Directory search to determine prior occupants of the subject site and adjacent properties. We have provided the nearest addresses(s) when adjacent addresses are not listed. If we have searched a range of addresses, all addresses in that range found in the Directory are included.

Note: Reverse Listing Directories generally are focused on more highly developed areas. Newly developed areas may be covered in the more recent years, but the older directories will tend to cover only the "central" parts of the city. To complete the search, we have either utilized the ACPL, Library of Congress, State Archives, and/or a regional library or history center as well as multiple digitized directories. These do not claim to be a complete collection of all reverse listing city directories produced.

ERIS has made every effort to provide accurate and complete information but shall not be held liable for missing, incomplete or inaccurate information. To complete this search we used the general range(s) below to search for relevant findings. If you believe there are additional addresses or streets that require searching please contact us at 866-517-5204.

**Search Criteria:**

4100-4200 of Academic Drive  
3800-3950 of MLK Blvd

**Search Results Summary**

Date	Source	Comment
2020	POLKS	
2015	POLKS	
2010	POLKS	
2005	POLKS	
2000	POLKS	
1995	POLKS	
1990	POLKS	
1985	POLKS	
1980	HILLS	
1975	HILLS	
1970	HILLS	
1967	HILLS	
1964	HILLS	
1958	MULLIN KILLE	
1954	MULLIN KILLE	
1947-48	MILLERS	
1941	BALDWINS	
1937	BALDWINS	

**Environmental Risk Information Services**

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1.866.517.5204 | info@erisinfo.com | erisinfo.com

4169 MULTI TENANT RESIDENTIAL  
 4169 NO CURRENT LISTING  
 4171 MULTI TENANT RESIDENTIAL  
 4173 MULTI TENANT RESIDENTIAL  
 4173 NO CURRENT LISTING  
 4175 MULTI TENANT RESIDENTIAL  
 4177 MULTI TENANT RESIDENTIAL  
 4177 NO CURRENT LISTING  
 4179 MULTI TENANT RESIDENTIAL  
 4179 NO CURRENT LISTING  
 4181 MULTI TENANT RESIDENTIAL  
 4181 NO CURRENT LISTING  
 4183 MULTI TENANT RESIDENTIAL  
 4183 NO CURRENT LISTING  
 4185 BREWER KAYLA  
 4185 NO CURRENT LISTING (3 APTS)  
 4185 PRIDEMORE BARBARA J  
 4185 PRIDEMORE JAN  
 4187 MULTI TENANT RESIDENTIAL  
 4187 NO CURRENT LISTING  
 4189 MULTI TENANT RESIDENTIAL  
 4189 NO CURRENT LISTING  
 4200 CRAVEN COUNTY SCHOOL DISTRICT SCHOOL DISTRICTS  
 4200 MULTI TENANT PROFESSIONAL  
 4200 NBHS - NJROTC NONCLASSIFIED ESTABLISHMENTS  
 4200 NEW BERN HIGH SCHOOL SCHOOLS  
 4315 ALL - STATE PRESSURE WASHING - PNT PAINTERS  
 4315 MULTI TENANT PROFESSIONAL  
 4315 NO CURRENT LISTING

3774 PECHELES HONDA AUTO DLRS - NEW CARS  
 3801 COLONY TIRE & SVC CTR TIRE - DLRS - RETAIL  
 3815 FACE LOIS H  
 3815 LEIGH KEN  
 3816 JAMES RIVER EQUIPMENT INDUSTRIAL EQUIP / SUPL  
 3817 NO CURRENT LISTING  
 3819 ASHLEY'S ARCHERY & TAXIDERM MY TAXIDERMISTS  
 3820 HARDEE'S RESTAURANTS  
 3915 MILL OUTLET VILLAGE INC FABRIC SHOPS  
 3926 ZAPATA YGNACIO  
 3930 AUTO OUTLET AUTO DLRS - USED CARS  
 3946 PAULAS ITALIAN RSTRNT & PIZZA RESTAURANTS  
 3964 SIPE ANDY

4169 MULTI TENANT RESIDENTIAL  
 4171 MULTI TENANT RESIDENTIAL  
 4173 MULTI TENANT RESIDENTIAL  
 4175 MULTI TENANT RESIDENTIAL  
 4177 MULTI TENANT RESIDENTIAL  
 4179 HARDY AUBREY  
 4179 PRINGLE WANETA  
 4181 MULTI TENANT RESIDENTIAL  
 4183 MULTI TENANT RESIDENTIAL  
 4185 MULTI TENANT RESIDENTIAL  
 4187 MULTI TENANT RESIDENTIAL  
 4189 MULTI TENANT RESIDENTIAL  
 4200 CHITTY LISA  
 4200 NEW BERN HIGH SCHOOL SCHOOLS  
 4315 MULTI TENANT RESIDENTIAL

3770 BOJANGLES' FAMOUS CHICKEN RESTAURANTS  
 3801 COLONY TIRE & SVC CTR TIRE - DLRS - RETAIL  
 3809 HENRY & SHORTY'S STORE GROCERS - RETAIL  
 3810 FORESTRY DEPT DISTRICT HQ GOVERNMENT - FORESTRY SERV  
 3815 LEIGH KEN  
 3815 LOIS'S HANDS OF FAITH BEAUTY SALONS  
 3815 WHITFORD DAVID A  
 3816 R W MOORE EQUIPMENT CO INDUSTRIAL EQUIP / SUPL  
 3817 ADKINS HENRY W JR & MARIANNA B  
 3819 ASHLEY'S ARCHERY & TAXIDERM TAXIDERMISTS  
 3821 TRACTOR SUPPLY CO FARM SUPL  
 3905 DURHAM'S FURNITURE REPAIR FURNITURE - RPR & REFINISHING  
 3905 FAMILY OUTREACH MINISTRIES - OUT REACH  
 3906 I FIX N C COMPUTERS - SERV & RPR  
 3906 U - HAUL NEIGHBORHOOD DEALER TRUCK RENTING & LEASE  
 3910 OCCASIONS TO CELEBRATE FLORISTS - RETAIL  
 3915 MILL OUTLET VILLAGE INC FABRIC SHOPS  
 3920 CHECKLIST APPLIANCES APPLIANCES - HSHLD - MAJOR - USED /  
 3930 AUTO OUTLET INC AUTO DLRS - USED CARS  
 3956 ACADEMY COMMON APARTMENTS APARTMENTS

4169 MULTI TENANT RESIDENTIAL  
 4171 MURPHY BILLY D  
 4173 BARNES MEG  
 4173 FARMER ELIZABETH J  
 4175 NICHOLS PATRICIA  
 4175 SULLIVAN PAT A  
 4177 HARRIETT CRESTA D  
 4177 SYKES DANIEL  
 4179 HARGETT KATHY E  
 4181 HUMPHREY LASHAWNA L  
 4181 LIBBY ROBERT W  
 4183 MULTI TENANT RESIDENTIAL  
 4185 MULTI TENANT RESIDENTIAL  
 4187 MULTI TENANT RESIDENTIAL  
 4189 MULTI TENANT RESIDENTIAL  
 4200 NEW BERN HIGH SCHOOL SCHOOLS  
 4200 RIESBECK CHRISTINE  
 4315 MULTI TENANT RESIDENTIAL

3774 COASTAL CAROLINA HONDA AUTO DLRS - NEW CARS  
 3774 JOE ALCOKE AUTO & TRUCK CTR AUTO DLRS - NEW CARS  
 3809 HENRY & SHORTY'S STORE GROCERS - RETAIL  
 3810 FORESTRY DEPT DISTRICT HQ GOVERNMENT - FORESTRY SERV  
 3811 WILD BILL'S GOLF SHOP GOLF EQUIP / SUPL - RETAIL  
 3813 COLONY TIRE CORP TIRE - DLRS - RETAIL  
 3815 LEWIS DAVID T  
 3815 LOIS'S HANDS OF FAITH BEAUTY SALONS  
 3815 MILLER PENNY  
 3815 SOUTHERN HOSPITALITY OUTDOOR LANDSCAPE CONTRACTORS  
 3816 R W MOORE EQUIPMENT CO INDUSTRIAL EQUIP / SUPL  
 3817 PRIDGEN MIKE  
 3903 NO CURRENT LISTING  
 3905 DURHAM JAMES E JR  
 3905 DURHAM PENELOPE  
 3905 DURHAM'S FURNITURE REPAIR FURNITURE - RPR & REFINISHING  
 3906 OFF THE RACKS CONSIGNMENT SHOPS  
 3906 SWECKER PAMELA K  
 3910 NEXT BEST THING CHILDREN'S CONSIGNMENT SHOPS  
 3915 MILL OUTLET VILLAGE INC FABRIC SHOPS  
 3920 JINKINS CHARLES L  
 3920 PAWN ETC PAWNBROKERS  
 3930 AUTO OUTLET INC AUTO DLRS - USED CARS  
 3956 ACADEMY COMMON APARTMENTS APARTMENTS

4169 NO CURRENT LISTING (2 APTS)  
 4169 TOOHEY JEFF  
 4169 TOOHEY KELLY I  
 4171 MURPHY BILLY  
 4171 NO CURRENT LISTING (3 APTS)  
 4173 CIANCIOLA MARK  
 4173 CIANCIOLA PETER M  
 4173 NO CURRENT LISTING (2 APTS)  
 4173 PEGRAM JOSEPH  
 4175 NO CURRENT LISTING (3 APTS)  
 4175 TURNER MERI  
 4177 MULTI TENANT RESIDENTIAL  
 4177 NO CURRENT LISTING  
 4179 CHRISTOPHER BRIAN  
 4179 MIDTHUN NOWELL & AUDREY  
 4179 NO CURRENT LISTING  
 4181 NO CURRENT LISTING (2 APTS)  
 4181 SADTLER GRAHAM M  
 4181 WIGGS C B  
 4183 MULTI TENANT RESIDENTIAL  
 4185 MULTI TENANT RESIDENTIAL  
 4185 NO CURRENT LISTING  
 4187 NO CURRENT LISTING (4 APTS)  
 4189 MULTI TENANT RESIDENTIAL  
 4189 NO CURRENT LISTING  
 4200 NEW BERN HIGH SCHOOL SCHOOLS  
 4200 WTKF RADIO RADIO STATIONS / BROADCASTING CO  
 4315 MULTI TENANT RESIDENTIAL  
 4315 NO CURRENT LISTING (4 APTS)

3800 NO CURRENT LISTING  
 3801 COLONY TIRE CORP AUTO RPR & SERV  
 3809 ITSU CAR AUDIO SPECIALIST INC AUTO RADIO & STEREO SYS  
 3810 FORESTRY DEPT DISTRICT HQ GOVEMMENT- FORESTRY SERV  
 3811 WILD BILL'S GOLF SHOP GOLF EQUIP / SUPL RETAIL  
 3815 NO CURRENT LISTING (7 APTS)  
 3815 WHITFORD DAVID A  
 3816 R W MOORE EQUIPMENT CO TRACTOR - DLRS  
 3817 DANIELS THOMAS A & KIMBERLY A  
 3819 ASHLEY ARCHERY TAXEDERMY ARCHERY EQUIP / SUPL  
 3903 NO CURRENT LISTING  
 3906 COMMUNITY YELLOW PAGES BUSINESS SERV  
 3908 XTREME DANCEWEAR & GIFTS INC DANCING SUPL  
 3910 DAIRY FREEZE & MORE ICE CREAM PARLORS  
 3912 JEFFERSON - PILOT LIFE INS CO INSURANCE  
 3914 JOHN VESCO REAL ESTATE INC REAL ESTATE  
 3915 MILL OUTLET VILLAGE INC FABRIC SHOPS  
 3920 PAWN ETC PAWNBROKERS  
 3950 AFFORDABLE HOMES - NEW BERN INC MOBILE HOMES - DLRS  
 4000 SPRINT TELEPHONE COMPANIES

4169 HALE JAMES  
 4169 UNDERWOOD OANA R  
 4169 UNDERWOOD VINCENT D  
 4171 LANE JONATHAN  
 4171 WILLIS KELLY  
 4173 CIANCIOLA MARK  
 4175 CASEY TOM  
 4175 NORTH BRIAN R  
 4175 SHAH AMISH  
 4177 GASKINS MICHAEL G  
 4177 MITCHELL EDWARD  
 4179 HARDISON TROY S  
 4179 MCCLANAHAN GILBERT D  
 4181 LANGLEY CHERYL  
 4181 NOT VERIFIED  
 4181 SWINSON BILLY A  
 4183 CABE K  
 4183 HILL WILLIAM  
 4183 NOT VERIFIED  
 4183 TAYLOR KIMBERLY A  
 4185 DIETZ DENNIS R  
 4187 HALE EDMUND D  
 4187 HALE KENN D  
 4189 CARAWAN SHAWN P  
 4189 CORDELL CHRISTOPHER M  
 4189 WARDLE MICHAEL S  
 4200 NEW BERN HIGH SCHOOL ELMNTRY SCNDRY SCH  
 4315 ALLEN JOSEPH  
 4315 BAKER BENJAMIN  
 4315 BAKER GILBERT R

3621 MOORE'S BARBECUE EATING PLACES  
 3711 INTERNET HOUSING CENTER USED CAR DEALERS  
 3800 NARDOZZI'S BODY SHOP AUTO RPR  
 3800 S & J MOBILE HOMES MOBILE HOME DLRS  
 3813 COLONY TIRE CORPORATION AUTO HOME SPPL STR  
 3815 COOMB JERRI  
 3815 HAYNES LOIS  
 3815 LOIS'S HANDS OF FAITH BEAUTY SHOPS  
 3815 MARTIN MARGARET  
 3815 NAY MERLE L  
 3815 NOT VERIFIED  
 3817 DANIELS THOMAS A  
 3820 PALM HARBOR HOMES PETRO BLK STNS TMN  
 3894 JEFFERSON - PILOT LIFE INSURANCE CO INS AGTS'SVCS  
 3898 YOUTH SHOP THE CHDRNS INFNT WEAR  
 3903 NOT VERIFIED  
 3906 PRECIOUS PORTRAITS BY DARCO PHOTO STDIOS PRTRT  
 3914 BELL AGENCY INS AGTS'SVCS  
 3920 FIRST BALLROOM BUSN SVCS  
 3924 NOT VERIFIED  
 3930 AUTO OUTLET USED CAR DEALERS  
 3950 AFFORDABLE HOMES OF NEW BERN MOBILE HOME DLRS  
 4000 BUNN SEAN  
 4007 STALLINGS & THOMAS INS AGTS'SVCS  
 4007 STALLINGS DAN

STREET NOT LISTED

3715 ALCOKE JOE HONDA INC  
3800 VACANT  
3813 COLONY TIRE CORP TIRE DLRSHIP  
3815 CAR SOUND & SECURITY  
3815 LOIS'S HANDS OF FAITH HAIRSTYLING  
3817 WILD BILL'S GOLF SHOP GOLF EQUIP & REPAIR  
3850 STATE DIVISION OF FOREST RESOURCE  
3858 MOORE R W EQUIPMENT CO INC HEAVY MACHINE PARTS  
3858 MOORE R W EQUIPMENT CO JOHN DEERE SLS & SERV  
3882 COWELLS CLEANERS  
3884 NATIONWIDE INSURANCE ALL INS  
3888 CHRISTIE'S FINER FASHIONS CLOTHS RET  
3894 JEFFERSON PILOT LIFE INSURANCE CO  
3898 YOUTH SHOP BOUTIQUE  
3960 DUFFY'S AUTO SALES INC AUTO DLR - USED  
3990 AFFORDABLE HOMES OF NEW BERN INC MOBILE HOME SLS  
4005 DURHAM'S FURNITURE REPAIR REFINISHING & UPHOLSTERY  
4706 PEPSI - COLA BOTTLING CO OF NEW BERN INC

STREET NOT LISTED

3711 COLONIAL MOTORS  
3813 GREYWOOD TIRE CORP TIRE DLRSHIP  
3815 LOIS'S HANDS OF FAITH HAIRSTYLING  
3817 ALLSTATE - WILLIAM R PARKER INS  
3817 DUFFY'S AUTO SALES AUTO DLR - USED  
3817 HANDY MART NO 20 GRO  
3817 STATE DIVISION OF FOREST RESERVE  
3817 TARHEEL HOUSING CENTER INC MOBILE HOME DLR - REPR  
3817 WHITE'S OLD FASHION MEAT MKT  
3886 HEARTH SHOP THE MANTLE - FIREPLACE FIXTURES  
3886 MOORE R W EQUIPMENT CO INDUS SUP - EQUIP  
3894 CENTURY 21 MC COTTER - RAINES  
3894 HARDISON PRINTING  
3900 AFFORDABLE HOMES OF NEW BERN INC MOBILE HM DLRS  
3900 BELL JOAN A INSURANCE AGENCY  
4000 CAROLINA TELEPHONE CO

STREET NOT LISTED

- 3715 CENTURY TWENTY - ONE ACTION ASSOCIATES
- 3715 HANDY MART NUMBER 20 GRO
- 3715 JOHNSON'S CARL AUTOMOTIVE CENTER INC
- 3715 MOORE'S BARBECUE
- 3715 NEW BERN COCA COLA BOTTLING WORKS INC
- 3800 BAYLINER MARINE CORP
- 3815 BILL'S PET SHOP
- 3815 HAIR CREATIONS
- 3850 MOORE R W EQUIPMENT CO INDUS EQUIP
- 3850 STATE FOREST SERV (NEW BERN DIST HQ)

STREET NOT LISTED

- . CLARK BOAT CO INC
- . MOORE R W EQUIPMENT CO INDUS EQUIP
- . STATE FOREST SERV (NEW BERN DIST HQ)
- 3715 JOHNSON'S CARL AUTOMOTIVE CENTER INC
- 3715 NEW BERN COCA COLA BOTTLING WORKS INC

STREET NOT LISTED

. CLARK BOAT CO INC  
. MOORE R W EQUIPMENT CO INDUS EQUIP  
. STATE DIV FOREST RESOURCES  
3715 NEW BERN COCA - COLA BOTTLING WORKS INC

STREET NOT LISTED

NO LISTINGS IN RANGE

STREET NOT LISTED

NO LISTINGS IN RANGE

STREET NOT LISTED

NO LISTINGS IN RANGE

STREET NOT LISTED



# **HISTORICAL DOCUMENTATION: FIRE INSURANCE MAPS**



# FIRE INSURANCE MAPS

**Project Property:** Palatine Meadows  
4140 Academic Drive  
New Bern NC 28562

**Project No:** 04571591

**Requested By:** Intertek PSI

**Order No:** 21022200157

**Date Completed:** February 23, 2021

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**Please note that no information was found for your site or adjacent properties.**

# **ENVIRONMENTAL DATABASE REPORT**



# DATABASE REPORT

**Project Property:** *Palatine Meadows  
4140 Academic Drive  
New Bern NC 28562  
04571591*

**Project No:** *04571591*

**Report Type:** *Database Report*

**Order No:** *21022200157*

**Requested by:** *Intertek PSI*

**Date Completed:** *February 24, 2021*

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## **Notice: IMPORTANT LIMITATIONS and YOUR LIABILITY**

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# Executive Summary

## Property Information:

**Project Property:** *Palatine Meadows  
4140 Academic Drive New Bern NC 28562*

**Project No:** *04571591*

### **Coordinates:**

**Latitude:** *35.097455*  
**Longitude:** *-77.11292085*  
**UTM Northing:** *3,885,892.90*  
**UTM Easting:** *307,406.44*  
**UTM Zone:** *UTM Zone 18S*

**Elevation:** *19 FT*

## Order Information:

**Order No:** *21022200157*  
**Date Requested:** *February 22, 2021*  
**Requested by:** *Intertek PSI*  
**Report Type:** *Database Report*

## Historicals/Products:

**Aerial Photographs** *Historical Aerials (Boundaries)*  
**City Directory Search** *CD - 2 Street Search*  
**ERIS Xplorer** [\*ERIS Xplorer\*](#)  
**Excel Add-On** *Excel Add-On*  
**Fire Insurance Maps** *US Fire Insurance Maps*  
**Physical Setting Report (PSR)** *Physical Setting Report (PSR)*  
**Topographic Map** *Topographic Maps*  
**Vapor Screening Tool** *Vapor Screening Tool*

# Executive Summary: Report Summary

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
<b>Standard Environmental Records</b>								
<b>Federal</b>								
FRP	Y	0.25	0	0	0	-	-	0
NPL	Y	1	0	0	0	0	0	0
PROPOSED NPL	Y	1	0	0	0	0	0	0
DELETED NPL	Y	0.5	0	0	0	0	-	0
SEMS	Y	0.5	0	0	0	0	-	0
ODI	Y	0.5	0	0	0	0	-	0
SEMS ARCHIVE	Y	0.5	0	0	0	0	-	0
CERCLIS	Y	0.5	0	0	0	0	-	0
IODI	Y	0.5	0	0	0	0	-	0
CERCLIS NFRAP	Y	0.5	0	0	0	0	-	0
CERCLIS LIENS	Y	PO	0	-	-	-	-	0
RCRA CORRACTS	Y	1	0	0	0	0	0	0
RCRA TSD	Y	0.5	0	0	0	0	-	0
RCRA LQG	Y	0.125	0	0	-	-	-	0
RCRA SQG	Y	0.125	0	0	-	-	-	0
RCRA VSQG	Y	0.125	0	0	-	-	-	0
RCRA NON GEN	Y	0.125	0	0	-	-	-	0
FED ENG	Y	PO	0	-	-	-	-	0
FED INST	Y	PO	0	-	-	-	-	0
ERNS 1982 TO 1986	Y	PO	0	-	-	-	-	0
ERNS 1987 TO 1989	Y	PO	0	-	-	-	-	0
ERNS	Y	PO	0	-	-	-	-	0
FED BROWNFIELDS	Y	0.5	0	0	0	0	-	0
FEMA UST	Y	0.25	0	0	0	-	-	0
REFN	Y	0.25	0	0	0	-	-	0
BULK TERMINAL	Y	0.25	0	0	0	-	-	0
SEMS LIEN	Y	PO	0	-	-	-	-	0

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
SUPERFUND ROD	Y	1	0	0	0	0	0	0
<b>State</b>								
SHWS	Y	1	0	0	0	1	0	1
LUST TRUST	Y	0.5	0	0	0	3	-	3
DEL SHWS	Y	1	0	0	0	0	0	0
SWF/LF	Y	0.5	0	0	0	0	-	0
OLD LF	Y	0.5	0	0	0	0	-	0
COAL ASH LF	Y	0.5	0	0	0	0	-	0
LUST	Y	0.5	0	1	0	6	-	7
HSDS	Y	1	0	0	0	0	0	0
LAST	Y	0.5	0	0	1	1	-	2
DELISTED LST	Y	0.5	0	0	0	0	-	0
UST	Y	0.125	0	0	-	-	-	0
AST	Y	0.25	0	0	0	-	-	0
DTNK	Y	0.25	0	0	1	-	-	1
SOIL REM PERMITS	Y	0.25	0	0	0	-	-	0
INST	Y	PO	0	-	-	-	-	0
LUR	Y	PO	0	-	-	-	-	0
FUEL STATIONS	Y	0.25	0	0	0	-	-	0
DELISTED FSS	Y	0.25	0	0	0	-	-	0
VCP	Y	0.5	0	0	0	0	-	0
BROWNFIELDS	Y	0.5	0	0	0	0	-	0
<b>Tribal</b>								
INDIAN LUST	Y	0.5	0	0	0	0	-	0
INDIAN UST	Y	0.125	0	0	-	-	-	0
DELISTED ILST	Y	0.5	0	0	0	0	-	0
DELISTED IUST	Y	0.25	0	0	0	-	-	0
<b>County</b>				<b>No County standard environmental record sources available for this State.</b>				
<b><u>Additional Environmental Records</u></b>								
<b>Federal</b>								
PFAS NPL	Y	0.5	0	0	0	0	-	0
FINDS/FRS	Y	PO	0	-	-	-	-	0
TRIS	Y	PO	0	-	-	-	-	0

<b>Database</b>	<b>Searched</b>	<b>Search Radius</b>	<b>Project Property</b>	<b>Within 0.12mi</b>	<b>0.125mi to 0.25mi</b>	<b>0.25mi to 0.50mi</b>	<b>0.50mi to 1.00mi</b>	<b>Total</b>
PFAS TRI	Y	0.5	0	0	0	0	-	0
PFAS WATER	Y	0.5	0	0	0	0	-	0
HMIRS	Y	0.125	0	0	-	-	-	0
NCDL	Y	0.125	0	0	-	-	-	0
TSCA	Y	0.125	0	0	-	-	-	0
HIST TSCA	Y	0.125	0	0	-	-	-	0
FTTS ADMIN	Y	PO	0	-	-	-	-	0
FTTS INSP	Y	PO	0	-	-	-	-	0
PRP	Y	PO	0	-	-	-	-	0
SCRD DRYCLEANER	Y	0.5	0	0	0	0	-	0
ICIS	Y	PO	0	-	-	-	-	0
FED DRYCLEANERS	Y	0.25	0	0	0	-	-	0
DELISTED FED DRY	Y	0.25	0	0	0	-	-	0
FUDS	Y	1	0	0	0	0	0	0
PIPELINE INCIDENT	Y	PO	0	-	-	-	-	0
MLTS	Y	PO	0	-	-	-	-	0
HIST MLTS	Y	PO	0	-	-	-	-	0
MINES	Y	0.25	0	0	0	-	-	0
ALT FUELS	Y	0.25	0	0	0	-	-	0
SSTS	Y	0.25	0	0	0	-	-	0
PCB	Y	0.5	0	0	0	0	-	0

**State**

DRY DSCA	Y	0.5	0	0	0	0	-	0
DRYC CONTAM	Y	0.5	0	0	0	0	-	0
DRYCLEANERS	Y	0.25	0	0	0	-	-	0
DELISTED DRYCLEANERS	Y	0.25	0	0	0	-	-	0
SPILLS	Y	0.125	0	1	-	-	-	1
MGP	Y	1	0	0	0	0	0	0
PFAS	Y	0.5	0	0	0	0	-	0
SWRCY	Y	0.5	0	0	0	0	-	0
HAZ	Y	0.25	0	0	0	-	-	0
SDTF	Y	0.125	0	0	-	-	-	0
TIER 2	Y	0.125	0	0	-	-	-	0

**Tribal**

**No Tribal additional environmental record sources available for this State.**

<i>Database</i>	<i>Searched</i>	<i>Search Radius</i>	<i>Project Property</i>	<i>Within 0.12mi</i>	<i>0.125mi to 0.25mi</i>	<i>0.25mi to 0.50mi</i>	<i>0.50mi to 1.00mi</i>	<i>Total</i>
<b>County</b>	<b>No County additional environmental record sources available for this State.</b>							

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<i>Total:</i>	0	2	2	11	0	15
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*\* PO – Property Only*

*\* 'Property and adjoining properties' database search radii are set at 0.25 miles.*

## Executive Summary: Site Report Summary - Project Property

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Direction</i>	<i>Distance (mi/ft)</i>	<i>Elev Diff (ft)</i>	<i>Page Number</i>
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No records found in the selected databases for the project property.

## Executive Summary: Site Report Summary - Surrounding Properties

Map Key	DB	Company/Site Name	Address	Direction	Distance (mi/ft)	Elev Diff (ft)	Page Number
<a href="#">1</a>	SPILLS	New Bern Collection System	4011 Academic Drice NC	S	0.07 / 361.40	1	<a href="#">19</a>
<a href="#">2</a>	LUST	FAMILY OUTREACH CHURCH	3901 DR. MLK JR. BLVD. New Bern NC 28562	S	0.10 / 517.05	1	<a href="#">19</a>
			<i>Incident No:</i> 38776 <i>Incid Phase Desc:</i> Close Out				
<a href="#">3</a>	DTNK	FAMILY OUTREACH CHURCH MINISTRIES	3901 DOCTOR M.L.K. JR BOULEVARD NEW BERN NC 28562	S	0.13 / 670.65	1	<a href="#">21</a>
<a href="#">4</a>	LAST	DUKE ENERGY SPILL	3956 DR. MARTIN LUTHER KING NEW BERN NC 28501	SW	0.19 / 987.89	3	<a href="#">22</a>
			<i>Incident No   Date Occurred (IMD)   Date Occurred (Map)   Current Status   Current Status (Map):</i> 93220   4/4/2014   2014/04/05 00:00:00+00   Archived   Archived <i>Inci Phase Desc:</i> Close Out				
<a href="#">5</a>	LUST	CARL JOHNSON CAR DEALERSHIP/BB&T	HWY 17 S AND TRENT ROAD NEW BERN NC 28560	ESE	0.25 / 1,331.08	0	<a href="#">24</a>
<a href="#">6</a>	LUST	4010 NEW BERN INVESTMENTS, INC.	4010 CLARENDON BLVD NEW BERN NC 28560	WSW	0.27 / 1,439.78	5	<a href="#">25</a>
<a href="#">7</a>	LUST	COCA COLA OF NEW BERN	3710 US 17 S. NEW BERN NC 28560	E	0.28 / 1,460.87	3	<a href="#">27</a>
			<i>Incident No:</i> 10195 <i>Incid Phase Desc:</i> Close Out				
<a href="#">8</a>	LAST	COCA COLA OF NEW BERN	3710 DR. MARTIN LUTHER KING NEW BERN NC 28560	ESE	0.28 / 1,481.48	0	<a href="#">29</a>
			<i>Incident No   Date Occurred (IMD)   Date Occurred (Map)   Current Status   Current Status (Map):</i> 10464   9/16/1992   1992/09/17 00:00:00+00   Archived   Archived <i>Inci Phase Desc:</i> Close Out				
<a href="#">9</a>	SHWS	COCA COLA BOTTLING WORKS INC	HIGHWAY 17 NEW BERN NC	E	0.31 / 1,620.35	2	<a href="#">31</a>
			<i>EPA ID:</i> NONCD0001032				
<a href="#">10</a>	LUST	HANDY MART 53	4013 MARTIN LUTHER KING BLVD. NEW BERN NC 28562	WSW	0.32 / 1,688.40	4	<a href="#">32</a>
			<i>Incident No:</i> 38521 <i>Incid Phase Desc:</i> Close Out				
<a href="#">10</a>	LUST TRUST	Handy Mart 53	4013 Martin Luther King Blvd. New Bern NC	WSW	0.32 / 1,688.40	4	<a href="#">35</a>
			<i>Incident No   Facility ID:</i> 38521   0-00-0000034104				
<a href="#">11</a>	LUST	Speedway #8275	4100 Dr. ML King Jr. Boulevard	WSW	0.36 / 1,921.16	4	<a href="#">35</a>

<b>Map Key</b>	<b>DB</b>	<b>Company/Site Name</b>	<b>Address</b>	<b>Direction</b>	<b>Distance (mi/ft)</b>	<b>Elev Diff (ft)</b>	<b>Page Number</b>
			New Bern NC 28562				
			<b>Incident No:</b> 38693 <b>Incid Phase Desc:</b> Close Out				
<a href="#"><u>12</u></a>	LUST TRUST	Speedway #8275	4100 Dr. ML King Jr. Boulevard New Bern NC	WSW	0.36 / 1,921.88	4	<a href="#"><u>38</u></a>
			<b>Incident No   Facility ID:</b> 38693   0-035397				
<a href="#"><u>13</u></a>	LUST TRUST	Ballard Residence	3824 Horseshoe Road New Bern NC	SSE	0.47 / 2,496.05	-6	<a href="#"><u>38</u></a>
			<b>Incident No   Facility ID:</b> 20502				
<a href="#"><u>14</u></a>	LUST	BALLARD RESIDENCE	3824 HORSESHOE ROAD NEW BERN NC 285625018	SSE	0.49 / 2,561.00	-4	<a href="#"><u>39</u></a>
			<b>Incident No:</b> 20502 <b>Incid Phase Desc:</b> Close Out				

## Executive Summary: Summary by Data Source

### Standard

#### State

##### SHWS - Inactive Hazardous Sites and Federal Remediation Branch Sites

A search of the SHWS database, dated Dec 23, 2020 has found that there are 1 SHWS site(s) within approximately 1.00 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
COCA COLA BOTTLING WORKS INC	HIGHWAY 17 NEW BERN NC  <i>EPA ID: NONCD0001032</i>	E	0.31 / 1,620.35	<a href="#"><u>9</u></a>

##### LUST TRUST - State Trust Funds Database

A search of the LUST TRUST database, dated Feb 5, 2021 has found that there are 3 LUST TRUST site(s) within approximately 0.50 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Handy Mart 53	4013 Martin Luther King Blvd. New Bern NC  <i>Incident No   Facility ID: 38521   0-00-0000034104</i>	WSW	0.32 / 1,688.40	<a href="#"><u>10</u></a>
Speedway #8275	4100 Dr. ML King Jr. Boulevard New Bern NC  <i>Incident No   Facility ID: 38693   0-035397</i>	WSW	0.36 / 1,921.88	<a href="#"><u>12</u></a>

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Ballard Residence	3824 Horseshoe Road New Bern NC  <i>Incident No   Facility ID: 20502  </i>	SSE	0.47 / 2,496.05	<a href="#"><u>13</u></a>

##### LUST - Incident Management Database (Regional Underground Storage Tanks)

A search of the LUST database, dated Oct 23, 2020 has found that there are 7 LUST site(s) within approximately 0.50 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
FAMILY OUTREACH CHURCH	3901 DR. MLK JR. BLVD. New Bern NC 28562  <i>Incident No: 38776 Incid Phase Desc: Close Out</i>	S	0.10 / 517.05	<a href="#"><u>2</u></a>
CARL JOHNSON CAR DEALERSHIP/BB&T	HWY 17 S AND TRENT ROAD NEW BERN NC 28560	ESE	0.25 / 1,331.08	<a href="#"><u>5</u></a>

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
4010 NEW BERN INVESTMENTS, INC.	4010 CLARENDON BLVD NEW BERN NC 28560	WSW	0.27 / 1,439.78	<a href="#">6</a>
COCA COLA OF NEW BERN	3710 US 17 S. NEW BERN NC 28560  <i>Incident No: 10195</i> <i>Incid Phase Desc: Close Out</i>	E	0.28 / 1,460.87	<a href="#">7</a>
HANDY MART 53	4013 MARTIN LUTHER KING BLVD. NEW BERN NC 28562  <i>Incident No: 38521</i> <i>Incid Phase Desc: Close Out</i>	WSW	0.32 / 1,688.40	<a href="#">10</a>
Speedway #8275	4100 Dr. ML King Jr. Boulevard New Bern NC 28562  <i>Incident No: 38693</i> <i>Incid Phase Desc: Close Out</i>	WSW	0.36 / 1,921.16	<a href="#">11</a>

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
BALLARD RESIDENCE	3824 HORSESHOE ROAD NEW BERN NC 285625018  <i>Incident No: 20502</i> <i>Incid Phase Desc: Close Out</i>	SSE	0.49 / 2,561.00	<a href="#">14</a>

### LAST - Aboveground Incident Management Database (Regional Aboveground Storage Tanks)

A search of the LAST database, dated Jan 22, 2021 has found that there are 2 LAST site(s) within approximately 0.50 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
DUKE ENERGY SPILL	3956 DR. MARTIN LUTHER KING NEW BERN NC 28501  <i>Incident No   Date Occurred (IMD)   Date Occurred (Map)   Current Status   Current Status (Map): 93220   4/4/2014   2014/04/05 00:00:00+00   Archived   Archived</i> <i>Inci Phase Desc: Close Out</i>	SW	0.19 / 987.89	<a href="#">4</a>
COCA COLA OF NEW BERN	3710 DR. MARTIN LUTHER KING NEW BERN NC 28560  <i>Incident No   Date Occurred (IMD)   Date Occurred (Map)   Current Status   Current Status (Map): 10464   9/16/1992   1992/09/17 00:00:00+00   Archived   Archived</i> <i>Inci Phase Desc: Close Out</i>	ESE	0.28 / 1,481.48	<a href="#">8</a>

### DTNK - Delisted Storage Tanks

A search of the DTNK database, dated Jan 15, 2021 has found that there are 1 DTNK site(s) within approximately 0.25 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
FAMILY OUTREACH CHURCH MINISTRIES	3901 DOCTOR M.L.K. JR BOULEVARD NEW BERN NC 28562	S	0.13 / 670.65	<a href="#">3</a>

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
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**Non Standard**

**State**

**SPILLS - Incident Management Database (Spills)**

A search of the SPILLS database, dated Oct 14, 2020 has found that there are 1 SPILLS site(s) within approximately 0.12 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
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New Bern Collection System	4011 Academic Drice NC	S	0.07 / 361.40	<a href="#"><u>1</u></a>
----------------------------	---------------------------	---	---------------	--------------------------



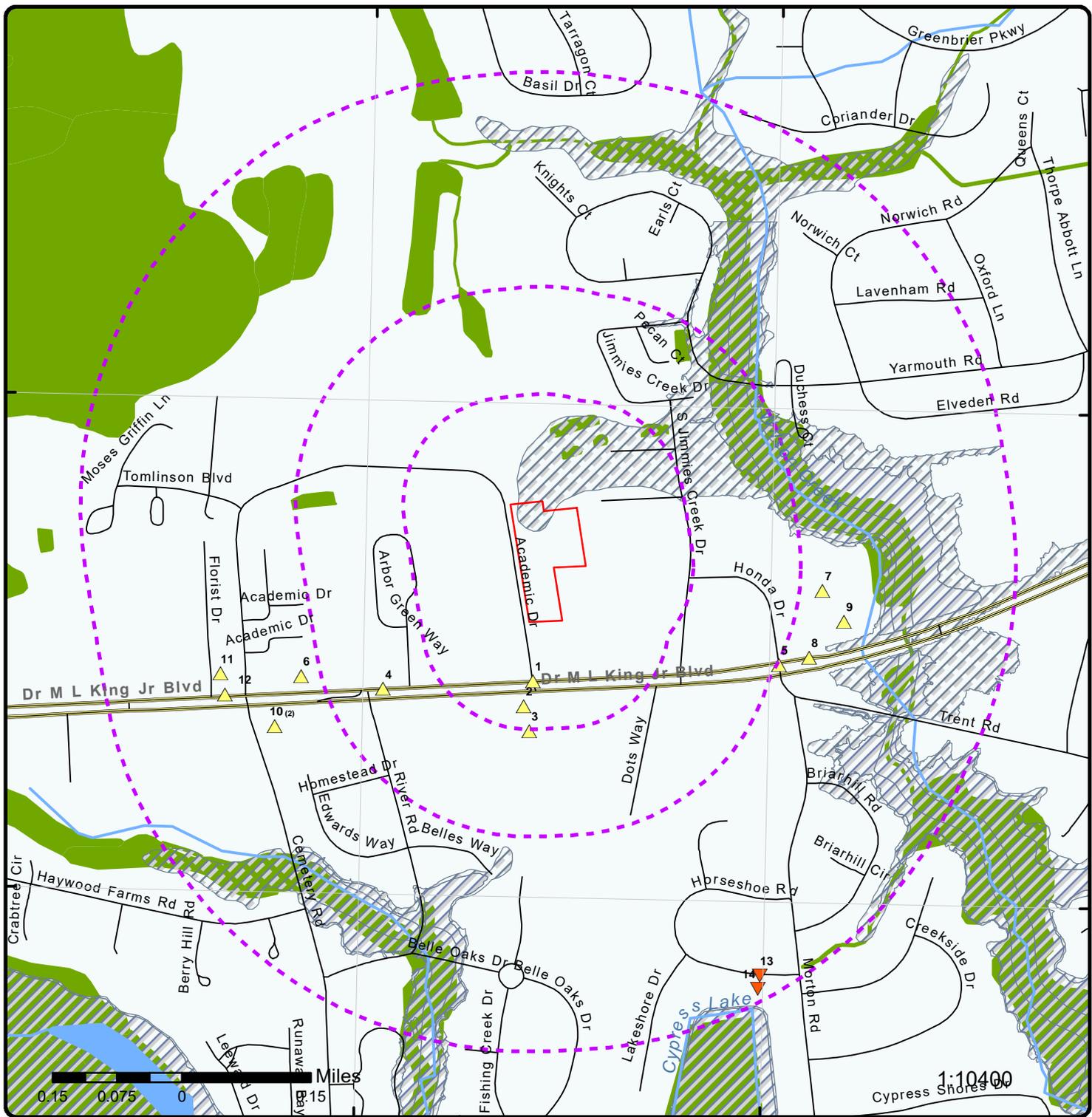
### Map: 1.0 Mile Radius

Order Number: 21022200157

Address: 4140 Academic Drive, New Bern, NC



Project Property	Rails	State Boundary	FWS Special Designation Areas
Buffer Outline	Major Highways	National Priority List Sites	State Brownfield Sites
Eris Sites with Higher Elevation	Major Highways Ramps	National Wetland	State Brownfield Areas
Eris Sites with Same Elevation	Major Roads	Indian Reserve Land	State Superfund Areas: Dept. of Defense
Eris Sites with Lower Elevation	Major Roads Ramps	100 Year Flood Zone	State Superfund Areas: NPL
Eris Sites with Unknown Elevation	Secondary Roads	500 Year Flood Zone	WQARF Areas
County Boundary	Secondary Roads Ramps		Federal Lands: Dept. of Defense (owned/administered areas)
	Local Roads and Ramps		

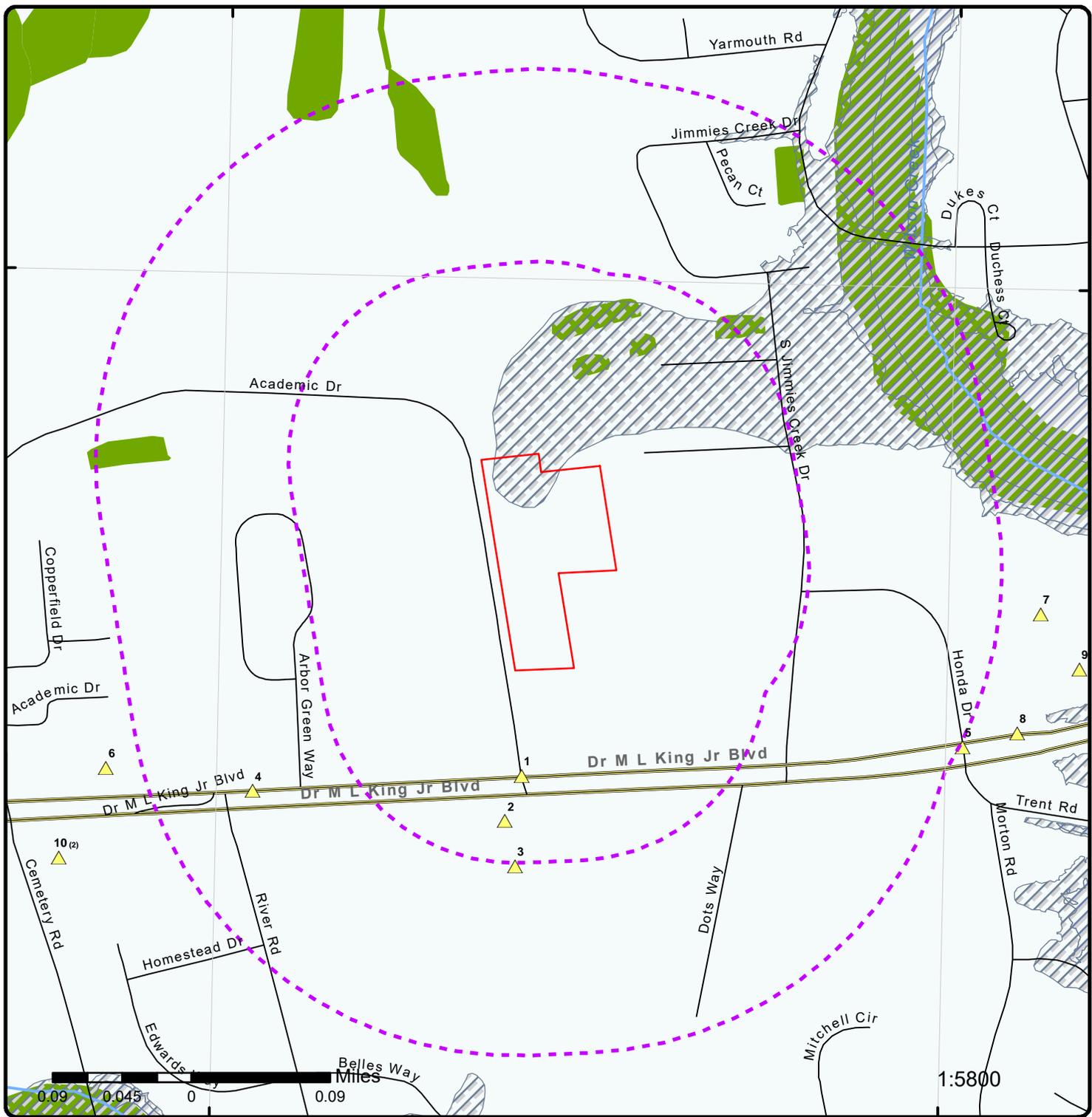


**Map: 0.5 Mile Radius**

Order Number: 21022200157  
 Address: 4140 Academic Drive, New Bern, NC



Project Property	Rails	State Boundary	FWS Special Designation Areas
Buffer Outline	Major Highways	National Priority List Sites	State Brownfield Sites
Eris Sites with Higher Elevation	Major Highways Ramps	National Wetland	State Brownfield Areas
Eris Sites with Same Elevation	Major Roads	Indian Reserve Land	State Superfund Areas: Dept. of Defense
Eris Sites with Lower Elevation	Major Roads Ramps	100 Year Flood Zone	State Superfund Areas: NPL
Eris Sites with Unknown Elevation	Secondary Roads	500 Year Flood Zone	WQARF Areas
County Boundary	Secondary Roads Ramps		Federal Lands: Dept. of Defense (owned/administered areas)
	Local Roads and Ramps		



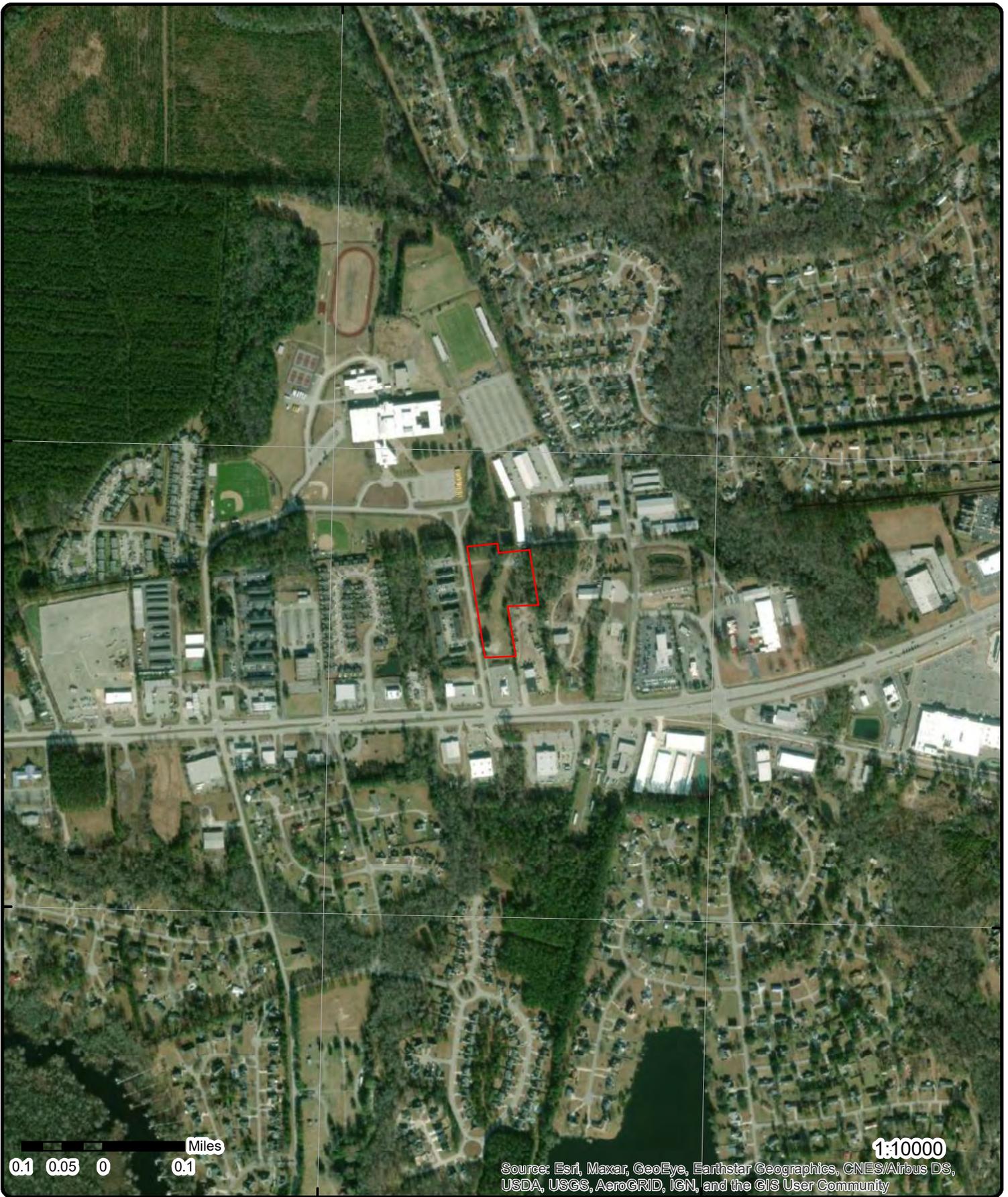
### Map: 0.25 Mile Radius

Order Number: 21022200157

Address: 4140 Academic Drive, New Bern, NC



Project Property	Rails	State Boundary	FWS Special Designation Areas
Buffer Outline	Major Highways	National Priority List Sites	State Brownfield Sites
Eris Sites with Higher Elevation	Major Highways Ramps	National Wetland	State Brownfield Areas
Eris Sites with Same Elevation	Major Roads	Indian Reserve Land	State Superfund Areas: Dept. of Defense
Eris Sites with Lower Elevation	Major Roads Ramps	100 Year Flood Zone	State Superfund Areas: NPL
Eris Sites with Unknown Elevation	Secondary Roads	500 Year Flood Zone	WQARF Areas
County Boundary	Secondary Roads Ramps		Federal Lands: Dept. of Defense (owned/administered areas)
	Local Roads and Ramps		



**Aerial** Year: 2019

Address: 4140 Academic Drive, New Bern, NC

Source: ESRI World Imagery

Order Number: 21022200157



© ERIS Information Inc.



**Topographic Map** Year: 2016

Address: 4140 Academic Drive, NC

Quadrangle(s): Jasper, NC; Askin, NC; New Bern, NC; Pollocksville, NC

Source: USGS Topographic Map

Order Number: 21022200157



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# Detail Report

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<a href="#">1</a>	1 of 1	S	0.07 / 361.40	19.76 / 1	<b>New Bern Collection System</b> 4011 Academic Drice NC	<b>SPILLS</b>

**Incident No:** 200701044      **Region:** Washington  
**Latitude:**                      **County:** Craven  
**Longitude:**

**Incident Details**

<b>Permit No:</b> WQCS00052	<b>Year:</b> 2020
<b>Incident Type:</b> SSO	<b>Est Total Vol:</b> 450
<b>Start Date:</b> 3/16/2007	<b>Est Surface Wtr Vol:</b> 450
<b>Extract Date:</b>	<b>Waterbody Name:</b> Trent River
<b>Five Day Start Dt:</b>	<b>Cur Classification:</b> SB;Sw,NSW
<b>Owner:</b> City of New Bern	<b>Duration (Minutes):</b> 60
<b>Owner Organztn Nm:</b>	<b>User Last Updated:</b>

<a href="#">2</a>	1 of 1	S	0.10 / 517.05	19.61 / 1	<b>FAMILY OUTREACH CHURCH</b> 3901 DR. MLK JR. BLVD. New Bern NC 28562	<b>LUST</b>
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<b>Incident No (DWM Map):</b> 38776	<b>Incident No:</b> 38776
<b>Fac ID (DWM Map):</b>	<b>Facility ID:</b>
<b>UST No (DWM Map):</b> WA-27645	<b>UST No:</b> WA-27645
<b>Curr Stat (DWM Map):</b> Current Record	<b>Current Status:</b> C
<b>Close Out(DWMMMap):</b> 2019/11/06 00:00:00+00	<b>Status Title:</b> Current Record
<b>Dt Occur (DWM Map):</b> 2019/08/14 00:00:00+00	<b>Close Out:</b> 05-Nov-2019 00:00:00
<b>Incident (DWM Map):</b> FAMILY OUTREACH CHURCH	<b>Date Occurred:</b> 13-Aug-2019 00:00:00
<b>Address (DWM Map):</b> 3901 DR. MLK JR. BLVD.	<b>Contam Type:</b> Groundwater/Both
<b>County (DWM Map):</b> CRAVE	<b>Cleanup:</b> 15-Aug-2019 00:00:00
<b>City (DWM Map):</b> New Bern	<b>County:</b> CRAVE
<b>Zip Code (DWM Map):</b> 28562	<b>Latitude:</b> 35.094889
<b>Latitude (DWM Map):</b> 35.094889	<b>Longitude:</b> -77.113304
<b>Long (DWM Map):</b> -77.113304	

**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Data Source:** Department of Environmental Quality - UST Incidents; Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (PIRF); RUST Incident Management Database (RRA); RUST Incident Management Database (STATUS)

**Incident Details**

<b>Release Code:</b> 2	<b>Samples Include:</b>
<b>Release Cause:</b> 3	<b>7.5 Min Quad:</b>
<b>Release Source:</b> A	<b>5 Min Quad:</b>
<b>Type:</b> 3	<b>Submitted Date:</b>
<b>Location:</b> 8	<b>I Ownership:</b> 4
<b>Site Priority:</b>	<b>Owner Operator:</b>
<b>Priority Update:</b>	<b>Ownership:</b> 4
<b>Source Type:</b> P	<b>Ownership Desc:</b> Private
<b>ERR Type:</b>	<b>Operation Type:</b> 6
<b>Wells Affected Y/N:</b> N	<b>Operation Desc:</b> Commercial
<b>Wells Affected:</b>	<b>PIRF Min Soil:</b>
<b>Samples Taken By:</b> Y	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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**Description of Incident:**

**RRA**

<b>RRA Date:</b>	26-Sep-2019 00:00:00	<b>RRA Rank:</b>	0115
<b>RRA Init:</b>	ALW	<b>RRA Abate:</b>	D
<b>RRA Risk:</b>	L		
<b>RRA ID:</b>	42334		

**Incident Status**

<b>Last Modified:</b>	05-Nov-2019 00:00:00	<b>Public Meeting Held:</b>	
<b>Incident Phase:</b>	CO	<b>Corrective Act Plan:</b>	
<b>Incid Phase Desc:</b>	Close Out	<b>SOC Signed:</b>	
<b>NOV Issued:</b>		<b>Reclassification Rep:</b>	
<b>NORR Issued:</b>		<b>RS Designation:</b>	
<b>45 Day Report:</b>		<b>Closure Req Date:</b>	

**UST Incidents**

<b>RO Code:</b>	WAS	<b>Reg:</b>	N
<b>CD No:</b>	0	<b>Conf Risk:</b>	L
<b>Date Reported:</b>	2019/08/15 00:00:00	<b>RRA Date:</b>	2019/09/27 00:00:00
<b>Land Use:</b>	RES	<b>RRA Risk:</b>	L
<b>LUR Filed:</b>	2019/10/02 00:00:00	<b>RRA Rank Curr:</b>	115
<b>LUR Resc:</b>		<b>RRA Abate:</b>	D
<b>LUR State:</b>	B	<b>Risk:</b>	L
<b>X:</b>	2564311.65197405	<b>RRA Rank:</b>	0115
<b>Y:</b>	494822.745127484	<b>MGR:</b>	ALW
<b>Comm:</b>	C		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27645%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27645%2A%22%7D</a>		
<b>Object ID:</b>	37595		

**RUST Data**

<b>MGR:</b>	ALW	<b>Inc Stat:</b>	Closed
<b>RO Code:</b>	WAS	<b>Closeout FY:</b>	2020
<b>Date Reported:</b>	2019/08/15 00:00:00+00	<b>LUR Filed:</b>	2019/10/02 00:00:00+00
<b>Date Reported FY:</b>	2019	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>Date Occured FY:</b>	2019	<b>LUR State:</b>	B
<b>Comm:</b>	C	<b>CD NO:</b>	0
<b>Reg:</b>	N	<b>RRA Date:</b>	2019/09/27 00:00:00+00
<b>Perccomfndelig:</b>		<b>RRA Risk:</b>	L
<b>TOT Paid:</b>		<b>RRA Rank Curr:</b>	115
<b>Conf Risk:</b>	L	<b>RRA Abate:</b>	D
<b>Risk:</b>	L	<b>RRA Rank:</b>	0115
<b>Landuse:</b>	RES		
<b>Y:</b>	494822.745056337		
<b>Comment:</b>	Release discovered during removal and closure of two abandoned UST's. The release amount is unknwn. FP not observed during removal. TPH at 4081 DRO, 2372 GRO via Red Lab. Soil above residential, gw above 2l. Wsw not used for drinking located approx 5		
<b>X:</b>	2564311.65213082		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27645%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27645%2A%22%7D</a>		
<b>SL Ftfrecdte:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup End Date:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup Start Date:</b>	1970/01/01 00:00:00+00		
<b>SL MGR:</b>			
<b>Object ID:</b>	37594		
<b>SL Site Stat:</b>			

**LUST Database**

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>MGR:</b>	ALW				<b>Contact:</b> MICHAEL RAINES	
<b>Regional Office Cd:</b>	WAS				<b>Telephone:</b> 2526332094	
<b>Date Reported:</b>	14-Aug-2019 00:00:00				<b>RP Address:</b> 312 South Front Street	
<b>Release Code:</b>	0				<b>RP City:</b> New Bern	
<b>Release Code Desc:</b>					<b>RP State:</b> NC	
<b>Source:</b>	3				<b>RP Zip Code:</b> 28560	
<b>Source Desc:</b>	LEAK, UST				<b>RP County:</b>	
<b>Site Priority:</b>					<b>RP Email:</b>	
<b>Pollutant Type:</b>	3				<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	GASOLINE/DIESEL/KEROSENE				<b>RP Owner:</b> FALSE	
<b>Petroleum Type:</b>	P				<b>RP Operator:</b> FALSE	
<b>Petrol Type Desc:</b>	PETROLEUM				<b>RP Land Owner:</b> TRUE	
<b>COMM:</b>	C				<b>Lur Status:</b>	
<b>COMM Desc:</b>	COMMERCIAL				<b>LUR Filed:</b> 01-Oct-2019 00:00:00	
<b>Regulated Code:</b>	N				<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	NON REGULATED				<b>LUR State:</b> B	
<b>Notice Rg Rq Issd:</b>					<b>GPS Conf:</b> 32	
<b>Notice Violtn Issd:</b>					<b>RBCA GW:</b> G2	
<b>Contamination:</b>	GW				<b>RBCA GW Desc:</b> Cleanups to alternate standards	
<b>Cleanup:</b>	15-Aug-2019 00:00:00				<b>RBCA:</b> S2	
<b>Conf Risk:</b>	L				<b>RBCA Desc:</b> Industrial/Commercial	
<b>Risk:</b>	L				<b>CD No:</b> 0	
<b>Land Use:</b>	RES				<b>Reel No:</b> 0.0	
<b>Land Use Desc:</b>	Residential				<b>ERR CD:</b> NO	
<b>Phase Reqr:</b>					<b>Valid:</b> FALSE	
<b>Intrmdt Cndition:</b>					<b>Cat Code:</b>	
<b>Corr Act Plan Cd:</b>					<b>HCS Res:</b>	
<b>CAP Desc:</b>					<b>Reliability:</b>	
<b>Clos Reqs:</b>					<b>Supply Well:</b> 0	
<b>MTBE:</b>	0				<b>New Source:</b>	
<b>MTBE 1:</b>	U				<b>Book:</b>	
<b>RP Company:</b>	JW Raines Properties, LLC				<b>Page:</b>	
<b>HCS Ref:</b>						
<b>Comment:</b>						

Release discovered during removal and closure of two abandoned UST's. The release amount is unknwn. FP not observed during removal. TPH at 4081 DRO, 2372 GRO via Red Lab. Soil above residential, gw above 2l. Wsw not used for drinking located approx 500 feet upgradient. NRP for soil and gw requested

<a href="#">3</a>	1 of 1	S	0.13 / 670.65	19.56 / 1	<b>FAMILY OUTREACH CHURCH MINISTRIES</b> 3901 DOCTOR M.L.K. JR BOULEVARD NEW BERN NC 28562	DTNK
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**Delisted Underground Storage Tanks**

<b>Facility ID:</b>	00-0-0000044128	<b>Contact:</b>	
<b>No Reg Tanks:</b>	3	<b>Contact Address 1:</b>	
<b>No Non-Reg Tanks:</b>	0	<b>Contact Address 2:</b>	
<b>Non-Reg/Com Tanks:</b>	0	<b>Contact City:</b>	
<b>Fac Owner Type:</b>	Private/Corporate	<b>Contact State:</b>	
<b>Fac Name (Report):</b>		<b>Contact Zip:</b>	
<b>Address1 (Report):</b>		<b>Fac Name (Map):</b>	FAMILY OUTREACH CHURCH MINISTRIES
<b>Address2 (Report):</b>		<b>Fac Address (Map):</b>	3901 DOCTOR M.L.K. JR BOULEVARD
<b>City (Report):</b>		<b>Facility City (Map):</b>	NEW BERN
<b>State (Report):</b>		<b>Facility Zip (Map):</b>	28562
<b>Zip (Report):</b>		<b>Facility Phone (Map) :</b>	(252) 633-2094
<b>Latitude (Report):</b>		<b>Latitude (Map):</b>	35.094466
<b>Longitude (Report):</b>		<b>Longitude (Map):</b>	-77.113178
<b>Source:</b>	Division of Waste Management Site Locator Tool - UST Active Facilities		
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>		
<b>Original Source:</b>	UST		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Record Date: 12-JUN-2020

<a href="#">4</a>	1 of 1	SW	0.19 / 987.89	21.49 / 3	DUKE ENERGY SPILL 3956 DR. MARTIN LUTHER KING NEW BERN NC 28501	LAST
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<b>Incident No:</b>	93220	<b>Incident No (Map):</b>	93220
<b>Incident Name:</b>	DUKE ENERGY SPILL	<b>Inc Name (Map):</b>	DUKE ENERGY SPILL
<b>UST No:</b>	WA-89049	<b>UST No (Map):</b>	WA-89049
<b>Facility ID:</b>		<b>Facility ID (Map):</b>	
<b>Address:</b>	3956 DR. MARTIN LUTHER KING	<b>Address (Map):</b>	3956 DR. MARTIN LUTHER KING
<b>County:</b>	CRAVE	<b>County (Map):</b>	CRAVE
<b>Citytown:</b>	NEW BERN	<b>City Town (Map):</b>	NEW BERN
<b>Zipcode:</b>	28501	<b>Zipcode (Map):</b>	28501
<b>Lat Desc:</b>	35.095125	<b>Latitude (Map):</b>	35.095125
<b>Long Desc:</b>	-77.116198	<b>Longitude (Map):</b>	-77.116198
<b>Date Occurred (IMD):</b>	4/4/2014	<b>Date Occurred (Map):</b>	2014/04/05 00:00:00+00
<b>Closeout (IMD):</b>	4/4/2014	<b>Closeout (Map):</b>	2014/04/05 00:00:00+00
<b>Current Status:</b>	Archived	<b>Current Status (Map):</b>	Archived
<b>Contamination:</b>	SL		
<b>Contamination Type:</b>	Soil		
<b>Cleanup:</b>	4/4/2014		
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>		
<b>Data Source:</b>	Department of Environmental Quality - RAST; Aboveground Incident Management Database (UST DB); Aboveground Incident Management Database (RPTS); Aboveground Incident Management Database (ASSIGNID); Aboveground Incident Management Database (PIRF); Aboveground Incident Management Database (STATUS)		

**Incident Information**

<b>Facility ID:</b>		<b>Src Contamination:</b>	19
<b>Date Entered:</b>	04-Apr-2014 00:00:00	<b>County:</b>	CRAVE
<b>Incident Loc Name:</b>	DUKE ENERGY SPILL	<b>Region:</b>	WAS

**Incident Details**

<b>Date Occurred:</b>	4/4/2014	<b>Release Code:</b>	4
<b>Submitted Date:</b>	4/4/2014	<b>75 Min Quad:</b>	
<b>Type:</b>	P	<b>5 Min Quad:</b>	
<b>Location:</b>	1	<b>PIRF Min Soil:</b>	
<b>Site Priority:</b>		<b>Source Type:</b>	D
<b>Priority Update:</b>		<b>Owner Operator:</b>	
<b>Wells Affected Y/N:</b>	No	<b>Ownership:</b>	4
<b>Wells Affected:</b>		<b>Ownership Desc:</b>	Private
<b>Samples Taken By:</b>	N	<b>Operation Type:</b>	8
<b>Samples Include:</b>		<b>Operation Desc:</b>	
<b>Description of Incident:</b>	TRANSFORMER SPILL		
<b>Location Desc:</b>	Facility		
<b>Relasecode Desc:</b>	Visual/Odor		

**Incident Report**

<b>Report Type:</b>	OTH	<b>Approved Date:</b>	4/4/2014
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	4/4/2014	<b>Due Date:</b>	
<b>Reviewed Date:</b>	4/4/2014		
<b>Report Type Desc:</b>	Other (Comments Required)		
<b>Comment:</b>			

CLOSED OUT PER SL2011-38

**Incident Status**

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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<b>Last Modified:</b>	4/4/2014				<b>NOV Issued:</b>	
<b>Incident Phase:</b>	CO				<b>NORR Issued:</b>	
<b>Inci Phase Desc:</b>	Close Out				<b>Close Out Report:</b>	

**RAST (Map)**

<b>Object ID:</b>	5917			<b>Regulated Code:</b>	N
<b>Regional Office Cd:</b>	WAS			<b>Conf Risk:</b>	L
<b>CD No:</b>	607			<b>Risk:</b>	L
<b>Date Reported:</b>	2014/04/05 00:00:00+00			<b>RRA Date:</b>	1970/01/01 00:00:00+00
<b>Land Use:</b>	RES			<b>RRA Risk:</b>	
<b>Inc Stat:</b>	Closed			<b>RRA Abate:</b>	
<b>LUR Filed:</b>	1970/01/01 00:00:00+00			<b>RRA Rank:</b>	0
<b>LUR Resc:</b>	1970/01/01 00:00:00+00			<b>RRA Rank 2:</b>	
<b>LUR State:</b>				<b>X:</b>	2563444.53082134
<b>MGR:</b>	SNH			<b>Y:</b>	494892.180401901
<b>COMM:</b>	C				
<b>COMM Desc:</b>	COMMERCIAL				
<b>Regulated Code Desc:</b>	NON REGULATED				
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%22%7D</a>				
<b>Comment:</b>	CLOSED OUT PER SL2011-38; SENT FOR ARCHIVING MARCH 2016;				

**RAST Database**

<b>MGR:</b>	SNH			<b>RP Address:</b>	
<b>Regional Office Cd:</b>	WAS			<b>RP City:</b>	
<b>Date Reported:</b>	4/4/2014			<b>RP State:</b>	NC
<b>Release Code:</b>	0			<b>RP Zipcode:</b>	
<b>Release Desc:</b>				<b>RP County:</b>	
<b>Source Code:</b>	19			<b>RP Owner:</b>	TRUE
<b>Source Desc:</b>	Surface Spill			<b>RP Operator:</b>	TRUE
<b>Site Priority:</b>				<b>RP Land Owner:</b>	TRUE
<b>COMM:</b>	C			<b>LUR Filed:</b>	
<b>COMM Desc:</b>	COMMERCIAL			<b>LUR Resc:</b>	
<b>Regulated Code:</b>	N			<b>LUR State:</b>	
<b>Regulated Desc:</b>	NON REGULATED			<b>LUR Status1:</b>	
<b>Ntice Rg Rq Issd:</b>				<b>LUR Status:</b>	
<b>Ntice Violtn Issd:</b>				<b>GPS Conf:</b>	30
<b>Conf Risk:</b>	L			<b>RBCA GW:</b>	
<b>Risk:</b>	L			<b>RBCA GW Desc:</b>	
<b>Land Use:</b>	RES			<b>RBCA:</b>	S3
<b>Land Use Desc:</b>	Residential			<b>RBCA Desc:</b>	Soil to Groundwater
<b>Intrmdt Cndition:</b>				<b>CD No:</b>	607
<b>Crrctve Act Pln Tp:</b>				<b>Reel No:</b>	0
<b>CAP Desc:</b>				<b>ERRCD:</b>	NO
<b>Close Reqs:</b>				<b>Valid:</b>	FALSE
<b>MTBE:</b>	0			<b>Cat Code:</b>	
<b>MTBE1:</b>	N			<b>HCS Res:</b>	
<b>MTBE Desc:</b>	No			<b>HCS Ref:</b>	
<b>Supply Well:</b>	0			<b>Reliability:</b>	
<b>RP:</b>	FALSE			<b>Phase Required:</b>	
<b>RP Company:</b>	DUKE POWER			<b>Book:</b>	
<b>Contact:</b>	KITTY NAPPEN			<b>Page:</b>	
<b>Telephone:</b>	9196142554			<b>Email:</b>	
<b>RP Email:</b>					
<b>Longitude:</b>					
<b>Latitude:</b>					
<b>Pollutant Type:</b>	PETROLEUM				
<b>Pollutant Type (PETOPT):</b>	OTHER PETROLEUM PROD.				
<b>Comment:</b>					

CLOSED OUT PER SL2011-38; SENT FOR ARCHIVING MARCH 2016; \*\*Note: Many records provided by the department have a truncated [Comment] field.

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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**Map Viewer Details**

<b>CD No:</b>	607	<b>LUR Resc:</b>	
<b>MGR:</b>	SNH	<b>LUR State:</b>	
<b>RO Code:</b>	WAS	<b>RRA Date:</b>	
<b>Date Reported:</b>	4/4/2014 8:00 PM	<b>RRA Risk:</b>	
<b>Comm:</b>	C	<b>RRA Abate:</b>	
<b>Reg:</b>	N	<b>RRA Rank:</b>	0
<b>Con Frisk:</b>	Low	<b>X:</b>	2563444.5308213416
<b>Region:</b>	Washington Regional Office	<b>Y:</b>	494892.18040190055
<b>Land Use:</b>	RES	<b>COMM Desc:</b>	COMMERCIAL
<b>LUR Filed:</b>			
<b>Regulated Code Desc:</b>	NON REGULATED		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-89049%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-89049%2A%22%7D</a>		

**AST Incidents Open Data Details**

<b>CD No:</b>	607	<b>LUR Filed:</b>	1970/01/01 00:00:00+00
<b>MGR:</b>	SNH	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>RO Code:</b>	WAS	<b>LUR State:</b>	
<b>Date Reported:</b>	2014/04/05 00:00:00+00	<b>RRA Date:</b>	1970/01/01 00:00:00+00
<b>Comm:</b>	C	<b>RRA Abate:</b>	
<b>Reg:</b>	N	<b>RRA Rank:</b>	0
<b>Con Frisk:</b>	L	<b>X:</b>	2563444.53082134
<b>Risk:</b>	L	<b>Y:</b>	494892.180401901
<b>Land Use:</b>	RES		
<b>RRA Rank 2:</b>			
<b>COMM Desc:</b>	COMMERCIAL		
<b>Regulated Code Desc:</b>	NON REGULATED		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-89049%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-89049%2A%22%7D</a>		

<a href="#">5</a>	1 of 1	ESE	0.25 / 1,331.08	19.38 / 0	CARL JOHNSON CAR DEALERSHIP/BB&T HWY 17 S AND TRENT ROAD NEW BERN NC 28560	LUST
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**Incdnt No (DWM Map):**  
**Fac ID (DWM Map):**  
**UST No (DWM Map):** WA-24902  
**Curr Stat (DWM Map):** Archived  
**Close Out(DWMMMap):** 1970/01/01 00:00:00+00  
**Dt Occur (DWM Map):** 1970/01/01 00:00:00+00  
**Incident (DWM Map):** CARL JOHNSON CAR DEALERSHIP/BB&T  
**Address (DWM Map):** HWY 17 S AND TRENT ROAD  
**County (DWM Map):** CRAVE  
**City (DWM Map):** NEW BERN  
**Zip Code (DWM Map):** 28560  
**Latitude (DWM Map):** 0  
**Long (DWM Map):** 0

**Incident No:**  
**Facility ID:**  
**UST No:** WA-24902  
**Current Status:** A  
**Status Title:** Archived  
**Close Out:**  
**Date Occurred:**  
**Contam Type:** None  
**Cleanup:**  
**County:** CRAVE  
**Latitude:** 0.0  
**Longitude:** 0.0

**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>  
**Data Source:** Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)

**RUST Data**

<b>MGR:</b>	EDP	<b>Inc Stat:</b>	Open
<b>RO Code:</b>	WAS	<b>Closeout FY:</b>	
<b>Date Reported:</b>	1994/07/08 00:00:00+00	<b>LUR Filed:</b>	1970/01/01 00:00:00+00
<b>Date Reported FY:</b>	1994	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>Date Occured FY:</b>		<b>LUR State:</b>	
<b>Comm:</b>	C	<b>CD NO:</b>	67
<b>Reg:</b>	R	<b>RRA Date:</b>	1970/01/01 00:00:00+00

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>Perccomfndelig:</b>				<b>RRA Risk:</b>		
<b>TOT Paid:</b>				<b>RRA Rank Curr:</b>		0
<b>Conf Risk:</b>				<b>RRA Abate:</b>		
<b>Risk:</b>				<b>RRA Rank:</b>		
<b>Landuse:</b>						RES
<b>Y:</b>						-69513.2738257283
<b>Comment:</b>						
<b>X:</b>						32888970.6352937
<b>Docs Link:</b>						http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%2A%22%7D
<b>SL Ftfrecdte:</b>						1970/01/01 00:00:00+00
<b>SL Cleanup End Date:</b>						1970/01/01 00:00:00+00
<b>SL Cleanup Start Date:</b>						1970/01/01 00:00:00+00
<b>SL MGR:</b>						
<b>Object ID:</b>						9155
<b>SL Site Stat:</b>						

**LUST Database**

<b>MGR:</b>	EDP	<b>Contact:</b>	JIM WILLIFORD
<b>Regional Office Cd:</b>	WAS	<b>Telephone:</b>	2526334111
<b>Date Reported:</b>	07-Jul-1994 00:00:00	<b>RP Address:</b>	P.O. BOX 1280
<b>Release Code:</b>	0	<b>RP City:</b>	NEW BERN
<b>Release Code Desc:</b>		<b>RP State:</b>	NC
<b>Source:</b>	3	<b>RP Zip Code:</b>	28560
<b>Source Desc:</b>	LEAK, UST	<b>RP County:</b>	
<b>Site Priority:</b>		<b>RP Email:</b>	
<b>Pollutant Type:</b>		<b>RP Email1:</b>	
<b>Pollutant Desc:</b>		<b>RP Owner:</b>	FALSE
<b>Petroleum Type:</b>	P	<b>RP Operator:</b>	FALSE
<b>Petrol Type Desc:</b>	PETROLEUM	<b>RP Land Owner:</b>	FALSE
<b>COMM:</b>	C	<b>Lur Status:</b>	
<b>COMM Desc:</b>	COMMERCIAL	<b>LUR Filed:</b>	
<b>Regulated Code:</b>	R	<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	REGULATED	<b>LUR State:</b>	
<b>Notice Rg Rq Issd:</b>		<b>GPS Conf:</b>	99
<b>Notice Violtn Issd:</b>		<b>RBCA GW:</b>	
<b>Contamination:</b>	NO	<b>RBCA GW Desc:</b>	
<b>Cleanup:</b>		<b>RBCA:</b>	
<b>Conf Risk:</b>		<b>RBCA Desc:</b>	
<b>Risk:</b>		<b>CD No:</b>	67
<b>Land Use:</b>	RES	<b>Reel No:</b>	171.0
<b>Land Use Desc:</b>	Residential	<b>ERR CD:</b>	NO
<b>Phase Reqr:</b>		<b>Valid:</b>	FALSE
<b>Intrmdt Cndition:</b>		<b>Cat Code:</b>	
<b>Corr Act Plan Cd:</b>		<b>HCS Res:</b>	
<b>CAP Desc:</b>		<b>Reliability:</b>	
<b>Clos Reqs:</b>		<b>Supply Well:</b>	0
<b>MTBE:</b>	0	<b>New Source:</b>	
<b>MTBE 1:</b>	N	<b>Book:</b>	
<b>RP Company:</b>	CARL JOHNSON DEALERSHIP/BB&T	<b>Page:</b>	
<b>HCS Ref:</b>			
<b>Comment:</b>			

6 1 of 1 WSW 0.27 / 1,439.78 23.92 / 5 4010 NEW BERN INVESTMENTS, INC. 4010 CLARENDON BLVD NEW BERN NC 28560 LUST

<b>Incdnt No (DWM Map):</b>		<b>Incident No:</b>	
<b>Fac ID (DWM Map):</b>	0-033661	<b>Facility ID:</b>	0-033661
<b>UST No (DWM Map):</b>	WA-27204	<b>UST No:</b>	WA-27204
<b>Curr Stat (DWM Map):</b>	Archived	<b>Current Status:</b>	A
<b>Close Out(DWMMMap):</b>	2013/03/01 00:00:00+00	<b>Status Title:</b>	Archived
<b>Dt Occur (DWM Map):</b>	2013/01/30 00:00:00+00	<b>Close Out:</b>	28-Feb-2013 00:00:00

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>Incident (DWM Map):</b>	4010 NEW BERN INVESTMENTS, INC.				<b>Date Occurred:</b> 29-Jan-2013 00:00:00	
<b>Address (DWM Map):</b>	4010 CLARENDON BLVD				<b>Contam Type:</b> None	
<b>County (DWM Map):</b>	CRAVE				<b>Cleanup:</b> 29-Jan-2013 00:00:00	
<b>City (DWM Map):</b>	NEW BERN				<b>County:</b> CRAVE	
<b>Zip Code (DWM Map):</b>	28560				<b>Latitude:</b> 35.09531	
<b>Latitude (DWM Map):</b>	35.09531				<b>Longitude:</b> -77.117883	
<b>Long (DWM Map):</b>	-77.117883					
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>					
<b>Data Source:</b>	Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)					

### RUST Data

<b>MGR:</b>	CCS	<b>Inc Stat:</b>	Closed
<b>RO Code:</b>	WAS	<b>Closeout FY:</b>	2013
<b>Date Reported:</b>	2013/02/22 00:00:00+00	<b>LUR Filed:</b>	1970/01/01 00:00:00+00
<b>Date Reported FY:</b>	2013	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>Date Occured FY:</b>	2013	<b>LUR State:</b>	
<b>Comm:</b>	C	<b>CD NO:</b>	571
<b>Reg:</b>	R	<b>RRA Date:</b>	1970/01/01 00:00:00+00
<b>Perccomfndelig:</b>		<b>RRA Risk:</b>	
<b>TOT Paid:</b>		<b>RRA Rank Curr:</b>	0
<b>Conf Risk:</b>	L	<b>RRA Abate:</b>	
<b>Risk:</b>		<b>RRA Rank:</b>	
<b>Landuse:</b>	RES		
<b>Y:</b>	494949.937318036		
<b>Comment:</b>	CONTAMINANTS RECENTLY FOUND IN THE SEWER SYSTEM. SITE CHECK CONDUCTED ON GASOLINE UST SYSTEM ONLY. ALL SOIL SAMPLES BDL. NFA. SENT FOR ARCHIVING AUGUST 2015;		
<b>X:</b>	2562939.33259611		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A2A-27204%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A2A-27204%2A%22%7D</a>		
<b>SL Ftfrecdte:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup End Date:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup Start Date:</b>	1970/01/01 00:00:00+00		
<b>SL MGR:</b>			
<b>Object ID:</b>	5812		
<b>SL Site Stat:</b>			

### LUST Database

<b>MGR:</b>	CCS	<b>Contact:</b>	C/O MOGHER ALSAIFI
<b>Regional Office Cd:</b>	WAS	<b>Telephone:</b>	
<b>Date Reported:</b>	21-Feb-2013 00:00:00	<b>RP Address:</b>	4010 CLAREDON BLVD
<b>Release Code:</b>	0	<b>RP City:</b>	NEW BERN
<b>Release Code Desc:</b>		<b>RP State:</b>	NC
<b>Source:</b>	7	<b>RP Zip Code:</b>	28560
<b>Source Desc:</b>	SOURCE UNKNOWN	<b>RP County:</b>	
<b>Site Priority:</b>		<b>RP Email:</b>	
<b>Pollutant Type:</b>	3	<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	GASOLINE/DIESEL/KEROSENE	<b>RP Owner:</b>	FALSE
<b>Petroleum Type:</b>	P	<b>RP Operator:</b>	FALSE
<b>Petrol Type Desc:</b>	PETROLEUM	<b>RP Land Owner:</b>	TRUE
<b>COMM:</b>	C	<b>Lur Status:</b>	
<b>COMM Desc:</b>	COMMERCIAL	<b>LUR Filed:</b>	
<b>Regulated Code:</b>	R	<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	REGULATED	<b>LUR State:</b>	
<b>Notice Rg Rq Issd:</b>		<b>GPS Conf:</b>	14
<b>Notice Violtn Issd:</b>		<b>RBCA GW:</b>	G1
<b>Contamination:</b>	NO	<b>RBCA GW Desc:</b>	Cleanups to 2L.0202 standards
<b>Cleanup:</b>	29-Jan-2013 00:00:00	<b>RBCA:</b>	S3
<b>Conf Risk:</b>	L	<b>RBCA Desc:</b>	Soil to Groundwater
<b>Risk:</b>		<b>CD No:</b>	571
<b>Land Use:</b>	RES	<b>Reel No:</b>	0.0
<b>Land Use Desc:</b>	Residential	<b>ERR CD:</b>	NO
<b>Phase Reqr:</b>		<b>Valid:</b>	FALSE
<b>Intrmdt Cndition:</b>		<b>Cat Code:</b>	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Corr Act Plan Cd:					HCS Res:	10 M
CAP Desc:					Reliability:	
Clos Reqs:					Supply Well:	0
MTBE:	0				New Source:	
MTBE 1:	N				Book:	
RP Company:	4010 NEW BERN INVESTMENTS, INC				Page:	
HCS Ref:		GPS REC				
Comment:						

CONTAMINANTS RECENTLY FOUND IN THE SEWER SYSTEM. SITE CHECK CONDUCTED ON GASOLINE UST SYSTEM ONLY. ALL SOIL SAMPLES BDL. NFA. SENT FOR ARCHIVING AUGUST 2015;

<u>7</u>	1 of 1	E	0.28 / 1,460.87	22.21 / 3	COCA COLA OF NEW BERN 3710 US 17 S. NEW BERN NC 28560	LUST
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<b>Incdnt No (DWM Map):</b>	10195	<b>Incident No:</b>	10195
<b>Fac ID (DWM Map):</b>	unregistered	<b>Facility ID:</b>	unregistered
<b>UST No (DWM Map):</b>	WA-733	<b>UST No:</b>	WA-733
<b>Curr Stat (DWM Map):</b>	Archived	<b>Current Status:</b>	A
<b>Close Out (DWM Map):</b>	2000/07/28 00:00:00+00	<b>Status Title:</b>	Archived
<b>Dt Occur (DWM Map):</b>	1992/11/14 00:00:00+00	<b>Close Out:</b>	27-Jul-2000 00:00:00
<b>Incident (DWM Map):</b>	COCA COLA OF NEW BERN	<b>Date Occurred:</b>	13-Nov-1992 00:00:00
<b>Address (DWM Map):</b>	3710 US 17 S.	<b>Contam Type:</b>	Groundwater/Both
<b>County (DWM Map):</b>	CRAVE	<b>Cleanup:</b>	13-Nov-1992 00:00:00
<b>City (DWM Map):</b>	NEW BERN	<b>County:</b>	CRAVE
<b>Zip Code (DWM Map):</b>	28560	<b>Latitude:</b>	35.096944
<b>Latitude (DWM Map):</b>	35.096944	<b>Longitude:</b>	-77.107222
<b>Long (DWM Map):</b>	-77.107222		
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>		
<b>Data Source:</b>	Department of Environmental Quality - UST Incidents; Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (PIRF); RUST Incident Management Database (STATUS)		

**Incident Details**

<b>Release Code:</b>		<b>Samples Include:</b>	1
<b>Release Cause:</b>		<b>7.5 Min Quad:</b>	
<b>Release Source:</b>		<b>5 Min Quad:</b>	S22Q
<b>Type:</b>	3	<b>Submitted Date:</b>	18-May-1993 00:00:00
<b>Location:</b>	1	<b>I Ownership:</b>	4
<b>Site Priority:</b>	220E	<b>Owner Operator:</b>	CHARLES J. MAHONEY
<b>Priority Update:</b>		<b>Ownership:</b>	4
<b>Source Type:</b>		<b>Ownership Desc:</b>	Private
<b>ERR Type:</b>		<b>Operation Type:</b>	6
<b>Wells Affected Y/N:</b>	N	<b>Operation Desc:</b>	Commercial
<b>Wells Affected:</b>	0.0	<b>PIRF Min Soil:</b>	Pirf
<b>Samples Taken By:</b>	3		
<b>Description of Incident:</b>	PRELIMINARY SITE ASSESSMENT PRIOR TO SALE REVEALED ORGANIC CONTAMINATION ON SITE.		

**Incident Report**

<b>Report Type:</b>	CLO	<b>Approved Date:</b>	18-May-1993 00:00:00
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	13-Nov-1992 00:00:00	<b>Due Date:</b>	
<b>Reviewed Date:</b>	18-May-1993 00:00:00		
<b>PRT ID:</b>	1078448		
<b>Report Type Description:</b>	Closure Report		
<b>Comment:</b>			

**Incident Status**

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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<b>Last Modified:</b>	17-Aug-2000 00:00:00	<b>Public Meeting Held:</b>	
<b>Incident Phase:</b>	CO	<b>Corrective Act Plan:</b>	
<b>Incid Phase Desc:</b>	Close Out	<b>SOC Signed:</b>	
<b>NOV Issued:</b>	22-Feb-1993 00:00:00	<b>Reclassification Rep:</b>	
<b>NORR Issued:</b>		<b>RS Designation:</b>	
<b>45 Day Report:</b>		<b>Closure Req Date:</b>	

**UST Incidents**

<b>RO Code:</b>	WAS	<b>Reg:</b>	R
<b>CD No:</b>	0	<b>Conf Risk:</b>	L
<b>Date Reported:</b>	1993/05/19 00:00:00	<b>RRA Date:</b>	
<b>Land Use:</b>	RES	<b>RRA Risk:</b>	
<b>LUR Filed:</b>		<b>RRA Rank Curr:</b>	0
<b>LUR Resc:</b>		<b>RRA Abate:</b>	
<b>LUR State:</b>		<b>Risk:</b>	L
<b>X:</b>	2566116.29928339	<b>RRA Rank:</b>	
<b>Y:</b>	495605.131357983	<b>MGR:</b>	SNH
<b>Comm:</b>	C		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-733%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-733%2A%22%7D</a>		
<b>Object ID:</b>	15245		

**RUST Data**

<b>MGR:</b>	SNH	<b>Inc Stat:</b>	Closed
<b>RO Code:</b>	WAS	<b>Closeout FY:</b>	2000
<b>Date Reported:</b>	1993/05/19 00:00:00+00	<b>LUR Filed:</b>	1970/01/01 00:00:00+00
<b>Date Reported FY:</b>	1993	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>Date Occured FY:</b>	1993	<b>LUR State:</b>	
<b>Comm:</b>	C	<b>CD NO:</b>	0
<b>Reg:</b>	R	<b>RRA Date:</b>	1970/01/01 00:00:00+00
<b>Perccomfndelig:</b>		<b>RRA Risk:</b>	
<b>TOT Paid:</b>		<b>RRA Rank Curr:</b>	0
<b>Conf Risk:</b>	L	<b>RRA Abate:</b>	
<b>Risk:</b>	L	<b>RRA Rank:</b>	
<b>Landuse:</b>	RES		
<b>Y:</b>	495605.131490846		
<b>Comment:</b>	PRELIMINARY SITE ASSESSMENT PRIOR TO SALE REVEALED ORGANIC CONTAMINATION ON SITE. SENT FOR ARCHIVING FILE LOST;		
<b>X:</b>	2566116.29931641		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-733%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-733%2A%22%7D</a>		
<b>SL Ftfrecdte:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup End Date:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup Start Date:</b>	1970/01/01 00:00:00+00		
<b>SL MGR:</b>			
<b>Object ID:</b>	15244		
<b>SL Site Stat:</b>			

**LUST Database**

<b>MGR:</b>	SNH	<b>Contact:</b>	CHARLES J. MAHONEY
<b>Regional Office Cd:</b>	WAS	<b>Telephone:</b>	
<b>Date Reported:</b>	18-May-1993 00:00:00	<b>RP Address:</b>	918 PRINCESS ST.
<b>Release Code:</b>	0	<b>RP City:</b>	WILMINGTON
<b>Release Code Desc:</b>		<b>RP State:</b>	NC
<b>Source:</b>	3	<b>RP Zip Code:</b>	28401
<b>Source Desc:</b>	LEAK, UST	<b>RP County:</b>	NEWHA
<b>Site Priority:</b>	220E	<b>RP Email:</b>	
<b>Pollutant Type:</b>	3	<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	GASOLINE/DIESEL/KEROSENE	<b>RP Owner:</b>	TRUE
<b>Petroleum Type:</b>	P	<b>RP Operator:</b>	TRUE
<b>Petrol Type Desc:</b>	PETROLEUM	<b>RP Land Owner:</b>	TRUE
<b>COMM:</b>	C	<b>Lur Status:</b>	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>COMM Desc:</b>	COMMERCIAL				<b>LUR Filed:</b>	
<b>Regulated Code:</b>	R				<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	REGULATED				<b>LUR State:</b>	
<b>Notice Rg Rq Issd:</b>					<b>GPS Conf:</b>	90
<b>Notice Violtn Issd:</b>					<b>RBCA GW:</b>	G1
<b>Contamination:</b>	GW				<b>RBCA GW Desc:</b>	Cleanups to 2L.0202 standards
<b>Cleanup:</b>	13-Nov-1992 00:00:00				<b>RBCA:</b>	S1
<b>Conf Risk:</b>	L				<b>RBCA Desc:</b>	Residential
<b>Risk:</b>	L				<b>CD No:</b>	0
<b>Land Use:</b>	RES				<b>Reel No:</b>	0.0
<b>Land Use Desc:</b>	Residential				<b>ERR CD:</b>	NO
<b>Phase Reqrd:</b>					<b>Valid:</b>	FALSE
<b>Intrmdt Cndition:</b>					<b>Cat Code:</b>	
<b>Corr Act Plan Cd:</b>					<b>HCS Res:</b>	10 M
<b>CAP Desc:</b>					<b>Reliability:</b>	
<b>Clos Reqsds:</b>					<b>Supply Well:</b>	0
<b>MTBE:</b>	0				<b>New Source:</b>	
<b>MTBE 1:</b>	Y				<b>Book:</b>	
<b>RP Company:</b>	COCA COLA BOTTLING				<b>Page:</b>	
<b>HCS Ref:</b>	RP Supplied					
<b>Comment:</b>						

PRELIMINARY SITE ASSESSMENT PRIOR TO SALE REVEALED ORGANIC CONTAMINATION ON SITE. SENT FOR ARCHIVING FILE LOST;

<u>8</u>	1 of 1	ESE	0.28 / 1,481.48	19.03 / 0	COCA COLA OF NEW BERN 3710 DR. MARTIN LUTHER KING NEW BERN NC 28560	LAST
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<b>Incident No:</b>	10464	<b>Incident No (Map):</b>	10464
<b>Incident Name:</b>	COCA COLA OF NEW BERN	<b>Inc Name (Map):</b>	COCA COLA OF NEW BERN
<b>UST No:</b>	WA-88297	<b>UST No (Map):</b>	WA-88297
<b>Facility ID:</b>		<b>Facility ID (Map):</b>	
<b>Address:</b>	3710 DR. MARTIN LUTHER KING	<b>Address (Map):</b>	3710 DR. MARTIN LUTHER KING
<b>County:</b>	CRAVE	<b>County (Map):</b>	CRAVE
<b>Citytown:</b>	NEW BERN	<b>City Town (Map):</b>	NEW BERN
<b>Zipcode:</b>	28560	<b>Zipcode (Map):</b>	28560
<b>Lat Desc:</b>	35.097336	<b>Latitude (Map):</b>	35.097336
<b>Long Desc:</b>	-77.107345	<b>Longitude (Map):</b>	-77.107345
<b>Date Occurred (IMD):</b>	9/16/1992	<b>Date Occurred (Map):</b>	1992/09/17 00:00:00+00
<b>Closeout (IMD):</b>	7/27/2000	<b>Closeout (Map):</b>	2000/07/28 00:00:00+00
<b>Current Status:</b>	Archived	<b>Current Status (Map):</b>	Archived
<b>Contamination:</b>	GW		
<b>Contmination Type:</b>	Groundwater/Both		
<b>Cleanup:</b>	9/16/1992		
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>		
<b>Data Source:</b>	Department of Environmental Quality - RAST; Aboveground Incident Management Database (UST DB); Aboveground Incident Management Database (RPTS); Aboveground Incident Management Database (STATUS)		

**Incident Report**

<b>Report Type:</b>	OTH	<b>Approved Date:</b>	2/22/1993
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	12/21/1992	<b>Due Date:</b>	
<b>Reviewed Date:</b>	2/22/1993		
<b>Report Type Desc:</b>	Other (Comments Required)		
<b>Comment:</b>			
<b>Report Type:</b>	CSAS	<b>Approved Date:</b>	7/8/1993
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	5/28/1993	<b>Due Date:</b>	
<b>Reviewed Date:</b>	7/8/1993		
<b>Report Type Desc:</b>	Comprehensive Site Assmt - Soil - Hi & Int		
<b>Comment:</b>			

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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<b>Report Type:</b>	MRPI				<b>Approved Date:</b>	9/24/1999
<b>Request Date:</b>					<b>Implement Date:</b>	
<b>Received Date:</b>	9/20/1999				<b>Due Date:</b>	
<b>Reviewed Date:</b>	9/24/1999					
<b>Report Type Desc:</b>		Monitoring Report (Pre-CAP) Initial				
<b>Comment:</b>						

<b>Report Type:</b>	MRP				<b>Approved Date:</b>	3/10/2000
<b>Request Date:</b>					<b>Implement Date:</b>	
<b>Received Date:</b>	3/7/2000				<b>Due Date:</b>	
<b>Reviewed Date:</b>	3/10/2000					
<b>Report Type Desc:</b>		Monitoring Report (Pre-CAP)				
<b>Comment:</b>						

<b>Report Type:</b>	MRP				<b>Approved Date:</b>	7/27/2000
<b>Request Date:</b>					<b>Implement Date:</b>	
<b>Received Date:</b>	7/11/2000				<b>Due Date:</b>	
<b>Reviewed Date:</b>	7/27/2000					
<b>Report Type Desc:</b>		Monitoring Report (Pre-CAP)				
<b>Comment:</b>						

**Incident Status**

<b>Last Modified:</b>	7/27/2000				<b>NOV Issued:</b>	
<b>Incident Phase:</b>	CO				<b>NORR Issued:</b>	
<b>Inci Phase Desc:</b>	Close Out				<b>Close Out Report:</b>	

**RAST (Map)**

<b>Object ID:</b>	933				<b>Regulated Code:</b>	N
<b>Regional Office Cd:</b>	WAS				<b>Conf Risk:</b>	L
<b>CD No:</b>	293				<b>Risk:</b>	
<b>Date Reported:</b>	1992/12/22 00:00:00+00				<b>RRA Date:</b>	1970/01/01 00:00:00+00
<b>Land Use:</b>	RES				<b>RRA Risk:</b>	
<b>Inc Stat:</b>	Closed				<b>RRA Abate:</b>	
<b>LUR Filed:</b>	1970/01/01 00:00:00+00				<b>RRA Rank:</b>	0
<b>LUR Resc:</b>	1970/01/01 00:00:00+00				<b>RRA Rank 2:</b>	
<b>LUR State:</b>					<b>X:</b>	2566076.79559274
<b>MGR:</b>	SNH				<b>Y:</b>	495747.067933791
<b>COMM:</b>	C					
<b>COMM Desc:</b>		COMMERCIAL				
<b>Regulated Code Desc:</b>		NON REGULATED				
<b>Docs Link:</b>		<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-88297%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-88297%2A%22%7D</a>				
<b>Comment:</b>						

**RAST Database**

<b>MGR:</b>	SNH				<b>RP Address:</b>	1900 REXFORD RD.
<b>Regional Office Cd:</b>	WAS				<b>RP City:</b>	CHARLOTTE
<b>Date Reported:</b>	12/21/1992				<b>RP State:</b>	NC
<b>Release Code:</b>	0				<b>RP Zipcode:</b>	282113481
<b>Release Desc:</b>					<b>RP County:</b>	
<b>Source Code:</b>	1				<b>RP Owner:</b>	TRUE
<b>Source Desc:</b>	Unknown				<b>RP Operator:</b>	TRUE
<b>Site Priority:</b>					<b>RP Land Owner:</b>	TRUE
<b>COMM:</b>	C				<b>LUR Filed:</b>	
<b>COMM Desc:</b>		COMMERCIAL			<b>LUR Resc:</b>	
<b>Regulated Code:</b>	N				<b>LUR State:</b>	
<b>Regulated Desc:</b>		NON REGULATED			<b>LUR Status1:</b>	
<b>Ntice Rg Rq Issd:</b>					<b>LUR Status:</b>	
<b>Ntice Violtn Issd:</b>					<b>GPS Conf:</b>	31
<b>Conf Risk:</b>	L				<b>RBCA GW:</b>	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>Risk:</b>					<b>RBCA GW Desc:</b>	
<b>Land Use:</b>	RES				<b>RBCA:</b>	
<b>Land Use Desc:</b>	Residential				<b>RBCA Desc:</b>	
<b>Intrmdt Cndition:</b>					<b>CD No:</b>	293
<b>Crrctve Act Pln Tp:</b>					<b>Reel No:</b>	4062
<b>CAP Desc:</b>					<b>ERRCD:</b>	NO
<b>Close Reqsds:</b>					<b>Valid:</b>	FALSE
<b>MTBE:</b>	0				<b>Cat Code:</b>	
<b>MTBE1:</b>	N				<b>HCS Res:</b>	
<b>MTBE Desc:</b>	No				<b>HCS Ref:</b>	
<b>Supply Well:</b>	0				<b>Reliability:</b>	
<b>RP:</b>	FALSE				<b>Phase Required:</b>	
<b>RP Company:</b>	COCA COLA BOTTLING CO. CONSOLI				<b>Book:</b>	
<b>Contact:</b>	WAYNE PACE				<b>Page:</b>	
<b>Telephone:</b>	7045514470				<b>Email:</b>	
<b>RP Email:</b>						
<b>Longitude:</b>						
<b>Latitude:</b>						
<b>Pollutant Type:</b>		BOTH				
<b>Pollutant Type (PETOPT):</b>		OTHER ORGANICS				
<b>Comment:</b>						

\*\*Note: Many records provided by the department have a truncated [Comment] field.

#### Map Viewer Details

<b>CD No:</b>	293	<b>LUR Resc:</b>	
<b>MGR:</b>	SNH	<b>LUR State:</b>	
<b>RO Code:</b>	WAS	<b>RRA Date:</b>	
<b>Date Reported:</b>	12/21/1992 7:00 PM	<b>RRA Risk:</b>	
<b>Comm:</b>	C	<b>RRA Abate:</b>	
<b>Reg:</b>	N	<b>RRA Rank:</b>	0
<b>Con Frisk:</b>	Low	<b>X:</b>	2566076.795592745
<b>Region:</b>	Washington Regional Office	<b>Y:</b>	495747.0679337914
<b>Land Use:</b>	RES	<b>COMM Desc:</b>	COMMERCIAL
<b>LUR Filed:</b>			
<b>Regulated Code Desc:</b>	NON REGULATED		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-88297%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-88297%2A%22%7D</a>		

#### AST Incidents Open Data Details

<b>CD No:</b>	293	<b>LUR Filed:</b>	1970/01/01 00:00:00+00
<b>MGR:</b>	SNH	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>RO Code:</b>	WAS	<b>LUR State:</b>	
<b>Date Reported:</b>	1992/12/22 00:00:00+00	<b>RRA Date:</b>	1970/01/01 00:00:00+00
<b>Comm:</b>	C	<b>RRA Abate:</b>	
<b>Reg:</b>	N	<b>RRA Rank:</b>	0
<b>Con Frisk:</b>	L	<b>X:</b>	2566076.79559274
<b>Risk:</b>		<b>Y:</b>	495747.067933791
<b>Land Use:</b>	RES		
<b>RRA Rank 2:</b>			
<b>COMM Desc:</b>	COMMERCIAL		
<b>Regulated Code Desc:</b>	NON REGULATED		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-88297%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-88297%2A%22%7D</a>		

<u>9</u>	1 of 1	E	0.31 / 1,620.35	20.72 / 2	COCA COLA BOTTLING WORKS INC HIGHWAY 17 NEW BERN NC	SHWS
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<b>EPA ID:</b>	NONCD0001032	<b>Zip (Fed Remed):</b>	
<b>City (NCDENR):</b>	NEW BERN	<b>Lat (Fed Remed):</b>	
<b>County (NCDENR):</b>	CRAVEN	<b>Long (Fed Remed):</b>	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>Latitude (NCDENR):</b>	35.09643				<b>City (IH Waste):</b> NEW BERN	
<b>Longitude (NCDENR):</b>	-77.10677				<b>County (IH Waste):</b> CRAVEN	
<b>City (Fed Remed):</b>					<b>Lat (IH Waste):</b> 35.09643	
<b>County (Fed Remed):</b>					<b>Long(IH Waste):</b> -77.10677	
<b>Site Name (NCDENR):</b>	COCA COLA BOTTLING WORKS INC					
<b>Site Name (Fed Remediation):</b>	COCA COLA BOTTLING WORKS INC					
<b>Site Name (Inactive Haz Waste):</b>	COCA COLA BOTTLING WORKS INC					
<b>Address (NCDENR):</b>	HIGHWAY 17					
<b>Address (Fed Remediation):</b>	HIGHWAY 17					
<b>Address (Inactive Haz Waste):</b>	HIGHWAY 17					
<b>Original Source(s):</b>	Division of Waste Management Site Locator Tool - Inactive Hazardous Waste Layer; North Carolina Department of Environment and Natural Resources (NCDENR)					
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ Laser Fiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>					

**Division of Waste Management Site Locator Tool - Inactive Hazardous Waste Layer**

<b>Land Use Restrict:</b>	FALSE	<b>X:</b>	-77.10677
<b>Voluntary Cleanup:</b>	FALSE	<b>Y:</b>	35.09643
<b>Contact:</b>		<b>Update Date:</b>	8/31/2020
<b>Geo Location Code:</b>	On Screen Placement On Georeferenced Map		
<b>Source:</b>	AcmeMapper		
<b>LaserFiche:</b>	<a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand={[WM]:[Program_ID]=%22*NONCD0001032*%22}">https://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand={[WM]:[Program_ID]=%22*NONCD0001032*%22}</a>		

**NCDEQ - Location Detail**

<b>Loc Code:</b>	99	<b>Resolution:</b>	
<b>Latitud Meas Old:</b>		<b>Source:</b>	AcmeMapper
<b>Longitud Meas Old:</b>			
<b>Geolocation Code Desc:</b>	On Screen Placement On Georeferenced Map		
<b>Geoloc Code Old Desc:</b>	GEOCODING		

**NCDEQ - Site Categories Detail**

<b>SPL Score:</b>	32.59	<b>TSD:</b>	FALSE
<b>SPL:</b>	FALSE	<b>RADPRTLead:</b>	FALSE
<b>No Further Action:</b>	TRUE	<b>Vol Cl-up:</b>	FALSE
<b>NFA Restr Use:</b>	FALSE	<b>LUR Annl Cert Mo:</b>	
<b>Eval Pend:</b>	FALSE	<b>LUR Annl Cert Day:</b>	
<b>Sol Wst Lead:</b>	FALSE	<b>DSCA Lead:</b>	FALSE
<b>Non NPL EPA Lead:</b>	FALSE	<b>DWQ Lead:</b>	FALSE
<b>NPL:</b>	FALSE	<b>Duplicate:</b>	FALSE
<b>UST Lead:</b>	FALSE	<b>Pre Regld FI:</b>	FALSE
<b>Non TSD RCRA Lead:</b>	FALSE		
<b>Non Haz Sub Site Open:</b>	FALSE		
<b>Non Haz Sub Site NFA:</b>	FALSE		
<b>Non Haz Sub Site NFAR:</b>	FALSE		

<a href="#">10</a>	1 of 2	WSW	0.32 / 1,688.40	22.89 / 4	<b>HANDY MART 53 4013 MARTIN LUTHER KING BLVD. NEW BERN NC 28562</b>	<b>LUST</b>
<b>Incndnt No (DWM Map):</b>	38521	<b>Incident No:</b>	38521			
<b>Fac ID (DWM Map):</b>	0-00-0000034104	<b>Facility ID:</b>	0-00-0000034104			
<b>UST No (DWM Map):</b>	WA-27343	<b>UST No:</b>	WA-27343			
<b>Curr Stat (DWM Map):</b>	Archived	<b>Current Status:</b>	A			
<b>Close Out(DWMMMap):</b>	2015/03/26 00:00:00+00	<b>Status Title:</b>	Archived			
<b>Dt Occur (DWM Map):</b>	2014/08/20 00:00:00+00	<b>Close Out:</b>	25-Mar-2015 00:00:00			
<b>Incident (DWM Map):</b>	HANDY MART 53	<b>Date Occurred:</b>	19-Aug-2014 00:00:00			
<b>Address (DWM Map):</b>	4013 MARTIN LUTHER KING BLVD.	<b>Contam Type:</b>	Groundwater/Both			
<b>County (DWM Map):</b>	CRAVE	<b>Cleanup:</b>	19-Aug-2014 00:00:00			
<b>City (DWM Map):</b>	NEW BERN	<b>County:</b>	CRAVE			

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>Zip Code (DWM Map):</b>	28562			<b>Latitude:</b>	35.094459	
<b>Latitude (DWM Map):</b>	35.094459			<b>Longitude:</b>	-77.11835	
<b>Long (DWM Map):</b>	-77.11835					
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>					
<b>Data Source:</b>	Department of Environmental Quality - UST Incidents; Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (ASSIGNID); RUST Incident Management Database (PIRF); RUST Incident Management Database (RRA); RUST Incident Management Database (STATUS)					

### Incident Information

**Src Contamination:** 3 **Date Entered:** 18-Sep-2014 00:00:00

### Incident Details

<b>Release Code:</b>	3	<b>Samples Include:</b>	
<b>Release Cause:</b>	7	<b>7.5 Min Quad:</b>	
<b>Release Source:</b>	A	<b>5 Min Quad:</b>	
<b>Type:</b>	3	<b>Submitted Date:</b>	19-Aug-2014 00:00:00
<b>Location:</b>	1	<b>I Ownership:</b>	4
<b>Site Priority:</b>		<b>Owner Operator:</b>	
<b>Priority Update:</b>		<b>Ownership:</b>	4
<b>Source Type:</b>	P	<b>Ownership Desc:</b>	Private
<b>ERR Type:</b>		<b>Operation Type:</b>	6
<b>Wells Affected Y/N:</b>	N	<b>Operation Desc:</b>	Commercial
<b>Wells Affected:</b>		<b>PIRF Min Soil:</b>	
<b>Samples Taken By:</b>	Y		
<b>Description of Incident:</b>	PROPERTY ESA		

### Incident Report

<b>Report Type:</b>	PN	<b>Approved Date:</b>	10-Apr-2015 00:00:00
<b>Request Date:</b>	25-Mar-2015 00:00:00	<b>Implement Date:</b>	
<b>Received Date:</b>	10-Apr-2015 00:00:00	<b>Due Date:</b>	25-Apr-2015 00:00:00
<b>Reviewed Date:</b>	10-Apr-2015 00:00:00		
<b>PRT ID:</b>	1081018		
<b>Report Type Description:</b>	Public Notification		
<b>Comment:</b>			

pn for nfa

<b>Report Type:</b>	SCH	<b>Approved Date:</b>	12-Mar-2015 00:00:00
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	18-Feb-2015 00:00:00	<b>Due Date:</b>	
<b>Reviewed Date:</b>	12-Mar-2015 00:00:00		
<b>PRT ID:</b>	1080198		
<b>Report Type Description:</b>	Site Check Report		
<b>Comment:</b>			

NRP GW

<b>Report Type:</b>	DR	<b>Approved Date:</b>	25-Mar-2015 00:00:00
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	19-Feb-2015 00:00:00	<b>Due Date:</b>	
<b>Reviewed Date:</b>	25-Mar-2015 00:00:00		
<b>PRT ID:</b>	1080206		
<b>Report Type Description:</b>	Deed Recordation		
<b>Comment:</b>			

dr for gw

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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**RRA**

<b>RRA Date:</b>	12-Mar-2015 00:00:00	<b>RRA Rank:</b>	0055
<b>RRA Init:</b>	JSB	<b>RRA Abate:</b>	R
<b>RRA Risk:</b>	L		
<b>RRA ID:</b>	41960		

**Incident Status**

<b>Last Modified:</b>	25-Mar-2015 00:00:00	<b>Public Meeting Held:</b>	
<b>Incident Phase:</b>	CO	<b>Corrective Act Plan:</b>	
<b>Incid Phase Desc:</b>	Close Out	<b>SOC Signed:</b>	
<b>NOV Issued:</b>		<b>Reclassification Rep:</b>	
<b>NORR Issued:</b>		<b>RS Designation:</b>	
<b>45 Day Report:</b>		<b>Closure Req Date:</b>	

**UST Incidents**

<b>RO Code:</b>	WAS	<b>Reg:</b>	R
<b>CD No:</b>	668	<b>Conf Risk:</b>	L
<b>Date Reported:</b>	2014/08/20 00:00:00	<b>RRA Date:</b>	2015/03/13 00:00:00
<b>Land Use:</b>	RES	<b>RRA Risk:</b>	L
<b>LUR Filed:</b>	2015/04/02 00:00:00	<b>RRA Rank Curr:</b>	55
<b>LUR Resc:</b>		<b>RRA Abate:</b>	R
<b>LUR State:</b>		<b>Risk:</b>	U
<b>X:</b>	2562805.54048496	<b>RRA Rank:</b>	0055
<b>Y:</b>	494637.633621067	<b>MGR:</b>	BDS
<b>Comm:</b>	C		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%27343%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%27343%2A%22%7D</a>		
<b>Object ID:</b>	37353		

**RUST Data**

<b>MGR:</b>	BDS	<b>Inc Stat:</b>	Closed
<b>RO Code:</b>	WAS	<b>Closeout FY:</b>	2015
<b>Date Reported:</b>	2014/08/20 00:00:00+00	<b>LUR Filed:</b>	2015/04/02 00:00:00+00
<b>Date Reported FY:</b>	2014	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>Date Occured FY:</b>	2014	<b>LUR State:</b>	
<b>Comm:</b>	C	<b>CD NO:</b>	668
<b>Reg:</b>	R	<b>RRA Date:</b>	2015/03/13 00:00:00+00
<b>Perccomfndelig:</b>	100	<b>RRA Risk:</b>	L
<b>TOT Paid:</b>	0	<b>RRA Rank Curr:</b>	55
<b>Conf Risk:</b>	L	<b>RRA Abate:</b>	R
<b>Risk:</b>	U	<b>RRA Rank:</b>	0055
<b>Landuse:</b>	RES		
<b>Y:</b>	494637.633675593		
<b>Comment:</b>	ESA SUBMITTED. GW CONTAMINATION ABOVE 2L DISCOVERED. WARO REQUESTS A SITE CHECK TO DETERMINE CAUSE OF RELEASE. WARO ARCHIVE		
<b>X:</b>	2562805.54046106		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%27343%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%27343%2A%22%7D</a>		
<b>SL Ftfrecdte:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup End Date:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup Start Date:</b>	1970/01/01 00:00:00+00		
<b>SL MGR:</b>			
<b>Object ID:</b>	37352		
<b>SL Site Stat:</b>			

**LUST Database**

<b>MGR:</b>	BDS	<b>Contact:</b>	SCOTT DRISCOLL
<b>Regional Office Cd:</b>	WAS	<b>Telephone:</b>	9196586566
<b>Date Reported:</b>	19-Aug-2014 00:00:00	<b>RP Address:</b>	P.O. DRAWER 149

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>Release Code:</b>	0				<b>RP City:</b> MOUNT OLIVE	
<b>Release Code Desc:</b>					<b>RP State:</b> NC	
<b>Source:</b>	3				<b>RP Zip Code:</b> 28365	
<b>Source Desc:</b>	LEAK, UST				<b>RP County:</b>	
<b>Site Priority:</b>					<b>RP Email:</b>	
<b>Pollutant Type:</b>	3				<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	GASOLINE/DIESEL/KEROSENE				<b>RP Owner:</b> TRUE	
<b>Petroleum Type:</b>	P				<b>RP Operator:</b> TRUE	
<b>Petrol Type Desc:</b>	PETROLEUM				<b>RP Land Owner:</b> TRUE	
<b>COMM:</b>	C				<b>Lur Status:</b>	
<b>COMM Desc:</b>	COMMERCIAL				<b>LUR Filed:</b> 01-Apr-2015 00:00:00	
<b>Regulated Code:</b>	R				<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	REGULATED				<b>LUR State:</b>	
<b>Notice Rg Rq Issd:</b>					<b>GPS Conf:</b> 14	
<b>Notice Violtn Issd:</b>					<b>RBCA GW:</b> G2	
<b>Contamination:</b>	GW				<b>RBCA GW Desc:</b> Cleanups to alternate standards	
<b>Cleanup:</b>	19-Aug-2014 00:00:00				<b>RBCA:</b> S1	
<b>Conf Risk:</b>	L				<b>RBCA Desc:</b> Residential	
<b>Risk:</b>	U				<b>CD No:</b> 668	
<b>Land Use:</b>	RES				<b>Reel No:</b> 0.0	
<b>Land Use Desc:</b>	Residential				<b>ERR CD:</b> NO	
<b>Phase Reqr:</b>					<b>Valid:</b> FALSE	
<b>Intrmdt Cndition:</b>					<b>Cat Code:</b>	
<b>Corr Act Plan Cd:</b>					<b>HCS Res:</b> 10 M	
<b>CAP Desc:</b>					<b>Reliability:</b>	
<b>Clos Reqs:</b>					<b>Supply Well:</b> 0	
<b>MTBE:</b>	0				<b>New Source:</b>	
<b>MTBE 1:</b>	Y				<b>Book:</b>	
<b>RP Company:</b>	E. J. POPE AND SONS, INC.				<b>Page:</b>	
<b>HCS Ref:</b>	GPS REC					
<b>Comment:</b>						

ESA SUBMITTED. GW CONTAMINATION ABOVE 2L DISCOVERED. WARO REQUESTS A SITE CHECK TO DETERMINE CAUSE OF RELEASE. WARO ARCHIVE

<a href="#">10</a>	2 of 2	WSW	0.32 / 1,688.40	22.89 / 4	<b>Handy Mart 53</b> 4013 Martin Luther King Blvd. New Bern NC	LUST TRUST
<b>Incident No:</b>	38521					
<b>Facility ID:</b>	0-00-0000034104					
<b>Site County:</b>	Craven					
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>					
<b>Details</b>						
<b>Archive Submit No:</b>	NA				<b>3rd Party Deduct:</b>	\$0.00
<b>CD No:</b>	NA				<b>Sum 3rd Party Amts:</b>	\$0.00
<b>UST No:</b>	WA-27343				<b>Deduct Determine:</b>	0
<b>Priority Rank:</b>					<b>Deductible Amount:</b>	\$20,000.00
<b>Priority Rank Desc:</b>					<b>Deductible Reason1:</b>	
<b>Site Eligible?:</b>	TRUE				<b>Deductible Reason2:</b>	
<b>% Commercial Fund:</b>	1.0				<b>Inel App:</b>	
<b>Reimbursement</b>	TRUE					
<b>Form:</b>						
<b>Site Note:</b>	SCAN-----Commercial; \$20,000 deductible; 100% eligible for costs that exceed the \$20,000 deductible.[CGS 1/4/16]					

<a href="#">11</a>	1 of 1	WSW	0.36 / 1,921.16	22.53 / 4	<b>Speedway #8275</b> 4100 Dr. ML King Jr. Boulevard New Bern NC 28562	LUST
<b>Incdnt No (DWM Map):</b>	38693			<b>Incident No:</b>	38693	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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<b>Fac ID (DWM Map):</b>	0-035397				<b>Facility ID:</b>	0-035397
<b>UST No (DWM Map):</b>	WA-27544				<b>UST No:</b>	WA-27544
<b>Curr Stat (DWM Map):</b>	Current Record				<b>Current Status:</b>	C
<b>Close Out(DWMMMap):</b>	2019/08/09 00:00:00+00				<b>Status Title:</b>	Current Record
<b>Dt Occur (DWM Map):</b>	2018/03/21 00:00:00+00				<b>Close Out:</b>	08-Aug-2019 00:00:00
<b>Incident (DWM Map):</b>	Speedway #8275				<b>Date Occurred:</b>	20-Mar-2018 00:00:00
<b>Address (DWM Map):</b>	4100 Dr. ML King Jr. Boulevard				<b>Contam Type:</b>	Groundwater/Both
<b>County (DWM Map):</b>	CRAVE				<b>Cleanup:</b>	12-Mar-2018 00:00:00
<b>City (DWM Map):</b>	New Bern				<b>County:</b>	CRAVE
<b>Zip Code (DWM Map):</b>	28562				<b>Latitude:</b>	35.095332
<b>Latitude (DWM Map):</b>	35.095332				<b>Longitude:</b>	-77.119537
<b>Long (DWM Map):</b>	-77.119537					

**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Data Source:** Department of Environmental Quality - UST Incidents; Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (ASSIGNID); RUST Incident Management Database (PIRF); RUST Incident Management Database (RRA); RUST Incident Management Database (STATUS)

**Incident Information**

<b>Src Contamination:</b>	3	<b>Date Entered:</b>	08-May-2018 00:00:00
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**Incident Details**

<b>Release Code:</b>	9	<b>Samples Include:</b>	
<b>Release Cause:</b>	6	<b>7.5 Min Quad:</b>	
<b>Release Source:</b>	A	<b>5 Min Quad:</b>	
<b>Type:</b>	3	<b>Submitted Date:</b>	
<b>Location:</b>	1	<b>I Ownership:</b>	4
<b>Site Priority:</b>		<b>Owner Operator:</b>	
<b>Priority Update:</b>		<b>Ownership:</b>	4
<b>Source Type:</b>	P	<b>Ownership Desc:</b>	Private
<b>ERR Type:</b>		<b>Operation Type:</b>	6
<b>Wells Affected Y/N:</b>	N	<b>Operation Desc:</b>	Commercial
<b>Wells Affected:</b>		<b>PIRF Min Soil:</b>	
<b>Samples Taken By:</b>	N		
<b>Description of Incident:</b>	Non-passing hydrostatic tests at spillbucket.		

**Incident Report**

<b>Report Type:</b>	SCH	<b>Approved Date:</b>	
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	06-Apr-2018 00:00:00	<b>Due Date:</b>	
<b>Reviewed Date:</b>	08-May-2018 00:00:00		
<b>PRT ID:</b>	1081617		
<b>Report Type Description:</b>	Site Check Report		
<b>Comment:</b>			
<b>Report Type:</b>	OTH	<b>Approved Date:</b>	14-Nov-2018 00:00:00
<b>Request Date:</b>	08-May-2018 00:00:00	<b>Implement Date:</b>	
<b>Received Date:</b>	20-Aug-2018 00:00:00	<b>Due Date:</b>	
<b>Reviewed Date:</b>			
<b>PRT ID:</b>	1081618		
<b>Report Type Description:</b>	Other (Comments Required)		
<b>Comment:</b>			

GW sample requested due to levels of Benzene exceeding EPA std 8260 B at SB 2

**RRA**

<b>RRA Date:</b>	15-Feb-2019 00:00:00	<b>RRA Rank:</b>	0060
<b>RRA Init:</b>	ALW	<b>RRA Abate:</b>	R

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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RRA Risk: L  
 RRA ID: 42281

**Incident Status**

<b>Last Modified:</b>	08-Aug-2019 00:00:00	<b>Public Meeting Held:</b>	
<b>Incident Phase:</b>	CO	<b>Corrective Act Plan:</b>	
<b>Incid Phase Desc:</b>	Close Out	<b>SOC Signed:</b>	
<b>NOV Issued:</b>		<b>Reclassification Rep:</b>	
<b>NORR Issued:</b>		<b>RS Designation:</b>	
<b>45 Day Report:</b>		<b>Closure Req Date:</b>	

**UST Incidents**

<b>RO Code:</b>	WAS	<b>Reg:</b>	R
<b>CD No:</b>	0	<b>Conf Risk:</b>	L
<b>Date Reported:</b>	2018/04/07 00:00:00	<b>RRA Date:</b>	2019/02/16 00:00:00
<b>Land Use:</b>		<b>RRA Risk:</b>	L
<b>LUR Filed:</b>	2019/06/18 00:00:00	<b>RRA Rank Curr:</b>	60
<b>LUR Resc:</b>		<b>RRA Abate:</b>	R
<b>LUR State:</b>	G	<b>Risk:</b>	L
<b>X:</b>	2562444.53103639	<b>RRA Rank:</b>	0060
<b>Y:</b>	494948.567054316	<b>MGR:</b>	ABE
<b>Comm:</b>	C		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27544%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27544%2A%22%7D</a>		
<b>Object ID:</b>	37518		

**RUST Data**

<b>MGR:</b>	ABE	<b>Inc Stat:</b>	Closed
<b>RO Code:</b>	WAS	<b>Closeout FY:</b>	2019
<b>Date Reported:</b>	2018/04/07 00:00:00+00	<b>LUR Filed:</b>	2019/06/18 00:00:00+00
<b>Date Reported FY:</b>	2018	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>Date Occured FY:</b>	2018	<b>LUR State:</b>	G
<b>Comm:</b>	C	<b>CD NO:</b>	0
<b>Reg:</b>	R	<b>RRA Date:</b>	2019/02/16 00:00:00+00
<b>Perccomfndelig:</b>	100	<b>RRA Risk:</b>	L
<b>TOT Paid:</b>	0	<b>RRA Rank Curr:</b>	60
<b>Conf Risk:</b>	L	<b>RRA Abate:</b>	R
<b>Risk:</b>	L	<b>RRA Rank:</b>	0060
<b>Landuse:</b>			
<b>Y:</b>	494948.567192236		
<b>Comment:</b>	Non-passing Hydrostatic tests at 2 10,000 gal tanks resulting in soil borings taken at the end of both tanks at a depth of 2 feet. Benzene above soil to gw, below residential in one of the soil borings. GW ABOVE 2L, NRP FOR GW ONLY.		
<b>X:</b>	2562444.53108083		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27544%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-27544%2A%22%7D</a>		
<b>SL Ftfrecdte:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup End Date:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup Start Date:</b>	1970/01/01 00:00:00+00		
<b>SL MGR:</b>			
<b>Object ID:</b>	37517		
<b>SL Site Stat:</b>			

**LUST Database**

<b>MGR:</b>	abe	<b>Contact:</b>	Mr. Bryan Witt
<b>Regional Office Cd:</b>	WAS	<b>Telephone:</b>	
<b>Date Reported:</b>	06-Apr-2018 00:00:00	<b>RP Address:</b>	500 Speedway Drive
<b>Release Code:</b>	0	<b>RP City:</b>	Enon
<b>Release Code Desc:</b>		<b>RP State:</b>	OH
<b>Source:</b>	3	<b>RP Zip Code:</b>	45323

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<b>Source Desc:</b>	LEAK, UST				<b>RP County:</b>	
<b>Site Priority:</b>					<b>RP Email:</b>	
<b>Pollutant Type:</b>	3				<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	GASOLINE/DIESEL/KEROSENE				<b>RP Owner:</b>	TRUE
<b>Petroleum Type:</b>	P				<b>RP Operator:</b>	TRUE
<b>Petrol Type Desc:</b>	PETROLEUM				<b>RP Land Owner:</b>	FALSE
<b>COMM:</b>	C				<b>Lur Status:</b>	
<b>COMM Desc:</b>	COMMERCIAL				<b>LUR Filed:</b>	17-Jun-2019 00:00:00
<b>Regulated Code:</b>	R				<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	REGULATED				<b>LUR State:</b>	G
<b>Notice Rg Rq Issd:</b>					<b>GPS Conf:</b>	N
<b>Notice Violtn Issd:</b>					<b>RBCA GW:</b>	G2
<b>Contamination:</b>	GW				<b>RBCA GW Desc:</b>	Cleanups to alternate standards
<b>Cleanup:</b>	12-Mar-2018 00:00:00				<b>RBCA:</b>	S1
<b>Conf Risk:</b>	L				<b>RBCA Desc:</b>	Residential
<b>Risk:</b>	L				<b>CD No:</b>	0
<b>Land Use:</b>					<b>Reel No:</b>	0.0
<b>Land Use Desc:</b>					<b>ERR CD:</b>	NO
<b>Phase Reqrd:</b>					<b>Valid:</b>	FALSE
<b>Intrmdt Cndition:</b>					<b>Cat Code:</b>	
<b>Corr Act Plan Cd:</b>					<b>HCS Res:</b>	
<b>CAP Desc:</b>					<b>Reliability:</b>	
<b>Clos Reqsds:</b>					<b>Supply Well:</b>	0
<b>MTBE:</b>	0				<b>New Source:</b>	
<b>MTBE 1:</b>	U				<b>Book:</b>	
<b>RP Company:</b>	Speedway, LLC				<b>Page:</b>	
<b>HCS Ref:</b>						
<b>Comment:</b>						

Non-passing Hydrostatic tests at 2 10,000 gal tanks resulting in soil borings taken at the end of both tanks at a depth of 2 feet. Benzene above soil to gw, below residential in one of the soil borings. GW ABOVE 2L, NRP FOR GW ONLY.

<a href="#">12</a>	1 of 1	WSW	0.36 / 1,921.88	23.28 / 4	Speedway #8275 4100 Dr. MI King Jr. Boulevard New Bern NC	LUST TRUST
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**Incident No:** 38693  
**Facility ID:** 0-035397  
**Site County:** Craven  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

#### Details

<b>Archive Submit No:</b>		<b>3rd Party Deduct:</b>	\$0.00
<b>CD No:</b>		<b>Sum 3rd Party Amts:</b>	\$0.00
<b>UST No:</b>	WA-27544	<b>Deduct Determine:</b>	5
<b>Priority Rank:</b>		<b>Deductible Amount:</b>	\$20,000.00
<b>Priority Rank Desc:</b>		<b>Deductible Reason1:</b>	flat 20 k
<b>Site Eligible?:</b>	TRUE	<b>Deductible Reason2:</b>	94B(b)(3)
<b>% Commercial Fund:</b>	1.0	<b>Inel App:</b>	
<b>Reimbursement Form:</b>	TRUE		
<b>Site Note:</b>	Commercial; \$20,000 deductible. 100% eligible for cost that exceed the \$20,000 deductible.		

<a href="#">13</a>	1 of 1	SSE	0.47 / 2,496.05	13.16 / -6	Ballard Residence 3824 Horseshoe Road New Bern NC	LUST TRUST
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**Incident No:** 20502  
**Facility ID:**  
**Site County:** Craven  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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**Details**

<b>Archive Submit No:</b>	4209.0027	<b>3rd Party Deduct:</b>	\$0.00
<b>CD No:</b>	STF 7	<b>Sum 3rd Party Amts:</b>	\$0.00
<b>UST No:</b>		<b>Deduct Determine:</b>	0
<b>Priority Rank:</b>		<b>Deductible Amount:</b>	\$0.00
<b>Priority Rank Desc:</b>		<b>Deductible Reason1:</b>	
<b>Site Eligible?:</b>	TRUE	<b>Deductible Reason2:</b>	
<b>% Commercial Fund:</b>	0.0	<b>Inel App:</b>	
<b>Reimbursement Form:</b>	FALSE		
<b>Site Note:</b>			

<a href="#">14</a>	1 of 1	SSE	0.49 / 2,561.00	14.59 / -4	<b>BALLARD RESIDENCE 3824 HORSESHOE ROAD NEW BERN NC 285625018</b>	LUST
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<b>Incdnt No (DWM Map):</b>	20502	<b>Incident No:</b>	20502
<b>Fac ID (DWM Map):</b>		<b>Facility ID:</b>	
<b>UST No (DWM Map):</b>	WA-1789	<b>UST No:</b>	WA-1789
<b>Curr Stat (DWM Map):</b>	Archived	<b>Current Status:</b>	A
<b>Close Out(DWMMMap):</b>	2000/09/21 00:00:00+00	<b>Status Title:</b>	Archived
<b>Dt Occur (DWM Map):</b>	1999/08/31 00:00:00+00	<b>Close Out:</b>	20-Sep-2000 00:00:00
<b>Incident (DWM Map):</b>	BALLARD RESIDENCE	<b>Date Occurred:</b>	30-Aug-1999 00:00:00
<b>Address (DWM Map):</b>	3824 HORSESHOE ROAD	<b>Contam Type:</b>	Groundwater/Both
<b>County (DWM Map):</b>	CRAVE	<b>Cleanup:</b>	30-Aug-1999 00:00:00
<b>City (DWM Map):</b>	NEW BERN	<b>County:</b>	CRAVE
<b>Zip Code (DWM Map):</b>	285625018	<b>Latitude:</b>	35.090202
<b>Latitude (DWM Map):</b>	35.090202	<b>Longitude:</b>	-77.108377
<b>Long (DWM Map):</b>	-77.108377		

**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Data Source:** Department of Environmental Quality - UST Incidents; Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (PIRF); RUST Incident Management Database (STATUS)

**Incident Details**

<b>Release Code:</b>		<b>Samples Include:</b>	2
<b>Release Cause:</b>		<b>7.5 Min Quad:</b>	
<b>Release Source:</b>		<b>5 Min Quad:</b>	
<b>Type:</b>	4	<b>Submitted Date:</b>	05-Oct-1999 00:00:00
<b>Location:</b>	7	<b>I Ownership:</b>	4
<b>Site Priority:</b>		<b>Owner Operator:</b>	CHRIS BALLARD
<b>Priority Update:</b>	05-Oct-1999 00:00:00	<b>Ownership:</b>	4
<b>Source Type:</b>		<b>Ownership Desc:</b>	Private
<b>ERR Type:</b>	R	<b>Operation Type:</b>	3
<b>Wells Affected Y/N:</b>	N	<b>Operation Desc:</b>	Residential
<b>Wells Affected:</b>		<b>PIRF Min Soil:</b>	PIRF
<b>Samples Taken By:</b>	3		
<b>Description of Incident:</b>	SOIL CONTAMINATION DISCOVERED DURING REAL ESTATE TRANSACTION.		

**Incident Report**

<b>Report Type:</b>	MRPI	<b>Approved Date:</b>	20-Sep-2000 00:00:00
<b>Request Date:</b>		<b>Implement Date:</b>	
<b>Received Date:</b>	11-Sep-2000 00:00:00	<b>Due Date:</b>	
<b>Reviewed Date:</b>	20-Sep-2000 00:00:00		
<b>PRT ID:</b>	1063493		
<b>Report Type Description:</b>	Monitoring Report (Pre-CAP) Initial		
<b>Comment:</b>			
<b>Report Type:</b>	LSA	<b>Approved Date:</b>	28-Jun-2000 00:00:00
<b>Request Date:</b>	07-Sep-1999 00:00:00	<b>Implement Date:</b>	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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**Received Date:** 17-Apr-2000 00:00:00  
**Reviewed Date:** 28-Jun-2000 00:00:00  
**PRT ID:** 1065650  
**Report Type Description:**  
**Comment:**

**Due Date:** 10-Oct-1999 00:00:00

**Incident Status**

<b>Last Modified:</b> 28-Sep-2000 00:00:00	<b>Public Meeting Held:</b>
<b>Incident Phase:</b> CO	<b>Corrective Act Plan:</b>
<b>Incid Phase Desc:</b> Close Out	<b>SOC Signed:</b>
<b>NOV Issued:</b>	<b>Reclassification Rep:</b>
<b>NORR Issued:</b>	<b>RS Designation:</b>
<b>45 Day Report:</b>	<b>Closure Req Date:</b>

**UST Incidents**

<b>RO Code:</b> WAS	<b>Reg:</b> N
<b>CD No:</b> 190	<b>Conf Risk:</b> L
<b>Date Reported:</b> 1999/09/01 00:00:00	<b>RRA Date:</b>
<b>Land Use:</b> RES	<b>RRA Risk:</b>
<b>LUR Filed:</b>	<b>RRA Rank Curr:</b> 0
<b>LUR Resc:</b>	<b>RRA Abate:</b>
<b>LUR State:</b>	<b>Risk:</b> L
<b>X:</b> 2565817.64207231	<b>RRA Rank:</b>
<b>Y:</b> 493145.321645066	<b>MGR:</b> SNH
<b>Comm:</b> N	
<b>Docs Link:</b> <a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-1789%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-1789%2A%22%7D</a>	
<b>Object ID:</b> 23720	

**RUST Data**

<b>MGR:</b> SNH	<b>Inc Stat:</b> Closed
<b>RO Code:</b> WAS	<b>Closeout FY:</b> 2000
<b>Date Reported:</b> 1999/09/01 00:00:00+00	<b>LUR Filed:</b> 1970/01/01 00:00:00+00
<b>Date Reported FY:</b> 1999	<b>LUR Resc:</b> 1970/01/01 00:00:00+00
<b>Date Occured FY:</b> 1999	<b>LUR State:</b>
<b>Comm:</b> N	<b>CD NO:</b> 190
<b>Reg:</b> N	<b>RRA Date:</b> 1970/01/01 00:00:00+00
<b>Perccomfndelig:</b> 0	<b>RRA Risk:</b>
<b>TOT Paid:</b> 8023.47	<b>RRA Rank Curr:</b> 0
<b>Conf Risk:</b> L	<b>RRA Abate:</b>
<b>Risk:</b> L	<b>RRA Rank:</b>
<b>Landuse:</b> RES	
<b>Y:</b> 493145.321683919	
<b>Comment:</b> NFA W/O PUBLIC NOTICE	
<b>X:</b> 2565817.64199729	
<b>Docs Link:</b> <a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-1789%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-1789%2A%22%7D</a>	
<b>SL Ftfrecdte:</b> 1970/01/01 00:00:00+00	
<b>SL Cleanup End Date:</b> 1970/01/01 00:00:00+00	
<b>SL Cleanup Start Date:</b> 1970/01/01 00:00:00+00	
<b>SL MGR:</b>	
<b>Object ID:</b> 23719	
<b>SL Site Stat:</b>	

**LUST Database**

<b>MGR:</b> SNH	<b>Contact:</b> MR. CHRIS BALLARD
<b>Regional Office Cd:</b> WAS	<b>Telephone:</b> 2523536517
<b>Date Reported:</b> 31-Aug-1999 00:00:00	<b>RP Address:</b> 500 ASHBURTON DRIVE
<b>Release Code:</b> 0	<b>RP City:</b> GREENVILLE
<b>Release Code Desc:</b>	<b>RP State:</b> NC

<b>Map Key</b>	<b>Number of Records</b>	<b>Direction</b>	<b>Distance (mi/ft)</b>	<b>Elev/Diff (ft)</b>	<b>Site</b>	<b>DB</b>
<b>Source:</b>	3				<b>RP Zip Code:</b>	27858
<b>Source Desc:</b>	LEAK, UST				<b>RP County:</b>	PITT
<b>Site Priority:</b>					<b>RP Email:</b>	
<b>Pollutant Type:</b>	4				<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	HEATING OIL				<b>RP Owner:</b>	TRUE
<b>Petroleum Type:</b>	P				<b>RP Operator:</b>	TRUE
<b>Petrol Type Desc:</b>	PETROLEUM				<b>RP Land Owner:</b>	TRUE
<b>COMM:</b>	N				<b>Lur Status:</b>	
<b>COMM Desc:</b>	NON COMMERCIAL				<b>LUR Filed:</b>	
<b>Regulated Code:</b>	N				<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	NON REGULATED				<b>LUR State:</b>	
<b>Notice Rg Rq Issd:</b>	07-Sep-1999 00:00:00				<b>GPS Conf:</b>	99
<b>Notice Violtn Issd:</b>					<b>RBCA GW:</b>	G1
<b>Contamination:</b>	GW				<b>RBCA GW Desc:</b>	Cleanups to 2L.0202 standards
<b>Cleanup:</b>	30-Aug-1999 00:00:00				<b>RBCA:</b>	S1
<b>Conf Risk:</b>	L				<b>RBCA Desc:</b>	Residential
<b>Risk:</b>	L				<b>CD No:</b>	190
<b>Land Use:</b>	RES				<b>Reel No:</b>	3911.0
<b>Land Use Desc:</b>	Residential				<b>ERR CD:</b>	NO
<b>Phase Reqr:</b>	1				<b>Valid:</b>	FALSE
<b>Intrmdt Cndition:</b>					<b>Cat Code:</b>	
<b>Corr Act Plan Cd:</b>					<b>HCS Res:</b>	
<b>CAP Desc:</b>					<b>Reliability:</b>	
<b>Clos Reqs:</b>	11-Sep-2000 00:00:00				<b>Supply Well:</b>	0
<b>MTBE:</b>	0				<b>New Source:</b>	
<b>MTBE 1:</b>	N				<b>Book:</b>	
<b>RP Company:</b>					<b>Page:</b>	
<b>HCS Ref:</b>						
<b>Comment:</b>						

NFA W/O PUBLIC NOTICE

# Unplottable Summary

Total: 28 Unplottable sites

DB	Company Name/Site Name	Address	City	Zip	ERIS ID
DTNK	T P Ashford Oil Co.	Trent Rd.	New Bern NC	00000	819110714
LUST	J.C. PENNY	HWY 17 SOUTH	NEW BERN NC	28560	825343219
LUST	COVINGTON DIESEL SITE	CLARENDON BLVD	NEW BERN NC	27420	825343185
LUST	MISSION AEROSPACE SERVICES	HWY 17 S	NEW BERN NC	28560	825344221
LUST	NEW BERN COCA-COLA BOTTLING WORKS	HIGHWAY 17 SOUTH	NEW BERN NC		825343943
LUST	AMERICAN BAKERIES	HWY. 17 SOUTH	NEW BERN NC	28560	825343825
LUST TRUST	Handy Mart #20	Highway 17 South <i>Incident No   Facility ID: 9617   0-001475</i>	New Bern NC		819106617
RCRA NON GEN	CLARK BOAT CO INC	US HWY 17 S <i>EPA Handler ID: NCD053526430</i>	NEW BERN NC	28560	810273566
RCRA NON GEN	COVINGTON	HWY 17 SOUTH <i>EPA Handler ID: NCD981868219</i>	NEW BERN NC	28560	810269223
RCRA NON GEN	TRYON CHEVROLET INC	US HWY 17 S <i>EPA Handler ID: NCD981760176</i>	NEW BERN NC	28560	810274232
RCRA NON GEN	BAYLINER MARINE CORP	US HWY 17 S <i>EPA Handler ID: NCD980803654</i>	NEW BERN NC	28560	810277457
RCRA NON GEN	ACE ONE HOUR DRY	HWY 17 S	NEW BERN NC	28560	810278274

CLEANERS

**EPA Handler ID:** NCD981754773

RCRA VSQG	R W MOORE EQUIPMENT CO	HWY 17 S	NEW BERN NC	28560	810836005
		<b>EPA Handler ID:</b> NCD075562959			
SPILLS	New Bern WWTP	Manhole located in front of Smithfield BBQ on Clarendon Boulevard	NC		822875804
SPILLS		Walmart on MLK Blvd	NC		822880991
SPILLS		Hwy 17 South	NC		822872122
UST	CELLA FORD, INC.	P.O. BOX 1718 / HIGHWAY 17 SOUTH	NEW BERN NC	28560	819130965
		<b>Facility ID:</b> 00-0-0000012727			
		<b>Tank ID   Tank Status:</b> 2   Removed, 3   Removed, 4   Removed, 1   Removed, 5   Removed			
UST	HWY 17 OFFICE BUILDING	HWY 17 SOUTH	NEW BERN NC	28560	819128852
		<b>Facility ID:</b> 00-0-0000021536			
		<b>Tank ID   Tank Status:</b> 3   Removed, 1   Removed, 2   Removed			
UST	POOR BOYS	HIGHWAY 17 NORTH	NEW BERN NC	28560	819125701
		<b>Facility ID:</b> 00-0-0000011823			
		<b>Tank ID   Tank Status:</b> 1   Removed, 2   Removed, 3   Removed			
UST	DEPPE	HWY 17 SOUTH	NEW BERN NC	28514	819131766
		<b>Facility ID:</b> 00-0-0000021827			
		<b>Tank ID   Tank Status:</b> 1   Removed			
UST	THE DECK & FENCE FACTORY	P.O. BOX 1429 / HIGHWAY 17 SOUTH	NEW BERN NC	28560	819122118
		<b>Facility ID:</b> 00-0-0000011771			
		<b>Tank ID   Tank Status:</b> 1   Removed			
UST	AMERICAN BAKERIES	U.S. 17 SOUTH	NEW BERN NC	28560	819122709
		<b>Facility ID:</b> 00-0-0000011875			
		<b>Tank ID   Tank Status:</b> 1   Removed			
UST	TRYON CHEVROLET, INC.	US HIGHWAY 17 SOUTH	NEW BERN NC	28560	819125638
		<b>Facility ID:</b> 00-0-0000011397			
		<b>Tank ID   Tank Status:</b> 1   Removed, 2   Removed			

UST	MONTE ENTERPRISES, INC.	HIGHWAY 17 SOUTH	NEW BERN NC	28650	819125685
		<i>Facility ID:</i> 00-0-0000011442			
		<i>Tank ID   Tank Status:</i> 1   Removed, 2   Removed			
UST	NEW BERN COCA-COLA BOTTLING WKS.	HIGHWAY 17 SOUTH	NEW BERN NC	28560	819144904
		<i>Facility ID:</i> 00-0-0000012323			
		<i>Tank ID   Tank Status:</i> 1   Removed, 2   Removed			
UST	R.W. MOORE EQUIPMENT COMPANY	HIGHWAY 17 SOUTH	NEW BERN NC	28560	819143007
		<i>Facility ID:</i> 00-0-0000025106			
		<i>Tank ID   Tank Status:</i> 1   Removed, 3   Removed, 2   Removed, 4   Removed			
UST	MISSION AEROSERVICES CAN AIR BAS	HWY 17 SOUTH	NEW BERN NC	28560	819141154
		<i>Facility ID:</i> 00-0-0000030680			
		<i>Tank ID   Tank Status:</i> 1 & 2   Removed			
UST	RIGGS GROCERY	HIGHWAY 17 SOUTH	NEW BERN NC	28560	819135175
		<i>Facility ID:</i> 00-0-0000011827			
		<i>Tank ID   Tank Status:</i> 3   Removed, 2   Removed, 1   Removed			

# Unplottable Report

**Site:** T P Ashford Oil Co.  
Trent Rd. New Bern NC 00000

DTNK

**Delisted Aboveground Storage Tanks**

<p><b>Registration ID:</b> 25002002  <b>Registration No:</b>  <b>ID:</b> 25002  <b>Cert of Reg Issued:</b>  <b>Date Recd:</b>  <b>Comments:</b>  <b>Date of Change:</b>  <b>Owner Name:</b>  <b>Status Change:</b>  <b>Note:</b>  <b>Original Source:</b> AST  <b>Record Date:</b> 28-NOV-2017</p>	<p><b>County:</b> Craven  <b>Activation Date:</b>  <b>Description:</b>  <b>Phone:</b>  <b>Latitude:</b>  <b>Longitude:</b>  <b>Coordinate Source:</b></p>
--	---

**Site:** J.C. PENNY  
HWY 17 SOUTH NEW BERN NC 28560

LUST

<p><b>Incdnt No (DWM Map):</b>  <b>Fac ID (DWM Map):</b>  <b>UST No (DWM Map):</b> WA-24929  <b>Curr Stat (DWM Map):</b> Archived  <b>Close Out(DWMMMap):</b> 1970/01/01 00:00:00+00  <b>Dt Occur (DWM Map):</b> 1970/01/01 00:00:00+00  <b>Incident (DWM Map):</b> J.C. PENNY  <b>Address (DWM Map):</b> HWY 17 SOUTH  <b>County (DWM Map):</b> CRAVE  <b>City (DWM Map):</b> NEW BERN  <b>Zip Code (DWM Map):</b> 28560  <b>Latitude (DWM Map):</b> 0  <b>Long (DWM Map):</b> 0  <b>Note:</b></p>	<p><b>Incident No:</b>  <b>Facility ID:</b>  <b>UST No:</b> WA-24929  <b>Current Status:</b> A  <b>Status Title:</b> Archived  <b>Close Out:</b>  <b>Date Occurred:</b>  <b>Contam Type:</b> None  <b>Cleanup:</b> 05-Jan-1993 00:00:00  <b>County:</b> CRAVE  <b>Latitude:</b> 0.0  <b>Longitude:</b> 0.0</p>
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**Data Source:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>  
Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)

**RUST Data**

<p><b>MGR:</b> SNH  <b>RO Code:</b> WAS  <b>Date Reported:</b> 1993/01/06 00:00:00+00  <b>Date Reported FY:</b> 1993  <b>Date Occured FY:</b>  <b>Comm:</b> C  <b>Reg:</b> R  <b>Perccomndelig:</b>  <b>TOT Paid:</b>  <b>Conf Risk:</b> B  <b>Risk:</b>  <b>Landuse:</b> RES  <b>Y:</b> -69513.2738257283  <b>Comment:</b>  <b>X:</b> 32888970.6352937  <b>Docs Link:</b></p>	<p><b>Inc Stat:</b> Open  <b>Closeout FY:</b>  <b>LUR Filed:</b> 1970/01/01 00:00:00+00  <b>LUR Resc:</b> 1970/01/01 00:00:00+00  <b>LUR State:</b>  <b>CD NO:</b> 67  <b>RRA Date:</b> 1970/01/01 00:00:00+00  <b>RRA Risk:</b>  <b>RRA Rank Curr:</b> 0  <b>RRA Abate:</b>  <b>RRA Rank:</b></p>
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**Docs Link:** <http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%>

5BProgram\_ID%5D%3D%22%2AWA-24929%2A%22%7D  
**SL Ftfrecdte:** 1970/01/01 00:00:00+00  
**SL Cleanup End Date:** 1970/01/01 00:00:00+00  
**SL Cleanup Start Date:** 1970/01/01 00:00:00+00  
**SL MGR:**  
**Object ID:** 9070  
**SL Site Stat:**

**LUST Database**

<b>MGR:</b>	SNH	<b>Contact:</b>	MR. CONNIE WOOD
<b>Regional Office Cd:</b>	WAS	<b>Telephone:</b>	
<b>Date Reported:</b>	05-Jan-1993 00:00:00	<b>RP Address:</b>	HWY 17 SOUTH
<b>Release Code:</b>	0	<b>RP City:</b>	NEW BERN
<b>Release Code Desc:</b>		<b>RP State:</b>	NC
<b>Source:</b>	3	<b>RP Zip Code:</b>	28560
<b>Source Desc:</b>	LEAK, UST	<b>RP County:</b>	
<b>Site Priority:</b>		<b>RP Email:</b>	
<b>Pollutant Type:</b>	3	<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	GASOLINE/DIESEL/KEROSENE	<b>RP Owner:</b>	FALSE
<b>Petroleum Type:</b>	P	<b>RP Operator:</b>	FALSE
<b>Petrol Type Desc:</b>	PETROLEUM	<b>RP Land Owner:</b>	FALSE
<b>COMM:</b>	C	<b>Lur Status:</b>	
<b>COMM Desc:</b>	COMMERCIAL	<b>LUR Filed:</b>	
<b>Regulated Code:</b>	R	<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	REGULATED	<b>LUR State:</b>	
<b>Notice Rg Rq Issd:</b>		<b>GPS Conf:</b>	99
<b>Notice Violtn Issd:</b>		<b>RBCA GW:</b>	
<b>Contamination:</b>	NO	<b>RBCA GW Desc:</b>	
<b>Cleanup:</b>	05-Jan-1993 00:00:00	<b>RBCA:</b>	
<b>Conf Risk:</b>		<b>RBCA Desc:</b>	
<b>Risk:</b>		<b>CD No:</b>	67
<b>Land Use:</b>	RES	<b>Reel No:</b>	170.0
<b>Land Use Desc:</b>	Residential	<b>ERR CD:</b>	NO
<b>Phase Reqr:</b>		<b>Valid:</b>	FALSE
<b>Intrmdt Cndition:</b>		<b>Cat Code:</b>	
<b>Corr Act Plan Cd:</b>		<b>HCS Res:</b>	
<b>CAP Desc:</b>		<b>Reliability:</b>	
<b>Clos Reqs:</b>		<b>Supply Well:</b>	0
<b>MTBE:</b>	0	<b>New Source:</b>	
<b>MTBE 1:</b>	U	<b>Book:</b>	
<b>RP Company:</b>	JC PENNY	<b>Page:</b>	
<b>HCS Ref:</b>			
<b>Comment:</b>			

**Site:** COVINGTON DIESEL SITE  
 CLARENDON BLVD NEW BERN NC 27420

LUST

<b>Incdnt No (DWM Map):</b>		<b>Incident No:</b>	
<b>Fac ID (DWM Map):</b>		<b>Facility ID:</b>	
<b>UST No (DWM Map):</b>	WA-25069	<b>UST No:</b>	WA-25069
<b>Curr Stat (DWM Map):</b>	Archived	<b>Current Status:</b>	A
<b>Close Out(DWMMMap):</b>	1970/01/01 00:00:00+00	<b>Status Title:</b>	Archived
<b>Dt Occur (DWM Map):</b>	1970/01/01 00:00:00+00	<b>Close Out:</b>	
<b>Incident (DWM Map):</b>	COVINGTON DIESEL SITE	<b>Date Occurred:</b>	
<b>Address (DWM Map):</b>	CLARENDON BLVD	<b>Contam Type:</b>	None
<b>County (DWM Map):</b>	CRAVE	<b>Cleanup:</b>	
<b>City (DWM Map):</b>	NEW BERN	<b>County:</b>	CRAVE
<b>Zip Code (DWM Map):</b>	27420	<b>Latitude:</b>	0.0
<b>Latitude (DWM Map):</b>	0	<b>Longitude:</b>	0.0
<b>Long (DWM Map):</b>	0		

**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>  
**Data Source:** Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)

**RUST Data**

**MGR:** SNH  
**RO Code:** WAS  
**Date Reported:** 1995/06/01 00:00:00+00  
**Date Reported FY:** 1995  
**Date Occured FY:**  
**Comm:** N  
**Reg:** N  
**Perccomfndelig:**  
**TOT Paid:**  
**Conf Risk:** B  
**Risk:**  
**Landuse:**  
**Y:** -69513.2738257283  
**Comment:**  
**X:** 32888970.6352937  
**Docs Link:** [http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram\\_ID%5D%3D%22%2A%22%2A%22%7D](http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%22%2A%22%7D)  
**SL Ftfrecdte:** 1970/01/01 00:00:00+00  
**SL Cleanup End Date:** 1970/01/01 00:00:00+00  
**SL Cleanup Start Date:** 1970/01/01 00:00:00+00  
**SL MGR:**  
**Object ID:** 8759  
**SL Site Stat:**

**Inc Stat:** Open  
**Closeout FY:**  
**LUR Filed:** 1970/01/01 00:00:00+00  
**LUR Resc:** 1970/01/01 00:00:00+00  
**LUR State:**  
**CD NO:** 67  
**RRA Date:** 1970/01/01 00:00:00+00  
**RRA Risk:**  
**RRA Rank Curr:** 0  
**RRA Abate:**  
**RRA Rank:**

**LUST Database**

**MGR:** SNH  
**Regional Office Cd:** WAS  
**Date Reported:** 31-May-1995 00:00:00  
**Release Code:** 0  
**Release Code Desc:**  
**Source:** 3  
**Source Desc:** LEAK, UST  
**Site Priority:**  
**Pollutant Type:** 5  
**Pollutant Desc:** OTHER PETROLEUM PROD.  
**Petroleum Type:** P  
**Petrol Type Desc:** PETROLEUM  
**COMM:** N  
**COMM Desc:** NON COMMERCIAL  
**Regulated Code:** N  
**Reg Code Desc:** NON REGULATED  
**Notice Rg Rq Issd:**  
**Notice Violtn Issd:**  
**Contamination:** NO  
**Cleanup:**  
**Conf Risk:**  
**Risk:**  
**Land Use:**  
**Land Use Desc:**  
**Phase Reqr:**  
**Intrmdt Cndition:**  
**Corr Act Plan Cd:**  
**CAP Desc:**  
**Clos Reqs:**  
**MTBE:** 0  
**MTBE 1:** N  
**RP Company:**  
**HCS Ref:**  
**Comment:**

**Contact:**  
**Telephone:**  
**RP Address:**  
**RP City:**  
**RP State:** NC  
**RP Zip Code:**  
**RP County:**  
**RP Email:**  
**RP Email1:**  
**RP Owner:** FALSE  
**RP Operator:** FALSE  
**RP Land Owner:** FALSE  
**Lur Status:**  
**LUR Filed:**  
**LUR Resc:**  
**LUR State:**  
**GPS Conf:** 99  
**RBCA GW:**  
**RBCA GW Desc:**  
**RBCA:**  
**RBCA Desc:**  
**CD No:** 67  
**Reel No:** 171.0  
**ERR CD:** NO  
**Valid:** FALSE  
**Cat Code:**  
**HCS Res:**  
**Reliability:**  
**Supply Well:** 0  
**New Source:**  
**Book:**  
**Page:**

**Site:** MISSION AEROSPACE SERVICES  
 HWY 17 S NEW BERN NC 28560

LUST

**Incdnt No (DWM Map):**  
**Fac ID (DWM Map):**

**Incident No:**  
**Facility ID:**

**UST No (DWM Map):** WA-25130  
**Curr Stat (DWM Map):** Archived  
**Close Out(DWMMMap):** 1970/01/01 00:00:00+00  
**Dt Occur (DWM Map):** 1970/01/01 00:00:00+00  
**Incident (DWM Map):** MISSION AEROSPACE SERVICES  
**Address (DWM Map):** HWY 17 S  
**County (DWM Map):** CRAVE  
**City (DWM Map):** NEW BERN  
**Zip Code (DWM Map):** 28560  
**Latitude (DWM Map):** 0  
**Long (DWM Map):** 0

**UST No:** WA-25130  
**Current Status:** A  
**Status Title:** Archived  
**Close Out:**  
**Date Occurred:**  
**Contam Type:** None  
**Cleanup:**  
**County:** CRAVE  
**Latitude:** 0.0  
**Longitude:** 0.0

**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>  
**Data Source:** Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)

**RUST Data**

<b>MGR:</b>	SNH	<b>Inc Stat:</b>	Open
<b>RO Code:</b>	WAS	<b>Closeout FY:</b>	
<b>Date Reported:</b>	1993/10/07 00:00:00+00	<b>LUR Filed:</b>	1970/01/01 00:00:00+00
<b>Date Reported FY:</b>	1994	<b>LUR Resc:</b>	1970/01/01 00:00:00+00
<b>Date Occured FY:</b>		<b>LUR State:</b>	
<b>Comm:</b>	C	<b>CD NO:</b>	67
<b>Reg:</b>	R	<b>RRA Date:</b>	1970/01/01 00:00:00+00
<b>Perccomndelig:</b>		<b>RRA Risk:</b>	
<b>TOT Paid:</b>		<b>RRA Rank Curr:</b>	0
<b>Conf Risk:</b>	B	<b>RRA Abate:</b>	
<b>Risk:</b>		<b>RRA Rank:</b>	
<b>Landuse:</b>			
<b>Y:</b>	-69513.2738257283		
<b>Comment:</b>			
<b>X:</b>	32888970.6352937		
<b>Docs Link:</b>	<a href="http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%2A%22%7D">http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&amp;searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2A%2A%22%7D</a>		
<b>SL Ftfrecdte:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup End Date:</b>	1970/01/01 00:00:00+00		
<b>SL Cleanup Start Date:</b>	1970/01/01 00:00:00+00		
<b>SL MGR:</b>			
<b>Object ID:</b>	8713		
<b>SL Site Stat:</b>			

**LUST Database**

<b>MGR:</b>	SNH	<b>Contact:</b>	
<b>Regional Office Cd:</b>	WAS	<b>Telephone:</b>	
<b>Date Reported:</b>	06-Oct-1993 00:00:00	<b>RP Address:</b>	
<b>Release Code:</b>	0	<b>RP City:</b>	
<b>Release Code Desc:</b>		<b>RP State:</b>	NC
<b>Source:</b>		<b>RP Zip Code:</b>	
<b>Source Desc:</b>		<b>RP County:</b>	
<b>Site Priority:</b>		<b>RP Email:</b>	
<b>Pollutant Type:</b>	5	<b>RP Email1:</b>	
<b>Pollutant Desc:</b>	OTHER PETROLEUM PROD.	<b>RP Owner:</b>	FALSE
<b>Petroleum Type:</b>	P	<b>RP Operator:</b>	FALSE
<b>Petrol Type Desc:</b>	PETROLEUM	<b>RP Land Owner:</b>	FALSE
<b>COMM:</b>	C	<b>Lur Status:</b>	
<b>COMM Desc:</b>	COMMERCIAL	<b>LUR Filed:</b>	
<b>Regulated Code:</b>	R	<b>LUR Resc:</b>	
<b>Reg Code Desc:</b>	REGULATED	<b>LUR State:</b>	
<b>Notice Rg Rq Issd:</b>		<b>GPS Conf:</b>	99
<b>Notice Violtn Issd:</b>		<b>RBCA GW:</b>	
<b>Contamination:</b>	NO	<b>RBCA GW Desc:</b>	
<b>Cleanup:</b>		<b>RBCA:</b>	
<b>Conf Risk:</b>		<b>RBCA Desc:</b>	
<b>Risk:</b>		<b>CD No:</b>	67
<b>Land Use:</b>		<b>Reel No:</b>	172.0
<b>Land Use Desc:</b>		<b>ERR CD:</b>	NO
<b>Phase Reqr:</b>		<b>Valid:</b>	FALSE



**Site Priority:**  
**Pollutant Type:** 3  
**Pollutant Desc:** GASOLINE/DIESEL/KEROSENE  
**Petroleum Type:** P  
**Petrol Type Desc:** PETROLEUM  
**COMM:** C  
**COMM Desc:** COMMERCIAL  
**Regulated Code:** R  
**Reg Code Desc:** REGULATED  
**Notice Rg Rq Issd:**  
**Notice Violtn Issd:**  
**Contamination:** NO  
**Cleanup:**  
**Conf Risk:**  
**Risk:**  
**Land Use:** RES  
**Land Use Desc:** Residential  
**Phase Reqr:**  
**Intrmdt Cndition:**  
**Corr Act Plan Cd:**  
**CAP Desc:**  
**Clos Reqs:**  
**MTBE:** 0  
**MTBE 1:** N  
**RP Company:** THE COCA-COLA BOTTLING COMPANY  
**HCS Ref:**  
**Comment:**

**RP Email:**  
**RP Email1:**  
**RP Owner:** TRUE  
**RP Operator:** TRUE  
**RP Land Owner:** TRUE  
**Lur Status:**  
**LUR Filed:**  
**LUR Resc:**  
**LUR State:**  
**GPS Conf:** 99  
**RBCA GW:**  
**RBCA GW Desc:**  
**RBCA:**  
**RBCA Desc:**  
**CD No:** 67  
**Reel No:** 171.0  
**ERR CD:** NO  
**Valid:** FALSE  
**Cat Code:**  
**HCS Res:**  
**Reliability:**  
**Supply Well:** 0  
**New Source:**  
**Book:**  
**Page:**

**Site:** AMERICAN BAKERIES  
 HWY. 17 SOUTH NEW BERN NC 28560

LUST

**Incdnt No (DWM Map):**  
**Fac ID (DWM Map):**  
**UST No (DWM Map):** WA-24877  
**Curr Stat (DWM Map):** Archived  
**Close Out(DWMMMap):** 1970/01/01 00:00:00+00  
**Dt Occur (DWM Map):** 1970/01/01 00:00:00+00  
**Incident (DWM Map):** AMERICAN BAKERIES  
**Address (DWM Map):** HWY. 17 SOUTH  
**County (DWM Map):** CRAVE  
**City (DWM Map):** NEW BERN  
**Zip Code (DWM Map):** 28560  
**Latitude (DWM Map):** 0  
**Long (DWM Map):** 0

**Incident No:**  
**Facility ID:**  
**UST No:** WA-24877  
**Current Status:** A  
**Status Title:** Archived  
**Close Out:**  
**Date Occurred:**  
**Contam Type:** None  
**Cleanup:**  
**County:** CRAVE  
**Latitude:** 0.0  
**Longitude:** 0.0

**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>  
**Data Source:** Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)

**RUST Data**

**MGR:** MRN  
**RO Code:** WAS  
**Date Reported:** 1970/01/01 00:00:00+00  
**Date Reported FY:**  
**Date Occured FY:**  
**Comm:** N  
**Reg:** R  
**Perccomndelig:**  
**TOT Paid:**  
**Conf Risk:** B  
**Risk:**  
**Landuse:** RES  
**Y:** -69513.2738257283  
**Comment:**  
**X:** 32888970.6352937  
**Docs Link:**

**Inc Stat:** Open  
**Closeout FY:**  
**LUR Filed:** 1970/01/01 00:00:00+00  
**LUR Resc:** 1970/01/01 00:00:00+00  
**LUR State:**  
**CD NO:** 67  
**RRA Date:** 1970/01/01 00:00:00+00  
**RRA Risk:**  
**RRA Rank Curr:** 0  
**RRA Abate:**  
**RRA Rank:**

[http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram\\_ID%5D%3D%22%2AWA-24877%2A%22%7D](http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWA-24877%2A%22%7D)

**SL Ftfrecdte:** 1970/01/01 00:00:00+00  
**SL Cleanup End Date:** 1970/01/01 00:00:00+00  
**SL Cleanup Start Date:** 1970/01/01 00:00:00+00  
**SL MGR:**  
**Object ID:** 9156  
**SL Site Stat:**

**LUST Database**

**MGR:** MRN  
**Regional Office Cd:** WAS  
**Date Reported:**  
**Release Code:** 0  
**Release Code Desc:**  
**Source:** 3  
**Source Desc:** LEAK, UST  
**Site Priority:**  
**Pollutant Type:**  
**Pollutant Desc:**  
**Petroleum Type:** P  
**Petrol Type Desc:** PETROLEUM  
**COMM:** N  
**COMM Desc:** NON COMMERCIAL  
**Regulated Code:** R  
**Reg Code Desc:** REGULATED  
**Notice Rg Rq Issd:**  
**Notice Violtn Issd:**  
**Contamination:** NO  
**Cleanup:**  
**Conf Risk:**  
**Risk:**  
**Land Use:** RES  
**Land Use Desc:** Residential  
**Phase Reqr:**  
**Intrmdt Cndition:**  
**Corr Act Plan Cd:**  
**CAP Desc:**  
**Clos Reqs:**  
**MTBE:** 0  
**MTBE 1:** N  
**RP Company:** MALLARD OIL COMPANY  
**HCS Ref:**  
**Comment:**

**Contact:**  
**Telephone:** 2525277191  
**RP Address:** 1502 GREENVILLE HWY.  
**RP City:** KINSTON  
**RP State:** NC  
**RP Zip Code:** 28501  
**RP County:**  
**RP Email:**  
**RP Email1:**  
**RP Owner:** TRUE  
**RP Operator:** TRUE  
**RP Land Owner:** TRUE  
**Lur Status:**  
**LUR Filed:**  
**LUR Resc:**  
**LUR State:**  
**GPS Conf:** 99  
**RBCA GW:**  
**RBCA GW Desc:**  
**RBCA:**  
**RBCA Desc:**  
**CD No:** 67  
**Reel No:** 170.0  
**ERR CD:** NO  
**Valid:** FALSE  
**Cat Code:**  
**HCS Res:**  
**Reliability:**  
**Supply Well:** 0  
**New Source:**  
**Book:**  
**Page:**

**Site:** **Handy Mart #20**  
**Highway 17 South New Bern NC**

LUST TRUST

**Incident No:** 9617  
**Facility ID:** 0-001475  
**Site County:** Craven  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Details**

**Archive Submit No:** 4209.0102  
**CD No:** STF29  
**UST No:**  
**Priority Rank:** L  
**Priority Rank Desc:** Low risk  
**Site Eligible?:** TRUE  
**% Commercial Fund:** 1.0  
**Reimbursement:** FALSE  
**Form:**  
**Site Note:** please make sure all old H hours are reimbursed.

**3rd Party Deduct:** \$100,000.00  
**Sum 3rd Party Amts:** \$0.00  
**Deduct Determine:** 3  
**Deductible Amount:** \$20,000.00  
**Deductible Reason1:** flat 20 k  
**Deductible Reason2:** 94B(b)(2)  
**Inel App:**

**Site:** **CLARK BOAT CO INC**

**EPA Handler ID:** NCD053526430  
**Gen Status Universe:** No Report  
**Contact Name:** HAROLD LOVELESS  
**Contact Address:** US HWY 17 S, , NEW BERN, NC, 28560, US  
**Contact Phone No and Ext:** 919-633-5450  
**Contact Email:**  
**Contact Country:** US  
**County Name:** CRAVEN  
**EPA Region:** 04  
**Land Type:** Private  
**Receive Date:** 19910206

**Violation/Evaluation Summary**

**Note:** NO RECORDS: As of Oct 2020, there are no Compliance Monitoring and Enforcement (violation) records associated with this facility (EPA ID).

**Handler Summary**

**Importer Activity:** No  
**Mixed Waste Generator:** No  
**Transporter Activity:** No  
**Transfer Facility:** No  
**Onsite Burner Exemption:** No  
**Furnace Exemption:** No  
**Underground Injection Activity:** No  
**Commercial TSD:** No  
**Used Oil Transporter:** No  
**Used Oil Transfer Facility:** No  
**Used Oil Processor:** No  
**Used Oil Refiner:** No  
**Used Oil Burner:** No  
**Used Oil Market Burner:** No  
**Used Oil Spec Marketer:** No

**Hazardous Waste Handler Details**

**Sequence No:** 1  
**Receive Date:** 19910206  
**Handler Name:** CLARK BOAT CO INC  
**Source Type:** Notification  
**Federal Waste Generator Code:** N  
**Generator Code Description:** Not a Generator, Verified

**Waste Code Details**

**Hazardous Waste Code:** F001  
**Waste Code Description:** THE FOLLOWING SPENT HALOGENATED SOLVENTS USED IN DEGREASING: TETRACHLOROETHYLENE, TRICHLOROETHYLENE, METHYLENE CHLORIDE, 1,1,1-TRICHLOROETHANE, CARBON TETRACHLORIDE AND CHLORINATED FLUOROCARBONS; ALL SPENT SOLVENT MIXTURES/BLENDS USED IN DEGREASING CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

**Owner/Operator Details**

<b>Owner/Operator Ind:</b> Current Owner	<b>Street No:</b>
<b>Type:</b> Private	<b>Street 1:</b>
<b>Name:</b> CLARK BOAT COMPANY INC	<b>Street 2:</b>
<b>Date Became Current:</b>	<b>City:</b>
<b>Date Ended Current:</b>	<b>State:</b>
<b>Phone:</b>	<b>Country:</b>
<b>Source Type:</b> Notification	<b>Zip Code:</b> 00000

**Site:** COVINGTON  
HWY 17 SOUTH NEW BERN NC 28560

RCRA NON GEN

**EPA Handler ID:** NCD981868219  
**Gen Status Universe:** No Report  
**Contact Name:** ROGER JENKINS  
**Contact Address:** HWY 17 SOUTH, , NEW BERN, NC, 28560, US  
**Contact Phone No and Ext:** 919-638-3161  
**Contact Email:**  
**Contact Country:** US  
**County Name:** CRAVEN  
**EPA Region:** 04  
**Land Type:** Private  
**Receive Date:** 19931228

**Violation/Evaluation Summary**

**Note:** NO VIOLATIONS: All of the compliance records associated with this facility (EPA ID) indicate NO VIOLATIONS; Compliance Monitoring and Enforcement table dated Oct, 2020.

**Evaluation Details**

**Evaluation Start Date:** 19930511  
**Evaluation Type Description:** FOCUSED COMPLIANCE INSPECTION  
**Violation Short Description:**  
**Return to Compliance Date:**  
**Evaluation Agency:** State

**Handler Summary**

**Importer Activity:** No  
**Mixed Waste Generator:** No  
**Transporter Activity:** No  
**Transfer Facility:** No  
**Onsite Burner Exemption:** No  
**Furnace Exemption:** No  
**Underground Injection Activity:** No  
**Commercial TSD:** No  
**Used Oil Transporter:** No  
**Used Oil Transfer Facility:** No  
**Used Oil Processor:** No  
**Used Oil Refiner:** No  
**Used Oil Burner:** No  
**Used Oil Market Burner:** No  
**Used Oil Spec Marketer:** No

**Hazardous Waste Handler Details**

**Sequence No:** 1  
**Receive Date:** 19931228  
**Handler Name:** COVINGTON  
**Source Type:** Notification  
**Federal Waste Generator Code:**  
**Generator Code Description:**

**Waste Code Details**

**Hazardous Waste Code:** F002  
**Waste Code Description:** THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

**Hazardous Waste Code:** F004

**Waste Code Description:** THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: CRESOLS, CRESYLIC ACID, AND NITROBENZENE; AND THE STILL BOTTOMS FROM THE RECOVERY OF THESE SOLVENTS; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

**Owner/Operator Details**

<b>Owner/Operator Ind:</b>	Current Owner	<b>Street No:</b>
<b>Type:</b>	Private	<b>Street 1:</b>
<b>Name:</b>	GENEVA CORPORATION	<b>Street 2:</b>
<b>Date Became Current:</b>		<b>City:</b>
<b>Date Ended Current:</b>		<b>State:</b>
<b>Phone:</b>		<b>Country:</b>
<b>Source Type:</b>	Notification	<b>Zip Code:</b>

**Site:** TRYON CHEVROLET INC  
US HWY 17 S NEW BERN NC 28560

RCRA NON GEN

**EPA Handler ID:** NCD981760176  
**Gen Status Universe:** No Report  
**Contact Name:** C ROMINSKI  
**Contact Address:** US HWY 17 S, , NEW BERN, NC, 28560, US  
**Contact Phone No and Ext:** 919-637-5133  
**Contact Email:**  
**Contact Country:** US  
**County Name:** CRAVEN  
**EPA Region:** 04  
**Land Type:** Private  
**Receive Date:** 19960919

**Violation/Evaluation Summary**

**Note:** NO RECORDS: As of Oct 2020, there are no Compliance Monitoring and Enforcement (violation) records associated with this facility (EPA ID).

**Handler Summary**

**Importer Activity:** No  
**Mixed Waste Generator:** No  
**Transporter Activity:** No  
**Transfer Facility:** No  
**Onsite Burner Exemption:** No  
**Furnace Exemption:** No  
**Underground Injection Activity:** No  
**Commercial TSD:** No  
**Used Oil Transporter:** No  
**Used Oil Transfer Facility:** No  
**Used Oil Processor:** No  
**Used Oil Refiner:** No  
**Used Oil Burner:** No  
**Used Oil Market Burner:** No  
**Used Oil Spec Marketer:** No

**Hazardous Waste Handler Details**

**Sequence No:** 1  
**Receive Date:** 19960919  
**Handler Name:** TRYON CHEVROLET INC  
**Source Type:** Notification  
**Federal Waste Generator Code:**  
**Generator Code Description:**

**Waste Code Details**

**Hazardous Waste Code:** D001  
**Waste Code Description:** IGNITABLE WASTE

**Owner/Operator Details**

<b>Owner/Operator Ind:</b>	Current Owner	<b>Street No:</b>
<b>Type:</b>	Private	<b>Street 1:</b>
<b>Name:</b>	KERMIT G HICKS	<b>Street 2:</b>
<b>Date Became Current:</b>		<b>City:</b>
<b>Date Ended Current:</b>		<b>State:</b>
<b>Phone:</b>		<b>Country:</b>
<b>Source Type:</b>	Notification	<b>Zip Code:</b>

**Site:** BAYLINER MARINE CORP  
US HWY 17 S NEW BERN NC 28560

RCRA NON GEN

**EPA Handler ID:** NCD980803654  
**Gen Status Universe:** No Report  
**Contact Name:** JERRY WILLIAMS  
**Contact Address:** US HWY 17 S, , NEW BERN, NC, 28560, US  
**Contact Phone No and Ext:** 919-633-6511  
**Contact Email:**  
**Contact Country:** US  
**County Name:** CRAVEN  
**EPA Region:** 04  
**Land Type:** Private  
**Receive Date:** 19910225

**Violation/Evaluation Summary**

**Note:** NO RECORDS: As of Oct 2020, there are no Compliance Monitoring and Enforcement (violation) records associated with this facility (EPA ID).

**Handler Summary**

**Importer Activity:** No  
**Mixed Waste Generator:** No  
**Transporter Activity:** No  
**Transfer Facility:** No  
**Onsite Burner Exemption:** No  
**Furnace Exemption:** No  
**Underground Injection Activity:** No  
**Commercial TSD:** No  
**Used Oil Transporter:** No  
**Used Oil Transfer Facility:** No  
**Used Oil Processor:** No  
**Used Oil Refiner:** No  
**Used Oil Burner:** No  
**Used Oil Market Burner:** No  
**Used Oil Spec Marketer:** No

**Hazardous Waste Handler Details**

**Sequence No:** 1  
**Receive Date:** 19910225  
**Handler Name:** BAYLINER MARINE CORP  
**Source Type:** Notification  
**Federal Waste Generator Code:** N  
**Generator Code Description:** Not a Generator, Verified

**Waste Code Details**

**Hazardous Waste Code:** U002  
**Waste Code Description:** 2-PROPANONE (I) (OR) ACETONE (I)

**Owner/Operator Details**

<b>Owner/Operator Ind:</b>	Current Owner	<b>Street No:</b>	
<b>Type:</b>	Private	<b>Street 1:</b>	
<b>Name:</b>	BAYLINER MARINE CORPORATION	<b>Street 2:</b>	
<b>Date Became Current:</b>		<b>City:</b>	
<b>Date Ended Current:</b>		<b>State:</b>	
<b>Phone:</b>		<b>Country:</b>	
<b>Source Type:</b>	Notification	<b>Zip Code:</b>	00000

**Site:** ACE ONE HOUR DRY CLEANERS  
HWY 17 S NEW BERN NC 28560

RCRA NON GEN

**EPA Handler ID:** NCD981754773  
**Gen Status Universe:** No Report  
**Contact Name:** LYNNA WIER  
**Contact Address:** HWY 17 S, , NEW BERN, NC, 28560, US  
**Contact Phone No and Ext:** 919-638-5180  
**Contact Email:**  
**Contact Country:** US  
**County Name:** CRAVEN  
**EPA Region:** 04  
**Land Type:** Private  
**Receive Date:** 19910806

**Violation/Evaluation Summary**

**Note:** NO RECORDS: As of Oct 2020, there are no Compliance Monitoring and Enforcement (violation) records associated with this facility (EPA ID).

**Handler Summary**

**Importer Activity:** No  
**Mixed Waste Generator:** No  
**Transporter Activity:** No  
**Transfer Facility:** No  
**Onsite Burner Exemption:** No  
**Furnace Exemption:** No  
**Underground Injection Activity:** No  
**Commercial TSD:** No  
**Used Oil Transporter:** No  
**Used Oil Transfer Facility:** No  
**Used Oil Processor:** No  
**Used Oil Refiner:** No  
**Used Oil Burner:** No  
**Used Oil Market Burner:** No  
**Used Oil Spec Marketer:** No

**Hazardous Waste Handler Details**

**Sequence No:** 1  
**Receive Date:** 19910806  
**Handler Name:** ACE ONE HOUR DRY CLEANERS  
**Source Type:** Notification  
**Federal Waste Generator Code:** N  
**Generator Code Description:** Not a Generator, Verified

**Waste Code Details**

**Hazardous Waste Code:** D001  
**Waste Code Description:** IGNITABLE WASTE

**Owner/Operator Details**

<b>Owner/Operator Ind:</b>	Current Owner	<b>Street No:</b>	
<b>Type:</b>	Private	<b>Street 1:</b>	HWY 17 S

**Name:** C & W INC DBA  
**Date Became Current:**  
**Date Ended Current:**  
**Phone:**  
**Source Type:** Notification  
**Street 2:**  
**City:** NEW BERN  
**State:** NC  
**Country:**  
**Zip Code:** 28560

**Site:** R W MOORE EQUIPMENT CO  
HWY 17 S NEW BERN NC 28560

RCRA VSQG

**EPA Handler ID:** NCD075562959  
**Gen Status Universe:** VSG  
**Contact Name:** MARC K FRANKS  
**Contact Address:** HWY 17 S, , NEW BERN, NC, 28560, US  
**Contact Phone No and Ext:** 919-638-5838  
**Contact Email:**  
**Contact Country:** US  
**County Name:** CRAVEN  
**EPA Region:** 04  
**Land Type:** Private  
**Receive Date:** 19890614

**Violation/Evaluation Summary**

**Note:** NO RECORDS: As of Oct 2020, there are no Compliance Monitoring and Enforcement (violation) records associated with this facility (EPA ID).

**Handler Summary**

**Importer Activity:** No  
**Mixed Waste Generator:** No  
**Transporter Activity:** No  
**Transfer Facility:** No  
**Onsite Burner Exemption:** No  
**Furnace Exemption:** No  
**Underground Injection Activity:** No  
**Commercial TSD:** No  
**Used Oil Transporter:** No  
**Used Oil Transfer Facility:** No  
**Used Oil Processor:** No  
**Used Oil Refiner:** No  
**Used Oil Burner:** No  
**Used Oil Market Burner:** No  
**Used Oil Spec Marketer:** No

**Hazardous Waste Handler Details**

**Sequence No:** 1  
**Receive Date:** 19890614  
**Handler Name:** R W MOORE EQUIPMENT CO  
**Federal Waste Generator Code:** 3  
**Generator Code Description:** Very Small Quantity Generator  
**Source Type:** Notification

**Waste Code Details**

**Hazardous Waste Code:** F002  
**Waste Code Description:** THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

**Hazardous Waste Code:** F004  
**Waste Code Description:** THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: CRESOLS, CRESYLIC ACID, AND NITROBENZENE; AND THE STILL BOTTOMS FROM THE RECOVERY OF THESE SOLVENTS; ALL SPENT

SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

**Owner/Operator Details**

<b>Owner/Operator Ind:</b>	Current Owner	<b>Street No:</b>	
<b>Type:</b>	Private	<b>Street 1:</b>	
<b>Name:</b>	R. W. MOORE	<b>Street 2:</b>	
<b>Date Became Current:</b>		<b>City:</b>	
<b>Date Ended Current:</b>		<b>State:</b>	
<b>Phone:</b>		<b>Country:</b>	
<b>Source Type:</b>	Notification	<b>Zip Code:</b>	

**Site:** **New Bern WWTP**  
**Manhole located in front of Smithfield BBQ on Clarendon Boulevard NC**

SPILLS

<b>Incident No:</b>	19971052	<b>Region:</b>	Washington
<b>Latitude:</b>		<b>County:</b>	Craven
<b>Longitude:</b>			

**Incident Details**

<b>Permit No:</b>	NC0025348	<b>Year:</b>	2020
<b>Incident Type:</b>	SSO	<b>Est Total Vol:</b>	3000
<b>Start Date:</b>	11/8/1997	<b>Est Surface Wtr Vol:</b>	
<b>Extract Date:</b>		<b>Waterbody Name:</b>	
<b>Five Day Start Dt:</b>		<b>Cur Classification:</b>	
<b>Owner:</b>	City of New Bern	<b>Duration (Minutes):</b>	780
<b>Owner Organztn Nm:</b>		<b>User Last Updated:</b>	

**Site:** **Walmart on MLK Blvd NC**

SPILLS

<b>Incident No:</b>	201001859	<b>Region:</b>	Washington
<b>Latitude:</b>		<b>County:</b>	Craven
<b>Longitude:</b>			

**Incident Details**

<b>Permit No:</b>		<b>Year:</b>	2016
<b>Incident Type:</b>		<b>Est Total Vol:</b>	
<b>Start Date:</b>	6/8/2010	<b>Est Surface Wtr Vol:</b>	
<b>Extract Date:</b>		<b>Waterbody Name:</b>	
<b>Five Day Start Dt:</b>		<b>Cur Classification:</b>	
<b>Owner:</b>		<b>Duration (Minutes):</b>	
<b>Owner Organztn Nm:</b>		<b>User Last Updated:</b>	

**Site:** **Hwy 17 South NC**

SPILLS

<b>Incident No:</b>	200800097	<b>Region:</b>	Washington
<b>Latitude:</b>		<b>County:</b>	Craven
<b>Longitude:</b>			

**Incident Details**

<b>Permit No:</b>		<b>Year:</b>	2016
<b>Incident Type:</b>		<b>Est Total Vol:</b>	
<b>Start Date:</b>	1/9/2008	<b>Est Surface Wtr Vol:</b>	
<b>Extract Date:</b>		<b>Waterbody Name:</b>	
<b>Five Day Start Dt:</b>		<b>Cur Classification:</b>	
<b>Owner:</b>		<b>Duration (Minutes):</b>	
<b>Owner Organztn Nm:</b>		<b>User Last Updated:</b>	

**Site:** CELLA FORD, INC.  
P.O. BOX 1718 / HIGHWAY 17 SOUTH NEW BERN NC 28560

UST

<b>Facility ID:</b>	00-0-0000012727	<b>Contact:</b>	CELLA FORD, INC.
<b>No Reg Tanks:</b>		<b>Contact Address 1:</b>	P.O. BOX 1718 / HIGHWAY 17 SOUTH
<b>No Non-Reg Tanks:</b>		<b>Contact Address 2:</b>	
<b>Non-Reg/Com Tanks:</b>		<b>Contact City:</b>	NEW BERN
<b>Fac Owner Type:</b>		<b>Contact State:</b>	NC
<b>Fac Name (Report):</b>	CELLA FORD, INC.	<b>Contact Zip:</b>	28560
<b>Address1 (Report):</b>	P.O. BOX 1718 / HIGHWAY 17 SOUTH	<b>Fac Name (Map):</b>	
<b>Address2 (Report):</b>		<b>Fac Address (Map):</b>	
<b>City (Report):</b>	NEW BERN	<b>Facility City (Map):</b>	
<b>State (Report):</b>	NC	<b>Facility Zip (Map):</b>	
<b>Zip (Report):</b>	28560	<b>Facility Phone (Map) :</b>	
<b>Latitude (Report):</b>	0	<b>X (Map):</b>	
<b>Longitude (Report):</b>	0	<b>Y (Map):</b>	

**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	2	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	2/27/1974 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	12/1/1988 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	4000	<b>FR Amt:</b>	
<b>Commercial:</b>	YES	<b>FR Desc:</b>	
<b>Regulated:</b>	NO	<b>Last Update Date:</b>	
<b>Product:</b>	Fuel Oil		

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	3	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	2/27/1974 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	12/1/1988 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	4000	<b>FR Amt:</b>	
<b>Commercial:</b>	YES	<b>FR Desc:</b>	
<b>Regulated:</b>	NO	<b>Last Update Date:</b>	
<b>Product:</b>	Fuel Oil		

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	4	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	2/27/1974 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	12/1/1988 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	4000	<b>FR Amt:</b>	

**Commercial:** YES  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 1  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 2/27/1974 0:00:00  
**Perm Close Date:** 12/1/1988 0:00:00  
**Capacity:** 4000  
**Commercial:** YES  
**Regulated:** NO  
**Product:** Fuel Oil

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 5  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 2/27/1974 0:00:00  
**Perm Close Date:** 12/1/1988 0:00:00  
**Capacity:** 1000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Oil, New/Used/Mix

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Owner Information**

**Contact Key:** 9941.00  
**Facility Key:** 93866  
**FIPS County Desc:** Craven

**Phone:** (919) 638-4011  
**Affiliate Type:** Owner  
**End Date:**

**Site:** HWY 17 OFFICE BUILDING  
HWY 17 SOUTH NEW BERN NC 28560

UST

**Facility ID:** 00-0-0000021536  
**No Reg Tanks:**  
**No Non-Reg Tanks:**  
**Non-Reg/Com Tanks:**  
**Fac Owner Type:**  
**Fac Name (Report):** HWY 17 OFFICE BUILDING  
**Address1 (Report):** HWY 17 SOUTH  
**Address2 (Report):**  
**City (Report):** NEW BERN  
**State (Report):** NC  
**Zip (Report):** 28560  
**Latitude (Report):** 0  
**Longitude (Report):** 0

**Contact:** SPRINT/CAROLINA TELEPHONE  
**Contact Address 1:** 720 WESTERN BLVD/MAIL CODE 0265  
**Contact Address 2:**  
**Contact City:** TARBORO  
**Contact State:** NC  
**Contact Zip:** 27886  
**Fac Name (Map):**  
**Fac Address (Map):**  
**Facility City (Map):**  
**Facility Zip (Map):**  
**Facility Phone (Map) :**  
**X (Map):**  
**Y (Map):**

**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Tank Info (UST Databases and Reports)**

**Tank ID:** 3

**Overfill Protection:** Unknown

**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 5/2/1984 0:00:00  
**Perm Close Date:** 2/7/1994 0:00:00  
**Capacity:** 2000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Diesel

**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 1  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 5/2/1984 0:00:00  
**Perm Close Date:** 10/1/1987 0:00:00  
**Capacity:** 4000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 2  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 5/2/1984 0:00:00  
**Perm Close Date:** 10/1/1987 0:00:00  
**Capacity:** 4000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Owner Information**

**Contact Key:** 66664.00  
**Facility Key:** 101670  
**FIPS County Desc:** Craven

**Phone:** (919) 641-3612  
**Affiliate Type:** Owner  
**End Date:**

**Site:** POOR BOYS  
HIGHWAY 17 NORTH NEW BERN NC 28560

UST

**Facility ID:** 00-0-0000011823  
**No Reg Tanks:**  
**No Non-Reg Tanks:**  
**Non-Reg/Com Tanks:**  
**Fac Owner Type:**  
**Fac Name (Report):** POOR BOYS  
**Address1 (Report):** HIGHWAY 17 NORTH  
**Address2 (Report):**  
**City (Report):** NEW BERN  
**State (Report):** NC  
**Zip (Report):** 28560

**Contact:** CAROLINA OIL & DIST. CO.  
**Contact Address 1:** PO BOX 340/1110 WINDLEY ST  
**Contact Address 2:**  
**Contact City:** NEW BERN  
**Contact State:** NC  
**Contact Zip:** 28560-4136  
**Fac Name (Map):**  
**Fac Address (Map):**  
**Facility City (Map):**  
**Facility Zip (Map):**  
**Facility Phone (Map) :**

Latitude (Report): 0  
Longitude (Report): 0  
Source:  
Note:

X (Map):  
Y (Map):

North Carolina Environmental Quality - UST Databases and Reports  
Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Tank Info (UST Databases and Reports)**

Tank ID: 1  
Tank Status: Removed  
Compartment Tank: NO  
Manifold Tank:  
Main Tank: NO  
Root Tank ID:  
Tank Cert No:  
Cert No:  
Installation Date: 4/25/1956 0:00:00  
Perm Close Date: 12/1/1988 0:00:00  
Capacity: 550  
Commercial: YES  
Regulated: YES  
Product: Gasoline, Gas Mix

Overfill Protection: Unknown  
Leak Detection: Unknown  
Spill Protection: Unknown  
Piping Constr: Single Wall Steel  
Tank Constr: Single Wall Steel  
Other CP Tank:  
Other CP Name:  
Piping System: Unknown  
FIPS County Desc: Craven  
FR Bus Name:  
FR Amt:  
FR Desc:  
Last Update Date:

**Tank Info (UST Databases and Reports)**

Tank ID: 2  
Tank Status: Removed  
Compartment Tank: NO  
Manifold Tank:  
Main Tank: NO  
Root Tank ID:  
Tank Cert No:  
Cert No:  
Installation Date: 4/25/1956 0:00:00  
Perm Close Date: 12/1/1988 0:00:00  
Capacity: 550  
Commercial: YES  
Regulated: YES  
Product: Gasoline, Gas Mix

Overfill Protection: Unknown  
Leak Detection: Unknown  
Spill Protection: Unknown  
Piping Constr: Single Wall Steel  
Tank Constr: Single Wall Steel  
Other CP Tank:  
Other CP Name:  
Piping System: Unknown  
FIPS County Desc: Craven  
FR Bus Name:  
FR Amt:  
FR Desc:  
Last Update Date:

**Tank Info (UST Databases and Reports)**

Tank ID: 3  
Tank Status: Removed  
Compartment Tank: NO  
Manifold Tank:  
Main Tank: NO  
Root Tank ID:  
Tank Cert No:  
Cert No:  
Installation Date: 4/25/1956 0:00:00  
Perm Close Date: 12/1/1988 0:00:00  
Capacity: 550  
Commercial: YES  
Regulated: YES  
Product: Gasoline, Gas Mix

Overfill Protection: Unknown  
Leak Detection: Unknown  
Spill Protection: Unknown  
Piping Constr: Single Wall Steel  
Tank Constr: Single Wall Steel  
Other CP Tank:  
Other CP Name:  
Piping System: Unknown  
FIPS County Desc: Craven  
FR Bus Name:  
FR Amt:  
FR Desc:  
Last Update Date:

**Owner Information**

Contact Key: 9233.00  
Facility Key: 92559  
FIPS County Desc: Craven

Phone: (919) 637-4163  
Affiliate Type: Owner  
End Date:

Site: **DEPPE  
HWY 17 SOUTH NEW BERN NC 28514**

UST

Facility ID: 00-0-0000021827

Contact: NC DIVISION OF FOREST RESOURCES

**No Reg Tanks:**  
**No Non-Reg Tanks:**  
**Non-Reg/Com Tanks:**  
**Fac Owner Type:**  
**Fac Name (Report):** DEPPE  
**Address1 (Report):** HWY 17 SOUTH  
**Address2 (Report):**  
**City (Report):** NEW BERN  
**State (Report):** NC  
**Zip (Report):** 28514  
**Latitude (Report):** 0  
**Longitude (Report):** 0  
**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Contact Address 1:** PO BOX 27687  
**Contact Address 2:**  
**Contact City:** RALEIGH  
**Contact State:** NC  
**Contact Zip:** 27611  
**Fac Name (Map):**  
**Fac Address (Map):**  
**Facility City (Map):**  
**Facility Zip (Map):**  
**Facility Phone (Map) :**  
**X (Map):**  
**Y (Map):**

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	1	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Unknown
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	7/3/1979 0:00:00	<b>FIPS County Desc:</b>	Onslow
<b>Perm Close Date:</b>	12/31/1987 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	1000	<b>FR Amt:</b>	
<b>Commercial:</b>	YES	<b>FR Desc:</b>	
<b>Regulated:</b>	YES	<b>Last Update Date:</b>	
<b>Product:</b>	Gasoline, Gas Mix		

**Owner Information**

<b>Contact Key:</b>	50612.00	<b>Phone:</b>	(919) 733-2162
<b>Facility Key:</b>	100782	<b>Affiliate Type:</b>	Owner
<b>FIPS County Desc:</b>	Onslow	<b>End Date:</b>	

**Site:** THE DECK & FENCE FACTORY  
 P.O. BOX 1429 / HIGHWAY 17 SOUTH NEW BERN NC 28560

UST

<b>Facility ID:</b>	00-0-0000011771	<b>Contact:</b>	A J BALLARD TIRE & OIL CO INC
<b>No Reg Tanks:</b>		<b>Contact Address 1:</b>	PO BOX 12792
<b>No Non-Reg Tanks:</b>		<b>Contact Address 2:</b>	
<b>Non-Reg/Com Tanks:</b>		<b>Contact City:</b>	NEW BERN
<b>Fac Owner Type:</b>		<b>Contact State:</b>	NC
<b>Fac Name (Report):</b>	THE DECK & FENCE FACTORY	<b>Contact Zip:</b>	28561-2792
<b>Address1 (Report):</b>	P.O. BOX 1429 / HIGHWAY 17 SOUTH	<b>Fac Name (Map):</b>	
<b>Address2 (Report):</b>		<b>Fac Address (Map):</b>	
<b>City (Report):</b>	NEW BERN	<b>Facility City (Map):</b>	
<b>State (Report):</b>	NC	<b>Facility Zip (Map):</b>	
<b>Zip (Report):</b>	28560	<b>Facility Phone (Map) :</b>	
<b>Latitude (Report):</b>	0	<b>X (Map):</b>	
<b>Longitude (Report):</b>	0	<b>Y (Map):</b>	
<b>Source:</b>	North Carolina Environmental Quality - UST Databases and Reports		
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>		

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	1	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	

**Cert No:**  
**Installation Date:** 4/23/1983 0:00:00  
**Perm Close Date:** 2/3/1993 0:00:00  
**Capacity:** 550  
**Commercial:** NO  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Owner Information**

**Contact Key:** 169.00  
**Facility Key:** 94313  
**FIPS County Desc:** Craven

**Phone:** (252) 633-1186  
**Affiliate Type:** Owner  
**End Date:**

**Site:** **AMERICAN BAKERIES**  
**U.S. 17 SOUTH NEW BERN NC 28560**

UST

**Facility ID:** 00-0-0000011875  
**No Reg Tanks:**  
**No Non-Reg Tanks:**  
**Non-Reg/Com Tanks:**  
**Fac Owner Type:**  
**Fac Name (Report):** AMERICAN BAKERIES  
**Address1 (Report):** U.S. 17 SOUTH  
**Address2 (Report):**  
**City (Report):** NEW BERN  
**State (Report):** NC  
**Zip (Report):** 28560  
**Latitude (Report):** 0  
**Longitude (Report):** 0

**Contact:** MALLARD OIL CO  
**Contact Address 1:** 1502 GREENVILLE HWY  
**Contact Address 2:**  
**Contact City:** KINSTON  
**Contact State:** NC  
**Contact Zip:** 28501-3137  
**Fac Name (Map):**  
**Fac Address (Map):**  
**Facility City (Map):**  
**Facility Zip (Map):**  
**Facility Phone (Map) :**  
**X (Map):**  
**Y (Map):**

**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Tank Info (UST Databases and Reports)**

**Tank ID:** 1  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 12/17/1984 0:00:00  
**Perm Close Date:** 3/30/1992 0:00:00  
**Capacity:** 1000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Diesel

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Owner Information**

**Contact Key:** 44438.00  
**Facility Key:** 92795  
**FIPS County Desc:** Craven

**Phone:** (252) 527-7191  
**Affiliate Type:** Owner  
**End Date:**

**Site:** **TRYON CHEVROLET, INC.**  
**US HIGHWAY 17 SOUTH NEW BERN NC 28560**

UST

**Facility ID:** 00-0-0000011397  
**No Reg Tanks:**  
**No Non-Reg Tanks:**  
**Non-Reg/Com Tanks:**  
**Fac Owner Type:**  
**Fac Name (Report):** TRYON CHEVROLET, INC.  
**Address1 (Report):** US HIGHWAY 17 SOUTH

**Contact:** CRAVEN OIL COMPANY  
**Contact Address 1:** 1426 RACETRACK ROAD  
**Contact Address 2:**  
**Contact City:** NEW BERN  
**Contact State:** NC  
**Contact Zip:** 28560  
**Fac Name (Map):**

**Address2 (Report):**  
**City (Report):** NEW BERN  
**State (Report):** NC  
**Zip (Report):** 28560  
**Latitude (Report):** 0  
**Longitude (Report):** 0  
**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Fac Address (Map):**  
**Facility City (Map):**  
**Facility Zip (Map):**  
**Facility Phone (Map) :**  
**X (Map):**  
**Y (Map):**

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	1	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	4/26/1976 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	7/2/1991 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	2000	<b>FR Amt:</b>	
<b>Commercial:</b>	YES	<b>FR Desc:</b>	
<b>Regulated:</b>	YES	<b>Last Update Date:</b>	
<b>Product:</b>	Gasoline, Gas Mix		

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	2	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	4/29/1966 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	7/2/1991 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	550	<b>FR Amt:</b>	
<b>Commercial:</b>	NO	<b>FR Desc:</b>	
<b>Regulated:</b>	YES	<b>Last Update Date:</b>	
<b>Product:</b>	Gasoline, Gas Mix		

**Owner Information**

<b>Contact Key:</b>	13304.00	<b>Phone:</b>	(919) 633-5702
<b>Facility Key:</b>	93016	<b>Affiliate Type:</b>	Owner
<b>FIPS County Desc:</b>	Craven	<b>End Date:</b>	

**Site:** MONTE ENTERPRISES, INC.  
 HIGHWAY 17 SOUTH NEW BERN NC 28650

UST

<b>Facility ID:</b>	00-0-0000011442	<b>Contact:</b>	MONTE ENTERPRISES, INC.
<b>No Reg Tanks:</b>		<b>Contact Address 1:</b>	P.O. BOX 2391 / 3204 NEUSE BLVD.
<b>No Non-Reg Tanks:</b>		<b>Contact Address 2:</b>	
<b>Non-Reg/Com Tanks:</b>		<b>Contact City:</b>	NEW BERN
<b>Fac Owner Type:</b>		<b>Contact State:</b>	NC
<b>Fac Name (Report):</b>	MONTE ENTERPRISES, INC.	<b>Contact Zip:</b>	28650
<b>Address1 (Report):</b>	HIGHWAY 17 SOUTH	<b>Fac Name (Map):</b>	
<b>Address2 (Report):</b>		<b>Fac Address (Map):</b>	
<b>City (Report):</b>	NEW BERN	<b>Facility City (Map):</b>	
<b>State (Report):</b>	NC	<b>Facility Zip (Map):</b>	
<b>Zip (Report):</b>	28650	<b>Facility Phone (Map) :</b>	
<b>Latitude (Report):</b>	0	<b>X (Map):</b>	
<b>Longitude (Report):</b>	0	<b>Y (Map):</b>	
<b>Source:</b>	North Carolina Environmental Quality - UST Databases and Reports		
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche		

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	1	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	4/30/1961 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	6/1/1980 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	900	<b>FR Amt:</b>	
<b>Commercial:</b>	YES	<b>FR Desc:</b>	
<b>Regulated:</b>	YES	<b>Last Update Date:</b>	
<b>Product:</b>	Gasoline, Gas Mix		

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	2	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	4/26/1976 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	6/1/1980 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	900	<b>FR Amt:</b>	
<b>Commercial:</b>	YES	<b>FR Desc:</b>	
<b>Regulated:</b>	YES	<b>Last Update Date:</b>	
<b>Product:</b>	Gasoline, Gas Mix		

**Owner Information**

<b>Contact Key:</b>	46781.00	<b>Phone:</b>	(919) 637-5803
<b>Facility Key:</b>	93153	<b>Affiliate Type:</b>	Owner
<b>FIPS County Desc:</b>	Craven	<b>End Date:</b>	

**Site:** NEW BERN COCA-COLA BOTTLING WKS.  
HIGHWAY 17 SOUTH NEW BERN NC 28560

UST

<b>Facility ID:</b>	00-0-0000012323	<b>Contact:</b>	WILMINGTON COCA-COLA BOTTLING WK
<b>No Reg Tanks:</b>		<b>Contact Address 1:</b>	921 PRINCESS ST
<b>No Non-Reg Tanks:</b>		<b>Contact Address 2:</b>	
<b>Non-Reg/Com Tanks:</b>		<b>Contact City:</b>	WILMINGTON
<b>Fac Owner Type:</b>		<b>Contact State:</b>	NC
<b>Fac Name (Report):</b>	NEW BERN COCA-COLA BOTTLING WKS.	<b>Contact Zip:</b>	28401
<b>Address1 (Report):</b>	HIGHWAY 17 SOUTH	<b>Fac Name (Map):</b>	
<b>Address2 (Report):</b>		<b>Fac Address (Map):</b>	
<b>City (Report):</b>	NEW BERN	<b>Facility City (Map):</b>	
<b>State (Report):</b>	NC	<b>Facility Zip (Map):</b>	
<b>Zip (Report):</b>	28560	<b>Facility Phone (Map) :</b>	
<b>Latitude (Report):</b>	0	<b>X (Map):</b>	
<b>Longitude (Report):</b>	0	<b>Y (Map):</b>	

**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	1	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown

**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 2/23/1973 0:00:00  
**Perm Close Date:** 9/30/1992 0:00:00  
**Capacity:** 10000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 2  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 1/1/1964 0:00:00  
**Perm Close Date:** 12/31/1988 0:00:00  
**Capacity:** 2000  
**Commercial:** YES  
**Regulated:** NO  
**Product:** Heating Oil/Fuel

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Unknown  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Owner Information**

**Contact Key:** 78658.00  
**Facility Key:** 92449  
**FIPS County Desc:** Craven

**Phone:** (919) 762-0375  
**Affiliate Type:** Owner  
**End Date:**

**Site:** R.W. MOORE EQUIPMENT COMPANY  
 HIGHWAY 17 SOUTH NEW BERN NC 28560

UST

**Facility ID:** 00-0-0000025106  
**No Reg Tanks:**  
**No Non-Reg Tanks:**  
**Non-Reg/Com Tanks:**  
**Fac Owner Type:**  
**Fac Name (Report):** R.W. MOORE EQUIPMENT COMPANY  
**Address1 (Report):** HIGHWAY 17 SOUTH  
**Address2 (Report):**  
**City (Report):** NEW BERN  
**State (Report):** NC  
**Zip (Report):** 28560  
**Latitude (Report):** 0  
**Longitude (Report):** 0

**Contact:** R.W. MOORE EQUIPMENT CO.  
**Contact Address 1:** HIGHWAY 17 SOUTH  
**Contact Address 2:**  
**Contact City:** NEW BERN  
**Contact State:** NC  
**Contact Zip:** 28560  
**Fac Name (Map):**  
**Fac Address (Map):**  
**Facility City (Map):**  
**Facility Zip (Map):**  
**Facility Phone (Map) :**  
**X (Map):**  
**Y (Map):**

**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Tank Info (UST Databases and Reports)**

**Tank ID:** 1  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 10/3/1976 0:00:00  
**Perm Close Date:** 12/16/1992 0:00:00  
**Capacity:** 1000

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Unknown  
**Tank Constr:** Unknown  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**

**Commercial:** YES  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 3  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 10/3/1976 0:00:00  
**Perm Close Date:** 12/16/1992 0:00:00  
**Capacity:** 1000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Diesel

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Unknown  
**Tank Constr:** Unknown  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 2  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 10/3/1976 0:00:00  
**Perm Close Date:** 12/16/1992 0:00:00  
**Capacity:** 550  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Diesel

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Unknown  
**Tank Constr:** Unknown  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 4  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 10/3/1976 0:00:00  
**Perm Close Date:** 12/16/1992 0:00:00  
**Capacity:** 550  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Oil, New/Used/Mix

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Unknown  
**Tank Constr:** Unknown  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Owner Information**

**Contact Key:** 60375.00  
**Facility Key:** 106271  
**FIPS County Desc:** Craven

**Phone:** (919) 638-5838  
**Affiliate Type:** Owner  
**End Date:**

**Site:** MISSION AEROSERVICES CAN AIR BAS  
HWY 17 SOUTH NEW BERN NC 28560

UST

**Facility ID:** 00-0-0000030680  
**No Reg Tanks:**  
**No Non-Reg Tanks:**

**Contact:** WORLDWIDE N T BAPT MISSIONS INC  
**Contact Address 1:** 2100 SPENCER AVE PO BOX 1250  
**Contact Address 2:**

**Non-Reg/Com Tanks:**  
**Fac Owner Type:**  
**Fac Name (Report):** MISSION AEROSERVICES CAN AIR BAS  
**Address1 (Report):** HWY 17 SOUTH  
**Address2 (Report):**  
**City (Report):** NEW BERN  
**State (Report):** NC  
**Zip (Report):** 28560  
**Latitude (Report):** 0  
**Longitude (Report):** 0  
**Source:** North Carolina Environmental Quality - UST Databases and Reports  
**Note:** Documents related to facilities in NC can be searched on the NC DEQ LaserFiche  
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

**Contact City:** NEW BERN  
**Contact State:** NC  
**Contact Zip:** 28560  
**Fac Name (Map):**  
**Fac Address (Map):**  
**Facility City (Map):**  
**Facility Zip (Map):**  
**Facility Phone (Map) :**  
**X (Map):**  
**Y (Map):**

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	1 & 2	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	9/24/1978 0:00:00	<b>FIPS County Desc:</b>	Craven
<b>Perm Close Date:</b>	7/30/1993 0:00:00	<b>FR Bus Name:</b>	
<b>Capacity:</b>	12000	<b>FR Amt:</b>	
<b>Commercial:</b>	YES	<b>FR Desc:</b>	
<b>Regulated:</b>	YES	<b>Last Update Date:</b>	
<b>Product:</b>	Gasoline, Gas Mix		

**Owner Information**

<b>Contact Key:</b>	79042.00	<b>Phone:</b>	(919) 633-5989
<b>Facility Key:</b>	110122	<b>Affiliate Type:</b>	Owner
<b>FIPS County Desc:</b>	Craven	<b>End Date:</b>	

**Site:** RIGGS GROCERY  
 HIGHWAY 17 SOUTH NEW BERN NC 28560

UST

<b>Facility ID:</b>	00-0-0000011827	<b>Contact:</b>	CAROLINA OIL & DIST. CO.
<b>No Reg Tanks:</b>		<b>Contact Address 1:</b>	PO BOX 340/1110 WINDLEY ST
<b>No Non-Reg Tanks:</b>		<b>Contact Address 2:</b>	
<b>Non-Reg/Com Tanks:</b>		<b>Contact City:</b>	NEW BERN
<b>Fac Owner Type:</b>		<b>Contact State:</b>	NC
<b>Fac Name (Report):</b>	RIGGS GROCERY	<b>Contact Zip:</b>	28560-4136
<b>Address1 (Report):</b>	HIGHWAY 17 SOUTH	<b>Fac Name (Map):</b>	
<b>Address2 (Report):</b>		<b>Fac Address (Map):</b>	
<b>City (Report):</b>	NEW BERN	<b>Facility City (Map):</b>	
<b>State (Report):</b>	NC	<b>Facility Zip (Map):</b>	
<b>Zip (Report):</b>	28560	<b>Facility Phone (Map) :</b>	
<b>Latitude (Report):</b>	0	<b>X (Map):</b>	
<b>Longitude (Report):</b>	0	<b>Y (Map):</b>	
<b>Source:</b>	North Carolina Environmental Quality - UST Databases and Reports		
<b>Note:</b>	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <a href="https://edocs.deq.nc.gov/WasteManagement/Search.aspx">https://edocs.deq.nc.gov/WasteManagement/Search.aspx</a>		

**Tank Info (UST Databases and Reports)**

<b>Tank ID:</b>	3	<b>Overfill Protection:</b>	Unknown
<b>Tank Status:</b>	Removed	<b>Leak Detection:</b>	Unknown
<b>Compartment Tank:</b>	NO	<b>Spill Protection:</b>	Unknown
<b>Manifold Tank:</b>		<b>Piping Constr:</b>	Single Wall Steel
<b>Main Tank:</b>	NO	<b>Tank Constr:</b>	Single Wall Steel
<b>Root Tank ID:</b>		<b>Other CP Tank:</b>	
<b>Tank Cert No:</b>		<b>Other CP Name:</b>	
<b>Cert No:</b>		<b>Piping System:</b>	Unknown
<b>Installation Date:</b>	4/23/1966 0:00:00	<b>FIPS County Desc:</b>	Craven

**Perm Close Date:** 2/10/1993 0:00:00  
**Capacity:** 550  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Kerosene, Kero Mix

**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 2  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 4/23/1966 0:00:00  
**Perm Close Date:** 2/10/1993 0:00:00  
**Capacity:** 1000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Tank Info (UST Databases and Reports)**

**Tank ID:** 1  
**Tank Status:** Removed  
**Compartment Tank:** NO  
**Manifold Tank:**  
**Main Tank:** NO  
**Root Tank ID:**  
**Tank Cert No:**  
**Cert No:**  
**Installation Date:** 4/23/1966 0:00:00  
**Perm Close Date:** 2/10/1993 0:00:00  
**Capacity:** 2000  
**Commercial:** YES  
**Regulated:** YES  
**Product:** Gasoline, Gas Mix

**Overfill Protection:** Unknown  
**Leak Detection:** Unknown  
**Spill Protection:** Unknown  
**Piping Constr:** Single Wall Steel  
**Tank Constr:** Single Wall Steel  
**Other CP Tank:**  
**Other CP Name:**  
**Piping System:** Unknown  
**FIPS County Desc:** Craven  
**FR Bus Name:**  
**FR Amt:**  
**FR Desc:**  
**Last Update Date:**

**Owner Information**

**Contact Key:** 9233.00  
**Facility Key:** 92563  
**FIPS County Desc:** Craven

**Phone:** (919) 637-4163  
**Affiliate Type:** Owner  
**End Date:**

## Appendix: Database Descriptions

Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. ERIS updates databases as set out in ASTM Standard E1527-13, Section 8.1.8 Sources of Standard Source Information:

"Government information from nongovernmental sources may be considered current if the source updates the information at least every 90 days, or, for information that is updated less frequently than quarterly by the government agency, within 90 days of the date the government agency makes the information available to the public."

### Standard Environmental Record Sources

#### Federal

##### Facility Response Plan:

FRP

List of facilities that have submitted Facility Response Plans (FRP) to EPA. Facilities that could reasonably be expected to cause "substantial harm" to the environment by discharging oil into or on navigable waters are required to prepare and submit Facility Response Plans (FRPs). Harm is determined based on total oil storage capacity, secondary containment and age of tanks, oil transfer activities, history of discharges, proximity to a public drinking water intake or sensitive environments.

**Government Publication Date:** Mar 26, 2020

##### National Priority List:

NPL

National Priorities List (Superfund)-NPL: EPA's (United States Environmental Protection Agency) list of the most serious uncontrolled or abandoned hazardous waste sites identified for possible long-term remedial action under the Superfund program. The NPL, which EPA is required to update at least once a year, is based primarily on the score a site receives from EPA's Hazard Ranking System. A site must be on the NPL to receive money from the Superfund Trust Fund for remedial action.

**Government Publication Date:** Dec 30, 2020

##### National Priority List - Proposed:

PROPOSED NPL

Includes sites proposed (by the EPA, the state, or concerned citizens) for addition to the NPL due to contamination by hazardous waste and identified by the Environmental Protection Agency (EPA) as a candidate for cleanup because it poses a risk to human health and/or the environment.

**Government Publication Date:** Dec 30, 2020

##### Deleted NPL:

DELETED NPL

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

**Government Publication Date:** Dec 30, 2020

##### SEMS List 8R Active Site Inventory:

SEMS

The Superfund Program has deployed the Superfund Enterprise Management System (SEMS), which integrates multiple legacy systems into a comprehensive tracking and reporting tool. This inventory contains active sites evaluated by the Superfund program that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL. The Active Site Inventory Report displays site and location information at active SEMS sites. An active site is one at which site assessment, removal, remedial, enforcement, cost recovery, or oversight activities are being planned or conducted.

**Government Publication Date:** Jan 28, 2021

##### Inventory of Open Dumps, June 1985:

ODI

The Resource Conservation and Recovery Act (RCRA) provides for publication of an inventory of open dumps. The Act defines "open dumps" as facilities which do not comply with EPA's "Criteria for Classification of Solid Waste Disposal Facilities and Practices" (40 CFR 257).

**Government Publication Date:** Jun 1985

**SEMS List 8R Archive Sites:**

[SEMS ARCHIVE](#)

The Superfund Enterprise Management System (SEMS) Archived Site Inventory displays site and location information at sites archived from SEMS. An archived site is one at which EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program at this time.

**Government Publication Date: Jan 28, 2021**

**Comprehensive Environmental Response, Compensation and Liability Information System -**

[CERCLIS](#)

**CERCLIS:**

Superfund is a program administered by the United States Environmental Protection Agency (EPA) to locate, investigate, and clean up the worst hazardous waste sites throughout the United States. CERCLIS is a database of potential and confirmed hazardous waste sites at which the EPA Superfund program has some involvement. It contains sites that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL. The EPA administers the Superfund program in cooperation with individual states and tribal governments; this database is made available by the EPA.

**Government Publication Date: Oct 25, 2013**

**EPA Report on the Status of Open Dumps on Indian Lands:**

[IODI](#)

Public Law 103-399, The Indian Lands Open Dump Cleanup Act of 1994, enacted October 22, 1994, identified congressional concerns that solid waste open dump sites located on American Indian or Alaska Native (AI/AN) lands threaten the health and safety of residents of those lands and contiguous areas. The purpose of the Act is to identify the location of open dumps on Indian lands, assess the relative health and environment hazards posed by those sites, and provide financial and technical assistance to Indian tribal governments to close such dumps in compliance with Federal standards and regulations or standards promulgated by Indian Tribal governments or Alaska Native entities.

**Government Publication Date: Dec 31, 1998**

**CERCLIS - No Further Remedial Action Planned:**

[CERCLIS NFRAP](#)

An archived site is one at which EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program at this time. The Archive designation means that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL). This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

**Government Publication Date: Oct 25, 2013**

**CERCLIS Liens:**

[CERCLIS LIENS](#)

A Federal Superfund lien exists at any property where EPA has incurred Superfund costs to address contamination ("Superfund site") and has provided notice of liability to the property owner. A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. This database is made available by the United States Environmental Protection Agency (EPA).

**Government Publication Date: Jan 30, 2014**

**RCRA CORRACTS-Corrective Action:**

[RCRA CORRACTS](#)

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. At these sites, the Corrective Action Program ensures that cleanups occur. EPA and state regulators work with facilities and communities to design remedies based on the contamination, geology, and anticipated use unique to each site.

**Government Publication Date: Oct 19, 2020**

**RCRA non-CORRACTS TSD Facilities:**

[RCRA TSD](#)

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. This database includes Non-Corrective Action sites listed as treatment, storage and/or disposal facilities of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA).

**Government Publication Date: Oct 19, 2020**

**RCRA Generator List:**

[RCRA LQG](#)

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Large Quantity Generators (LQGs) generate 1,000 kilograms per month or more of hazardous waste or more than one kilogram per month of acutely hazardous waste.

**Government Publication Date: Oct 19, 2020**

**RCRA Small Quantity Generators List:**

[RCRA SQG](#)

RCRA Info is the EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Small Quantity Generators (SQGs) generate more than 100 kilograms, but less than 1,000 kilograms, of hazardous waste per month.

**Government Publication Date: Oct 19, 2020**

**RCRA Very Small Quantity Generators List:**

[RCRA VSQG](#)

RCRA Info is the EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Very Small Quantity Generators (VSQG) generate 100 kilograms or less per month of hazardous waste, or one kilogram or less per month of acutely hazardous waste. Additionally, VSQG may not accumulate more than 1,000 kilograms of hazardous waste at any time.

**Government Publication Date: Oct 19, 2020**

**RCRA Non-Generators:**

[RCRA NON GEN](#)

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Non-Generators do not presently generate hazardous waste.

**Government Publication Date: Oct 19, 2020**

**Federal Engineering Controls-ECs:**

[FED ENG](#)

Engineering controls (ECs) encompass a variety of engineered and constructed physical barriers (e.g., soil capping, sub-surface venting systems, mitigation barriers, fences) to contain and/or prevent exposure to contamination on a property. This database is made available by the United States Environmental Protection Agency (EPA).

**Government Publication Date: Aug 26, 2020**

**Federal Institutional Controls- ICs:**

[FED INST](#)

Institutional controls are non-engineered instruments, such as administrative and legal controls, that help minimize the potential for human exposure to contamination and/or protect the integrity of the remedy. Although it is EPA's (United States Environmental Protection Agency ) expectation that treatment or engineering controls will be used to address principal threat wastes and that groundwater will be returned to its beneficial use whenever practicable, ICs play an important role in site remedies because they reduce exposure to contamination by limiting land or resource use and guide human behavior at a site.

**Government Publication Date: Aug 26, 2020**

**Emergency Response Notification System:**

[ERNS 1982 TO 1986](#)

Database of oil and hazardous substances spill reports controlled by the National Response Center. The primary function of the National Response Center is to serve as the sole national point of contact for reporting oil, chemical, radiological, biological, and etiological discharges into the environment anywhere in the United States and its territories.

**Government Publication Date: 1982-1986**

**Emergency Response Notification System:**

[ERNS 1987 TO 1989](#)

Database of oil and hazardous substances spill reports controlled by the National Response Center. The primary function of the National Response Center is to serve as the sole national point of contact for reporting oil, chemical, radiological, biological, and etiological discharges into the environment anywhere in the United States and its territories.

**Government Publication Date: 1987-1989**

**Emergency Response Notification System:**

[ERNS](#)

Database of oil and hazardous substances spill reports made available by the United States Coast Guard National Response Center (NRC). The NRC fields initial reports for pollution and railroad incidents and forwards that information to appropriate federal/state agencies for response. These data contain initial incident data that has not been validated or investigated by a federal/state response agency.

**Government Publication Date: Nov 9, 2020**

**The Assessment, Cleanup and Redevelopment Exchange System (ACRES) Brownfield Database:**

[FED BROWNFIELDS](#)

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties protects the environment, reduces blight, and takes development pressures off greenspaces and working lands. This database is made available by the United States Environmental Protection Agency (EPA).

**Government Publication Date: Jan 6, 2021**

**FEMA Underground Storage Tank Listing:**

[FEMA UST](#)

The Federal Emergency Management Agency (FEMA) of the Department of Homeland Security maintains a list of FEMA owned underground storage tanks.

**Government Publication Date: Dec 31, 2017**

**Petroleum Refineries:**

[REFN](#)

List of petroleum refineries from the U.S. Energy Information Administration (EIA) Refinery Capacity Report. Includes operating and idle petroleum refineries (including new refineries under construction) and refineries shut down during the previous year located in the 50 States, the District of Columbia, Puerto Rico, the Virgin Islands, Guam, and other U.S. possessions. Survey locations adjusted using public data.

**Government Publication Date: Jul 10, 2020**

**Petroleum Product and Crude Oil Rail Terminals:**

[BULK TERMINAL](#)

List of petroleum product and crude oil rail terminals made available by the U.S. Energy Information Administration (EIA). Includes operable bulk petroleum product terminals located in the 50 States and the District of Columbia with a total bulk shell storage capacity of 50,000 barrels or more, and/or the ability to receive volumes from tanker, barge, or pipeline; also rail terminals handling the loading and unloading of crude oil that were active between 2017 and 2018. Petroleum product terminals comes from the EIA-815 Bulk Terminal and Blender Report, which includes working, shell in operation, and shell idle for several major product groupings. Survey locations adjusted using public data.

**Government Publication Date: Apr 28, 2020**

**LIEN on Property:**

[SEMS LIEN](#)

The EPA Superfund Enterprise Management System (SEMS) provides LIEN information on properties under the EPA Superfund Program.

**Government Publication Date: Jan 28, 2021**

**Superfund Decision Documents:**

[SUPERFUND ROD](#)

This database contains a listing of decision documents for Superfund sites. Decision documents serve to provide the reasoning for the choice of (or) changes to a Superfund Site cleanup plan. The decision documents include Records of Decision (ROD), ROD Amendments, Explanations of Significant Differences (ESD), along with other associated memos and files. This information is maintained and made available by the US EPA (Environmental Protection Agency).

**Government Publication Date: Sep 22, 2020**

**State**

**Inactive Hazardous Sites and Federal Remediation Branch Sites:**

[SHWS](#)

Sites on the Inactive Hazardous Sites Inventory and Federal Remediation Branch sites made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ). "Inactive Hazardous Sites" by definition are any areas where a hazardous substance release has come to be located and would include active and inactive facilities and a variety of property types. The term "inactive" refers to the fact that cleanup was inactive at large numbers of sites at the time of program enactment. The Federal Remediation Branch works cooperatively with the US Environmental Protection Agency (EPA) to implement the federal Superfund program under the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA) as amended.

**Government Publication Date: Dec 23, 2020**

**State Trust Funds Database:**

[LUST TRUST](#)

The Trust Fund Branch administers the Leaking Petroleum Underground Storage Tank Cleanup Funds and Environmental Protection Agency (EPA) grants. The Underground Storage Tank (UST) funds provide reimbursement for costs incurred during the cleanup of soil and groundwater contamination resulting from a release of petroleum from an underground storage tank. Two funds, the Commercial Trust Fund and the Non-Commercial Trust Fund, have been established to reimburse tank owners, operators, and landowners for costs associated with cleanups. This was made available by the Division of Waste Management in the Department of Environmental Quality (DEQ).

**Government Publication Date: Feb 5, 2021**

**Delisted Inactive Hazardous Sites Inventory:**

DEL SHWS

This list is comprised of sites that were once included in the inventory of Inactive Hazardous Sites, but have been removed from the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ). This database is state equivalent CERCLIS.

**Government Publication Date: Dec 23, 2020**

**Solid Waste Facilities and Landfills:**

SWF/LF

List of permitted solid waste facilities, landfills, and septage waste sites made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

**Government Publication Date: Sep 10, 2020**

**Old Landfill Inventory:**

OLD LF

The Old Landfill Inventory, made available by the Division of Waste Management in the North Carolina Department of Environment and Natural Resources (NCDENR), lists locations of non-permitted landfills that were closed prior to January 1, 1983 when waste disposal permitting regulations commenced. Legislation in 2007 (SB1492) resulted in adding new provisions to the Inactive Hazardous Sites Response Act for addressing these landfills. The Old Landfill Inventory is managed by the Pre-Regulatory Landfill Unit within the Inactive Hazardous Sites Branch.

**Government Publication Date: Nov 13, 2020**

**Coal Ash Disposal Sites:**

COAL ASH LF

The Department of Environmental Quality (DEQ) Division of Waste Management's Solid Waste Program regulates coal combustion residuals (CCR) from coal-fired electric power plants that are disposed of on land in accordance with North Carolina General Statute 130a, which includes the Coal Ash Management Act of 2014 (SL 2014-122 on August 20, 2014). CCRs primarily consist of coal bottom and fly ash, and flue gas desulfurization residuals.

**Government Publication Date: Aug 1, 2020**

**Incident Management Database (Regional Underground Storage Tanks):**

LUST

List of sites where there has been a release of petroleum to the soil and/or groundwater, from an Underground Storage Tank (UST) system. Data is extracted from the Regional Underground Storage Tank (RUST) database made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

**Government Publication Date: Oct 23, 2020**

**Hazard Substance Disposal Sites:**

HSDS

A list of Hazard Substance Disposal Sites that are maintained by North Carolina Center for Geographic Information and Analysis. This list monitors the locations of unregulated and uncontrolled hazard waste sites. This list is the state equivalent of National Priority List (NPL).

**Government Publication Date: Dec 31, 1998**

**Aboveground Incident Management Database (Regional Aboveground Storage Tanks):**

LAST

Sites where there has been a discharge of petroleum to the soil and/or groundwater, from a source other than an Underground Storage Tank (UST) system (i.e., Aboveground Storage Tank (AST) system, spills, dumping, etc.). The Aboveground Incident Management database is made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

**Government Publication Date: Jan 22, 2021**

**Delisted Leaking Storage Tanks:**

DELISTED LST

List of leaking storage tank sites which were once included, but have since been removed from the Incident Management Databases made available by the North Carolina Department of Environmental Quality (DEQ)'s Division of Waste Management.

**Government Publication Date: Jan 22, 2021**

**Registered Tanks Database:**

UST

List of registered underground storage tanks made available by the Division of Waste Management in North Carolina's Department of Environmental Quality (DEQ).

**Government Publication Date: Jan 15, 2021**

**Aboveground Storage Tanks:**

AST

A listing of registered Aboveground Storage Tank sites made available by the North Carolina Department of Environmental Quality (DEQ). Note that aboveground storage tanks are only required to be registered with NC DEQ if they meet the definition of an Oil Terminal Facility.

**Government Publication Date: Feb 12, 2020**

**Delisted Storage Tanks:**

DTNK

List of sites which were once included, but have since been removed from the Underground or Aboveground Storage Tank databases made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

**Petroleum Contaminated Soil Remediation Permits:**

SOIL REM PERMITS

A list of sites that have received a permit or Certificate of Approval from the North Carolina Underground Storage Tank Section, under the Petroleum Contaminated Soil Remediation Permit Program. This list is made available by the North Carolina Department of Environmental Quality (NCDEQ), Division of Waste Management (DWM).

Government Publication Date: Dec 31, 2020

**No Further Action Sites with Land Use Restrictions Monitoring:**

INST

List of No Further Action Sites with Land Use Restrictions made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Dec 23, 2020

**Land Use Restriction and/or Notices:**

LUR

Locations of sites or projects managed by the NCDEQ, Division of Waste Management (DWM) having a Notice and/or Land Use Restrictions recorded at a local register of deeds office. The location data is a combined collection from eight (8) sections or programs operating within the DWM. The Notice and/or Land Use Restrictions are allowed based on the following North Carolina General Statutes: Notice of Open Dump; G.S. §130A-301(f); Notice of Inactive Hazardous Substance or Waste Disposal Site; G.S. §130A-310.8; Notice of Brownfields Property; G.S. §130A-310.35; Notice of Oil or Hazardous Substance Discharge Site; G.S. §143-215.85A; Notice of Dry-Cleaning Solvent Remediation; G.S. §143-215.104M; Notice of Contaminated Site; G.S. §143B-279.10; Notice of Residual Petroleum; G.S. §143B-279.11; Notice of Residual Contamination; G.S. §130A-310.71(e).

Government Publication Date: Mar 26, 2020

**Fuel Service Stations:**

FUEL STATIONS

List of active fuel service stations made available by the North Carolina Department of Agriculture & Consumer Services (NCDA&CS). The NCDA&CS have responsibilities in regulatory and service areas covering agronomy including weights and measures and gas and oil inspection.

Government Publication Date: Mar 2, 2020

**Delisted Fuel Service Stations:**

DELISTED FSS

A list of Fuel Service Stations that has been delisted from the active fuel service stations list which is made available by the North Carolina Department of Agriculture & Consumer Services (NCDA&CS).

Government Publication Date: Mar 2, 2020

**Responsible Party Voluntary Action Sites:**

VCP

List of Responsible Party Voluntary Action Sites administered by the Inactive Hazardous Sites Branch. This list is made available by the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Dec 23, 2020

**Brownfields Projects Inventory:**

BROWNFIELDS

A "brownfields site" is an abandoned, idled or underused property where the threat of environmental contamination has hindered redevelopment. The North Carolina Brownfields Program, which is administered by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ), is the state's effort to break this barrier to the redevelopment of these sites.

Government Publication Date: Nov 2, 2020

**Tribal**

**Leaking Underground Storage Tanks (LUSTs) on Indian Lands:**

INDIAN LUST

LUSTs on Tribal/Indian Lands in Region 4, which includes North Carolina.

Government Publication Date: Apr 14, 2020

**Underground Storage Tanks (USTs) on Indian Lands:**

INDIAN UST

USTs on Tribal/Indian Lands in Region 4, which includes North Carolina.

Government Publication Date: Apr 14, 2020

**Delisted Tribal Leaking Storage Tanks:**

DELISTED ILST

Leaking Underground Storage Tank facilities which have been removed from the Regional Tribal LUST lists made available by the EPA.

Government Publication Date: Apr 14, 2020

**Delisted Tribal Underground Storage Tanks:**

DELISTED IUST

Underground Storage Tank facilities which have been removed from the Regional Tribal UST lists made available by the EPA.

**Government Publication Date: Apr 14, 2020**

**County**

**No County standard environmental record sources available for this State.**

**Additional Environmental Record Sources**

**Federal**

**PFOA/PFOS Contaminated Sites:**

PFAS NPL

List of sites where PFOA or PFOS contaminants have been found in drinking water or soil. Made available by the Federal Environmental Protection Agency (EPA).

**Government Publication Date: Nov 18, 2020**

**Facility Registry Service/Facility Index:**

FINDS/FRS

The Facility Registry Service (FRS) is a centrally managed database that identifies facilities, sites, or places subject to environmental regulations or of environmental interest. FRS creates high-quality, accurate, and authoritative facility identification records through rigorous verification and management procedures that incorporate information from program national systems, state master facility records, and data collected from EPA's Central Data Exchange registrations and data management personnel. This list is made available by the Environmental Protection Agency (US EPA).

**Government Publication Date: Nov 2, 2020**

**Toxics Release Inventory (TRI) Program:**

TRIS

The EPA's Toxics Release Inventory (TRI) is a database containing data on disposal or other releases of over 650 toxic chemicals from thousands of U.S. facilities and information about how facilities manage those chemicals through recycling, energy recovery, and treatment. One of TRI's primary purposes is to inform communities about toxic chemical releases to the environment.

**Government Publication Date: Feb 19, 2020**

**Perfluorinated Alkyl Substances (PFAS) Releases:**

PFAS TRI

List of Toxics Release Inventory (TRI) facilities at which the reported chemical is a Per- or polyfluorinated alkyl substance (PFAS) included in the Environmental Protection Agency (EPA)'s consolidated PFAS Master List of PFAS Substances. The EPA's Toxics Release Inventory (TRI) is a database containing data on disposal or other releases of over 650 toxic chemicals from thousands of U.S. facilities and information about how facilities manage those chemicals through recycling, energy recovery, and treatment.

**Government Publication Date: Feb 19, 2020**

**Perfluorinated Alkyl Substances (PFAS) Water Quality:**

PFAS WATER

The Water Quality Portal (WQP) is a cooperative service sponsored by the United States Geological Survey (USGS), the Environmental Protection Agency (EPA), and the National Water Quality Monitoring Council (NWQMC). This listing includes records from the Water Quality Portal where the characteristic (environmental measurement) is in the Environmental Protection Agency (EPA)'s consolidated PFAS Master List of PFAS Substances.

**Government Publication Date: Jul 20, 2020**

**Hazardous Materials Information Reporting System:**

HMIRS

US DOT - Department of Transportation Pipeline and Hazardous Materials Safety Administration (PHMSA) Incidents Reports Database taken from Hazmat Intelligence Portal, U.S. Department of Transportation.

**Government Publication Date: Sep 1, 2020**

**National Clandestine Drug Labs:**

NCDL

The U.S. Department of Justice ("the Department") provides this data as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy.

**Government Publication Date: Oct 5, 2020**

**Toxic Substances Control Act:**

[TSCA](#)

The Environmental Protection Agency (EPA) is amending the Toxic Substances Control Act (TSCA) section 8(a) Inventory Update Reporting (IUR) rule and changing its name to the Chemical Data Reporting (CDR) rule.

The CDR enables EPA to collect and publish information on the manufacturing, processing, and use of commercial chemical substances and mixtures (referred to hereafter as chemical substances) on the TSCA Chemical Substance Inventory (TSCA Inventory). This includes current information on chemical substance production volumes, manufacturing sites, and how the chemical substances are used. This information helps the Agency determine whether people or the environment are potentially exposed to reported chemical substances. EPA publishes submitted CDR data that is not Confidential Business Information (CBI).

**Government Publication Date: Apr 11, 2019**

**Hist TSCA:**

[HIST TSCA](#)

The Environmental Protection Agency (EPA) is amending the Toxic Substances Control Act (TSCA) section 8(a) Inventory Update Reporting (IUR) rule and changing its name to the Chemical Data Reporting (CDR) rule.

The 2006 IUR data summary report includes information about chemicals manufactured or imported in quantities of 25,000 pounds or more at a single site during calendar year 2005. In addition to the basic manufacturing information collected in previous reporting cycles, the 2006 cycle is the first time EPA collected information to characterize exposure during manufacturing, processing and use of organic chemicals. The 2006 cycle also is the first time manufacturers of inorganic chemicals were required to report basic manufacturing information.

**Government Publication Date: Dec 31, 2006**

**FTTS Administrative Case Listing:**

[FTTS ADMIN](#)

An administrative case listing from the Federal Insecticide, Fungicide, & Rodenticide Act (FIFRA) and Toxic Substances Control Act (TSCA), together known as FTTS. This database was obtained from the Environmental Protection Agency's (EPA) National Compliance Database (NCDB). The FTTS and NCDB was shut down in 2006.

**Government Publication Date: Jan 19, 2007**

**FTTS Inspection Case Listing:**

[FTTS INSP](#)

An inspection case listing from the Federal Insecticide, Fungicide, & Rodenticide Act (FIFRA) and Toxic Substances Control Act (TSCA), together known as FTTS. This database was obtained from the Environmental Protection Agency's (EPA) National Compliance Database (NCDB). The FTTS and NCDB was shut down in 2006.

**Government Publication Date: Jan 19, 2007**

**Potentially Responsible Parties List:**

[PRP](#)

Early in the cleanup process, the Environmental Protection Agency (EPA) conducts a search to find the potentially responsible parties (PRPs). EPA looks for evidence to determine liability by matching wastes found at the site with parties that may have contributed wastes to the site.

**Government Publication Date: Dec 30, 2020**

**State Coalition for Remediation of Drycleaners Listing:**

[SCRD DRYCLEANER](#)

The State Coalition for Remediation of Drycleaners (SCRD) was established in 1998, with support from the U.S. Environmental Protection Agency (EPA) Office of Superfund Remediation and Technology Innovation. Coalition members are states with mandated programs and funding for drycleaner site remediation. Current members are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

**Government Publication Date: Nov 08, 2017**

**Integrated Compliance Information System (ICIS):**

[ICIS](#)

The Integrated Compliance Information System (ICIS) is a system that provides information for the Federal Enforcement and Compliance (FE&C) and the National Pollutant Discharge Elimination System (NPDES) programs. The FE&C component supports the Environmental Protection Agency's (EPA) Civil Enforcement and Compliance program activities. These activities include Compliance Assistance, Compliance Monitoring and Enforcement. The NPDES program supports tracking of NPDES permits, limits, discharge monitoring data and other program reports.

**Government Publication Date: Jan 6, 2021**

**Drycleaner Facilities:**

[FED DRYCLEANERS](#)

A list of drycleaner facilities from Enforcement and Compliance History Online (ECHO) online search. The Environmental Protection Agency (EPA) tracks facilities that possess NAIC and SIC codes that classify businesses as drycleaner establishments.

**Government Publication Date: Jan 20, 2020**

**Delisted Drycleaner Facilities:**

[DELISTED FED DRY](#)

List of sites removed from the list of Drycleaner Facilities (sites in the EPA's Integrated Compliance Information System (ICIS) with NAIC or SIC codes identifying the business as a drycleaner establishment).

**Government Publication Date: Jan 20, 2020**

**Formerly Used Defense Sites:**

FUDS

Formerly Used Defense Sites (FUDS) are properties that were formerly owned by, leased to, or otherwise possessed by and under the jurisdiction of the Secretary of Defense prior to October 1986, where the Department of Defense (DoD) is responsible for an environmental restoration. This list is published by the U.S. Army Corps of Engineers.

**Government Publication Date: Jan 28, 2020**

**PHMSA Pipeline Safety Flagged Incidents:**

PIPELINE INCIDENT

A list of flagged pipeline incidents made available by the U.S. Department of Transportation (US DOT) Pipeline and Hazardous Materials Safety Administration (PHMSA). PHMSA regulations require incident and accident reports for five different pipeline system types.

**Government Publication Date: Jul 7, 2020**

**Material Licensing Tracking System (MLTS):**

MLTS

A list of sites that store radioactive material subject to the Nuclear Regulatory Commission (NRC) licensing requirements. This list is maintained by the NRC. As of September 2016, the NRC no longer releases location information for sites. Site locations were last received in July 2016.

**Government Publication Date: Aug 5, 2020**

**Historic Material Licensing Tracking System (MLTS) sites:**

HIST MLTS

A historic list of sites that have inactive licenses and/or removed from the Material Licensing Tracking System (MLTS). In some cases, a site is removed from the MLTS when the state becomes an "Agreement State". An Agreement State is a State that has signed an agreement with the Nuclear Regulatory Commission (NRC) authorizing the State to regulate certain uses of radioactive materials within the State.

**Government Publication Date: Jan 31, 2010**

**Mines Master Index File:**

MINES

The Master Index File (MIF) contains mine identification numbers issued by the Department of Labor Mine Safety and Health Administration (MSHA) for mines active or opened since 1971. Note that addresses may or may not correspond with the physical location of the mine itself.

**Government Publication Date: Nov 3, 2020**

**Alternative Fueling Stations:**

ALT FUELS

List of alternative fueling stations made available by the US Department of Energy's Office of Energy Efficiency & Renewable Energy. Includes Biodiesel stations, Ethanol (E85) stations, Liquefied Petroleum Gas (Propane) stations, Ethanol (E85) stations, Natural Gas stations, Hydrogen stations, and Electric Vehicle Supply Equipment (EVSE). The National Renewable Energy Laboratory (NREL) obtains information about new stations from trade media, Clean Cities coordinators, a Submit New Station form on the Station Locator website, and through collaborating with infrastructure equipment and fuel providers, original equipment manufacturers (OEMs), and industry groups.

**Government Publication Date: Jan 18, 2021**

**Registered Pesticide Establishments:**

SSTS

List of active EPA-registered foreign and domestic pesticide-producing and device-producing establishments based on data from the Section Seven Tracking System (SSTS). The Federal Insecticide, Fungicide, and Rodenticide Act (FIFRA) Section 7 requires that facilities producing pesticides, active ingredients, or devices be registered. The list of establishments is made available by the EPA.

**Government Publication Date: Mar 31, 2020**

**Polychlorinated Biphenyl (PCB) Notifiers:**

PCB

Facilities included in the national list of facilities that have notified the United States Environmental Protection Agency (EPA) of Polychlorinated Biphenyl (PCB) activities. Any company or person storing, transporting or disposing of PCBs or conducting PCB research and development must notify the EPA and receive an identification number.

**Government Publication Date: Nov 19, 2020**

**State**

**Dry-cleaning Solvent Cleanup Act (DSCA) Program:**

DRY DSCA

The Dry-Cleaning Solvent Cleanup Act Program (DSCA) under the Division of Waste Management in the Department of Environmental Quality (DEQ) manages the assessment and cleanup of dry-cleaning solvent contaminated sites certified in the DSCA Program.

**Government Publication Date: Jul 10, 2020**

**Dry-Cleaning Solvent Contamination:**

DRYC CONTAM

List of DryCleaning sites, including: sites that have been certified into the DSCA Program; sites that are being investigated by the DSCA Program for dry-cleaning solvent contamination; sites that have been investigated and determined not to have been contaminated by dry-cleaning solvent contamination; locations where the North Carolina Department of Labor has conducted boiler inspections at drycleaners prior to 1986; and historical addresses of drycleaners and laundry businesses from city directories. Made available by the North Carolina Department of Environmental Quality.  
**Government Publication Date: Dec 11, 2019**

**Dry Cleaning Facilities:**

**DRYCLEANERS**

A list of dry cleaners made available by the North Carolina Department of Environmental Quality (DEQ), Division of Waste Management.  
**Government Publication Date: Nov 1, 2019**

**Delisted Dry Cleaning Facilities:**

**DELISTED DRYCLEANERS**

List of dry cleaner locations which were once included, but no longer appear on, the list of dry cleaner locations made available by the Division of the Waste Management of North Carolina Department of Environmental Quality (DEQ).  
**Government Publication Date: Jul 10, 2020**

**Incident Management Database (Spills):**

**SPILLS**

The Incident Management Database (IMD) tracks spills, hazardous material releases, sanitary sewer overflows and wastewater treatment plant bypasses. This database is managed by the Pretreatment, Emergency Response and Collection Systems (PERCS) unit of the Department of Environmental Quality (DEQ).  
**Government Publication Date: Oct 14, 2020**

**Manufactured Gas Plant (MGP) Sites:**

**MGP**

A list of Manufactured Gas Plant (MGP) sites participating in the MGP Assessment and Remediation Program as described in the Administrative Order on Consent 00-SF-192. This list is made available by the North Carolina Environmental Quality (NCDEQ) Division of Waste Management.  
**Government Publication Date: Dec 12, 2019**

**Per- and Polyfluoroalkyl Substances (PFAS):**

**PFAS**

A list of sites where Per- and Polyfluoroalkyl Substances (PFAS) has been identified, made available by the North Carolina Department of Environment Quality.  
**Government Publication Date: Aug 27, 2020**

**Recycling Markets Directory:**

**SWRCY**

List of recycling facilities made available by the Division of Environmental Assistance and Customer Service (DEACS) of the NC Department of Environmental Quality. Information is based on data supplied by the listed organizations to DEACS. DEACS is a non-regulatory state agency, does not regularly inspect facilities, and does not represent that the companies are, or are not, in compliance with applicable federal, state and local laws.  
**Government Publication Date: Nov 20, 2020**

**Hazardous Waste Sites:**

**HAZ**

A list of sites within North Carolina that are regulated by the hazardous waste portions of the Resource Conservation and Recovery Act (RCRA). This list is provided by the North Carolina Department of Environmental Quality (NC DEQ), Division of Waste Management.  
**Government Publication Date: Feb 21, 2019**

**Permitted Septage Sites:**

**SDTF**

List of active and permitted Septage Detention and Treatment Facility (SDTF) sites in North Carolina, made available by the North Carolina Department of Environmental Quality.  
**Government Publication Date: Sep 21, 2018**

**Tier 2 Report:**

**TIER 2**

A list of Tier 2 facilities in North Carolina. This list is made available by the North Carolina Department of Environmental Quality (NC DEQ).  
**Government Publication Date: Oct 30, 2020**

**Tribal**

**No Tribal additional environmental record sources available for this State.**

**County**

*No County additional environmental record sources available for this State.*

# Definitions

**Database Descriptions:** This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

**Detail Report:** This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

**Distance:** The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

**Direction:** The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

**Elevation:** The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

**Executive Summary:** This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

**Map Key:** The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

**Unplottables:** These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.

# **DATA GAP WORKSHEET**



Requirement	Status	Reference Source(s) Obtained or Sources PSI Used to Try to Close Data Gap	SDG*
<b>User Responsibilities</b>			
User Knowledge and Information	Complete		
Environmental Lien and AUL Information	Incomplete		
PSI Obtained Environmental Lien/AUL Search on Behalf of Client	NO		
<b>Environmental Records Review</b>			
Standard Environmental Records Source Information	Complete		
Discretionary or Local Environmental Record Source Information	Complete		
<b>Physical Setting Sources Review</b>			
Standard Physical Setting Record Information (topo map)	Complete		
Additional Physical Setting Record Information	Complete		
<b>Historical Data Sources Review</b>			
Subject Property History Identified to 1940	Complete		
Subject Property History Identified to First Developed Use	Complete		
Gaps of >5 Years in Historical Data Sources	YES	Historical sources indicate no significant change in use or site configuration when gaps of greater than 5 years were noted	



Requirement	Status	Reference Source(s) Obtained or Sources PSI Used to Try to Close Data Gap	SDG*
Surrounding Property History Information	Complete		
<b>Site Reconnaissance Observations</b>			
Exterior Areas of the Subject Property	Complete		
Interior Areas of the Subject Property	N/A		
Current and Past Uses of the Subject Property	Complete		
Adjoining Property	Complete		
Current and Past Uses of the Adjoining and Surrounding Property	Complete		
<b>Interviews (with...)</b>			
Current Owner	Complete		
Identified Key Site Manager	N/A		
Non-Residential Major Occupants	N/A		
Occupants with Operations Likely to Indicate RECs	N/A		
Past Owners, Operators, and/or Occupants	Incomplete	Reliable contact information not identified during this assessment	
If Subject Property Abandoned or Vacant, Owner or Occupants of Neighboring Properties	Complete		
State or Local Government Official	Incomplete		



Requirement	Status	Reference Source(s) Obtained or Sources PSI Used to Try to Close Data Gap	SDG*
<b>FOIAs (to...)</b>			
Fire Department or Fire Protection District	Complete	See Section 7.2.3	
Craven County Health Department	Incomplete		
NC DEQ	Incomplete		
* SDG = Significant Data Gap. List Identified SDGs in Section 1.1.5 of the Report. N/A = Not Applicable.			

## COMMENTS AND EXPLANATIONS

Except as noted above, based on the information reviewed to date and observations at the time of site reconnaissance, the data gaps identified do not appear to be SDGs.

# **PERSONNEL QUALIFICATIONS**

# Professional Service Industries, Inc.

## All Appropriate Inquiries Environmental Professional

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**Jeffery Townsend**

**Meets the education, training, and experience requirements as  
set forth in 40 CFR §312.10**

**October 4, 2006**

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Chief Learning Officer

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**Year Started with PSI:** 2009  
**Years Experience with Other Firms:** 2



### **Education**

- Bachelor of Science in Geology, Florida International University, 2005
- Masters of Science in Geology, Florida International University, 2007

### **Certifications/Registrations/Technical Training**

- Professional Geologist #PG2845, Florida 2014
- OSHA 29 CFR 1910.120 40 Hour HAZWOPER, Florida, 2006
- OSHA 8 Hour Refresher Safety & Training
- FDEP Sampling Certification, 2009
- PSI Project Management Certification Program 2010
- FDEP Stormwater Management Inspector, 2012
- Florida Industrial Pretreatment Level C Certification, 2012
- SFWMD Field Sampling and Measurement Workshop, 2013

### **Affiliations/Memberships**

- Central Florida Association of Environmental Professionals (CFAEP)
- Metropolitan Environmental Training Alliance (METRA)
- Society of American Military Engineers (SAME)
- STEM Alliance of Central Florida
- Florida Industrial Pretreatment Association (FIPA)

### **Professional Experience**

Mr. Acosta has over 10 years of experience in the environmental field. His practical experience consists of coordinating and conducting field activities including soil and groundwater sampling, chemical analytical testing, the performance of contamination assessments, and the preparation of NPDES permitting and remedial action plans. He has been responsible for overall project management for various types of projects, including Phase II ESAs, petroleum and solvent soil/groundwater assessments and remediation, tank closure assessments, source removal activities, remediation system installation and operation and maintenance, and post active remediation monitoring. Methods of remediation that Mr. Acosta is experienced with include air sparging, soil vapor extraction, multi-phase extraction, soil excavation, biosparging, dewatering treatment, and natural attenuation.

### **Representative Petroleum Assessment Experience**

- Various Gas Stations, Florida - Project Manager for proper closure assessment activities for numerous gas stations across the state of Florida. Activities include coordination with subcontractors, oversight and documentation during upgrade/replacement of Underground Storage Tank (UST) system components, and assessment activities to obtain state regulatory closure for the replaced UST system components. Implemented cost saving measures such as conducting immediate excavation during the closure assessment while company personnel were already onsite.
- Various Properties, Florida – Project Manager for various non-Preapproval UST sites located throughout the state of Florida. Site activities include the assessment of petroleum-impacted soil and groundwater, and implementation of Remedial Action Plans. Additionally, implemented cost saving measures for clients such as the collection of contingency soil samples in order to establish alternative soil cleanup target levels when necessary.

- T.G. Lee, Orlando, Florida – Project Manager for state-funded Preapproval Site located in Orlando, Florida. Project responsibilities include the assessment of petroleum-impacted groundwater, performance of remediation system operation and maintenance activities, preparation of quarterly/annual remedial action status reports, and coordination with the responsible parties (property owner) and the FDEP/local regulatory agencies.
- Avis Budget Car Rental QTA, LLC, Orlando International Airport, Orlando, Florida – Project Manager for non-state-funded petroleum cleanup. Performed oversight and field activities for the installation of an in-ground remediation system at Orlando International Airport. Mr. Acosta oversaw every aspect of the system installation including, but not limited to: well installation, contractor coordination, on-site meetings, UST, AST, dispenser and pipe removals and closure assessments, and briefing regulatory personnel. Project management activities including performing monthly operation and maintenance activities, preparation of quarterly/annual remedial action status reports, and coordination with the responsible parties (property owner) and the FDEP/local regulatory agencies.
- Emergency Response, Howell Creek, Maitland, Florida – Responded to an emergency diesel spill within four hours of discharge. Performed oversight for source removal, confirmatory soil and groundwater sampling to delineate extent of contamination, coordinated with regulatory agencies and prepared reports.

#### **Representative Non-Petroleum Assessment Experience**

- Orange County Landfill Semi-Annual Sampling – Project manager responsibilities included submittal of notifications to the FDEP, management of field personnel during multi-week field operations including the sampling of 113 groundwater monitoring wells and 8 surface water sample locations, data analysis and interpretation, report preparation, analytical findings updates to Orange County and FDEP personnel, coordination of ADaPT file preparation through ADaPT specialist and Orange County laboratory for submittal to the FDEP.
- City of Orlando Solvent Plume Groundwater Investigation – Project manager responsibilities included review of historical injection and groundwater monitoring reports, management of field personnel, performance of groundwater sampling for monitoring purposes, and report preparation.

Following receipt of groundwater sample laboratory analytical results, it appeared that historic remedial chemical injections (by others) have not been as effective as planned during the preparation of the remedial action plan (RAP). Monitoring of the impacted groundwater is ongoing including semi-annual groundwater sampling and addition of several new wells to aid in the detection of plume migration.

- Orlando City Soccer, Orlando, Florida – Project Manager for Phase II ESA and full site assessment activities performed across two city blocks in downtown Orlando. Contaminants of concern identified in the site soil/groundwater included petroleum, metals, solvents, pesticides/herbicides and PCBs. The project evolved into performing remediation activities in various portions of the two blocks with the goal of achieving regulatory closure. PSI initially worked for the City of Orlando during the site assessment and remediation activities, and was later contracted by the soccer team to continue with the remediation and consulting activities.
- Florida Department of Transportation, Orlando, Florida – Conducted assessment activities for a Contamination Screening Evaluation Report (CSER) related to proposed construction

activities in the Right-of-Way of various roadways. Field activities included performing soil sampling for petroleum- and solvent-related test parameters, and arsenic, the installation of groundwater monitoring wells, and the collection of groundwater samples. Subsequent to field activities, interpreted analytical results and report preparation.

- Orlando Health Hospital Expansion – Project management activities included coordination of soil and groundwater assessment activities, surveying, underground storage tank closure, source removal and installation/operation of a dewatering treatment system. Additionally, Mr. Acosta regularly coordinated with City of Orlando officials to relay project information and results of an ongoing dewatering treatment system discharging to the sanitary system.
- Flanders, Bartow, Florida – Project Manager for site assessment activities on an industrial property with various petroleum- and metals-related contaminants. The horizontal and vertical extents of the contamination were delineated and the property owner is currently pursuing a restrictive closure of the impacted areas. Project management responsibilities included coordination of field activities, correspondence/meetings with the FDEP to discuss assessment results and restrictive closure requirements, and assist client attorney in preparing restrictive covenant documentation.
- City of Orlando, Lift Station Upgrades, Orlando, Florida – Project manager for various aboveground and underground storage tank closures. Field activities include coordinating field activities, oversight and documentation of field activities, soil and groundwater sampling, data analysis and interpretation, and report preparation.
- Various Properties, Florida – Project Manager for various source removal projects at municipally owned facilities. Project responsibilities included coordinating field activities with subcontractors and oversight, confirmatory soil and/or groundwater sampling, data analysis and interpretation, and report preparation.

#### **Representative Environmental Compliance Experience**

- Mr. Acosta was one of the main contributors in the preparation of a Stormwater Pollution Prevention Plan for the Miami-Dade Aviation Department at Miami International Airport.

#### **Representative Stormwater Experience**

- Preparation of NPDES permits for discharge of treated groundwater from petroleum and solvent-impacted sites in the State of Florida.
- Prepared NPDES permit applications and best management plans for submittal and obtained approval for stormwater discharge.

## Gievers, Andrea

---

**From:** Wolff, Jennifer <jwolff@braunintertec.com>  
**Sent:** Friday, September 9, 2022 1:07 PM  
**To:** Gievers, Andrea  
**Subject:** [External] FW: Proposed new development 4100 Academic Drive  
**Attachments:** Palatine Meadows proposed project; Fig1\_SiteLoc20220811.pdf; Fig2\_SiteLayout20220811.pdf

**CAUTION:** External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

---

**From:** Wolff, Jennifer  
**Sent:** Friday, August 12, 2022 1:55 PM  
**To:** boydr@newbernnc.gov  
**Subject:** Proposed new development 4100 Academic Drive

Hi!

I am working on a HUD Environmental Assessment for the proposed Palatine Meadows project at 4100 Academic Drive. I previously consulted with you to confirm that your department will have sufficient capacity to handle the new development. Thank you for that response! I have attached the previous correspondence in case you wanted to see it again. I have also attached a site location map and a site layout map showing the current conditions.

HUD is now asking if you are aware of any planned or current aboveground storage tanks (ASTs) in a one-mile radius of the project that would be of concern for explosions that might impact the proposed project? I have searched through the State database for registered ASTs, but HUD would like me to confirm with you as well.

Any information that you can provide would be greatly appreciated.

Thanks!

Jenn



**Jennifer B. Wolff, PG (MN), CPG, CHMM**  
Group Manager - Senior Environmental Scientist  
11001 Hampshire Avenue S | Minneapolis, MN 55438  
952-995-2454 direct | 612-360-8630 cell  
[jwolff@braunintertec.com](mailto:jwolff@braunintertec.com) PG licensed in MN  
[braunintertec.com](http://braunintertec.com) |

**Attachment I**  
**Endangered Species Act**



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor  
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

February 17, 2022

Mr. John Ellis  
U.S. Fish and Wildlife Service  
Raleigh ES Field Office  
P.O. Box 33726  
Raleigh, NC 27636-3726

Sent Via Email: [Raleigh@fws.gov](mailto:Raleigh@fws.gov)  
[Leigh\\_Mann@fws.gov](mailto:Leigh_Mann@fws.gov)

RE: Section 7 Project Review - No Effect Determination  
NCORR - HUD CDBG-DR Program  
**Palatine Meadows**  
4140 Academic Drive  
New Bern, NC 28562

Dear Mr. Ellis:

The North Carolina Office of Recovery and Resiliency (NCORR) as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) is considering funding this proposed affordable housing project, **Palatine Meadows located at 4140 Academic Drive, New Bern, Craven County, North Carolina 28562**. The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families. Therefore, funding for the proposed project will be provided in part by the HUD CDBG-DR North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

The purpose of this letter is to provide the U.S. Fish and Wildlife Service – Raleigh ES Field Office (USFWS) notice of the proposed project and to document compliance with Section 7 of the Endangered Species Act (ESA) of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as well as the

**Mailing Address:**  
Post Office Box 110465  
Durham, NC 27709



**Phone: (984) 833-5350**  
[www.ncdps.gov](http://www.ncdps.gov)  
[www.rebuild.nc.gov](http://www.rebuild.nc.gov)

*An Equal Opportunity Employer*

Migratory Bird Treaty Act (MBTA) (16 U.S.C. 703–712) and the Bald and Golden Eagle Protection Act (BGEPA) (16 U.S.C. 668-668c, 54 Stat. 250), as amended.

We have reviewed the proposed project using the USFWS Raleigh Ecological Services' online 10-step project review process and made “**no effect**” determinations for the majority of proposed/listed species and/or proposed/designated critical habitat, *except for a “may affect, not likely to adversely affect” the Monarch butterfly, migratory birds, and the Northern Long-eared Bat (NLEB) determination*, and a “**no Eagle Act permit required**” determination for eagles. The proposed project is consistent with activities analyzed in the January 5, 2016, Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-eared Bat and Activities Excepted from Take Prohibitions (PBO). The proposed project “**may affect**” the NLEB; however, any incidental take that may occur as a result of the proposed action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o). NCORR contacted the NC Natural Heritage Program (NCNHP) to review the project area for NLEB. NCNHP responded that “[t]here are no documented Northern Long-eared Bat maternity roost trees within 150 feet of this project boundary” and “no Northern Long-eared Bat hibernacula within 0.25 mile of this project boundary.” Thus, NCORR has determined that the proposed action **may affect NLEB** and, in accordance with the January 5, 2016 PBO, that no activities associated with the proposed project will: (1) disturb hibernating NLEBs in a known hibernaculum; (2) alter the entrance or interior environment of a known hibernaculum; (3) remove any trees within 0.25 miles of a known hibernaculum at any time of year; or (4) cut or destroy known occupied maternity roost trees, or any other trees within a 150-foot radius from the maternity roost tree, during the pup season (June 1 through July 31). Please find attached the Online project review certification letter, 10-step Project Review Package, and signed NLEB 4(d) Rule Streamlined Consultation Form (if needed) prepared by Braun Intertec for the proposed project in accordance with all instructions provided, using the best available information to reach our conclusions.

Palatine Meadows is a proposed affordable housing community located at 4140 Academic Drive, New Bern, Craven County, North Carolina 28562. The proposed project location maps are included in the attachments for your review. The Palatine Meadows proposed project consists of a 60-unit affordable rental housing development targeting low-income family households. The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area that will require ground disturbance to install. The proposed project site plans are included in the attachments.

The Site does not currently provide suitable habitat for the majority of protected species identified in state and federal databases. However, the trees on Site provide nesting habitat for migratory birds and may provide potential summer roosting habitat for the Northern Long-eared bat. While unlikely to occur since the Site is within a developed area, any take of Northern Long-eared Bats from the proposed project would be incidental and covered under the USFWS Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions. See attached site photographs, which illustrate the existing conditions.

The Site is in the western portion of the City of New Bern, within walking distance of the New Bern High School and just north of Dr. Martin Luther King Jr. Boulevard, which is a retail/ commercial corridor. The Site is currently a mostly undeveloped approximately 5.0-acre parcel, except for a cellphone tower developed on the northeastern portion of the Site. Currently the Site is a mostly grass-covered parcel. Electrical boxes are present on the edge of the Site. A gas pipeline marker is present in the central portion of the Site. Adjacent to the north is a metal fabricator company and the New Bern High School; to the east is a tractor dealer and automobile company; to the south is a fast food restaurant and a tractor dealer; and to the west, beyond Academic Drive, is a housing development.

NCORR is submitting the above information as notification of its determination and requests *acknowledgement* that they have received this determination for species under USFWS jurisdiction and *determination* whether the proposed action may affect, but is not likely to adversely affect the NLEB, Monarch butterfly, and migratory birds.

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov). Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM  
NCORR Environmental Subject Matter Expert

Attachment:

- 10-step Project Review Package



# Project Review Checklist

Step	Item	Required	Date completed/ Notes
1 and 2	Official Species List from IPaC (will include map showing the action area)	Yes	1/13/22
3	NCDENER-Heritage Program database results or correspondence.	If Applicable	1/14/22
4	Habitat Assessments or Species Surveys	If Applicable	
6	Bald Eagle Conclusion Table	Yes	Unlikely to disturb
7	NLEB	Yes	2/17/22 Streamlined Form
8	Species Conclusion Table	Yes	1/27/22
9	Online project review request letter or Online project review certification letter	Yes	1/27/22
10	Other documentation to support your conclusions	If Applicable	Project maps, site photographs

## Instructions

Submit project review packages electronically to [Raleigh@fws.gov](mailto:Raleigh@fws.gov). Please indicate in your email subject title if you are submitting a "Review Request Letter" or a "Self-Certification Letter." All project reviews will receive a return receipt to inform you that your project has been successfully submitted to this office. Please note that any single email, including attachments, must be smaller than 25 MB. If a single email would be larger than 25 MB, please spread out multiple attachments among several emails (use the same subject name and project reference in all emails related to an individual project). If this is not practical, please mail a hard copy or DVD containing the project review package to our office:

Raleigh Field Office  
P.O. Box 33726  
Raleigh, NC 27636-3726

Maintain a complete copy of the project review package in your files since it will become an integral part of your official record of compliance.

## Contact us

If you have questions or comments concerning this process, please contact Leigh Mann at (919) 856-4520 extension 10 or via email at [Raleigh@fws.gov](mailto:Raleigh@fws.gov).

<http://Raleigh.fws.gov>

**Federal Relay Service  
for the deaf and hard-of-hearing  
1 800/877 8339**

**U.S. Fish and Wildlife Service  
<http://www.fws.gov>  
1 800/344 WILD**

**January 2017**



# United States Department of the Interior



## FISH AND WILDLIFE SERVICE

Raleigh Field Office  
P.O. Box 33726  
Raleigh, NC 27636-3726

Date: \_\_\_\_\_

### Self-Certification Letter

Project Name \_\_\_\_\_

Dear Applicant:

Thank you for using the U.S. Fish and Wildlife Service (Service) Raleigh Ecological Services online project review process. By printing this letter in conjunction with your project review package, you are certifying that you have completed the online project review process for the project named above in accordance with all instructions provided, using the best available information to reach your conclusions. This letter, and the enclosed project review package, completes the review of your project in accordance with the Endangered Species Act of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as amended (ESA), and the Bald and Golden Eagle Protection Act (16 U.S.C. 668-668c, 54 Stat. 250), as amended (Eagle Act). This letter also provides information for your project review under the National Environmental Policy Act of 1969 (P.L. 91-190, 42 U.S.C. 4321-4347, 83 Stat. 852), as amended. A copy of this letter and the project review package must be submitted to this office for this certification to be valid. This letter and the project review package will be maintained in our records.

The species conclusions table in the enclosed project review package summarizes your ESA and Eagle Act conclusions. Based on your analysis, mark all the determinations that apply:

“no effect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, not likely to adversely affect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, likely to adversely affect” determination for the Northern long-eared bat (*Myotis septentrionalis*) and relying on the findings of the January 5, 2016, Programmatic Biological Opinion for the Final 4(d) Rule on the Northern long-eared bat;

“no Eagle Act permit required” determinations for eagles.

We certify that use of the online project review process in strict accordance with the instructions provided as documented in the enclosed project review package results in reaching the appropriate determinations. Therefore, we concur with the “no effect” or “not likely to adversely affect” determinations for proposed and listed species and proposed and designated critical habitat; the “may affect” determination for Northern long-eared bat; and/or the “no Eagle Act permit required” determinations for eagles. Additional coordination with this office is not needed. Candidate species are not legally protected pursuant to the ESA. However, the Service encourages consideration of these species by avoiding adverse impacts to them. Please contact this office for additional coordination if your project action area contains candidate species. Should project plans change or if additional information on the distribution of proposed or listed species, proposed or designated critical habitat, or bald eagles becomes available, this determination may be reconsidered. This certification letter is valid for 1 year. Information about the online project review process including instructions, species information, and other information regarding project reviews within North Carolina is available at our website <http://www.fws.gov/raleigh/pp.html>. If you have any questions, you can write to us at [Raleigh@fws.gov](mailto:Raleigh@fws.gov) or please contact Leigh Mann of this office at 919-856-4520, ext. 10.

Sincerely,

/s/Pete Benjamin

Pete Benjamin  
Field Supervisor  
Raleigh Ecological Services

Enclosures - project review package



0 1,000 2,000'  
 SCALE: 1" = 2,000'  
 Source: USGS US Topo Map



11001 Hampshire Avenue S  
 Minneapolis, MN 55438  
 952.995.2000  
 braunintertec.com

Project No:  
 B2111827

Drawing No:  
 B2111827\_Fig1\_SiteLoc

Drawn By: JPM  
 Date Drawn: 1/7/2022  
 Checked By: JW  
 Last Modified: 1/7/2022

Palatine Meadows

4140 Academic Circle

New Bern, North Carolina

**Site Location Map**

Figure 1



Drawing Information

Project No:  
B2111827

Drawing No:  
Fig2\_SiteLayout

Drawn By: JPM  
Drawn Date: 1/7/2022  
Checked By: JW  
Last Modified: 1/7/2022

Project Information

Palatine Meadows

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4140 Academic Circle

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New Bern, North Carolina

Site Layout

Figure 2

F:\2021\B211827\GIS\B211827.aprx



## United States Department of the Interior



FISH AND WILDLIFE SERVICE  
Raleigh Ecological Services Field Office  
Post Office Box 33726  
Raleigh, NC 27636-3726  
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:  
Consultation Code: 04EN2000-2022-SLI-0667  
Event Code: 04EN2000-2022-E-01531  
Project Name: Palatine Meadows

January 13, 2022

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

### To Whom It May Concern:

The species list generated pursuant to the information you provided identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

Section 7 of the Act requires that all federal agencies (or their designated non-federal representative), in consultation with the Service, insure that any action federally authorized, funded, or carried out by such agencies is not likely to jeopardize the continued existence of any federally-listed endangered or threatened species. A biological assessment or evaluation may be prepared to fulfill that requirement and in determining whether additional consultation with the Service is necessary. In addition to the federally-protected species list, information on the species' life histories and habitats and information on completing a biological assessment or

evaluation and can be found on our web page at <http://www.fws.gov/raleigh>. Please check the web site often for updated information or changes

If your project contains suitable habitat for any of the federally-listed species known to be present within the county where your project occurs, the proposed action has the potential to adversely affect those species. As such, we recommend that surveys be conducted to determine the species' presence or absence within the project area. The use of North Carolina Natural Heritage program data should not be substituted for actual field surveys.

If you determine that the proposed action may affect (i.e., likely to adversely affect or not likely to adversely affect) a federally-protected species, you should notify this office with your determination, the results of your surveys, survey methodologies, and an analysis of the effects of the action on listed species, including consideration of direct, indirect, and cumulative effects, before conducting any activities that might affect the species. If you determine that the proposed action will have no effect (i.e., no beneficial or adverse, direct or indirect effect) on federally listed species, then you are not required to contact our office for concurrence (unless an Environmental Impact Statement is prepared). However, you should maintain a complete record of the assessment, including steps leading to your determination of effect, the qualified personnel conducting the assessment, habitat conditions, site photographs, and any other related articles.

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan ([http://www.fws.gov/windenergy/eagle\\_guidance.html](http://www.fws.gov/windenergy/eagle_guidance.html)). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

Not all Threatened and Endangered Species that occur in North Carolina are subject to section 7 consultation with the U.S Fish and Wildlife Service. Atlantic and shortnose sturgeon, sea turtles, when in the water, and certain marine mammals are under purview of the National Marine Fisheries Service. If your project occurs in marine, estuarine, or coastal river systems you should also contact the National Marine Fisheries Service, <http://www.nmfs.noaa.gov/>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office. If you have any questions or comments, please contact John Ellis of this office at [john\\_ellis@fws.gov](mailto:john_ellis@fws.gov).

---

Attachment(s):

- Official Species List

## Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

**Raleigh Ecological Services Field Office**

Post Office Box 33726

Raleigh, NC 27636-3726

(919) 856-4520

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## Project Summary

Consultation Code: 04EN2000-2022-SLI-0667

Event Code: Some(04EN2000-2022-E-01531)

Project Name: Palatine Meadows

Project Type: DEVELOPMENT

Project Description: The proposed project consists of development of the current vacant lot with three residential buildings and one restaurant building. The residential buildings will contain 60 affordable rental housing units. Two of the buildings will be three stories, approximately 9,477-square feet, and contain 24 residential units. A third building will be three stories, approximately 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area and will require ground disturbance to install.

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@35.0973125,-77.11284530149064,14z>



Counties: Craven County, North Carolina

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## Endangered Species Act Species

There is a total of 12 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries<sup>1</sup>, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

### Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/9045">https://ecos.fws.gov/ecp/species/9045</a>	Threatened
West Indian Manatee <i>Trichechus manatus</i> There is <b>final</b> critical habitat for this species. The location of the critical habitat is not available. <b><i>This species is also protected by the Marine Mammal Protection Act, and may have additional consultation requirements.</i></b> Species profile: <a href="https://ecos.fws.gov/ecp/species/4469">https://ecos.fws.gov/ecp/species/4469</a>	Threatened

### Birds

NAME	STATUS
Eastern Black Rail <i>Laterallus jamaicensis ssp. jamaicensis</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/10477">https://ecos.fws.gov/ecp/species/10477</a>	Threatened
Red Knot <i>Calidris canutus rufa</i> There is <b>proposed</b> critical habitat for this species. The location of the critical habitat is not available. Species profile: <a href="https://ecos.fws.gov/ecp/species/1864">https://ecos.fws.gov/ecp/species/1864</a>	Threatened
Red-cockaded Woodpecker <i>Picoides borealis</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/7614">https://ecos.fws.gov/ecp/species/7614</a>	Endangered

## Reptiles

NAME	STATUS
American Alligator <i>Alligator mississippiensis</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/776">https://ecos.fws.gov/ecp/species/776</a>	Similarity of Appearance (Threatened)
Green Sea Turtle <i>Chelonia mydas</i> Population: North Atlantic DPS There is <b>final</b> critical habitat for this species. The location of the critical habitat is not available. Species profile: <a href="https://ecos.fws.gov/ecp/species/6199">https://ecos.fws.gov/ecp/species/6199</a>	Threatened
Leatherback Sea Turtle <i>Dermochelys coriacea</i> There is <b>final</b> critical habitat for this species. The location of the critical habitat is not available. Species profile: <a href="https://ecos.fws.gov/ecp/species/1493">https://ecos.fws.gov/ecp/species/1493</a>	Endangered

## Amphibians

NAME	STATUS
Neuse River Waterdog <i>Necturus lewisi</i> There is <b>final</b> critical habitat for this species. The location of the critical habitat is not available. Species profile: <a href="https://ecos.fws.gov/ecp/species/6772">https://ecos.fws.gov/ecp/species/6772</a>	Threatened

## Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/9743">https://ecos.fws.gov/ecp/species/9743</a>	Candidate

## Flowering Plants

NAME	STATUS
Rough-leaved Loosestrife <i>Lysimachia asperulaefolia</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/2747">https://ecos.fws.gov/ecp/species/2747</a>	Endangered
Sensitive Joint-vetch <i>Aeschynomene virginica</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/855">https://ecos.fws.gov/ecp/species/855</a>	Threatened

## Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.



Roy Cooper, Governor

D. Reid Wilson, Secretary

Misty Buchanan  
Deputy Director, Natural Heritage Program

NCNHDE-16803

January 14, 2022

Ben Ruhme  
Braun Intertec Corporation  
11001 Hampshire Avenue S  
Minneapolis, MN 55438  
RE: Palatine Meadows; B2111827

Dear Ben Ruhme:

The North Carolina Natural Heritage Program (NCNHP) appreciates the opportunity to provide information about natural heritage resources for the project referenced above.

Based on the project area mapped with your request, a query of the NCNHP database indicates that there are no records for rare species, important natural communities, natural areas, and/or conservation/managed areas within the proposed project boundary. Please note that although there may be no documentation of natural heritage elements within the project boundary, it does not imply or confirm their absence; the area may not have been surveyed. The results of this query should not be substituted for field surveys where suitable habitat exists. In the event that rare species are found within the project area, please contact the NCNHP so that we may update our records.

The attached 'Potential Occurrences' table summarizes rare species and natural communities that have been documented within a one-mile radius of the property boundary. The proximity of these records suggests that these natural heritage elements may potentially be present in the project area if suitable habitat exists. Tables of natural areas and conservation/managed areas within a one-mile radius of the project area, if any, are also included in this report.

If a Federally-listed species is found within the project area or is indicated within a one-mile radius of the project area, the NCNHP recommends contacting the US Fish and Wildlife Service (USFWS) for guidance. Contact information for USFWS offices in North Carolina is found here:

<https://www.fws.gov/offices/Directory/ListOffices.cfm?statecode=37>.

Please note that natural heritage element data are maintained for the purposes of conservation planning, project review, and scientific research, and are not intended for use as the primary criteria for regulatory decisions. Information provided by the NCNHP database may not be published without prior written notification to the NCNHP, and the NCNHP must be credited as an information source in these publications. Maps of NCNHP data may not be redistributed without permission.

The NC Natural Heritage Program may follow this letter with additional correspondence if a Dedicated Nature Preserve, Registered Heritage Area, Land and Water Fund easement, or Federally-listed species are documented near the project area.

If you have questions regarding the information provided in this letter or need additional assistance, please contact Rodney A. Butler at [rodney.butler@ncdcr.gov](mailto:rodney.butler@ncdcr.gov) or 919-707-8603.

Sincerely,  
NC Natural Heritage Program

Natural Heritage Element Occurrences, Natural Areas, and Managed Areas Within a One-mile Radius of the Project Area  
Palatine Meadows  
Project No. B2111827  
January 14, 2022  
NCNHDE-16803

Element Occurrences Documented Within a One-mile Radius of the Project Area

Taxonomic Group	EO ID	Scientific Name	Common Name	Last Observation Date	Element Occurrence Rank	Accuracy	Federal Status	State Status	Global Rank	State Rank
Animal Assemblage	15567	Waterbird Colony	Waterbird Colony	2001	BC	3-Medium	---	---	GNR	S3
Animal Assemblage	26654	Waterbird Colony	Waterbird Colony	2007	CD	3-Medium	---	---	GNR	S3
Animal Assemblage	27061	Waterbird Colony	Waterbird Colony	2014-06-19	C	2-High	---	---	GNR	S3
Bird	26653	<i>Sternula antillarum</i>	Least Tern	2007	H	3-Medium	---	Special Concern	G4	S3B
Bird	27062	<i>Sternula antillarum</i>	Least Tern	2014-06-19	C	2-High	---	Special Concern	G4	S3B
Butterfly	35198	<i>Erynnis martialis</i>	Mottled Duskywing	1944-04-17	X	5-Very Low	---	Significantly Rare	G3	S2
Dragonfly or Damselfly	38998	<i>Coryphaeschna ingens</i>	Regal Darner	2004-Pre	H?	5-Very Low	---	Significantly Rare	G5	S2?
Dragonfly or Damselfly	33788	<i>Triacanthagyna trifida</i>	Phantom Darner	2004-Pre	H?	5-Very Low	---	Significantly Rare	G5	SH
Mammal	5451	<i>Trichechus manatus</i>	West Indian Manatee	1994-09-17	H?	5-Very Low	Threatened	Threatened	G2G3	S1N

No Natural Areas are Documented Within a One-mile Radius of the Project Area

No Managed Areas are Documented Within a One-mile Radius of the Project Area

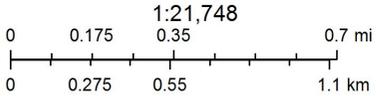
Definitions and an explanation of status designations and codes can be found at <https://ncnhde.natureserve.org/help>. Data query generated on January 14, 2022; source: NCNHP, Q3 October 2021. Please resubmit your information request if more than one year elapses before project initiation as new information is continually added to the NCNHP database.

# NCNHDE-16803: Palatine Meadows



January 14, 2022

- Project Boundary
- Buffered Project Boundary



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

## Gievers, Andrea

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**From:** Ratcliffe, Judith  
**Sent:** Thursday, February 3, 2022 8:46 AM  
**To:** Gievers, Andrea  
**Subject:** RE: NCORR Palatine Meadows - NLEB 4(d) Inquiry

Hello Andrea,

Thank you for the opportunity to review **Palatine Meadows, 4140 Academic Drive, New Bern, Craven County, NC 28562**.

There are no documented Northern Long-eared Bat maternity roost trees within 150 feet of this project boundary. There are no Northern Long-eared Bat hibernacula within 0.25 mile of this project boundary.

Sincerely,  
Judith Ratcliffe

JUDITH RATCLIFFE  
Zoologist, NC Natural Heritage Program

121 W Jones St MSC 1651 Raleigh, NC 27699  
919 707 8628 office



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#StayStrongNC  
Learn more @ [nc.gov/covid19](https://nc.gov/covid19)

And don't forget your Ws! Wear. Wait. Wash.

WEAR a face covering.

WAIT 6 feet apart from other people.

WASH your hands often.

---

**From:** Gievers, Andrea <[andrea.l.gievers@rebuild.nc.gov](mailto:andrea.l.gievers@rebuild.nc.gov)>  
**Sent:** Wednesday, February 2, 2022 1:30 PM  
**To:** Ratcliffe, Judith <[judith.ratcliffe@ncdcr.gov](mailto:judith.ratcliffe@ncdcr.gov)>  
**Subject:** NCORR Palatine Meadows - NLEB 4(d) Inquiry

Hi Judy:

The North Carolina Office of Recovery and Resiliency (NCORR) as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) is considering funding this proposed *affordable housing* project, **Palatine Meadows, 4140 Academic Drive, New Bern, Craven County, NC 28562**. I have attached the kmz Shapefile from the consultant to assist in your NLEB 4(d) Rule review. Please feel free to contact me if you have any questions. Thank you so much for your time and assistance.

Sincerely,

Andrea Gievers

---

**From:** Ruhme, Benjamin <[BRuhme@braunintertec.com](mailto:BRuhme@braunintertec.com)>  
**Sent:** Wednesday, February 2, 2022 12:43 PM  
**To:** Gievers, Andrea <[andrea.l.gievers@rebuild.nc.gov](mailto:andrea.l.gievers@rebuild.nc.gov)>  
**Cc:** Wolff, Jennifer <[jwolff@braunintertec.com](mailto:jwolff@braunintertec.com)>  
**Subject:** [External] Palatine Meadows Parcel- T&E Species

**CAUTION:** External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

Hi Andrea,

I've been working on the Palatine Meadows environmental review with Jenn Wolff. Attached is a KMZ of the site parcel for submittal to the NC NHP regarding Northern Long-eared bat confidential data. If you need a true shapefile, please let me know and I'll request one from our geospatial staff.

Thanks,



**Ben Ruhme**  
Staff Scientist  
11001 Hampshire Avenue S | Minneapolis, MN 55438  
~~952.995.2491 direct~~ | 612.508.2770 mobile  
**\*\*\*Working remotely\*\*\***  
[braunintertec.com](http://braunintertec.com)

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Email  
correspondence to

and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized state official.

**Project Name:** Palatine Meadows  
**Site Address:** 4140 Academic Dr, New Bern, NC 28562  
**Client:** Woda Cooper Companies, Inc.  
**County:** Craven  
**Lat/Long:** 35.097414, -77.113060

**Date:** January 13, 2022  
**Project No.:** B2111827  
**Evaluator:** B. Ruhme  
**TRS:** NA

Resource	Description	Evaluation
Aerial Photo	Historical Aerial Photographs (1985-2019)	Historically the site was used for outdoor storage of semi trailers or large cargo containers (1993-1998 aerial photos). The site was then left as vacant undeveloped land (2004 aerial photo) with increased tree cover. A power substation was constructed in the northeast corner by the 2005 aerial photo and the rest of the site remained vacant land. Little change is apparent at the site since (2005-2019 aerial photos).
Federal (IPaC)	Query of IPaC Database	12 federally listed species were identified for the project area in the IPaC database.
State	North Carolina Natural Heritage Program (NCNHP)	One state listed special concern species, the Least Tern, was identified for the project area in the NCNHP database.

**Field Survey Conducted** No

**Conclusion:** Not likely to adversely affect protected species.

The Site does not currently provide suitable habitat for the majority of protected species identified in state and federal databases. However, the trees on Site provide nesting habitat for migratory birds and may provide potential summer roosting habitat for the Northern Long-eared bat. While unlikely to occur since the Site is within a developed area, any take of Northern Long-eared Bats from the proposed project would be incidental and covered under the USFWS *Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Exempted from Take Prohibitions* (see attached 4(d) Rule verification letter).

**Further Action Recommended:** No

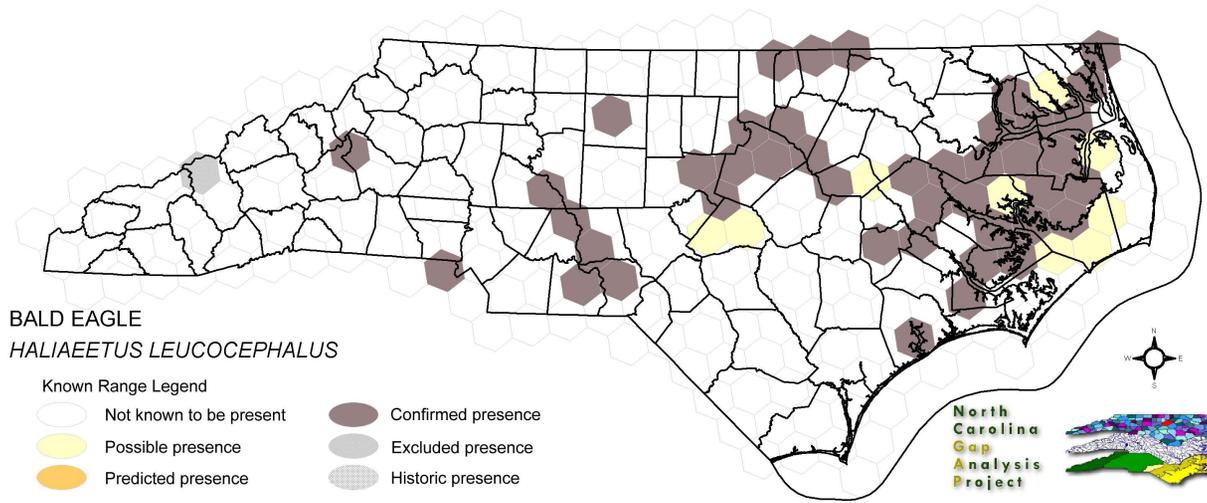
If required for the proposed project, it is recommended to conduct vegetation and tree clearing from September 1-April 30 to avoid impacts to nesting migratory birds (nesting season is typically May-August).

**Signed:**  \_\_\_\_\_

**Attachments:** Yes IPaC output, NLEB 4(d) Rule Verification letter and table of listed species attached.

Common Name	Scientific Name	Federal Status <sup>1</sup>	State Status <sup>1</sup>	Habitat	Impact	Comment
American Alligator	<i>Alligator mississippiensis</i>	SAT	T	Freshwater lakes, marshes swamps and slow moving rivers.	No effect	Suitable habitat is not present within the project area.
Eastern Black Rail	<i>Laterallus jamaicensis ssp. jamaicensis</i>	T	T	Salt and brackish marshes, inland coastal prairies and wetlands.	No effect	Suitable habitat is not present within the project area.
Green Sea Turtle	<i>Chelonia mydas</i>	T	T	Temperate and subtropical coastal waters. Nests on sand beaches near dune line.	No effect	Suitable habitat is not present within the project area.
Leatherback Sea Turtle	<i>Dermochelys imbricata</i>	E	E	Temperate and tropical coastal waters. Nests on coastal sand beaches.	No effect	Suitable habitat is not present within the project area.
Least Tern	<i>Sternula antillarum</i>	none	SPC	Forages in coastal ocean waters, bays, estuaries, freshwater lakes, marshes, ponds, rivers and reservoirs. Nests on sandy or shelly beaches, coastlines or islands.	No effect	Suitable habitat is not present within the project area.
Monarch Butterfly	<i>Danaus plexippus</i>	C	none	Meadows, open fields and clearings with plants that provide floral resources, particularly milkweed.	Not likely to adversely affect	Limited floral resources appear to be at the Site, which provides poor habitat for the species and it is unlikely to be present.
Neuse River Waterdog	<i>Necturus lewisi</i>	T	SPC	Slow moving portions of rivers and streams in the Tar-Pamlico and Neuse River basins.	No effect	Suitable habitat is not present within the project area.
Northern Long-eared Bat	<i>Myotis septentrionalis</i>	T	T	caves, mesic-hardwood and floodplain forests	Not likely to adversely affect not prohibited	This project may affect the threatened Northern long-eared bat; therefore, consultation with the Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.) is required. However, based on the information provided, this project may rely on the Service's January 5, 2016, Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions to fulfill its Section 7(a)(2) consultation obligation. No further action is needed. Any take that may occur is incidental and not prohibited.
Red-cockaded Woodpecker	<i>Picoides borealis</i>	E	E	Mature pine woodlands including longleaf and slash pine flatwoods.	No effect	Suitable habitat is not present within the project area.

Red Knot	<i>Calidris canutus rufa</i>	T	T	Tundra slopes, sedge meadows, lakeshores, estuaries, sandy beaches, tidal mudflats and salt marshes	No effect	Suitable habitat is not present within the project area.
Rough-leaved Loosestrife	<i>Lysimachia asperulaefolia</i>	E	E	Longleaf pine savanna and pine pocosins, typically on wet peat soils	No effect	Suitable habitat is not present within the project area.
Sensitive Joint-vetch	<i>Aeschynomene virginica</i>	T	T	Intertidal zone of coastal marshes and estuary portion of tidal rivers	No effect	Suitable habitat is not present within the project area.
West Indian Manatee	<i>Trichechus manatus</i>	T	E	Warm coastal waters including bays, rivers and occasionally lakes.	No effect	Suitable habitat is not present within the project area.
Migratory birds		MBTA		Various	May affect - not prohibited	Various migratory birds may nest in shrubs and trees on the property. Avoidance should be considered by clearing vegetation outside the migratory bird breeding season (May-August for most species).
<sup>1</sup> T = Threatened, E = Endangered, C = Candidate, SA = Similarity of Appearance, SPC = Special Concern, NEP = Non-Essential Population (experimental); MBTA = protected under Migratory Bird Treaty Act						



## Northern Long-Eared Bat 4(d) Rule Streamlined Consultation Form

Federal agencies should use this form for the optional streamlined consultation framework for the northern long-eared bat (NLEB). This framework allows federal agencies to rely upon the U.S. Fish and Wildlife Service's (USFWS) January 5, 2016, intra-Service Programmatic Biological Opinion (BO) on the final 4(d) rule for the NLEB for section 7(a)(2) compliance by: (1) notifying the USFWS that an action agency will use the streamlined framework; (2) describing the project with sufficient detail to support the required determination; and (3) enabling the USFWS to track effects and determine if reinitiation of consultation is required per 50 CFR 402.16.

This form is not necessary if an agency determines that a proposed action will have no effect to the NLEB or if the USFWS has concurred in writing with an agency's determination that a proposed action may affect, but is not likely to adversely affect the NLEB (i.e., the standard informal consultation process). Actions that may cause prohibited incidental take require separate formal consultation. Providing this information does not address section 7(a)(2) compliance for any other listed species.

### Information to Determine 4(d) Rule Compliance:

YES    NO

1. Does the project occur wholly outside of the WNS Zone <sup>1</sup> ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Have you contacted the appropriate agency <sup>2</sup> to determine if your project is near known hibernacula or maternity roost trees?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Could the project disturb hibernating NLEBs in a known hibernaculum?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Could the project alter the entrance or interior environment of a known hibernaculum?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Does the project remove any trees within 0.25 miles of a known hibernaculum at any time of year?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Would the project cut or destroy known occupied maternity roost trees, or any other trees within a 150-foot radius from the maternity roost tree from June 1 through July 31.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

You are eligible to use this form if you have answered yes to question #1 **or** yes to question #2 **and** no to questions 3, 4, 5 and 6. The remainder of the form will be used by the USFWS to track our assumptions in the BO.

**Agency and Applicant**<sup>3</sup> (Name, Email, Phone No.): HUD through NCORR, Andrea Gievers, 845-682-1700

**Project Name:** Palatine Meadows

**Project Location** (include coordinates if known): 4140 Academic Drive, New Bern, Craven County, NC 28562

**Basic Project Description** (provide narrative below or attach additional information):

See attached

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### General Project Information

YES    NO

<sup>1</sup> <http://www.fws.gov/midwest/endangered/mammals/nleb/pdf/WNSZone.pdf>

<sup>2</sup> See <http://www.fws.gov/midwest/endangered/mammals/nleb/nhisites.html>

<sup>3</sup> If applicable - only needed for federal actions with applicants (e.g., for a permit, etc.) who are party to the consultation.

Does the project occur within 0.25 miles of a known hibernaculum?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the project occur within 150 feet of a known maternity roost tree?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the project include forest conversion <sup>4</sup> ? (if yes, report acreage below)		<input checked="" type="checkbox"/>
Estimated total acres of forest conversion		
If known, estimated acres <sup>5</sup> of forest conversion from April 1 to October 31		
If known, estimated acres of forest conversion from June 1 to July 31 <sup>6</sup>		
Does the project include timber harvest? (if yes, report acreage below)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Estimated total acres of timber harvest		
If known, estimated acres of timber harvest from April 1 to October 31		
If known, estimated acres of timber harvest from June 1 to July 31		
Does the project include prescribed fire? (if yes, report acreage below)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Estimated total acres of prescribed fire		
If known, estimated acres of prescribed fire from April 1 to October 31		
If known, estimated acres of prescribed fire from June 1 to July 31		
Does the project install new wind turbines? (if yes, report capacity in MW below)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Estimated wind capacity (MW)		

Agency Determination:

By signing this form, the action agency determines that this project may affect the NLEB, but that any resulting incidental take of the NLEB is not prohibited by the final 4(d) rule.

If the USFWS does not respond within 30 days from submittal of this form, the action agency may presume that its determination is informed by the best available information and that its project responsibilities under 7(a)(2) with respect to the NLEB are fulfilled through the USFWS January 5, 2016, Programmatic BO. The action agency will update this determination annually for multi-year activities.

The action agency understands that the USFWS presumes that all activities are implemented as described herein. The action agency will promptly report any departures from the described activities to the appropriate USFWS Field Office. The action agency will provide the appropriate USFWS Field Office with the results of any surveys conducted for the NLEB. Involved parties will promptly notify the appropriate USFWS Field Office upon finding a dead, injured, or sick NLEB.

Signature: Andrea Siivers

Date Submitted: 2/17/22

<sup>4</sup> Any activity that temporarily or permanently removes suitable forested habitat, including, but not limited to, tree removal from development, energy production and transmission, mining, agriculture, etc. (see page 48 of the BO).

<sup>5</sup> If the project removes less than 10 trees and the acreage is unknown, report the acreage as less than 0.1 acre.

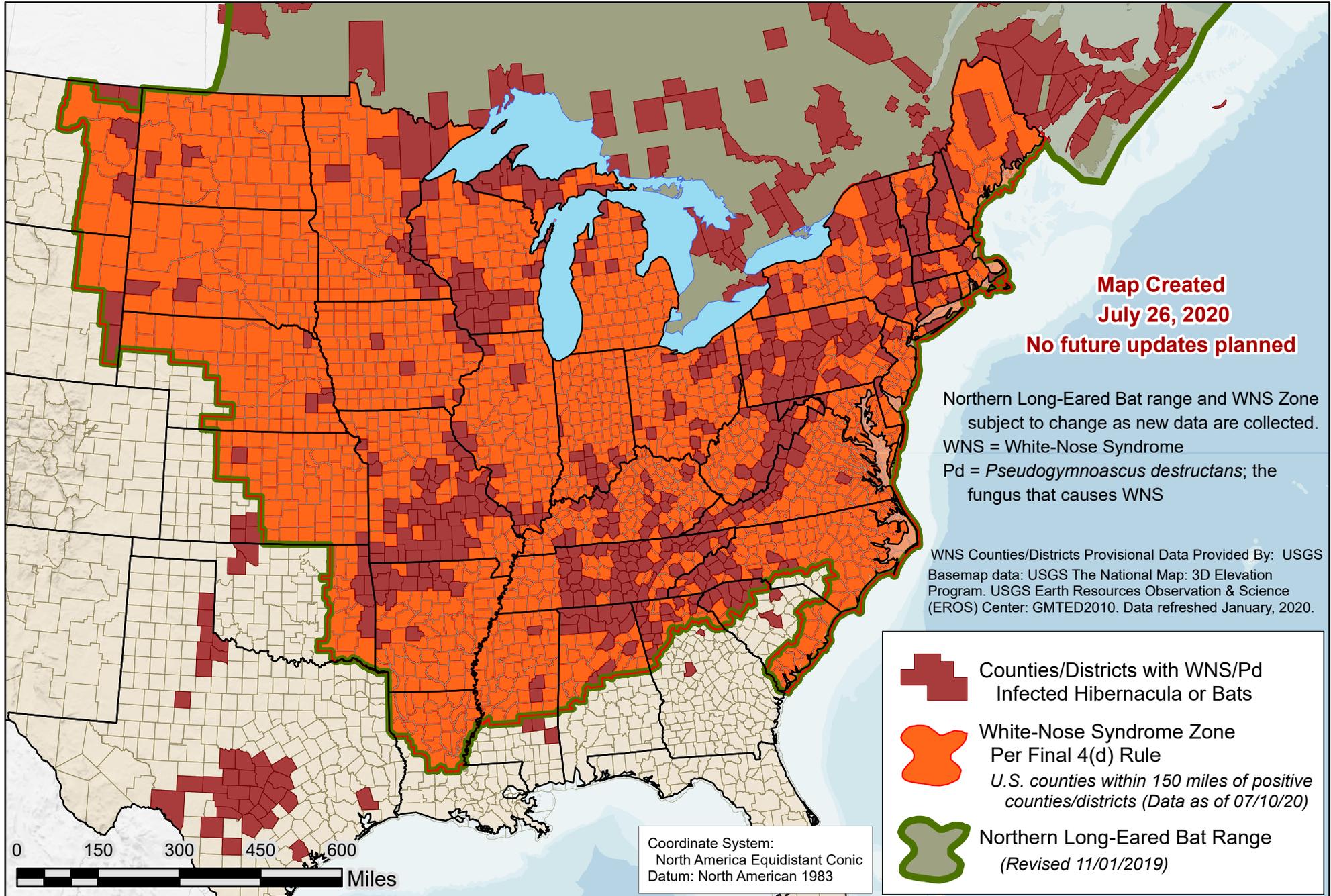
<sup>6</sup> If the activity includes tree clearing in June and July, also include those acreage in April to October.



U.S. Fish & Wildlife Service

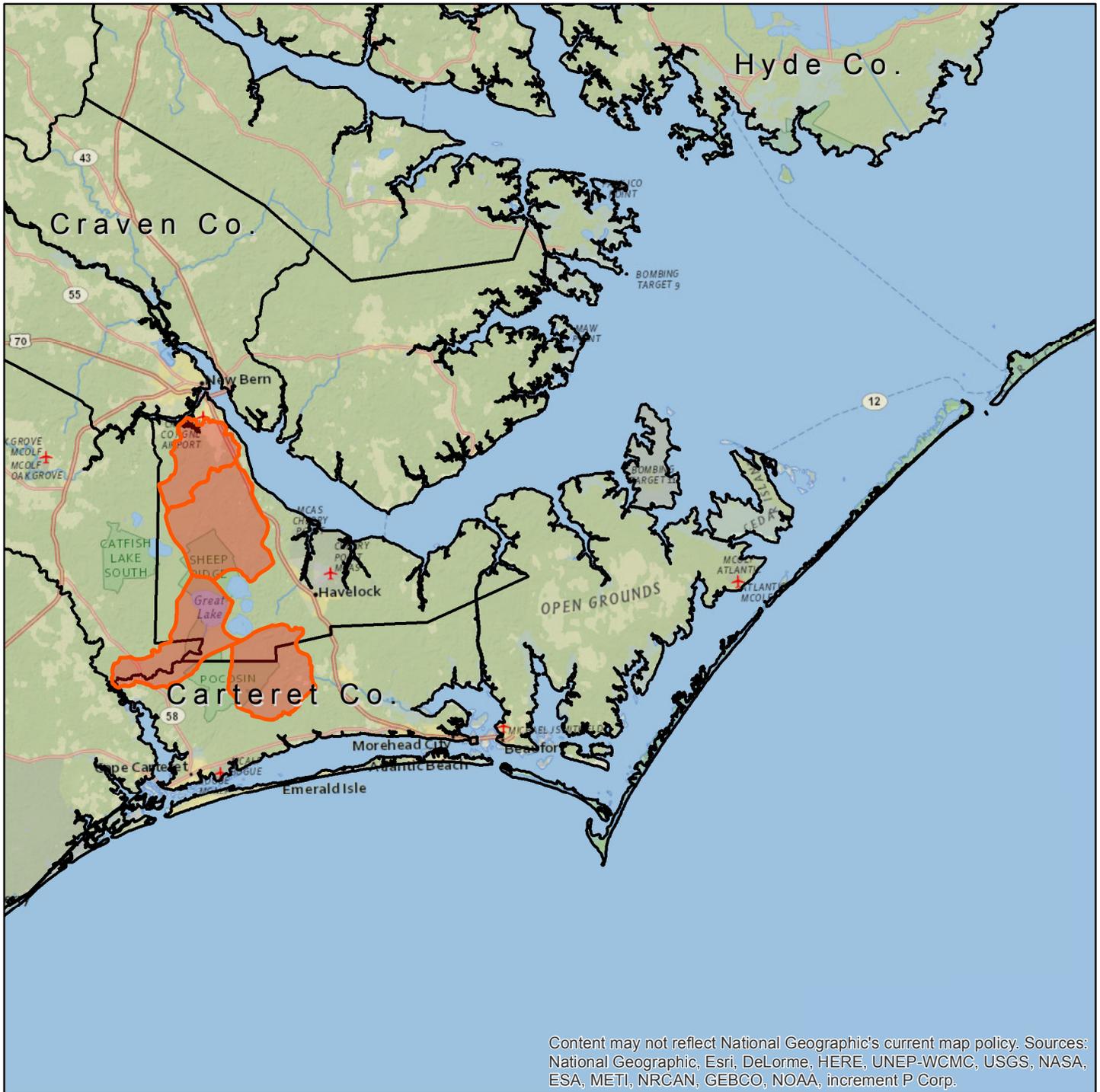
# Northern Long-Eared Bat Final 4(d) Rule

## White-Nose Syndrome Zone Around WNS/Pd Positive Counties/Districts



\*\*\*Project area is near southern edge of Craven County- see maps on p. 3-4.\*\*\*

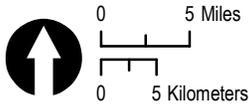
**U.S. Fish & Wildlife Service**  
**Northern Long-Eared Bat Consultation Areas**  
 CARTERET County



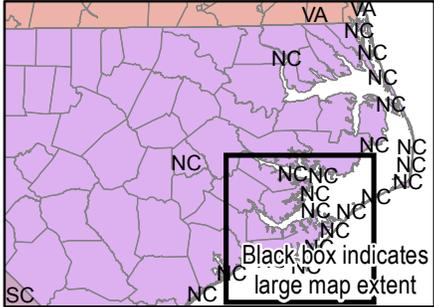
Content may not reflect National Geographic's current map policy. Sources: National Geographic, Esri, DeLorme, HERE, UNEP-WCMC, USGS, NASA, ESA, METI, NRCAN, GEBCO, NOAA, increment P Corp.

 North Carolina County Boundary  
 Watersheds with Known NLEB Winter Roost trees

**If your project falls within the red areas identified in CARTERET County, please contact the USFWS Raleigh Field Office.**



USFWS Ecological Services  
 Raleigh, North Carolina  
 Map Date: 12/3/2018





## United States Department of the Interior



FISH AND WILDLIFE SERVICE  
Raleigh Ecological Services Field Office  
Post Office Box 33726  
Raleigh, NC 27636-3726  
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:  
Consultation code: 04EN2000-2022-TA-0667  
Event Code: 04EN2000-2022-E-01535  
Project Name: Palatine Meadows

January 14, 2022

Subject: Verification letter for the 'Palatine Meadows' project under the January 5, 2016, Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-eared Bat and Activities Excepted from Take Prohibitions.

Dear Ben Ruhme:

The U.S. Fish and Wildlife Service (Service) received on January 14, 2022 your effects determination for the 'Palatine Meadows' (the Action) using the northern long-eared bat (*Myotis septentrionalis*) key within the Information for Planning and Consultation (IPaC) system. This IPaC key assists users in determining whether a Federal action is consistent with the activities analyzed in the Service's January 5, 2016, Programmatic Biological Opinion (PBO). The PBO addresses activities excepted from "take"<sup>11</sup> prohibitions applicable to the northern long-eared bat under the Endangered Species Act of 1973 (ESA) (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.).

Based upon your IPaC submission, the Action is consistent with activities analyzed in the PBO. The Action may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o). Unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.

Please report to our office any changes to the information about the Action that you submitted in IPaC, the results of any bat surveys conducted in the Action area, and any dead, injured, or sick northern long-eared bats that are found during Action implementation. If the Action is not completed within one year of the date of this letter, you must update and resubmit the information required in the IPaC key.

This IPaC-assisted determination allows you to rely on the PBO for compliance with ESA Section 7(a)(2) only for the northern long-eared bat. It **does not** apply to the following ESA-protected species that also may occur in the Action area:

- American Alligator *Alligator mississippiensis* Similarity of Appearance (Threatened)
- Eastern Black Rail *Laterallus jamaicensis ssp. jamaicensis* Threatened
- Green Sea Turtle *Chelonia mydas* Threatened
- Leatherback Sea Turtle *Dermochelys coriacea* Endangered
- Monarch Butterfly *Danaus plexippus* Candidate
- Neuse River Waterdog *Necturus lewisi* Threatened
- Red Knot *Calidris canutus rufa* Threatened
- Red-cockaded Woodpecker *Picoides borealis* Endangered
- Rough-leaved Loosestrife *Lysimachia asperulaefolia* Endangered
- Sensitive Joint-vetch *Aeschynomene virginica* Threatened
- West Indian Manatee *Trichechus manatus* Threatened

If the Action may affect other federally listed species besides the northern long-eared bat, a proposed species, and/or designated critical habitat, additional consultation between you and this Service office is required. If the Action may disturb bald or golden eagles, additional coordination with the Service under the Bald and Golden Eagle Protection Act is recommended.

---

[1]Take means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct [ESA Section 3(19)].

---

## Action Description

You provided to IPaC the following name and description for the subject Action.

### 1. Name

Palatine Meadows

### 2. Description

The following description was provided for the project 'Palatine Meadows':

The proposed project consists of development of the current vacant lot with three residential buildings and one restaurant building. The residential buildings will contain 60 affordable rental housing units. Two of the buildings will be three stories, approximately 9,477-square feet, and contain 24 residential units. A third building will be three stories, approximately 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area and will require ground disturbance to install.

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@35.0973125,-77.11284530149064,14z>



### Determination Key Result

This Federal Action may affect the northern long-eared bat in a manner consistent with the description of activities addressed by the Service's PBO dated January 5, 2016. Any taking that may occur incidental to this Action is not prohibited under the final 4(d) rule at 50 CFR §17.40(o). Therefore, the PBO satisfies your responsibilities for this Action under ESA Section 7(a)(2) relative to the northern long-eared bat.

### Determination Key Description: Northern Long-eared Bat 4(d) Rule

This key was last updated in IPaC on May 15, 2017. Keys are subject to periodic revision.

---

This key is intended for actions that may affect the threatened northern long-eared bat.

The purpose of the key for Federal actions is to assist determinations as to whether proposed actions are consistent with those analyzed in the Service's PBO dated January 5, 2016.

Federal actions that may cause prohibited take of northern long-eared bats, affect ESA-listed species other than the northern long-eared bat, or affect any designated critical habitat, require ESA Section 7(a)(2) consultation in addition to the use of this key. Federal actions that may affect species proposed for listing or critical habitat proposed for designation may require a conference under ESA Section 7(a)(4).

---

## Determination Key Result

This project may affect the threatened Northern long-eared bat; therefore, consultation with the Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.) is required. However, based on the information you provided, this project may rely on the Service's January 5, 2016, *Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions* to fulfill its Section 7(a)(2) consultation obligation.

## Qualification Interview

1. Is the action authorized, funded, or being carried out by a Federal agency?  
Yes
2. Have you determined that the proposed action will have "no effect" on the northern long-eared bat? (If you are unsure select "No")  
No
3. Will your activity purposefully **Take** northern long-eared bats?  
No
4. [Semantic] Is the project action area located wholly outside the White-nose Syndrome Zone?  
**Automatically answered**  
No
5. Have you contacted the appropriate agency to determine if your project is near a known hibernaculum or maternity roost tree?

Location information for northern long-eared bat hibernacula is generally kept in state Natural Heritage Inventory databases – the availability of this data varies state-by-state. Many states provide online access to their data, either directly by providing maps or by providing the opportunity to make a data request. In some cases, to protect those resources, access to the information may be limited. A web page with links to state Natural Heritage Inventory databases and other sources of information on the locations of northern long-eared bat roost trees and hibernacula is available at [www.fws.gov/midwest/endangered/mammals/nleb/nhisites.html](http://www.fws.gov/midwest/endangered/mammals/nleb/nhisites.html).

Yes

6. Will the action affect a cave or mine where northern long-eared bats are known to hibernate (i.e., hibernaculum) or could it alter the entrance or the environment (physical or other alteration) of a hibernaculum?  
No
  7. Will the action involve Tree Removal?  
Yes
-

8. Will the action only remove hazardous trees for the protection of human life or property?

*No*

9. Will the action remove trees within 0.25 miles of a known northern long-eared bat hibernaculum at any time of year?

*No*

10. Will the action remove a known occupied northern long-eared bat maternity roost tree or any trees within 150 feet of a known occupied maternity roost tree from June 1 through July 31?

*No*

---

## Project Questionnaire

**If the project includes forest conversion, report the appropriate acreages below. Otherwise, type '0' in questions 1-3.**

1. Estimated total acres of forest conversion:

0

2. If known, estimated acres of forest conversion from April 1 to October 31

0

3. If known, estimated acres of forest conversion from June 1 to July 31

0

**If the project includes timber harvest, report the appropriate acreages below. Otherwise, type '0' in questions 4-6.**

4. Estimated total acres of timber harvest

0

5. If known, estimated acres of timber harvest from April 1 to October 31

0

6. If known, estimated acres of timber harvest from June 1 to July 31

0

**If the project includes prescribed fire, report the appropriate acreages below. Otherwise, type '0' in questions 7-9.**

7. Estimated total acres of prescribed fire

0

8. If known, estimated acres of prescribed fire from April 1 to October 31

0

9. If known, estimated acres of prescribed fire from June 1 to July 31

0

**If the project includes new wind turbines, report the megawatts of wind capacity below. Otherwise, type '0' in question 10.**

10. What is the estimated wind capacity (in megawatts) of the new turbine(s)?

0

---

## Species Conclusions Table

Project Name: Palatine Meadows

Date: 1/27/2022

Species / Resource Name	Conclusion	ESA Section 7 / Eagle Act Determination	Notes / Documentation
American Alligator ( <i>Alligator mississippiensis</i> )	No suitable habitat present.	No effect	Habitat: Freshwater lakes, marshes, swamps, and slow moving rivers. Notes: No freshwater waterbodies or wetlands are present at the Site. Source(s): <a href="https://www.nwf.org/Educational-Resources/Wildlife-Guide/Reptiles/American-Alligator">https://www.nwf.org/Educational-Resources/Wildlife-Guide/Reptiles/American-Alligator</a>
Eastern Black Rail ( <i>Laterallus jamaicensis ssp. jamaicensis</i> )	No suitable habitat present.	No effect	Habitat: Salt and brackish marshes, inland coastal prairies, and wetlands. Notes: Wetlands and coastal habitats are not present at the Site. Source(s): <a href="https://www.fws.gov/southeast/wildlife/birds/eastern-black-rail/">https://www.fws.gov/southeast/wildlife/birds/eastern-black-rail/</a> <a href="https://www.allaboutbirds.org/guide/Black_Rail/lifehistory">https://www.allaboutbirds.org/guide/Black_Rail/lifehistory</a>
Green Sea Turtle ( <i>Chelonia mydas</i> )	No suitable habitat present.	No effect	Habitat: Temperate and subtropical coastal waters. Nests on sand beaches near dune line. Notes: No ocean waters or coastal habitats are present at the Site. Source(s): <a href="https://www.fisheries.noaa.gov/species/green-turtle">https://www.fisheries.noaa.gov/species/green-turtle</a> <a href="https://www.nwf.org/Educational-Resources/Wildlife-Guide/Reptiles/Sea-Turtles/Green-Sea-Turtle">https://www.nwf.org/Educational-Resources/Wildlife-Guide/Reptiles/Sea-Turtles/Green-Sea-Turtle</a>
Leatherback Sea Turtle ( <i>Dermochelys imbricata</i> )	No suitable habitat present.	No effect	Habitat: Temperate and tropical coastal waters. Nests on coastal sand beaches. Notes: No ocean waters or coastal habitats are present at the Site. Source(s): <a href="https://www.fisheries.noaa.gov/species/leatherback-turtle">https://www.fisheries.noaa.gov/species/leatherback-turtle</a> <a href="https://www.nwf.org/Educational-Resources/Wildlife-Guide/Reptiles/Sea-Turtles/Leatherback-Sea-Turtle">https://www.nwf.org/Educational-Resources/Wildlife-Guide/Reptiles/Sea-Turtles/Leatherback-Sea-Turtle</a>

<p>Monarch Butterfly (<i>Danaus plexippus</i>)</p>	<p>Potential habitat present and no current survey conducted.</p>	<p>May affect, not likely to adversely affect</p>	<p>Habitat: Meadows, open fields and clearings with plants that provide floral resources, particularly milkweed.</p> <p>Notes: The project will implement the following voluntary conservation measures to benefit pollinators: plant native trees, shrubs, and flowering plants in landscaping, use plants that bloom spring through fall and remove/control invasive plant species present.</p> <p>Source(s): <a href="https://www.nwf.org/Educational-Resources/Wildlife-Guide/Invertebrates/Monarch-Butterfly">https://www.nwf.org/Educational-Resources/Wildlife-Guide/Invertebrates/Monarch-Butterfly</a></p> <p><a href="https://www.fs.fed.us/wildflowers/pollinators/Monarch_Butterfly/habitat/index.shtml">https://www.fs.fed.us/wildflowers/pollinators/Monarch_Butterfly/habitat/index.shtml</a></p>
<p>Neuse River Waterdog (<i>Necturus lewisii</i>)</p>	<p>No suitable habitat present.</p>	<p>No effect</p>	<p>Habitat: Slow moving portions of rivers and streams in the Tar-Pamlico and Neuse River basins.</p> <p>Notes: Site is not located within the Tar-Pamlico or Neuse River basins. Additionally, no rivers or streams are present at the Site.</p> <p>Source(s): <a href="https://www.fws.gov/southeast/wildlife/amphibians/neuse-river-waterdog/">https://www.fws.gov/southeast/wildlife/amphibians/neuse-river-waterdog/</a></p>
<p>Northern Long-eared Bat (<i>Myotis septentrionalis</i>)</p>	<p>Suitable habitat present.</p>	<p>May affect, not likely to adversely affect</p>	<p>Habitat: caves, mesic-hardwood, and floodplain forests</p> <p>Notes: Relying upon the findings of the 1/5/2016 Programmatic Biological Opinion for Final 4(d) Rule on the Northern Long-Eared Bat and Activities Exempted from Take Prohibitions to fulfill the project-specific section 7 responsibilities.</p> <p>Source(s):</p> <p><a href="https://www.fws.gov/midwest/endangered/mammals/nleb/nlebfactsheet.html">https://www.fws.gov/midwest/endangered/mammals/nleb/nlebfactsheet.html</a></p> <p><a href="https://www.dnr.state.mn.us/rsg/profile.html?action=elementDetail&amp;selectedElement=AMACC01150">https://www.dnr.state.mn.us/rsg/profile.html?action=elementDetail&amp;selectedElement=AMACC01150</a></p>
<p>Red-cockaded Woodpecker (<i>Picoides borealis</i>)</p>	<p>No suitable habitat present.</p>	<p>No effect</p>	<p>Habitat: Mature pine woodlands including longleaf and slash pine flatwoods.</p> <p>Notes: Site has a history of disturbance and does not contain old growth pine forests or pine woodlands.</p> <p>Source(s): <a href="https://www.fws.gov/rcwrecovery/rcw.html">https://www.fws.gov/rcwrecovery/rcw.html</a></p> <p><a href="https://www.allaboutbirds.org/guide/Red-cockaded_Woodpecker/lifehistory">https://www.allaboutbirds.org/guide/Red-cockaded_Woodpecker/lifehistory</a></p>

Red Knot ( <i>Calidris canutus rufa</i> )	No suitable habitat present.	No effect	Habitat: Tundra slopes, sedge meadows, lakeshores, estuaries, sandy beaches, tidal mudflats, and salt marshes  Notes: Site does not contain any of the species preferred habitats.  Source(s): <a href="https://www.allaboutbirds.org/guide/Red_Knot/lifehistory">https://www.allaboutbirds.org/guide/Red_Knot/lifehistory</a>  <a href="https://www.audubon.org/field-guide/bird/red-knot">https://www.audubon.org/field-guide/bird/red-knot</a>
Rough-leaved Loosestrife ( <i>Lysimachia asperulaefolia</i> )	No suitable habitat present.	No effect	Habitat: Longleaf pine savanna and pine pocosins, typically on wet peat soils  Notes: Wetlands are not present at the Site and sandy soils, not peat/organic soils are mapped at the site location by the NRCS Web Soil Survey.  Source(s): <a href="https://www.fws.gov/raleigh/species/es_rough-leaf_loosestrife.html">https://www.fws.gov/raleigh/species/es_rough-leaf_loosestrife.html</a>  <a href="https://www.ncplantfriends.org/roughleaf_loosestrife.html">https://www.ncplantfriends.org/roughleaf_loosestrife.html</a>
Sensitive Joint-vetch ( <i>Aeschynomene virginica</i> )	No suitable habitat present.	No effect	Habitat: Intertidal zone of coastal marshes and estuary portion of tidal rivers  Notes: No wetlands or coastal habitats are present at the Site.  Source(s): <a href="https://www.fws.gov/southeast/wildlife/plants/sensitive-joint-vetch/">https://www.fws.gov/southeast/wildlife/plants/sensitive-joint-vetch/</a>
West Indian Manatee ( <i>Trichechus manatus</i> )	No suitable habitat present.	No effect	Habitat: Warm coastal waters including bays, rivers and occasionally lakes.  Notes: No ocean waters or coastal habitats are present at the Site.  Source(s): <a href="https://www.fws.gov/southeast/wildlife/mammals/manatee/">https://www.fws.gov/southeast/wildlife/mammals/manatee/</a>  <a href="https://www.nwf.org/Educational-Resources/Wildlife-Guide/Mammals/West-Indian-Manatee">https://www.nwf.org/Educational-Resources/Wildlife-Guide/Mammals/West-Indian-Manatee</a>
Critical Habitat	No critical habitat present.	No effect	Source: IPaC Report (1/13/2022).
Bald Eagle	Unlikely to disturb nesting eagles.	No eagle act permit required	No nest(s) documented within project area.  Source: NC Natural Heritage Program Database query (1/14/2022).

Acknowledgement: I agree that the above information about my proposed project is true. I used all of the provided resources to make an informed decision about impacts in the immediate and surrounding areas.



Staff Scientist

1/27/2022

Date

---

Signature /Title

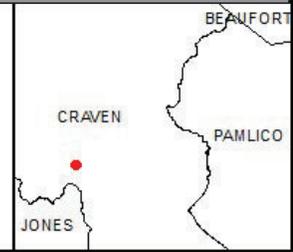


**Figure 6. Photo Location Map**

Palatine Meadows Project  
New Bern, Craven County, North Carolina



Source: ESRI World Street Map





**Photo 1:** View of the proposed project location, facing south.



**Photo 2:** View of the proposed project location along the Academic Drive right of way (ROW), facing north.



**Photo 3:** View of the proposed project location along the Academic Drive ROW, facing south.



**Photo 4:** View of the proposed project location, facing south.



**Photo 5:** View of the proposed project location, facing east.



**Photo 6:** View of the proposed project location, facing northeast.



**Photo 7:** View of the proposed project location and existing cell phone tower, facing northeast.



**Photo 8:** View of the proposed project location, facing northeast.



**Photo 9:** View of the proposed project location, facing west.



**Photo 10:** View of the former railroad location on the northern property line, facing west.

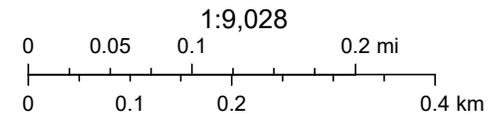
**Attachment J**  
**Farmland Protection**

# Palatine Meadows - Urbanized Areas



July 22, 2022

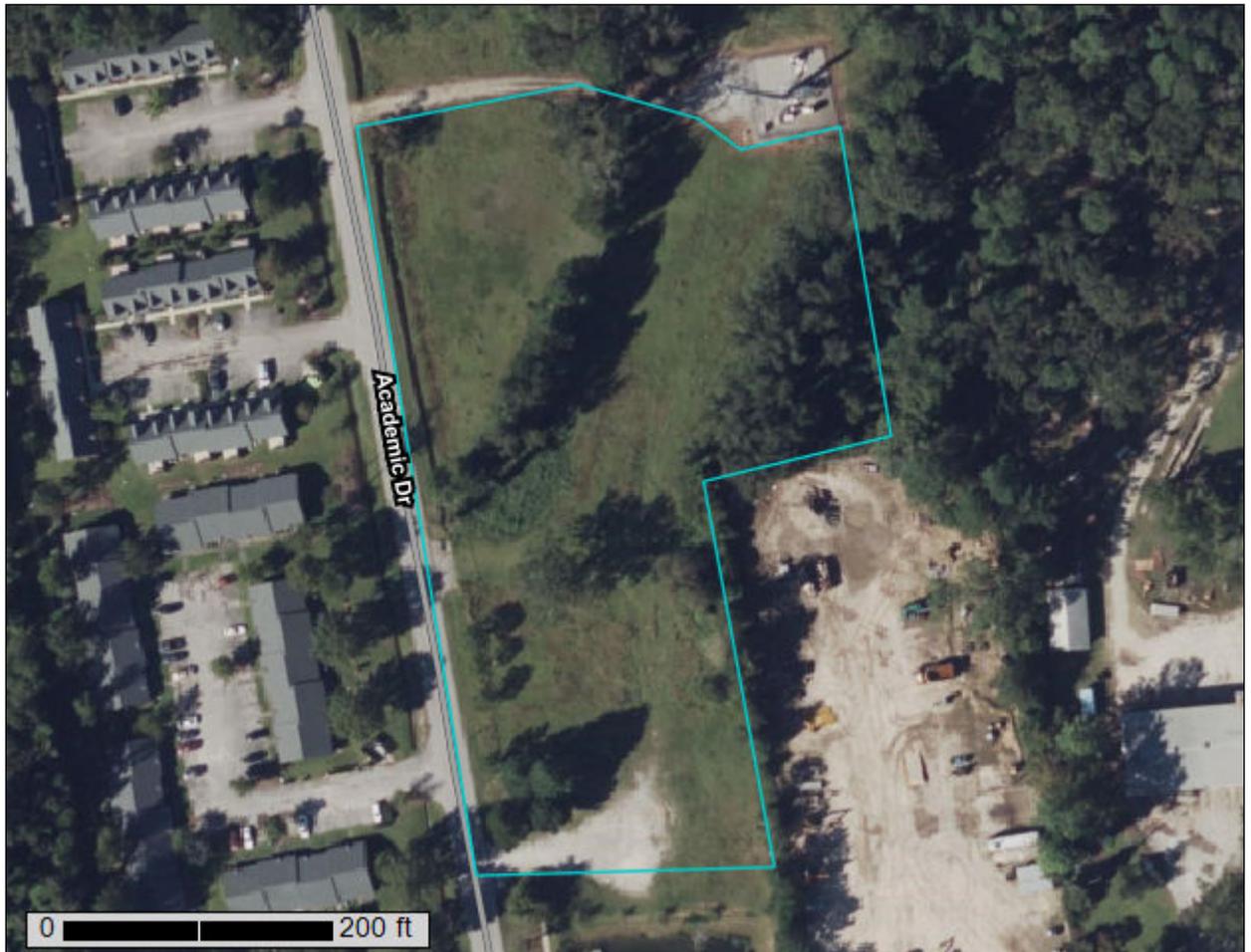
-  Palatine Meadows - Airports 15,000-foot Buffer
-  Urbanized Areas



NC CGIA, Maxar, Esri Community Maps Contributors, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph,

# Custom Soil Resource Report for Craven County, North Carolina

## Palatine Meadows



# Preface

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Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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# How Soil Surveys Are Made

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Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

## Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

## Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

# Soil Map

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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

# Custom Soil Resource Report Soil Map



### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)

**Soils**

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

**Special Point Features**

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Craven County, North Carolina  
 Survey Area Data: Version 25, Jan 21, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 1, 2020—Nov 21, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AuB	Autryville loamy sand, 0 to 6 percent slopes	0.1	2.2%
GoA	Goldsboro loamy fine sand, 0 to 2 percent slopes	2.0	54.0%
To	Torhunta fine sandy loam	1.6	43.8%
<b>Totals for Area of Interest</b>		<b>3.6</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The

## Custom Soil Resource Report

delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Craven County, North Carolina

### AuB—Autryville loamy sand, 0 to 6 percent slopes

#### Map Unit Setting

*National map unit symbol:* 3wf5

*Elevation:* 20 to 160 feet

*Mean annual precipitation:* 40 to 55 inches

*Mean annual air temperature:* 59 to 70 degrees F

*Frost-free period:* 200 to 280 days

*Farmland classification:* Farmland of statewide importance

#### Map Unit Composition

*Autryville and similar soils:* 85 percent

*Minor components:* 2 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Autryville

##### Setting

*Landform:* Flats on marine terraces, ridges on marine terraces

*Landform position (two-dimensional):* Summit, shoulder

*Landform position (three-dimensional):* Crest

*Down-slope shape:* Convex

*Across-slope shape:* Convex

*Parent material:* Sandy and loamy marine deposits

##### Typical profile

*A - 0 to 5 inches:* loamy fine sand

*E - 5 to 29 inches:* loamy sand

*Bt - 29 to 37 inches:* sandy loam

*E' - 37 to 42 inches:* sand

*B't - 42 to 80 inches:* sandy loam

##### Properties and qualities

*Slope:* 0 to 6 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Well drained

*Runoff class:* Very low

*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high  
(0.57 to 1.98 in/hr)

*Depth to water table:* About 48 to 72 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Available water supply, 0 to 60 inches:* Low (about 5.5 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 2s

*Hydrologic Soil Group:* A

*Hydric soil rating:* No

#### Minor Components

##### Muckalee, undrained

*Percent of map unit:* 2 percent

## Custom Soil Resource Report

*Landform:* Flood plains  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* Yes

### **GoA—Goldsboro loamy fine sand, 0 to 2 percent slopes**

#### **Map Unit Setting**

*National map unit symbol:* 3wfs  
*Elevation:* 20 to 330 feet  
*Mean annual precipitation:* 38 to 55 inches  
*Mean annual air temperature:* 59 to 70 degrees F  
*Frost-free period:* 200 to 280 days  
*Farmland classification:* All areas are prime farmland

#### **Map Unit Composition**

*Goldsboro and similar soils:* 90 percent  
*Minor components:* 6 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### **Description of Goldsboro**

##### **Setting**

*Landform:* Flats on marine terraces, broad interstream divides on marine terraces  
*Landform position (two-dimensional):* Summit  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Loamy marine deposits

##### **Typical profile**

*Ap - 0 to 10 inches:* loamy fine sand  
*BE - 10 to 13 inches:* fine sandy loam  
*Bt - 13 to 72 inches:* sandy clay loam  
*Cg - 72 to 80 inches:* clay loam

##### **Properties and qualities**

*Slope:* 0 to 2 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Moderately well drained  
*Runoff class:* Low  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high  
(0.57 to 1.98 in/hr)  
*Depth to water table:* About 24 to 36 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Moderate (about 7.7 inches)

##### **Interpretive groups**

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 2w  
*Hydrologic Soil Group:* B

## Custom Soil Resource Report

*Hydric soil rating:* No

### Minor Components

#### **Rains, undrained**

*Percent of map unit:* 5 percent

*Landform:* Flats on marine terraces, carolina bays on marine terraces, broad interstream divides on marine terraces

*Landform position (two-dimensional):* Summit

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Hydric soil rating:* Yes

#### **Muckalee, undrained**

*Percent of map unit:* 1 percent

*Landform:* Flood plains

*Down-slope shape:* Concave

*Across-slope shape:* Linear

*Hydric soil rating:* Yes

## To—Torhunta fine sandy loam

### Map Unit Setting

*National map unit symbol:* 3wh0

*Elevation:* 20 to 160 feet

*Mean annual precipitation:* 40 to 55 inches

*Mean annual air temperature:* 59 to 70 degrees F

*Frost-free period:* 200 to 280 days

*Farmland classification:* Prime farmland if drained

### Map Unit Composition

*Torhunta, drained, and similar soils:* 80 percent

*Torhunta, undrained, and similar soils:* 10 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Torhunta, Drained

#### **Setting**

*Landform:* Flats on marine terraces, carolina bays on marine terraces, depressions on stream terraces

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Parent material:* Sandy and loamy alluvium and/or fluviomarine deposits

#### **Typical profile**

*Ap - 0 to 12 inches:* mucky fine sandy loam

*Bg - 12 to 37 inches:* fine sandy loam

*Cg - 37 to 80 inches:* loamy sand

#### **Properties and qualities**

*Slope:* 0 to 2 percent

## Custom Soil Resource Report

*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Very poorly drained  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high  
(0.57 to 5.95 in/hr)  
*Depth to water table:* About 0 to 12 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Low (about 5.5 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 3w  
*Hydrologic Soil Group:* A/D  
*Hydric soil rating:* Yes

### Description of Torhunta, Undrained

#### Setting

*Landform:* Flats on marine terraces, carolina bays on marine terraces, depressions on stream terraces  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Sandy and loamy alluvium and/or fluviomarine deposits

#### Typical profile

*A - 0 to 12 inches:* mucky fine sandy loam  
*Bg - 12 to 37 inches:* fine sandy loam  
*Cg - 37 to 80 inches:* loamy sand

#### Properties and qualities

*Slope:* 0 to 2 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Very poorly drained  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high  
(0.57 to 5.95 in/hr)  
*Depth to water table:* About 0 to 12 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Low (about 5.5 inches)

#### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 6w  
*Hydrologic Soil Group:* A/D  
*Hydric soil rating:* Yes

# References

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- American Society for Testing and Materials (ASTM). 2005. Standard classification of soils for engineering purposes. ASTM Standard D2487-00.
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- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>

## Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2\\_054242](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242)

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**Attachment K**  
**Historic Preservation**



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor

Cassandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

February 16, 2022

Ms. Renee Gledhill-Earley  
Environmental Review Coordinator  
NC State Historic Preservation Office  
4617 Mail Service Center  
Raleigh, NC 27699-4617

Via email: [Environmental.Review@ncdcr.gov](mailto:Environmental.Review@ncdcr.gov)  
[renee.gledhill-earley@ncdcr.gov](mailto:renee.gledhill-earley@ncdcr.gov)

RE: State Historic Preservation Office Request for Concurrence  
Section 106 Review - HUD CDBG-DR Program  
Proposed Palatine Meadows  
4140 Academic Drive  
New Bern, NC 28562

Dear Ms. Gledhill-Earley:

In accordance with Section 106 of the National Historic Preservation Act (NHPA) and its implementing regulations, 36 CFR Part 800, we are providing information for your review and concurrence regarding the above-referenced project. The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and request for consultation.

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of a 5-acre parcel located at 4140 Academic Drive, New Bern, Craven County, NC 28562. A Project Review Memo further discussing the APE with proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Mailing Address:  
Post Office Box 110465  
Durham, NC 27709



Telephone: 984.833.5350  
[www.ncdps.gov](http://www.ncdps.gov)  
[www.rebuild.nc.gov](http://www.rebuild.nc.gov)

Proposed Project Description: Palatine Meadows is a proposed affordable housing community located at 4140 Academic Drive in New Bern, Craven County, North Carolina 28562. This newly constructed community will consist of a 60-unit affordable rental housing development. The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area that will require ground disturbance to install. The proposed project site plans are included in **Attachment 1**.

We have made a Finding of “*No Historic Properties Affected*” pursuant to 36 CFR 800.4(d)(1) based on the following:

A review of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office’s HPOWEB, and site review performed by Edwards-Pitman Environmental, Inc., identified no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project’s APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project’s APE due to a line of dense vegetation separating the two parcels (**Attachment 1**). Historic aerial imagery appears to indicate the Subject Property was previously used for farming (**Attachment 1**). The New Bern and Wilmington Railroad ran to the north of the current property line (**Attachment 1**). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the Subject Property. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 1**.

Attached for your review are copies of relevant documents supporting our finding, along with photographs and a map showing the location of the Subject Property. This documentation satisfies requirements set forth at §800.11(d).

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. A consultation request for the proposed project described herein will also be sent to the Catawba Indian Nation and Tuscarora Nation. In accordance with Section 101(d)(6)(B) of the NHPA of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action.

NCORR respectfully requests your review of the proposed project described herein. In accordance with §800.4(d)(1)(i), your office has *thirty days* to object to this finding. Please respond within this timeframe, otherwise we will assume that you concur with our finding. If you concur, please

sign on the line below and return a copy of this letter by email to Andrea Gievers at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov).

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov). Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM  
NCORR Environmental Subject Matter Expert

**Proposed Palatine Meadows Enclosures:**

Attachment 1: Project Review Memo from Edwards-Pitman Environmental, Inc.

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
- Figure 4. 1971 United States Geological Survey (USGS) topographic map of the project area
- Figure 5. View of the project area in 2007
- Figure 6. Photo Location Map
- Photos of Project Area

Concurrence:

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State Historic Preservation Officer

Date

**DATE:** January 18, 2022

**FROM:** Sarah Rogers, Senior Historian, Edwards-Pitman Environmental, Inc.  
2700 Cumberland Parkway, Atlanta, Georgia, 30339  
(770) 702-5098; srogers@edwards-pitman.com

**TO:** North Carolina Historic Preservation Office  
ATTN: Environmental Review

**SUBJECT:** Project Review Memo  
Palatine Meadows – 4140 Academic Drive, New Bern, Craven County

The proposed project consists of constructing a 60-unit affordable rental housing development targeting low-income family households. The subject proposal is to be located in the western portion of the city along the east side of Academic Drive, within walking distance of the New Bern High School and just north of Dr. Martin Luther King Jr. Boulevard (Bus. U.S. 17) (see Figure 1. Project Location Map). The 60 proposed units would be dispersed within three three-story detached buildings on the 5.0 acres (4.65 acres buildable) site. The project would also feature a one-story community building, green space, an approximate 75-space surface parking lot, and a stormwater retention pond. See Figure 2. Proposed Project Plan for specific areas of ground disturbance. This project review memo is being submitted in compliance with 24 CFR Part 58. The project is funded by a Housing and Urban Development (HUD) loan and Low Income Housing Tax Credits.

The area of potential effects (APE) for the historic resources screening was defined based on the project description, desktop and field reconnaissance of the project location, and a review of existing information on previously identified historic properties in the area. Consideration was also given to any visual, audible, and atmospheric effects the project might have on historic properties by taking into account factors such as existing vegetation and variations in topography.

Existing information on previously identified historic properties was consulted to determine if any are located within the APE of the proposed project. The review of existing information included the National Register of Historic Places (NRHP), National Historic Landmarks, the North Carolina Historic Preservation Office's Web Map (HPOWEB), Craven County tax assessor's records, historic aerial photography, topographic quadrangle maps, modern aerial photography, and modern street views.

Historic aerial imagery appears to indicate the site was previously used for farming (see Figure 2). The New Bern and Wilmington Railroad ran to the north of the current property line (see Figure 3). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the property (see Figure 4; Photo 7).

Based on a review of these sources, no properties listed or nominated for listing in the NRHP, no National Historic Landmarks, or other previously identified historic properties were identified within the proposed project's APE. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project's APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project's APE due to a line of dense vegetation separating the two parcels (see Photo 5-7). One former railroad corridor was

identified via historic topographical maps; however, no evidence of the tracks remains, and the former alignment was not evident during field survey (see Photo 10). Photographs of the proposed project location and APE are included below (see Photos 1-10).

As a result of these efforts, no properties 50 years old or older were identified within the proposed project's APE during the screening for historic resources and a Finding of No Historic Properties is recommended.

SMR/

Attachments:

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
- Figure 4. 1971 United States Geological Survey (USGS) topographic map of the project area
- Figure 5. View of the project area in 2007
- Figure 6. Photo Location Map
- Photos of Project Area

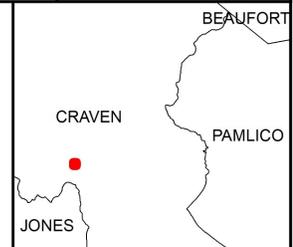


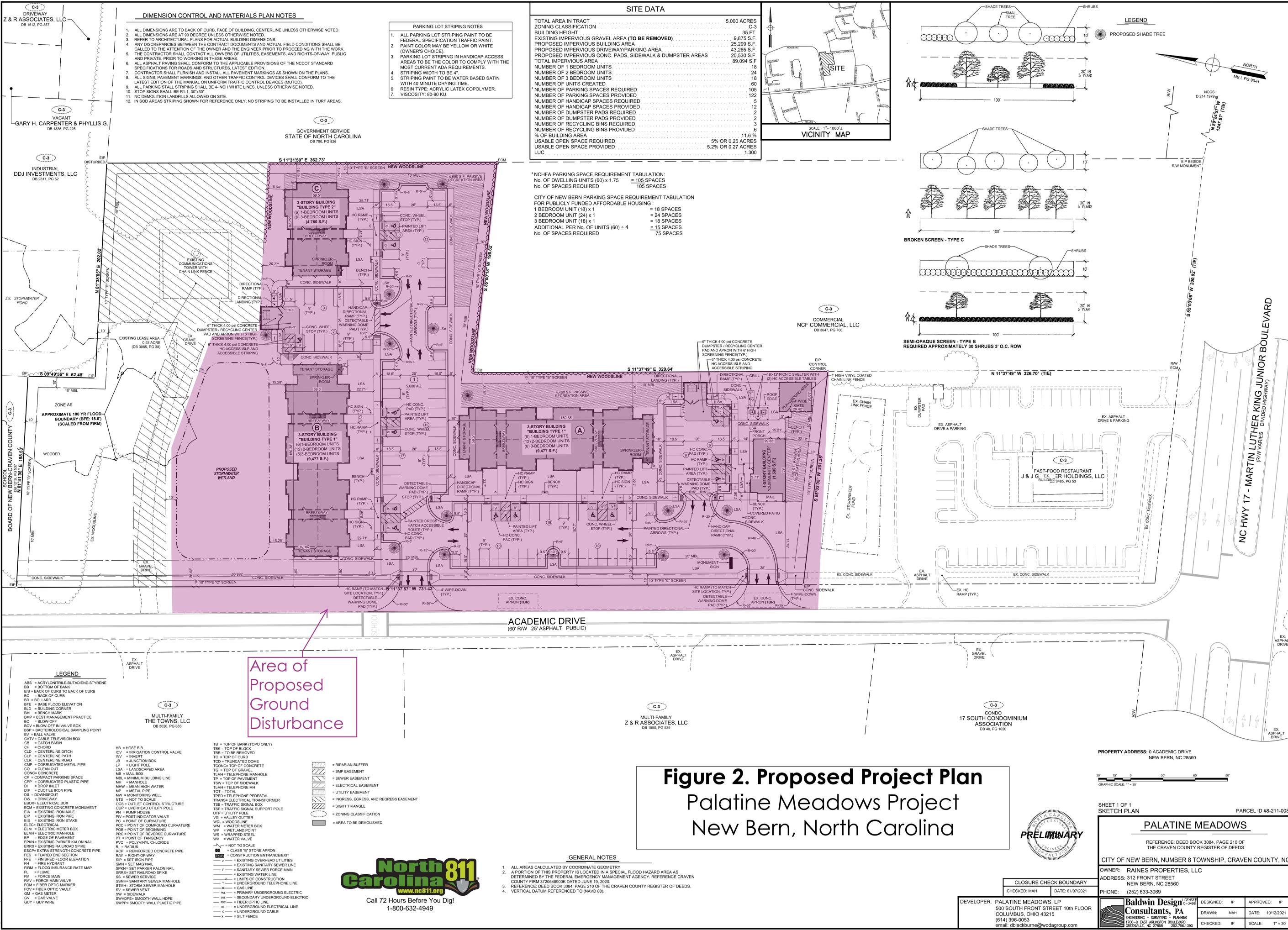
**Figure 1. Project Location Map**

Palatine Meadows Project  
 New Bern, North Carolina

0 80 160 320  
 Feet

Source: ESRI World Street Map





Area of Proposed Ground Disturbance

**Figure 2. Proposed Project Plan**  
 Palatine Meadows Project  
 New Bern, North Carolina

**LEGEND**

ABS = ACRYLONITRILE BUTADIENE-STYRENE	BB = BOTTOM OF BANK	BC = BACK OF CURB	BD = BOLLARD	BE = BASE FLOOD ELEVATION	BLD = BUILDING CORNER	BM = BEST MANAGEMENT PRACTICE	BO = BLOW-OFF	BOX = BLOW-OFF IN VALVE BOX	BSP = BACTERIOLOGICAL SAMPLING POINT	BV = BALL VALVE	CATV = CABLE TELEVISION BOX	CB = CATCH BASIN	CH = CHORD	CLD = CENTERLINE DITCH	CLP = CENTERLINE PATH	CLR = CENTERLINE ROAD	CMP = CORRUGATED METAL PIPE	CO = CLEAN OUT	CONC = CONCRETE	CPSP = COMPACT PARKING SPACE	CPP = CORRUGATED PLASTIC PIPE	DI = DROP INLET	DIP = DUCTILE IRON PIPE	DS = DOWNSPOUT	DW = DRIVEWAY	EOBX = ELECTRICAL BOX	ECM = EXISTING CONCRETE MONUMENT	EA = EXISTING IRON ANGLE	EIP = EXISTING IRON PIPE	ES = EXISTING STORM SEWER	ELEC = ELECTRICAL	ELM = ELECTRIC METER BOX	ELMH = ELECTRIC MANHOLE	EP = EDGE OF PAVEMENT	EPK = EXISTING PARKER KALON NAIL	ERRS = EXISTING RAILROAD SPIKE	ESCR = EXTRA STRENGTH CONCRETE PIPE	FES = FLARED END SECTION	FFE = FINISHED FLOOR ELEVATION	FR = FIRE HYDRANT	FRM = FLOOD INSURANCE RATE MAP	FL = FLOOR	FM = FORCE MAIN	FMV = FORCE MAIN VALVE	FOM = FIBER OPTIC MARKER	FOV = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GUW = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	NTC = NOT TO SCALE	OCS = OUTLET CONTROL STRUCTURE	OUP = OVERHEAD UTILITY POLE	PH = PUMP HOUSE	PIV = POST INDICATOR VALVE	PC = POINT OF CURVATURE	PCC = POINT OF COMPOUND CURVATURE	POB = POINT OF BEGINNING	PRC = POINT OF REVERSE CURVATURE	PT = POINT OF TANGENCY	SPK = EXISTING PARKER KALON NAIL	R = RADIUS	RCF = REINFORCED CONCRETE PIPE	RW = RIGHT-OF-WAY	SEP = SET IRON PIPE	SMN = SET MANHOLE	SPKN = SET PARKER KALON NAIL	SRK = SET RAILROAD SPIKE	SS = SEWER SERVICE	SSMH = SANITARY SEWER MANHOLE	STMH = STORM SEWER MANHOLE	SV = SEWER VENT	SW = SIDEWALK	SWHDP = SMOOTH WALL HDPE	SWPP = SMOOTH WALL PLASTIC PIPE	TB = TOP OF BANK (TOPO ONLY)	TBK = TOP OF BLOCK	TBR = TO BE REMOVED	TC = TOP OF CURB	TD = TRUNCATED DOME	TOCONC = TOP OF CONCRETE	TG = TOP OF GRAVEL	TLMH = TELEPHONE MANHOLE	TP = TOP OF PAVEMENT	TSW = TOP OF SIDEWALK	TLMH = TELEPHONE MH	TOT = TOTAL	TPED = TELEPHONE PEDESTAL	TRANS = ELECTRICAL TRANSFORMER	TSB = TRAFFIC SIGNAL BOX	TSP = TRAFFIC SIGNAL SUPPORT POLE	UTP = UTILITY POLE	WOL = WOODS LINE	WM = WATER METER BOX	WP = WETLAND POINT	WS = WRAPPED STEEL	WW = WATER VALVE	NOT TO SCALE	CLASS 8" STONE APRON	CONSTRUCTION ENTRANCE/EXIT	EXISTING OVERHEAD UTILITIES	EXISTING SANITARY SEWER LINE	SANITARY SEWER FORCE MAIN	EXISTING WATER LINE	LIMITS OF CONSTRUCTION	UNDERGROUND TELEPHONE LINE	GAS LINE	PRIMARY UNDERGROUND ELECTRIC	SECONDARY UNDERGROUND ELECTRIC	FIBER OPTIC LINE	UNDERGROUND ELECTRICAL LINE	UNDERGROUND CABLE	SILT FENCE
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- GENERAL NOTES**
- ALL AREAS CALCULATED BY COORDINATE GEOMETRY.
  - A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. REFERENCE CRAVEN COUNTY FIRM 3720548900K DATED JUNE 19, 2020.
  - REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS.
  - VERTICAL DATUM REFERENCED TO (NAVD 88).



**PROPERTY ADDRESS:** 0 ACADEMIC DRIVE  
NEW BERN, NC 28560

**SCALE:** 1" = 30'

**SHEET 1 OF 1**  
SKETCH PLAN PARCEL ID #6-211-008

**PALATINE MEADOWS**

REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS

**OWNER:** RAINES PROPERTIES, LLC  
**ADDRESS:** 312 FRONT STREET  
 NEW BERN, NC 28560  
**PHONE:** (252) 633-3069

**DEVELOPER:** PALATINE MEADOWS, LP  
 500 SOUTH FRONT STREET 10th FLOOR  
 COLUMBUS, OHIO 43215  
 (614) 396-0053  
 email: dblackburne@wodagroup.com

**Baldwin Design Consultants, Inc.**  
 ENGINEERING - SURVEYING - PLANNING  
 1700-C EAST ARNOLD BOLLWING  
 GREENVILLE, NC 27689 252.756.1390

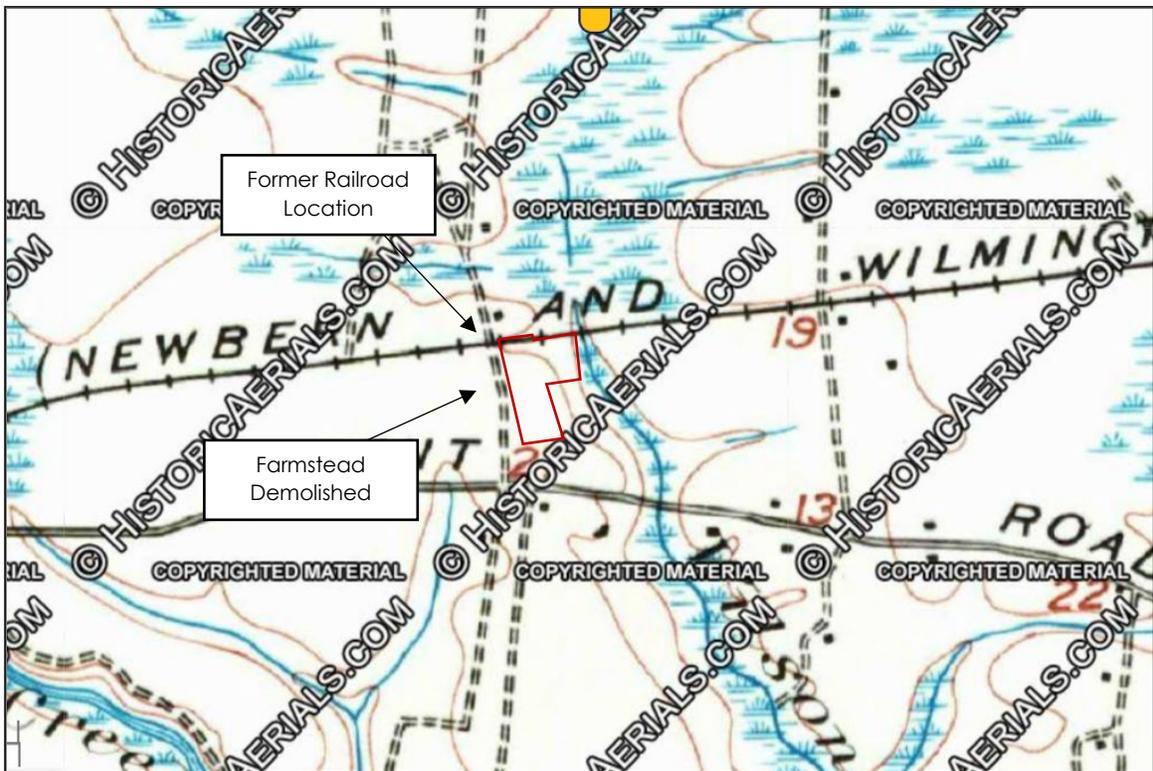
**CLOSURE CHECK BOUNDARY**  
 CHECKED: MAH DATE: 01/07/2021

**DESIGNED:** IP **APPROVED:** IP  
**DRAWN:** MAH **DATE:** 10/12/2021  
**CHECKED:** IP **SCALE:** 1" = 30'

email: admin@baldwindesignconsultants.com



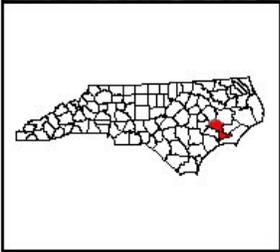
**Figure 3.** View of the project area in 1955. Source: Historic Aerials. *Note:* Red outline indicates approximate proposed project location.



**Figure 4.** 1971 USGS topographic map of the project area. Source: Historic Aerials.



**Figure 5.** View of the project area in 2007. Source: Google Earth Pro.

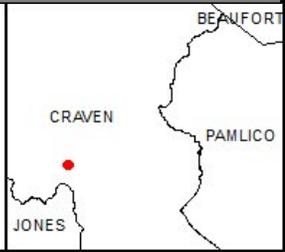


**Figure 6. Photo Location Map**

Palatine Meadows Project  
New Bern, Craven County, North Carolina



Source: ESRI World Street Map





**Photo 1:** View of the proposed project location, facing south.



**Photo 2:** View of the proposed project location along the Academic Drive right of way (ROW), facing north.



**Photo 3:** View of the proposed project location along the Academic Drive ROW, facing south.



**Photo 4:** View of the proposed project location, facing south.



**Photo 5:** View of the proposed project location, facing east.



**Photo 6:** View of the proposed project location, facing northeast.



**Photo 7:** View of the proposed project location and existing cell phone tower, facing northeast.



**Photo 8:** View of the proposed project location, facing northeast.



**Photo 9:** View of the proposed project location, facing west.



**Photo 10:** View of the former railroad location on the northern property line, facing west.



**North Carolina Department of Natural and Cultural Resources  
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper  
Secretary D. Reid Wilson

Office of Archives and History  
Deputy Secretary, Darin J. Waters, Ph.D.

April 11, 2022

**MEMORANDUM**

**TO:** Crystal Best [crystal.best@doa.nc.gov](mailto:crystal.best@doa.nc.gov)  
North Carolina State Clearinghouse  
Department of Administration

**FROM:** Ramona M. Bartos, Deputy  
State Historic Preservation Officer *RMB for Ramona M. Bartos*

**SUBJECT:** Construct Palatine Meadows residential subdivision, 4140 Academic Drive, New Bern,  
Craven County, 22-E-4600-0174, ER 22-0567

Thank you for your email of February 17, 2022, concerning the above project.

We have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we have no comment on the project as proposed.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-814-6579 or [environmental.review@ncdcr.gov](mailto:environmental.review@ncdcr.gov). In all future communication concerning this project, please cite the above referenced tracking number



# Tribal Directory Assessment Information



## Contact Information for Tribes with Interests in Craven County, North Carolina

Tribal Name		County Name	
- Catawba Indian Nation			
Contact Name	Title	Mailing Address	Work Phone
Dr. Wenonah G. Haire	THPO and Catawba Cultural Center Executive Director	1536 Tom Steven Road Rock Hill, SC 29730	(803) 328-2427 ext. 224
Bill Harris	Chief	996 Avenue of the Nations Rock Hill, SC 29730	(803) 366-4792
- Tuscarora Nation			
Contact Name	Title	Mailing Address	Work Phone
Bryan Printup	Representative	5226 Walmore Rd Lewiston, NY 14092	(716) 264-6011
Leo Henry	Chief	2006 Mt Hope Rd Lewiston, NY 14092	(716) 601-4737

1 - 2 of 2 results

« < 1 > » 10 ▾

Chief Leo Henry has passed away. A Section 106 Review package was sent to the same address listed above.



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor  
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

February 17, 2022

Chief Bill Harris  
Catawba Indian Nation  
996 Avenue of the Nations  
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program  
Proposed Palatine Meadows  
4140 Academic Drive  
New Bern, NC 28562

Dear Chief Bill Harris:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation.

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

**Mailing Address:**  
Post Office Box 110465  
Durham, NC 27709



**Phone: (984) 833-5350**  
[www.ncdps.gov](http://www.ncdps.gov)  
[www.rebuild.nc.gov](http://www.rebuild.nc.gov)

*An Equal Opportunity Employer*

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of a 5-acre parcel located at 4140 Academic Drive, New Bern, Craven County, NC 28562. A Project Review Memo further discussing the APE with proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Proposed Project Description: Palatine Meadows is a proposed affordable housing community located at 4140 Academic Drive in New Bern, Craven County, North Carolina 28562. This newly constructed community will consist of a 60-unit affordable rental housing development. The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area that will require ground disturbance to install. The proposed project site plans are included in **Attachment 1**.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office's (NC SHPO) HPOWEB, and site review performed by Edwards-Pitman Environmental, Inc., identified no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project's APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project's APE due to a line of dense vegetation separating the two parcels (**Attachment 1**).

The proposed project information has been submitted to the NC SHPO and the Tuscarora Nation in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800. Historic aerial imagery appears to indicate the Subject Property was previously used for farming (**Attachment 1**). The New Bern and Wilmington Railroad ran to the north of the current property line (**Attachment 1**). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the Subject Property. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 1**.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov) or in writing to the address listed below.

Ms. Andrea Gievers  
NCORR - Environmental  
ATTN: THPO Comments  
P.O. Box 110465  
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov). Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM  
NCORR Environmental Subject Matter Expert

**Proposed Palatine Meadows Enclosures:**

Attachment 1: Project Review Memo from Edwards-Pitman Environmental, Inc.

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
- Figure 4. 1971 United States Geological Survey (USGS) topographic map of the project area
- Figure 5. View of the project area in 2007
- Figure 6. Photo Location Map
- Photos of Project Area

cc: Dr. Wenonah George Haire, THPO, Catawba Indian Nation, 1536 Tom Steven Road, Rock Hill, SC 29730

**DATE:** January 18, 2022

**FROM:** Sarah Rogers, Senior Historian, Edwards-Pitman Environmental, Inc.  
2700 Cumberland Parkway, Atlanta, Georgia, 30339  
(770) 702-5098; srogers@edwards-pitman.com

**TO:** North Carolina Historic Preservation Office  
ATTN: Environmental Review

**SUBJECT:** Project Review Memo  
Palatine Meadows – 4140 Academic Drive, New Bern, Craven County

The proposed project consists of constructing a 60-unit affordable rental housing development targeting low-income family households. The subject proposal is to be located in the western portion of the city along the east side of Academic Drive, within walking distance of the New Bern High School and just north of Dr. Martin Luther King Jr. Boulevard (Bus. U.S. 17) (see Figure 1. Project Location Map). The 60 proposed units would be dispersed within three three-story detached buildings on the 5.0 acres (4.65 acres buildable) site. The project would also feature a one-story community building, green space, an approximate 75-space surface parking lot, and a stormwater retention pond. See Figure 2. Proposed Project Plan for specific areas of ground disturbance. This project review memo is being submitted in compliance with 24 CFR Part 58. The project is funded by a Housing and Urban Development (HUD) loan and Low Income Housing Tax Credits.

The area of potential effects (APE) for the historic resources screening was defined based on the project description, desktop and field reconnaissance of the project location, and a review of existing information on previously identified historic properties in the area. Consideration was also given to any visual, audible, and atmospheric effects the project might have on historic properties by taking into account factors such as existing vegetation and variations in topography.

Existing information on previously identified historic properties was consulted to determine if any are located within the APE of the proposed project. The review of existing information included the National Register of Historic Places (NRHP), National Historic Landmarks, the North Carolina Historic Preservation Office's Web Map (HPOWEB), Craven County tax assessor's records, historic aerial photography, topographic quadrangle maps, modern aerial photography, and modern street views.

Historic aerial imagery appears to indicate the site was previously used for farming (see Figure 2). The New Bern and Wilmington Railroad ran to the north of the current property line (see Figure 3). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the property (see Figure 4; Photo 7).

Based on a review of these sources, no properties listed or nominated for listing in the NRHP, no National Historic Landmarks, or other previously identified historic properties were identified within the proposed project's APE. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project's APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project's APE due to a line of dense vegetation separating the two parcels (see Photo 5-7). One former railroad corridor was

identified via historic topographical maps; however, no evidence of the tracks remains, and the former alignment was not evident during field survey (see Photo 10). Photographs of the proposed project location and APE are included below (see Photos 1-10).

As a result of these efforts, no properties 50 years old or older were identified within the proposed project's APE during the screening for historic resources and a Finding of No Historic Properties is recommended.

SMR/

Attachments:

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
- Figure 4. 1971 United States Geological Survey (USGS) topographic map of the project area
- Figure 5. View of the project area in 2007
- Figure 6. Photo Location Map
- Photos of Project Area



**Legend**

Site Location

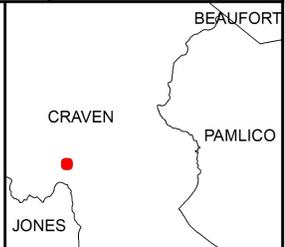


**Figure 1. Project Location Map**

Palatine Meadows Project  
 New Bern, North Carolina

0 80 160 320  
 Feet

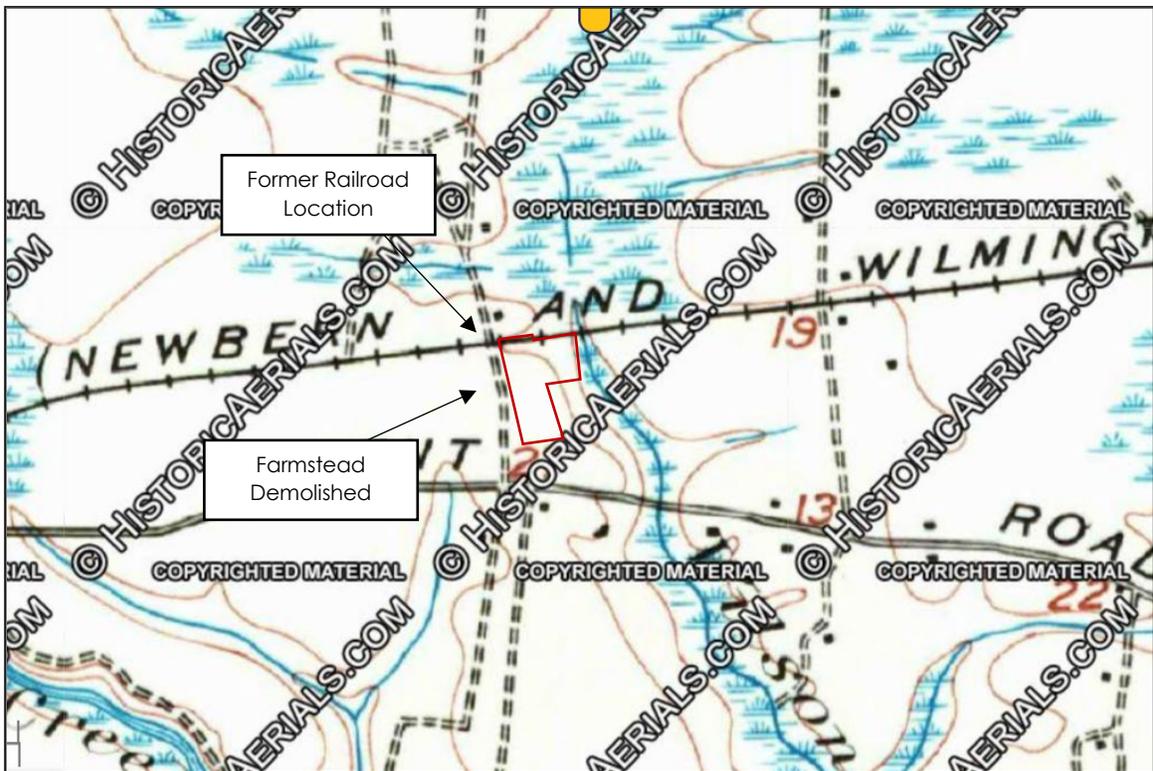
Source: ESRI World Street Map







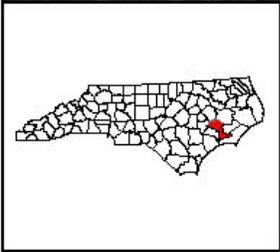
**Figure 3.** View of the project area in 1955. Source: Historic Aerials. *Note:* Red outline indicates approximate proposed project location.



**Figure 4.** 1971 USGS topographic map of the project area. Source: Historic Aerials.



**Figure 5.** View of the project area in 2007. Source: Google Earth Pro.

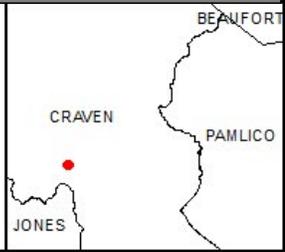


**Figure 6. Photo Location Map**

Palatine Meadows Project  
New Bern, Craven County, North Carolina



Source: ESRI World Street/Map





**Photo 1:** View of the proposed project location, facing south.



**Photo 2:** View of the proposed project location along the Academic Drive right of way (ROW), facing north.



**Photo 3:** View of the proposed project location along the Academic Drive ROW, facing south.



**Photo 4:** View of the proposed project location, facing south.



**Photo 5:** View of the proposed project location, facing east.



**Photo 6:** View of the proposed project location, facing northeast.



**Photo 7:** View of the proposed project location and existing cell phone tower, facing northeast.



**Photo 8:** View of the proposed project location, facing northeast.



**Photo 9:** View of the proposed project location, facing west.



**Photo 10:** View of the former railroad location on the northern property line, facing west.



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor  
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

February 17, 2022

Dr. Wenonah George Haire  
ATTN: THPO  
Catawba Indian Nation  
1536 Tom Steven Road  
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program  
Proposed Palatine Meadows  
4140 Academic Drive  
New Bern, NC 28562

Dear Dr. Wenonah George Haire:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation.

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**Mailing Address:**  
Post Office Box 110465  
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**Phone: (984) 833-5350**  
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*An Equal Opportunity Employer*

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Ms. Andrea Gievers  
NCORR - Environmental  
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P.O. Box 110465  
Durham, NC 27709

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Sincerely,



Andrea Gievers, JD, MSEL, ERM  
NCORR Environmental Subject Matter Expert

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cc: Chief Bill Harris, Catawba Indian Nation, 996 Avenue of the Nations, Rock Hill, SC 29730

**DATE:** January 18, 2022

**FROM:** Sarah Rogers, Senior Historian, Edwards-Pitman Environmental, Inc.  
2700 Cumberland Parkway, Atlanta, Georgia, 30339  
(770) 702-5098; srogers@edwards-pitman.com

**TO:** North Carolina Historic Preservation Office  
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**SUBJECT:** Project Review Memo  
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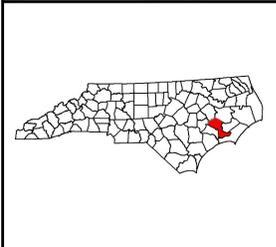
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SMR/

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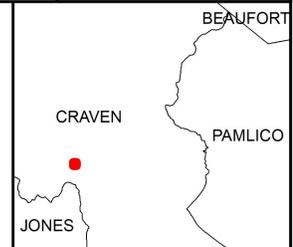


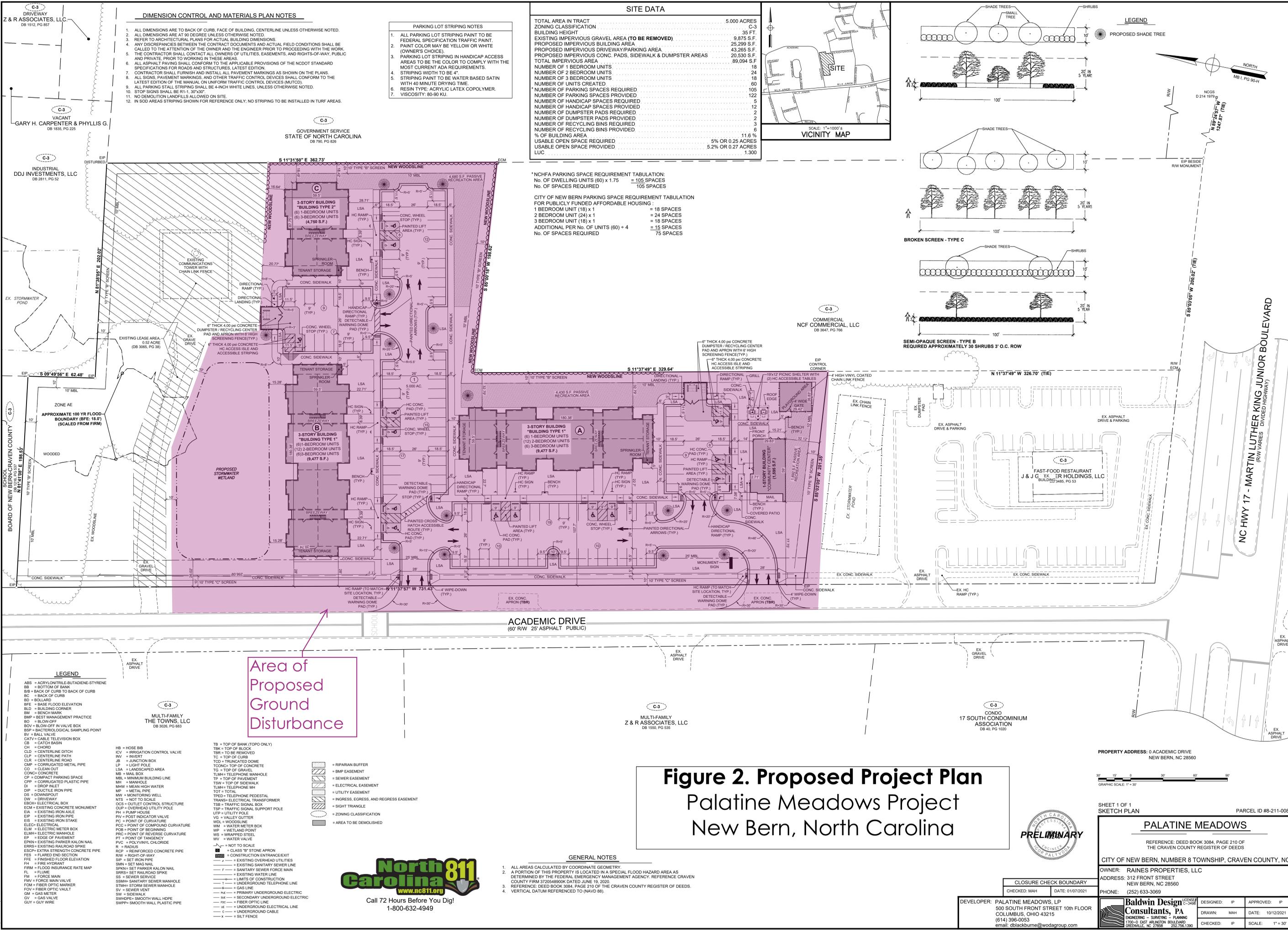
**Figure 1. Project Location Map**

Palatine Meadows Project  
 New Bern, North Carolina

0 80 160 320  
 Feet

Source: ESRI World Street Map





**DIMENSION CONTROL AND MATERIALS PLAN NOTES**

- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING, CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ALL ASPHALT PAVING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALL STRIPING SHALL BE 4-INCH WHITE LINES, UNLESS OTHERWISE NOTED.
- STOP SIGNS SHALL BE R-1, 30"x30".
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.
- IN SCD AREAS STRIPING SHOWN FOR REFERENCE ONLY, NO STRIPING TO BE INSTALLED IN TURF AREAS.

**PARKING LOT STRIPING NOTES**

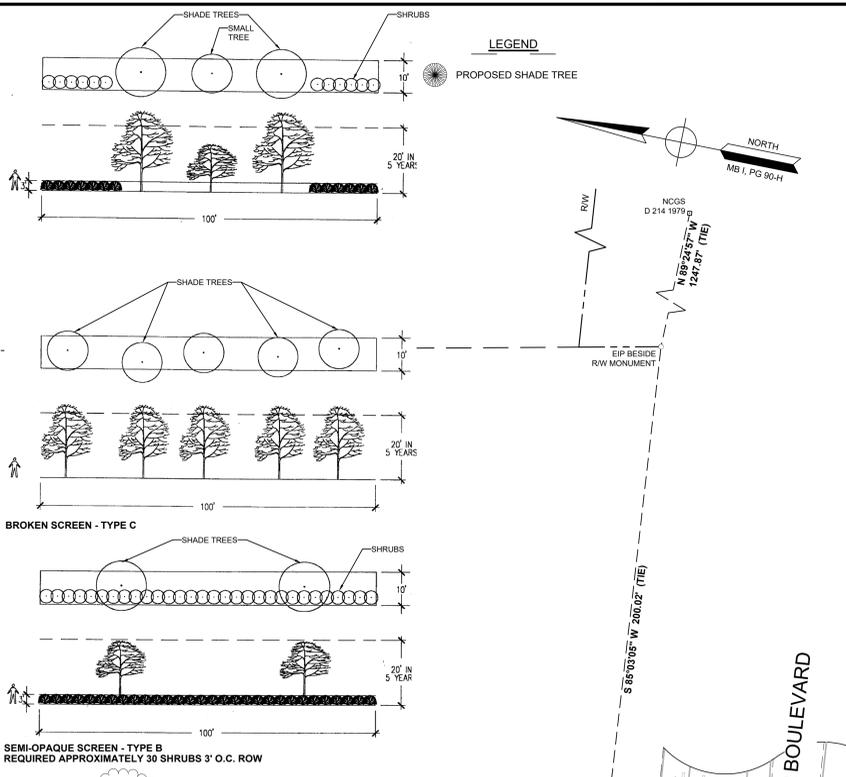
- ALL PARKING LOT STRIPING PAINT TO BE FEDERAL SPECIFICATION TRAFFIC PAINT.
- PAINT COLOR MAY BE YELLOW OR WHITE (OWNER'S CHOICE).
- PARKING LOT STRIPING IN HANDICAP ACCESS AREAS TO BE THE COLOR TO COMPLY WITH THE MOST CURRENT ADA REQUIREMENTS.
- STRIPING WIDTH TO BE 4".
- STRIPING PAINT TO BE WATER BASED SATIN WITH 40 MINUTE DRYING TIME.
- RESIN TYPE: ACRYLIC LATEX COPOLYMER.
- VISCOSITY: 80-90 KU.

**SITE DATA**

TOTAL AREA IN TRACT	5,000 ACRES
ZONING CLASSIFICATION	C-3
BUILDING HEIGHT	35 FT.
EXISTING IMPERVIOUS GRAVEL AREA (TO BE REMOVED)	9,875 S.F.
PROPOSED IMPERVIOUS BUILDING AREA	25,299 S.F.
PROPOSED IMPERVIOUS DRIVEWAY/PARKING AREA	43,265 S.F.
PROPOSED IMPERVIOUS CONC. PADS, SIDEWALK & DUMPSTER AREAS	20,530 S.F.
TOTAL IMPERVIOUS AREA	89,094 S.F.
NUMBER OF 1 BEDROOM UNITS	18
NUMBER OF 2 BEDROOM UNITS	24
NUMBER OF 3 BEDROOM UNITS	18
NUMBER OF UNITS CREATED	60
NUMBER OF PARKING SPACES REQUIRED	105
NUMBER OF HANDICAP SPACES REQUIRED	12
NUMBER OF DUMPSTER PADS PROVIDED	2
NUMBER OF DUMPSTER SPACES PROVIDED	2
NUMBER OF RECYCLING BINS REQUIRED	2
NUMBER OF RECYCLING BINS PROVIDED	6
% OF BUILDING AREA	11.6 %
USABLE OPEN SPACE REQUIRED	5.2% OR 0.25 ACRES
USABLE OPEN SPACE PROVIDED	1.300

\*NCHPA PARKING SPACE REQUIREMENT TABULATION:  
 No. OF DWELLING UNITS (60) x 1.75 = 105 SPACES  
 No. OF SPACES REQUIRED = 105 SPACES

CITY OF NEW BERN PARKING SPACE REQUIREMENT TABULATION FOR PUBLICLY FUNDED AFFORDABLE HOUSING  
 1 BEDROOM UNIT (18) x 1 = 18 SPACES  
 2 BEDROOM UNIT (24) x 1 = 24 SPACES  
 3 BEDROOM UNIT (18) x 1 = 18 SPACES  
 ADDITIONAL PER No. OF UNITS (60) + 4 = 15 SPACES  
 No. OF SPACES REQUIRED = 75 SPACES



Area of Proposed Ground Disturbance

**Figure 2. Proposed Project Plan**  
 Palatine Meadows Project  
 New Bern, North Carolina

**GENERAL NOTES**

- ALL AREAS CALCULATED BY COORDINATE GEOMETRY.
- A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. REFERENCE CRAVEN COUNTY FIRM 3720548900K DATED JUNE 19, 2020.
- REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS.
- VERTICAL DATUM REFERENCED TO (NAVD 88).



PROPERTY ADDRESS: 0 ACADEMIC DRIVE  
 NEW BERN, NC 28560

GRAPHIC SCALE: 1" = 30'

SHEET 1 OF 1  
 SKETCH PLAN PARCEL ID #8-211-008

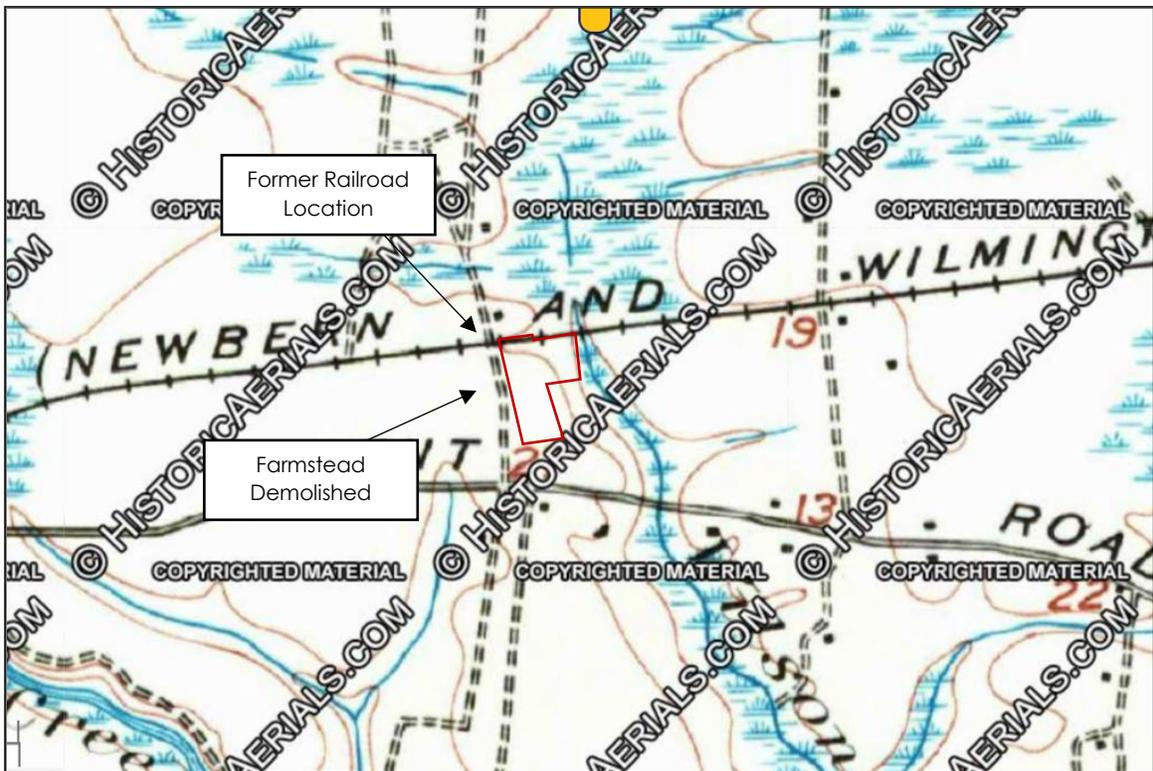
**PALATINE MEADOWS**  
 REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS  
 OWNER: RAINES PROPERTIES, LLC  
 ADDRESS: 312 FRONT STREET  
 NEW BERN, NC 28560  
 PHONE: (252) 633-3069

CLOSURE CHECK BOUNDARY		CHECKED: MAH	DATE: 01/07/2021
DEVELOPER: PALATINE MEADOWS, LP 500 SOUTH FRONT STREET 10th FLOOR COLUMBUS, OHIO 43215 (614) 396-0053 email: dblackburne@wodagroup.com	DESIGNED: IP DRAWN: MAH CHECKED: IP	DATE: 10/12/2021	APPROVED: IP SCALE: 1" = 30'

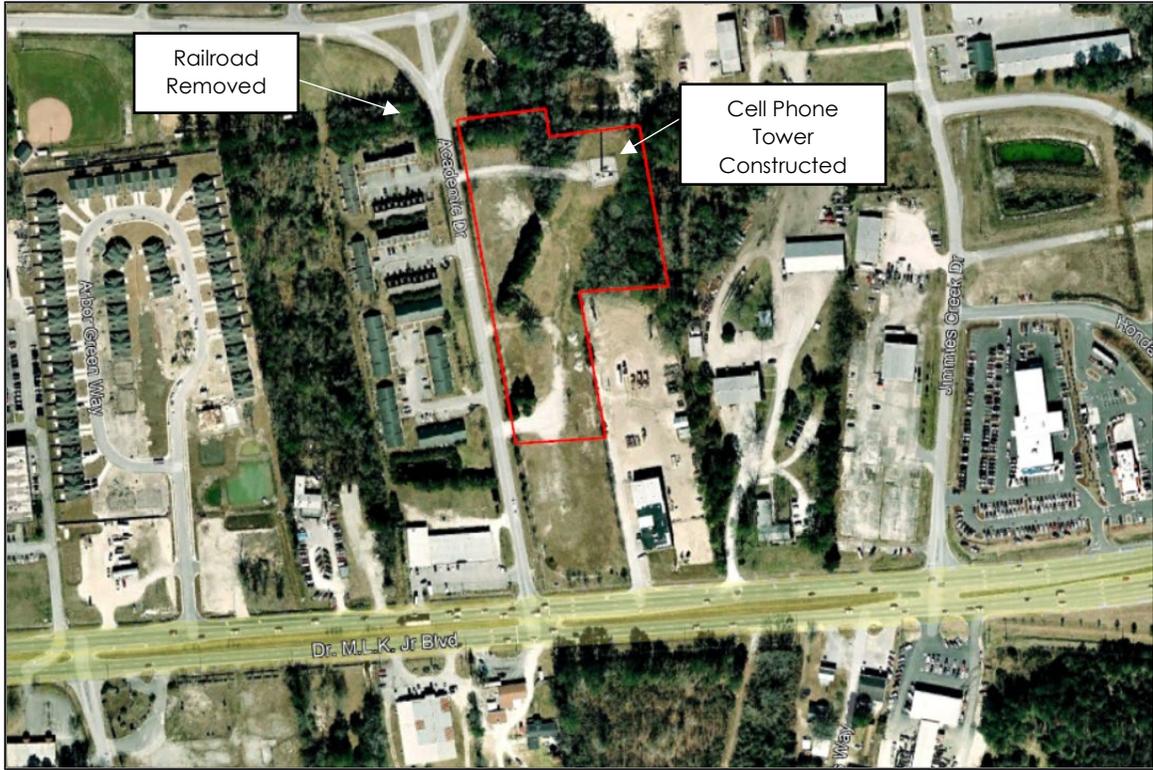
**Baldwin Design Consultants, Inc.**  
 ENGINEERING - SURVEYING - PLANNING  
 1700-C EAST ARNOLD BOLLING RD  
 GREENVILLE, NC 27689 252.756.1390  
 email: admin@baldwindesignconsultants.com



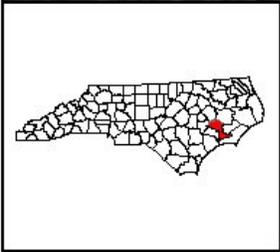
**Figure 3.** View of the project area in 1955. Source: Historic Aerials. *Note:* Red outline indicates approximate proposed project location.



**Figure 4.** 1971 USGS topographic map of the project area. Source: Historic Aerials.



**Figure 5.** View of the project area in 2007. Source: Google Earth Pro.

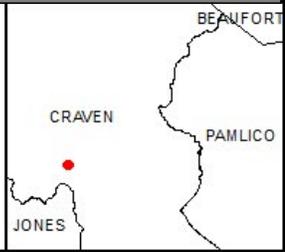


**Figure 6. Photo Location Map**

Palatine Meadows Project  
New Bern, Craven County, North Carolina



Source: ESRI World Street/Map





**Photo 1:** View of the proposed project location, facing south.



**Photo 2:** View of the proposed project location along the Academic Drive right of way (ROW), facing north.



**Photo 3:** View of the proposed project location along the Academic Drive ROW, facing south.



**Photo 4:** View of the proposed project location, facing south.



**Photo 5:** View of the proposed project location, facing east.



**Photo 6:** View of the proposed project location, facing northeast.



**Photo 7:** View of the proposed project location and existing cell phone tower, facing northeast.



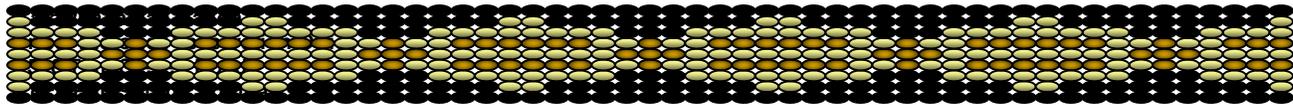
**Photo 8:** View of the proposed project location, facing northeast.



**Photo 9:** View of the proposed project location, facing west.



**Photo 10:** View of the former railroad location on the northern property line, facing west.



Office 803-328-2427

March 15, 2022

Attention: Andrea Gievers  
NC Department of Public Safety  
P.O. Box 110465  
Durham, NC 27709

Re. THPO #	TCNS #	Project Description
2022-1119-10		Proposed Palatine Meadows – 4140 Academic Drive, New Bern, NC

Dear Ms. Gievers,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail [Caitlin.Rogers@catawba.com](mailto:Caitlin.Rogers@catawba.com).

Sincerely,

Wenonah G. Haire  
Tribal Historic Preservation Officer



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor  
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

February 17, 2022

Section 106 Review Team  
Tuscarora Nation  
2006 Mount Hope Road  
Lewiston, NY 14092

Sent via email: [BPrintup@hetf.org](mailto:BPrintup@hetf.org)

RE: Section 106 Review - HUD CDBG-DR Program  
Proposed Palatine Meadows  
4140 Academic Drive  
New Bern, NC 28562

Dear Representative:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation.

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

Mailing Address:  
Post Office Box 110465  
Durham, NC 27709



Telephone: 984.833.5350  
[www.ncdps.gov](http://www.ncdps.gov)  
[www.rebuild.nc.gov](http://www.rebuild.nc.gov)

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of a 5-acre parcel located at 4140 Academic Drive, New Bern, Craven County, NC 28562. A Project Review Memo further discussing the APE with proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Proposed Project Description: Palatine Meadows is a proposed affordable housing community located at 4140 Academic Drive in New Bern, Craven County, North Carolina 28562. This newly constructed community will consist of a 60-unit affordable rental housing development. The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area that will require ground disturbance to install. The proposed project site plans are included in **Attachment 1**.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office's (NC SHPO) HPOWEB, and site review performed by Edwards-Pitman Environmental, Inc., identified no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project's APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project's APE due to a line of dense vegetation separating the two parcels (**Attachment 1**).

The proposed project information has been submitted to the NC SHPO and the Catawba Indian Nation in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800. Historic aerial imagery appears to indicate the Subject Property was previously used for farming (**Attachment 1**). The New Bern and Wilmington Railroad ran to the north of the current property line (**Attachment 1**). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the Subject Property. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 1**.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov) or in writing to the address listed below.

Ms. Andrea Gievers  
NCORR - Environmental  
ATTN: THPO Comments  
P.O. Box 110465  
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov). Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM  
NCORR Environmental Subject Matter Expert

**Proposed Palatine Meadows Enclosures:**

Attachment 1: Project Review Memo from Edwards-Pitman Environmental, Inc.

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
- Figure 4. 1971 United States Geological Survey (USGS) topographic map of the project area
- Figure 5. View of the project area in 2007
- Figure 6. Photo Location Map
- Photos of Project Area

cc: Mr. Bryan Printup, THPO, 5226 Walmore Road, Lewiston, NY 14092 via email

**DATE:** January 18, 2022

**FROM:** Sarah Rogers, Senior Historian, Edwards-Pitman Environmental, Inc.  
2700 Cumberland Parkway, Atlanta, Georgia, 30339  
(770) 702-5098; srogers@edwards-pitman.com

**TO:** North Carolina Historic Preservation Office  
ATTN: Environmental Review

**SUBJECT:** Project Review Memo  
Palatine Meadows – 4140 Academic Drive, New Bern, Craven County

The proposed project consists of constructing a 60-unit affordable rental housing development targeting low-income family households. The subject proposal is to be located in the western portion of the city along the east side of Academic Drive, within walking distance of the New Bern High School and just north of Dr. Martin Luther King Jr. Boulevard (Bus. U.S. 17) (see Figure 1. Project Location Map). The 60 proposed units would be dispersed within three three-story detached buildings on the 5.0 acres (4.65 acres buildable) site. The project would also feature a one-story community building, green space, an approximate 75-space surface parking lot, and a stormwater retention pond. See Figure 2. Proposed Project Plan for specific areas of ground disturbance. This project review memo is being submitted in compliance with 24 CFR Part 58. The project is funded by a Housing and Urban Development (HUD) loan and Low Income Housing Tax Credits.

The area of potential effects (APE) for the historic resources screening was defined based on the project description, desktop and field reconnaissance of the project location, and a review of existing information on previously identified historic properties in the area. Consideration was also given to any visual, audible, and atmospheric effects the project might have on historic properties by taking into account factors such as existing vegetation and variations in topography.

Existing information on previously identified historic properties was consulted to determine if any are located within the APE of the proposed project. The review of existing information included the National Register of Historic Places (NRHP), National Historic Landmarks, the North Carolina Historic Preservation Office's Web Map (HPOWEB), Craven County tax assessor's records, historic aerial photography, topographic quadrangle maps, modern aerial photography, and modern street views.

Historic aerial imagery appears to indicate the site was previously used for farming (see Figure 2). The New Bern and Wilmington Railroad ran to the north of the current property line (see Figure 3). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the property (see Figure 4; Photo 7).

Based on a review of these sources, no properties listed or nominated for listing in the NRHP, no National Historic Landmarks, or other previously identified historic properties were identified within the proposed project's APE. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project's APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project's APE due to a line of dense vegetation separating the two parcels (see Photo 5-7). One former railroad corridor was

identified via historic topographical maps; however, no evidence of the tracks remains, and the former alignment was not evident during field survey (see Photo 10). Photographs of the proposed project location and APE are included below (see Photos 1-10).

As a result of these efforts, no properties 50 years old or older were identified within the proposed project's APE during the screening for historic resources and a Finding of No Historic Properties is recommended.

SMR/

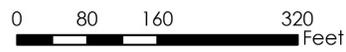
Attachments:

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
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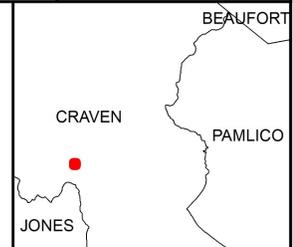


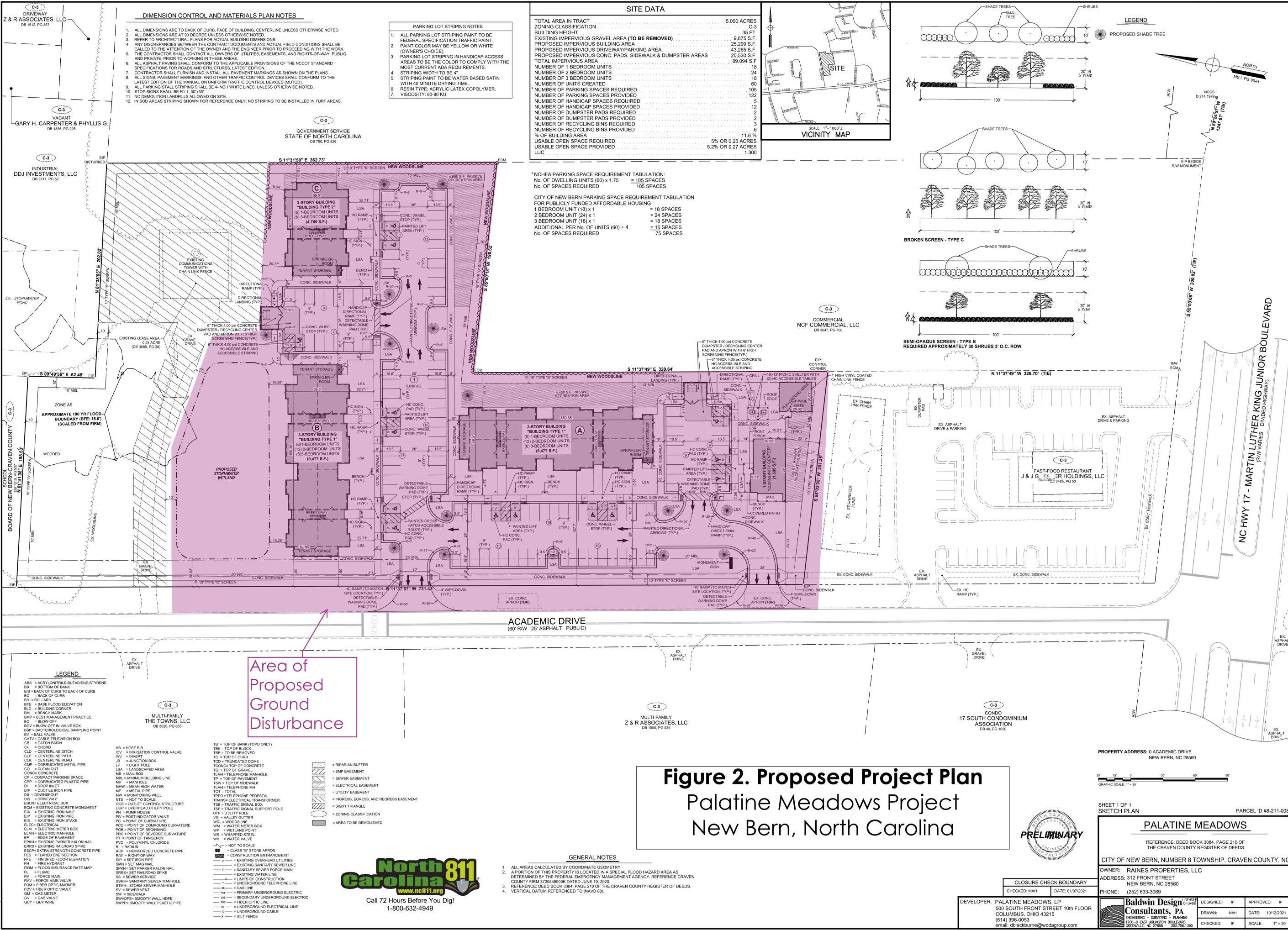
**Figure 1. Project Location Map**

Palatine Meadows Project  
New Bern, North Carolina



Source: ESRI World Street Map





**DIMENSION CONTROL AND MATERIALS PLAN NOTES**

- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING, CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ALL ASPHALT PAVING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALL STRIPING SHALL BE 4-INCH WHITE LINES, UNLESS OTHERWISE NOTED.
- STOP SIGNS SHALL BE R-1, 30"x30".
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.
- IN SCD AREAS STRIPING SHOWN FOR REFERENCE ONLY, NO STRIPING TO BE INSTALLED IN TURF AREAS.

**PARKING LOT STRIPING NOTES**

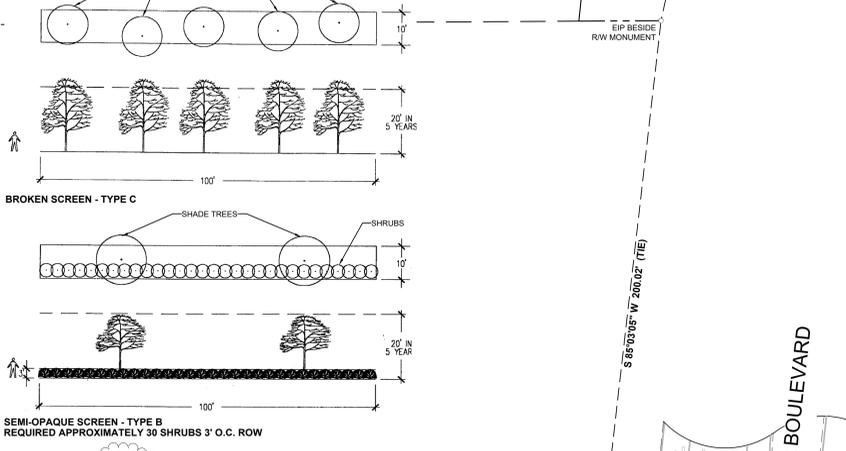
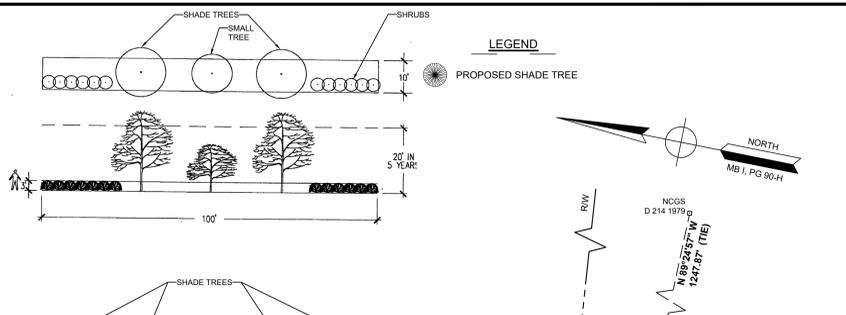
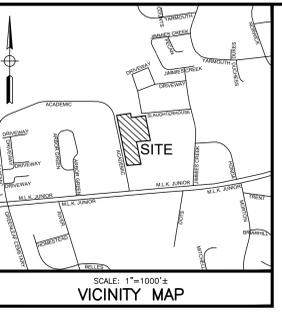
- ALL PARKING LOT STRIPING PAINT TO BE FEDERAL SPECIFICATION TRAFFIC PAINT.
- PAINT COLOR MAY BE YELLOW OR WHITE (OWNER'S CHOICE).
- PARKING LOT STRIPING IN HANDICAP ACCESS AREAS TO BE THE COLOR TO COMPLY WITH THE MOST CURRENT ADA REQUIREMENTS.
- STRIPING WIDTH TO BE 4".
- STRIPING PAINT TO BE WATER BASED SATIN WITH 40 MINUTE DRYING TIME.
- RESIN TYPE: ACRYLIC LATEX COPOLYMER.
- VISCOSITY: 80-90 KU.

**SITE DATA**

TOTAL AREA IN TRACT	5,000 ACRES
ZONING CLASSIFICATION	C-3
BUILDING HEIGHT	35 FT.
EXISTING IMPERVIOUS GRAVEL AREA (TO BE REMOVED)	9,875 S.F.
PROPOSED IMPERVIOUS BUILDING AREA	25,299 S.F.
PROPOSED IMPERVIOUS DRIVEWAY/PARKING AREA	43,265 S.F.
PROPOSED IMPERVIOUS CONC. PADS, SIDEWALK & DUMPSTER AREAS	20,530 S.F.
TOTAL IMPERVIOUS AREA	89,094 S.F.
NUMBER OF 1 BEDROOM UNITS	18
NUMBER OF 2 BEDROOM UNITS	24
NUMBER OF 3 BEDROOM UNITS	18
NUMBER OF UNITS CREATED	60
NUMBER OF PARKING SPACES REQUIRED	105
NUMBER OF HANDICAP SPACES REQUIRED	5
NUMBER OF HANDICAP SPACES PROVIDED	12
NUMBER OF DUMPSTER PADS REQUIRED	2
NUMBER OF DUMPSTER PADS PROVIDED	2
NUMBER OF RECYCLING BINS REQUIRED	2
NUMBER OF RECYCLING BINS PROVIDED	6
% OF BUILDING AREA	11.6 %
USABLE OPEN SPACE REQUIRED	5.2% OR 0.25 ACRES
USABLE OPEN SPACE PROVIDED	1.300

\*NCHPA PARKING SPACE REQUIREMENT TABULATION:  
 No. OF DWELLING UNITS (60) x 1.75 = 105 SPACES  
 No. OF SPACES REQUIRED = 105 SPACES

CITY OF NEW BERN PARKING SPACE REQUIREMENT TABULATION FOR PUBLICLY FUNDED AFFORDABLE HOUSING  
 1 BEDROOM UNIT (18) x 1 = 18 SPACES  
 2 BEDROOM UNIT (24) x 1 = 24 SPACES  
 3 BEDROOM UNIT (18) x 1 = 18 SPACES  
 ADDITIONAL PER No. OF UNITS (60) + 4 = 15 SPACES  
 No. OF SPACES REQUIRED = 75 SPACES



Area of Proposed Ground Disturbance

**LEGEND**

- ABS = ACRYLONITRILE BUTADIENE-STYRENE
- BB = BOTTOM OF BANK
- BB' = BACK OF CURB TO BACK OF CURB
- BC = BACK OF CURB
- BD = BOLLARD
- BE = BASE FLOOD ELEVATION
- BLD = BUILDING CORNER
- BM = BEST MANAGEMENT PRACTICE
- BO = BLOW-OFF
- BOX = BLOW-OFF IN VALVE BOX
- BSF = BACTERIOLOGICAL SAMPLING POINT
- BV = BALL VALVE
- CATV = CABLE TELEVISION BOX
- CB = CATCH BASIN
- CH = CHORD
- CLD = CENTERLINE DITCH
- CLP = CENTERLINE PATH
- CLR = CENTERLINE ROAD
- CMP = CORRUGATED METAL PIPE
- CO = CLEAN OUT
- CONC = CONCRETE
- CP = COMPACT PARKING SPACE
- CPP = CORRUGATED PLASTIC PIPE
- DI = DROP INLET
- DIP = DUCTILE IRON PIPE
- DS = DOWNSPOUT
- DW = DRIVEWAY
- EOBX = ELECTRICAL BOX
- ECM = EXISTING CONCRETE MONUMENT
- EA = EXISTING IRON ANGLE
- EIP = EXISTING IRON PIPE
- ES = EXISTING STORM SEWER
- ELM = ELECTRIC METER BOX
- ELMH = ELECTRIC MANHOLE
- EP = EDGE OF PAVEMENT
- EPK = EXISTING PARKER KALON NAIL
- ERRS = EXISTING RAILROAD SPIKE
- ESCR = EXTRA STRENGTH CONCRETE PIPE
- FES = FLARED END SECTION
- FFE = FINISHED FLOOR ELEVATION
- FR = FIRE HYDRANT
- FRM = FLOOD INSURANCE RATE MAP
- FL = FORCE MAIN
- FM = FORCE MAIN
- FMV = FORCE MAIN VALVE
- FOM = FIBER OPTIC MARKER
- FOV = FIBER OPTIC VAULT
- GM = GAS METER
- GV = GAS VALVE
- GUY = GUY WIRE
- HB = HOSE BIB
- ICV = IRRIGATION CONTROL VALVE
- INV = INVERT
- JB = JUNCTION BOX
- LP = LIGHT POLE
- LSA = LANDSCAPED AREA
- MB = MAIL BOX
- MBL = MINIMUM BUILDING LINE
- MH = MANHOLE
- MHW = MEAN HIGH WATER
- MP = METAL PIPE
- NTC = NOT TO SCALE
- OCS = OUTLET CONTROL STRUCTURE
- OUP = OVERHEAD UTILITY POLE
- PH = PUMP HOUSE
- PIV = POST INDICATOR VALVE
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVATURE
- PDB = POINT OF BEGINNING
- PRC = POINT OF REVERSE CURVATURE
- PT = POINT OF TANGENCY
- SPK = EXISTING PARKER KALON NAIL
- R = RADIUS
- RCF = REINFORCED CONCRETE PIPE
- RW = RIGHT-OF-WAY
- SEP = SET IRON PIPE
- SMR = SET MANHOLE
- SPRN = SET PARKER KALON NAIL
- SS = SET RAILROAD SPIKE
- SS = SEWER SERVICE
- SSMH = SANITARY SEWER MANHOLE
- SSM = SET RAILROAD SPIKE
- SV = SEWER VENT
- SW = SIDEWALK
- SWHDP = SMOOTH WALL HDPE
- SWPP = SMOOTH WALL PLASTIC PIPE
- TB = TOP OF BANK (TOPO ONLY)
- TBK = TOP OF BLOCK
- TBR = TO BE REMOVED
- TC = TOP OF CURB
- TD = TRUNCATED DOME
- TOCONC = TOP OF CONCRETE
- TG = TOP OF GRAVEL
- TLMH = TELEPHONE MANHOLE
- TP = TOP OF PAVEMENT
- TSW = TOP OF SIDEWALK
- TLMH = TELEPHONE MH
- TOT = TOTAL
- TPED = TELEPHONE PEDESTAL
- TRANS = ELECTRICAL TRANSFORMER
- TSB = TRAFFIC SIGNAL BOX
- TSP = TRAFFIC SIGNAL SUPPORT POLE
- UTP = UTILITY POLE
- WOL = WOODS LINE
- WM = WATER METER BOX
- WP = WETLAND POINT
- WS = WRAPPED STEEL
- WW = WATER VALVE
- = NOT TO SCALE
- = CLASS 8" STONE APRON
- = CONSTRUCTION ENTRANCE/EXIT
- = EXISTING OVERHEAD UTILITIES
- = EXISTING SANITARY SEWER LINE
- = SANITARY SEWER FORCE MAIN
- = EXISTING WATER LINE
- = LIMITS OF CONSTRUCTION
- = UNDERGROUND TELEPHONE LINE
- = GAS LINE
- = PRIMARY UNDERGROUND ELECTRIC
- = SECONDARY UNDERGROUND ELECTRIC
- = FIBER OPTIC LINE
- = UNDERGROUND ELECTRICAL LINE
- = UNDERGROUND CABLE
- = SILT FENCE

**GENERAL NOTES**

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- A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. REFERENCE CRAVEN COUNTY FIRM 3720548900K DATED JUNE 19, 2020.
- REFERENCE: DEED BOOK 3084, PAGE 210 OF THE CRAVEN COUNTY REGISTER OF DEEDS.
- VERTICAL DATUM REFERENCED TO (NAVD 88).

**Figure 2. Proposed Project Plan  
 Palatine Meadows Project  
 New Bern, North Carolina**



PROPERTY ADDRESS: 0 ACADEMIC DRIVE  
 NEW BERN, NC 28560

GRAPHIC SCALE: 1" = 30'

SHEET 1 OF 1  
 SKETCH PLAN PARCEL ID #6-211-008

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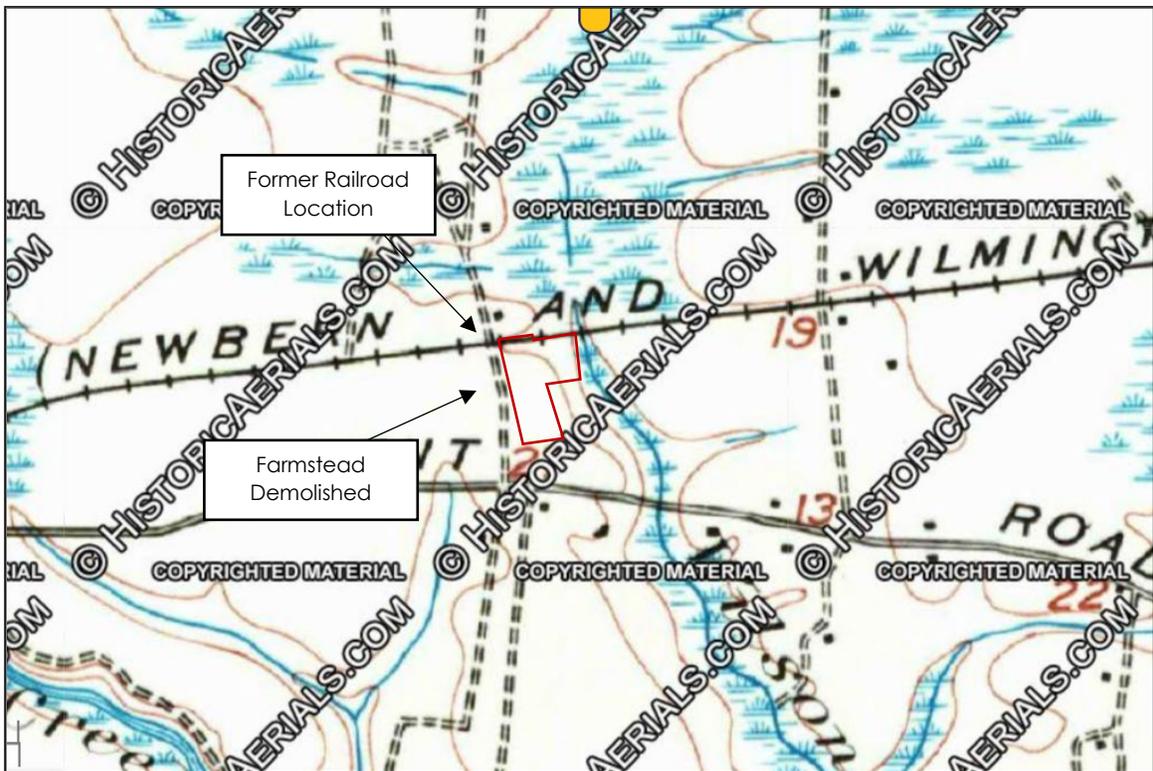
DEVELOPER:	PALATINE MEADOWS, LP 500 SOUTH FRONT STREET 10th FLOOR COLUMBUS, OHIO 43215 (614) 396-0053 email: dblackburne@wodagroup.com	DESIGNED:	IP	APPROVED:	IP
CLOSURE CHECK BOUNDARY	CHECKED: MAH DATE: 01/07/2021	DRAWN:	MAH	DATE:	10/12/2021
DESIGNED:	IP	CHECKED:	IP	SCALE:	1" = 30'



Call 72 Hours Before You Dig!  
 1-800-632-4949



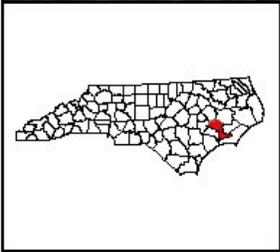
**Figure 3.** View of the project area in 1955. Source: Historic Aerials. *Note:* Red outline indicates approximate proposed project location.



**Figure 4.** 1971 USGS topographic map of the project area. Source: Historic Aerials.



**Figure 5.** View of the project area in 2007. Source: Google Earth Pro.

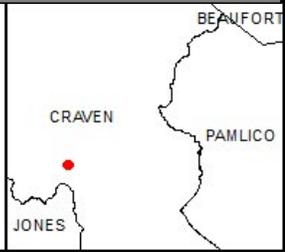


**Figure 6. Photo Location Map**

Palatine Meadows Project  
New Bern, Craven County, North Carolina



Source: ESRI World Street/Map





**Photo 1:** View of the proposed project location, facing south.



**Photo 2:** View of the proposed project location along the Academic Drive right of way (ROW), facing north.



**Photo 3:** View of the proposed project location along the Academic Drive ROW, facing south.



**Photo 4:** View of the proposed project location, facing south.



**Photo 5:** View of the proposed project location, facing east.



**Photo 6:** View of the proposed project location, facing northeast.



**Photo 7:** View of the proposed project location and existing cell phone tower, facing northeast.



**Photo 8:** View of the proposed project location, facing northeast.



**Photo 9:** View of the proposed project location, facing west.



**Photo 10:** View of the former railroad location on the northern property line, facing west.



# North Carolina Department of Public Safety

## Office of Recovery and Resiliency

Roy Cooper, Governor  
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

February 17, 2022

Mr. Bryan Printup  
Tribal Historic Preservation Office  
5226 Walmore Road  
Lewiston, NY 14092

Sent via email: [BPrintup@hetf.org](mailto:BPrintup@hetf.org)

RE: Section 106 Review - HUD CDBG-DR Program  
Proposed Palatine Meadows  
4140 Academic Drive  
New Bern, NC 28562

Dear Mr. Printup:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation.

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

Mailing Address:  
Post Office Box 110465  
Durham, NC 27709



Telephone: 984.833.5350  
[www.ncdps.gov](http://www.ncdps.gov)  
[www.rebuild.nc.gov](http://www.rebuild.nc.gov)

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of a 5-acre parcel located at 4140 Academic Drive, New Bern, Craven County, NC 28562. A Project Review Memo further discussing the APE with proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Proposed Project Description: Palatine Meadows is a proposed affordable housing community located at 4140 Academic Drive in New Bern, Craven County, North Carolina 28562. This newly constructed community will consist of a 60-unit affordable rental housing development. The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking. The new buildings will be connected to utilities which are present in the area that will require ground disturbance to install. The proposed project site plans are included in **Attachment 1**.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office's (NC SHPO) HPOWEB, and site review performed by Edwards-Pitman Environmental, Inc., identified no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project's APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project's APE due to a line of dense vegetation separating the two parcels (**Attachment 1**).

The proposed project information has been submitted to the NC SHPO and the Catawba Indian Nation in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800. Historic aerial imagery appears to indicate the Subject Property was previously used for farming (**Attachment 1**). The New Bern and Wilmington Railroad ran to the north of the current property line (**Attachment 1**). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the Subject Property. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 1**.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov) or in writing to the address listed below.

Ms. Andrea Gievers  
NCORR - Environmental  
ATTN: THPO Comments  
P.O. Box 110465  
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at [Andrea.L.Gievers@Rebuild.NC.gov](mailto:Andrea.L.Gievers@Rebuild.NC.gov). Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM  
NCORR Environmental Subject Matter Expert

**Proposed Palatine Meadows Enclosures:**

Attachment 1: Project Review Memo from Edwards-Pitman Environmental, Inc.

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
- Figure 4. 1971 United States Geological Survey (USGS) topographic map of the project area
- Figure 5. View of the project area in 2007
- Figure 6. Photo Location Map
- Photos of Project Area

**DATE:** January 18, 2022

**FROM:** Sarah Rogers, Senior Historian, Edwards-Pitman Environmental, Inc.  
2700 Cumberland Parkway, Atlanta, Georgia, 30339  
(770) 702-5098; srogers@edwards-pitman.com

**TO:** North Carolina Historic Preservation Office  
ATTN: Environmental Review

**SUBJECT:** Project Review Memo  
Palatine Meadows – 4140 Academic Drive, New Bern, Craven County

The proposed project consists of constructing a 60-unit affordable rental housing development targeting low-income family households. The subject proposal is to be located in the western portion of the city along the east side of Academic Drive, within walking distance of the New Bern High School and just north of Dr. Martin Luther King Jr. Boulevard (Bus. U.S. 17) (see Figure 1. Project Location Map). The 60 proposed units would be dispersed within three three-story detached buildings on the 5.0 acres (4.65 acres buildable) site. The project would also feature a one-story community building, green space, an approximate 75-space surface parking lot, and a stormwater retention pond. See Figure 2. Proposed Project Plan for specific areas of ground disturbance. This project review memo is being submitted in compliance with 24 CFR Part 58. The project is funded by a Housing and Urban Development (HUD) loan and Low Income Housing Tax Credits.

The area of potential effects (APE) for the historic resources screening was defined based on the project description, desktop and field reconnaissance of the project location, and a review of existing information on previously identified historic properties in the area. Consideration was also given to any visual, audible, and atmospheric effects the project might have on historic properties by taking into account factors such as existing vegetation and variations in topography.

Existing information on previously identified historic properties was consulted to determine if any are located within the APE of the proposed project. The review of existing information included the National Register of Historic Places (NRHP), National Historic Landmarks, the North Carolina Historic Preservation Office's Web Map (HPOWEB), Craven County tax assessor's records, historic aerial photography, topographic quadrangle maps, modern aerial photography, and modern street views.

Historic aerial imagery appears to indicate the site was previously used for farming (see Figure 2). The New Bern and Wilmington Railroad ran to the north of the current property line (see Figure 3). By 2006-2007, the farmstead was demolished, the railroad was abandoned, and a cell phone tower was constructed on the northeast corner of the property (see Figure 4; Photo 7).

Based on a review of these sources, no properties listed or nominated for listing in the NRHP, no National Historic Landmarks, or other previously identified historic properties were identified within the proposed project's APE. In addition, no buildings, structures, sites, or objects 50 years old or older were identified within the proposed project's APE during the desktop survey of the area conducted on December 15, 2021, using the sources listed above or during field survey on December 22, 2021. One property 50 years old or older was located on an adjacent parcel; however, the property was determined to be out of the proposed project's APE due to a line of dense vegetation separating the two parcels (see Photo 5-7). One former railroad corridor was

identified via historic topographical maps; however, no evidence of the tracks remains, and the former alignment was not evident during field survey (see Photo 10). Photographs of the proposed project location and APE are included below (see Photos 1-10).

As a result of these efforts, no properties 50 years old or older were identified within the proposed project's APE during the screening for historic resources and a Finding of No Historic Properties is recommended.

SMR/

Attachments:

- Figure 1. Project Location Map
- Figure 2. Proposed Project Plan
- Figure 3. View of the project area in 1955
- Figure 4. 1971 United States Geological Survey (USGS) topographic map of the project area
- Figure 5. View of the project area in 2007
- Figure 6. Photo Location Map
- Photos of Project Area

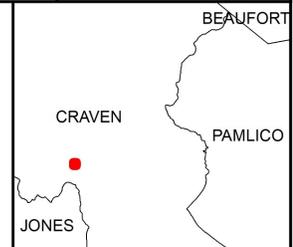


**Figure 1. Project Location Map**

Palatine Meadows Project  
New Bern, North Carolina



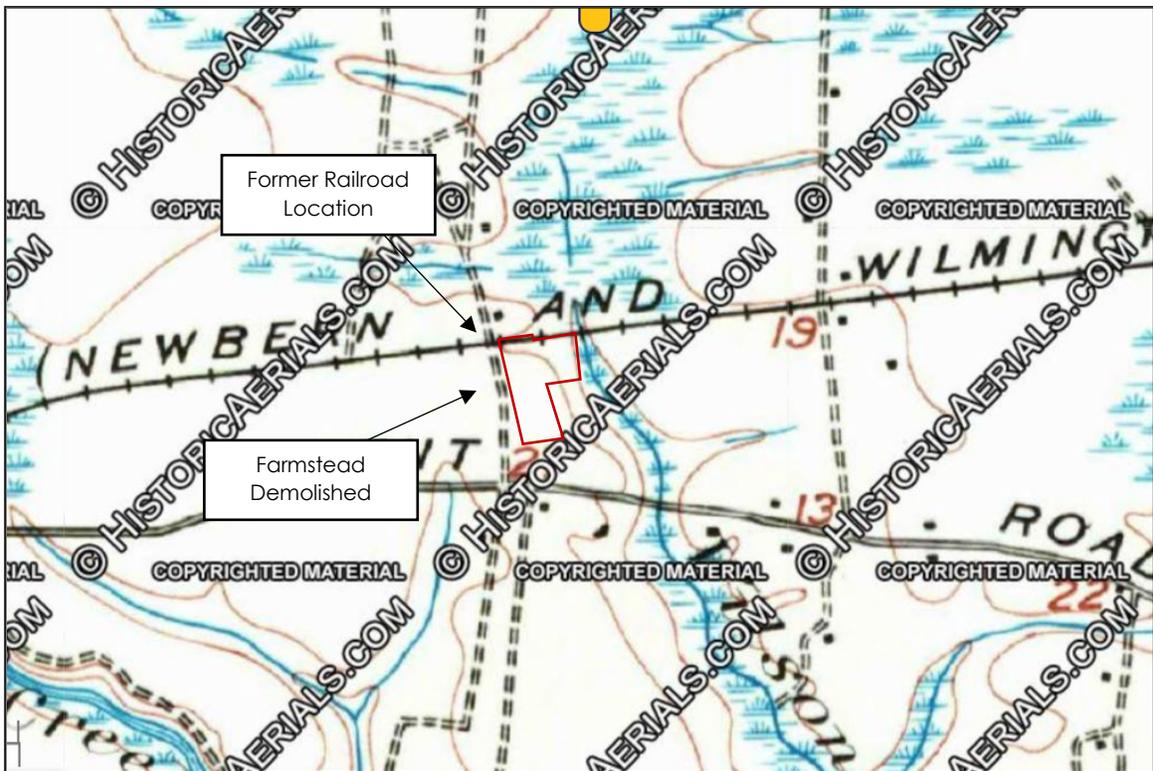
Source: ESRI World Street Map







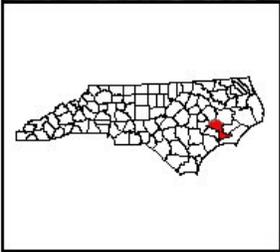
**Figure 3.** View of the project area in 1955. Source: Historic Aerials. *Note:* Red outline indicates approximate proposed project location.



**Figure 4.** 1971 USGS topographic map of the project area. Source: Historic Aerials.



**Figure 5.** View of the project area in 2007. Source: Google Earth Pro.

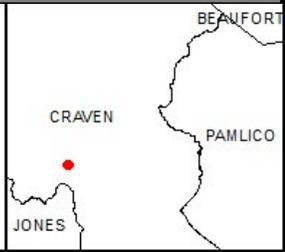


**Figure 6. Photo Location Map**

Palatine Meadows Project  
New Bern, Craven County, North Carolina



Source: ESRI World Street/Map





**Photo 1:** View of the proposed project location, facing south.



**Photo 2:** View of the proposed project location along the Academic Drive right of way (ROW), facing north.



**Photo 3:** View of the proposed project location along the Academic Drive ROW, facing south.



**Photo 4:** View of the proposed project location, facing south.



**Photo 5:** View of the proposed project location, facing east.



**Photo 6:** View of the proposed project location, facing northeast.



**Photo 7:** View of the proposed project location and existing cell phone tower, facing northeast.



**Photo 8:** View of the proposed project location, facing northeast.



**Photo 9:** View of the proposed project location, facing west.



**Photo 10:** View of the former railroad location on the northern property line, facing west.

**Attachment L**  
**Noise Assessment**

August 11, 2022

Project B2111827

RE: Noise Assessment  
Palatine Meadows  
4140 Academic Drive  
New Bern, NC 28562

Braun Intertec Corporation (Braun Intertec) has prepared the following noise assessment for the proposed Palatine Meadows Apartments (site) at 4140 Academic Drive in New Bern, NC.

### **Summary**

Braun Intertec completed a noise assessment for the proposed Palatine Meadows Apartments at 4140 Academic Drive in New Bern, NC (site) based on a site sketch prepared by Baldwin Design Consultants, PA dated October 12, 2021 (see Attachment 1). The assessment was conducted following U.S Department of Housing and Urban Development's (HUD's) Noise Assessment Guidelines. Braun Intertec evaluated noise at the east side of proposed Building A (Noise Assessment Location 1 (NAL-1)) closest to Martin Luther King Junior Boulevard and at an outdoor recreation area/playground (NAL-2). Based on the assessment, the calculated ambient noise levels at the at the NAL-1 is 61 decibels (dB) and at NAL-2 is 63 dB. The noise levels at NAL-1 and NAL-2 are both considered "Acceptable" under HUD Guidelines.

### **Background**

To determine potential noise impacts to the occupants of HUD-assisted projects, regulations under 24 CFR Part 51 require an evaluation of ambient noise levels. The regulations are designed to ensure that interior noise levels for living and sleeping spaces do not exceed a day-night average sound level (DNL) of 45 dB. HUD assumes that standard construction provides an average of 20 dB attenuation. Therefore, the standard for outside of a building's living and sleeping spaces is 65 dB. Additionally, HUD requires a DNL of 65 dB or less for outdoor areas where the intended use is considered "noise sensitive".

HUD published the Noise Assessment Guidelines to provide a methodology for conducting noise assessments for new or existing buildings. The Guidelines provide a means to separately assess the noise from airports, highways, and railroad operations, and a method for aggregating their combined effect on the overall noise at a site.

The Guidelines prescribe that noise should be assessed at representative locations around the site having noise-sensitive uses and where significant noise is expected. These locations are called "Noise Assessment Locations" or NALs. The guidelines also prescribe that wherever possible the noise should be assessed as the expected noise at least ten years into the future.

The degree of acceptability of the noise environment at a site is determined by the outdoor DNL. HUD Guidelines categorize the degrees of acceptability as follows – "Acceptable" means  $DNL \leq 65$  dB, "Normally Unacceptable" means  $65 < DNL \leq 75$  dB, and "Unacceptable" means  $DNL > 75$  dB.

### **Noise Assessment**

HUD developed the Day/Night Noise Level Electronic Assessment Tool (DNL Calculator). The DNL calculator is a web-based application of the Noise Assessment Guidelines and calculates the DNL from roadways and railway traffic and combines it with noise from aircraft and loud impulse sounds to calculate a combined DNL for the site.

Braun Intertec used the DNL calculator to assess the noise exposure at the “worst-case” building location, where there are noise sensitive uses. This assessment considers the residential buildings as having noise-sensitive uses. NAL-1 is the east side of proposed Building A closest to Martin Luther King Junior Boulevard. Consistent with HUD guidance, NAL-1 is 6.5 feet from the building façade in the direction of the noise sources. NAL-2 is a noise sensitive outdoor space, a recreation area/playground on the southeast corner of the site (See attachment 1).

The sections below describe the inputs to the DNL calculator.

### **Airport Noise**

To evaluate a site’s exposure to aircraft noise, HUD Guidance indicates that you must consider noise contributions from military or FAA-regulated airfields within 15 miles of the site. There is one airport within 15 miles of the site – Coastal Carolina Regional Airport (approximately 4.5 miles from the NALs) (See Attachment 2 for a map of airports within 15 miles of NALs.)

Noise contours are available for Coastal Carolina Regional Airport through the US Department of Transportation’s online National Transportation Noise Map (see Attachment 3). The site is within the 45.0-49.9 dBA noise contour. Therefore, it is conservatively assumed that the noise contribution from the airport is 50 dB.

The data presented in the National Transportation Noise Map is in 24-hour equivalent sound level (LEQ). LEQ is similar to DNL but differs in how nighttime noise is treated. Because the airport noise at the NALs is much less than 65 dB, the difference between DNL and LEQ is negligible for the purposes of this evaluation.

Where possible, noise levels are to be estimated for at least 10 years into the future. Because the NALs are at the outer edge of the noise contours, it is expected that airport expansions would have negligible effect on the noise experienced at the NALs. Therefore, no increased airport noise is projected for 2032.

### **Roadway Noise**

To evaluate a source’s exposure to roadway noise, all roads that might contribute to the site’s noise environment must be considered. According to HUD Guidelines, roads farther than 1,000 feet can normally be ignored. Braun Intertec included one major roadway within the 1,000 feet in the assessment – Martin Luther King Junior Boulevard. Based on annual average daily traffic counts (AADT) from the North Carolina Department of Transportation AADT Mapping Application accessed January 13, 2022, the noise contributions from all other roadways within 1,000 feet of the site are negligible compared to the noise contributions from Martin Luther King Junior Boulevard because their AADT counts are far less than 10,000 (see Attachment 4). The following table summarize the data inputs to the DNL calculator for the roadway.

**Table 1: DNL Calculator Inputs for Martin Luther King Junior Boulevard**

Necessary Information	Value		Comments								
Distance (ft) from NALs to roadway (avg effective distance)	NAL-1  580	NAL-2  420	Measured from the NALs to midline of Martin Luther King Junior Blvd (MLK Blvd/US 17 Business) (See attachment 5).								
Road Gradient in percent	1		Estimated from Google Earth								
Distance to stop sign	N/A		No stop signs on Martin Luther King Junior Blvd in the vicinity of NALs. Note that traffic signals are not equivalent to stop signs for the purpose of this calculation.								
Average Speed in mph	50		Posted Speed limit (assume same speed for automobiles, heavy trucks uphill, and heavy trucks downhill).								
24-hour average number of automobiles	28,710		<p>Traffic projections for MLK Blvd were obtained from an April 27, 2020 memo from the State of North Carolina Department of Transportation (NCDOT) regarding the traffic forecast for US 17 Business Superstreet Design (see Attachment 6). The memo contains a 2040 traffic projection for the segment of MLK Blvd between Academic Drive and Honda Drive of 30,300 vehicles per day. While the memo presents traffic projects for the superstreet “no-build condition”, the memo states that the superstreet design is not expected to substantially affect travel demand along US 17 Business. The projection does assume that the NC 43 Connector is open to traffic in 2040.</p> <p>HUD guidelines indicate that where possible, noise estimates should be projected 10 years into the future; therefore, the 2040 projection provides a conservative estimate of AADT in 2032.</p> <p>Data on total number of trucks was obtained from the NCDOT AADT Mapping Application (See Attachment 7). Data on total number of trucks was available for 2020 only and was used to estimate a truck percentage that was applied to the AADT projection to estimate an automobile AADT projection for 2032 (30,300*(1-.0525)) = 28,710).</p> <table border="1" data-bbox="706 1470 1510 1533"> <thead> <tr> <th>Year</th> <th>Total AADT</th> <th>Total Trucks</th> <th>% Trucks</th> </tr> </thead> <tbody> <tr> <td>2020</td> <td>23,500</td> <td>1,240</td> <td>5.25%</td> </tr> </tbody> </table>	Year	Total AADT	Total Trucks	% Trucks	2020	23,500	1,240	5.25%
Year	Total AADT	Total Trucks	% Trucks								
2020	23,500	1,240	5.25%								
24-hour average number of medium trucks	0		Because the truck count from the NCDOT AADT Mapping Application was for “total trucks” it was conservatively assumed that all trucks are “heavy trucks”								
24-hour average number of heavy trucks	1,590		Data on total number of trucks was obtained from the NCDOT AADT Mapping Application. (See Attachment 7). Data on total number of trucks was available for 2020 only and was used to estimate a truck percentage that was applied to the AADT projection for 2032 to estimate heavy truck AADT projection for 2032 (30,300*(1-.0525)) = 28,710).								
Fraction of Nighttime traffic (10pm-7am)	15%		Standard assumption per Chapter 5 of HUD Noise Guidebook since hourly traffic counts were not available.								

### Railway Noise

To evaluate a source's exposure to railway noise, all railroads and transit lines within 3,000 feet of the NALs must be considered. There are no railways within 3,000 feet of the NALs

### Noise Assessment Results

Table 3 below shows the results of the DNL calculator for NAL-1 and NAL-2. The combined DNL for NAL-1 is 61 dB, which is considered "Acceptable" under HUD's guidelines. The combined DNL for NAL-2 is 63 dB, which is also considered "Acceptable" under HUD's guidelines. The outputs from HUD's DNL calculator are included as Attachment 8 and 9.

**Table 3: DNL Calculator Results**

Source	NAL-1 DNL (dB)	NAL-2 DNL (dB)
Railroad	N/A	N/A
Roadway	61	63
Airport	50	50
<b>Combined</b>	<b>61</b>	<b>63</b>

If you have any questions about this noise assessment, please contact Kelsey Suddard at 651-442-7322 or [ksuddard@braunintertec.com](mailto:ksuddard@braunintertec.com) or Bruce Schaepe at 952-270-9370 or [bschaepe@braunintertec.com](mailto:bschaepe@braunintertec.com).



Kelsey Suddard, PE (MN)  
Senior Engineer



Bruce Schaepe, PE (MN)  
Senior Engineer

- Attachment 1: Plan Sketch with Noise Assessment Locations
- Attachment 2: Map of Airports within 15 Miles of the NALs
- Attachment 3: Noise Contours for Coastal Carolina Regional Airport
- Attachment 4: Annual Average Daily Traffic Counts in the Vicinity of the NALs
- Attachment 5: Distance from NALs to Major Roadway
- Attachment 6: April 27, 2020 State of North Carolina Department of Transportation Memo
- Attachment 7: Annual Average Daily Traffic Counts for Martin Luther King Junior Boulevard
- Attachment 8: HUD DNL Calculator Output for NAL-1
- Attachment 9: HUD DNL Calculator Output for NAL-2

# Attachment 1: Sketch Plan with Noise Assessment Locations

## SITE DATA

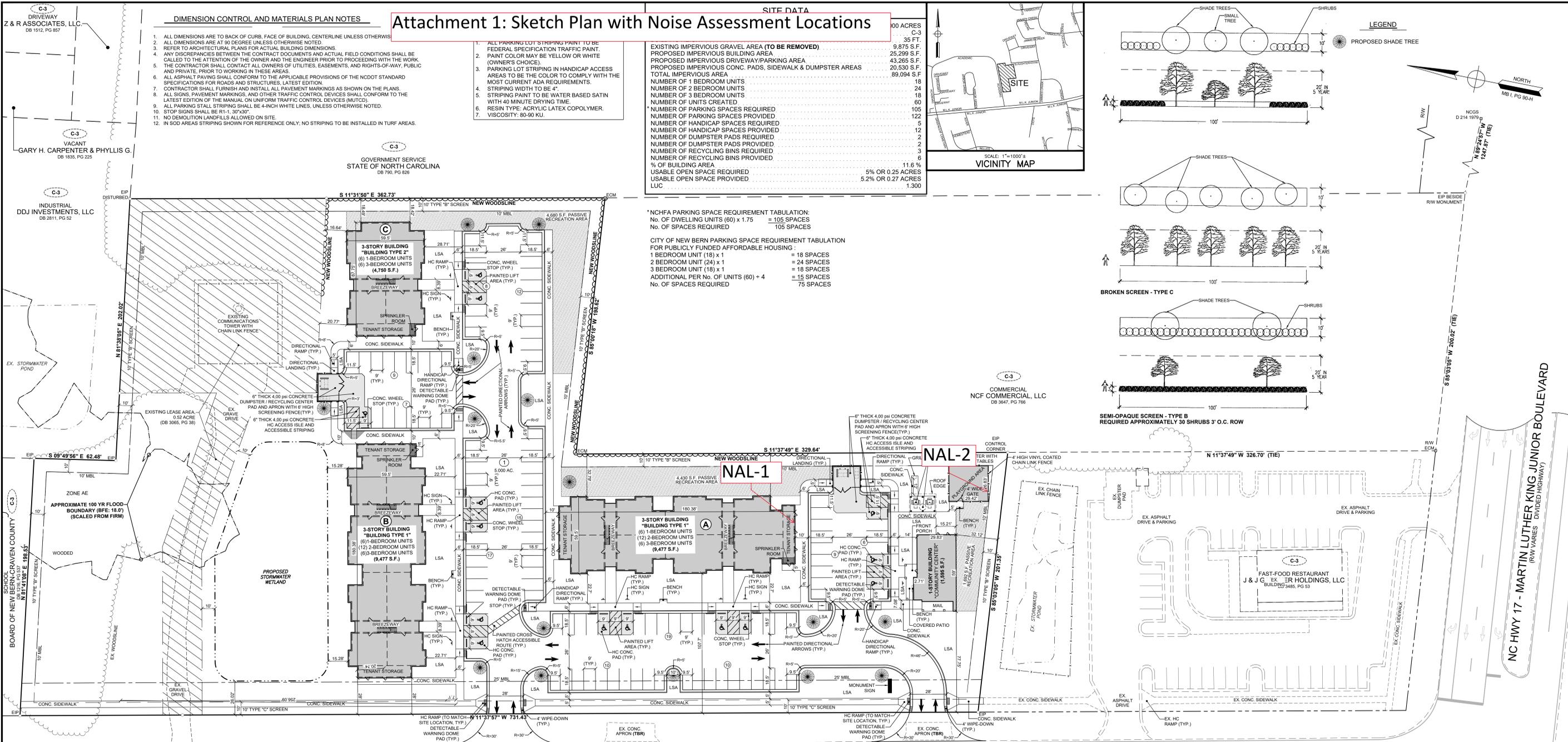
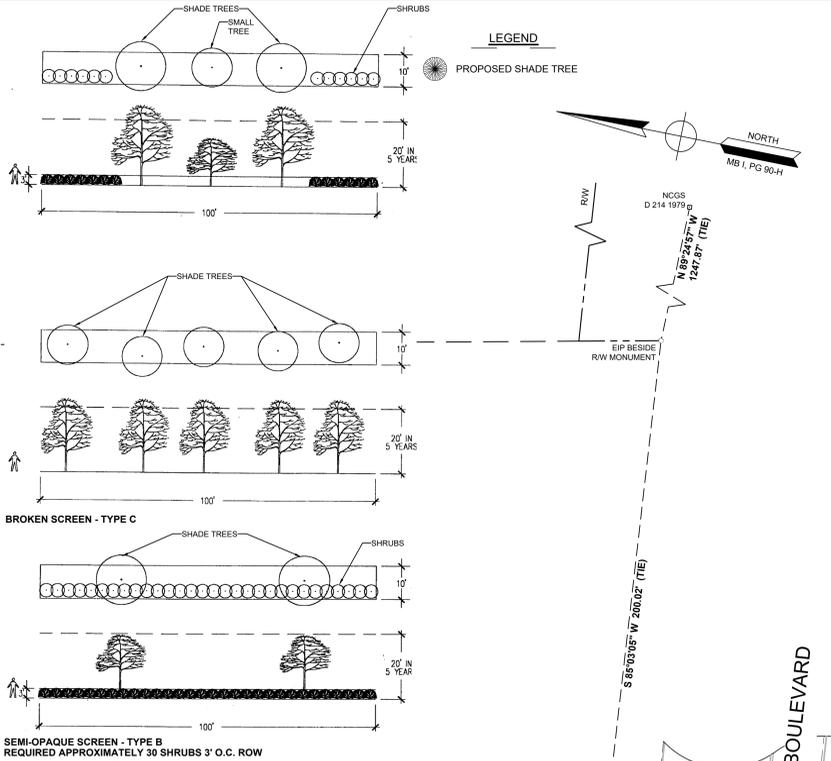
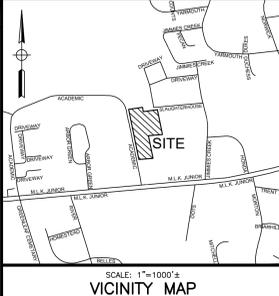
EXISTING IMPERVIOUS GRAVEL AREA (TO BE REMOVED)	9,875 S.F.
PROPOSED IMPERVIOUS BUILDING AREA	25,299 S.F.
PROPOSED IMPERVIOUS DRIVEWAY/PARKING AREA	43,265 S.F.
PROPOSED IMPERVIOUS CONC. PADS, SIDEWALK & DUMPSTER AREAS	20,530 S.F.
TOTAL IMPERVIOUS AREA	99,049 S.F.
NUMBER OF 1 BEDROOM UNITS	18
NUMBER OF 2 BEDROOM UNITS	24
NUMBER OF 3 BEDROOM UNITS	18
NUMBER OF UNITS CREATED	60
NUMBER OF PARKING SPACES REQUIRED	105
NUMBER OF PARKING SPACES PROVIDED	122
NUMBER OF HANDICAP SPACES REQUIRED	5
NUMBER OF HANDICAP SPACES PROVIDED	12
NUMBER OF DUMPSTER PADS REQUIRED	2
NUMBER OF DUMPSTER PADS PROVIDED	2
NUMBER OF RECYCLING BINS REQUIRED	2
NUMBER OF RECYCLING BINS PROVIDED	6
% OF BUILDING AREA	11.6 %
USABLE OPEN SPACE REQUIRED	5.2% OR 0.25 ACRES
USABLE OPEN SPACE PROVIDED	1.300

*NCHPA PARKING SPACE REQUIREMENT TABULATION:	
No. OF DWELLING UNITS (60) x 1.75	= 105 SPACES
No. OF SPACES REQUIRED	105 SPACES
CITY OF NEW BERN PARKING SPACE REQUIREMENT TABULATION FOR PUBLICLY FUNDED AFFORDABLE HOUSING:	
1 BEDROOM UNIT (18) x 1	= 18 SPACES
2 BEDROOM UNIT (24) x 1	= 24 SPACES
3 BEDROOM UNIT (18) x 1	= 18 SPACES
ADDITIONAL PER No. OF UNITS (60) + 4	= 15 SPACES
No. OF SPACES REQUIRED	75 SPACES

## DIMENSION CONTROL AND MATERIALS PLAN NOTES

- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING, CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE AT 90 DEGREE UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS, AND RIGHTS-OF-WAY, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ALL ASPHALT PAVING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PARKING STALL STRIPING SHALL BE 4-INCH WHITE LINES, UNLESS OTHERWISE NOTED.
- STOP SIGNS SHALL BE R-1, 30"x30".
- NO DEMOLITION LANDFILLS ALLOWED ON SITE.
- IN SCD AREAS STRIPING SHOWN FOR REFERENCE ONLY, NO STRIPING TO BE INSTALLED IN TURF AREAS.

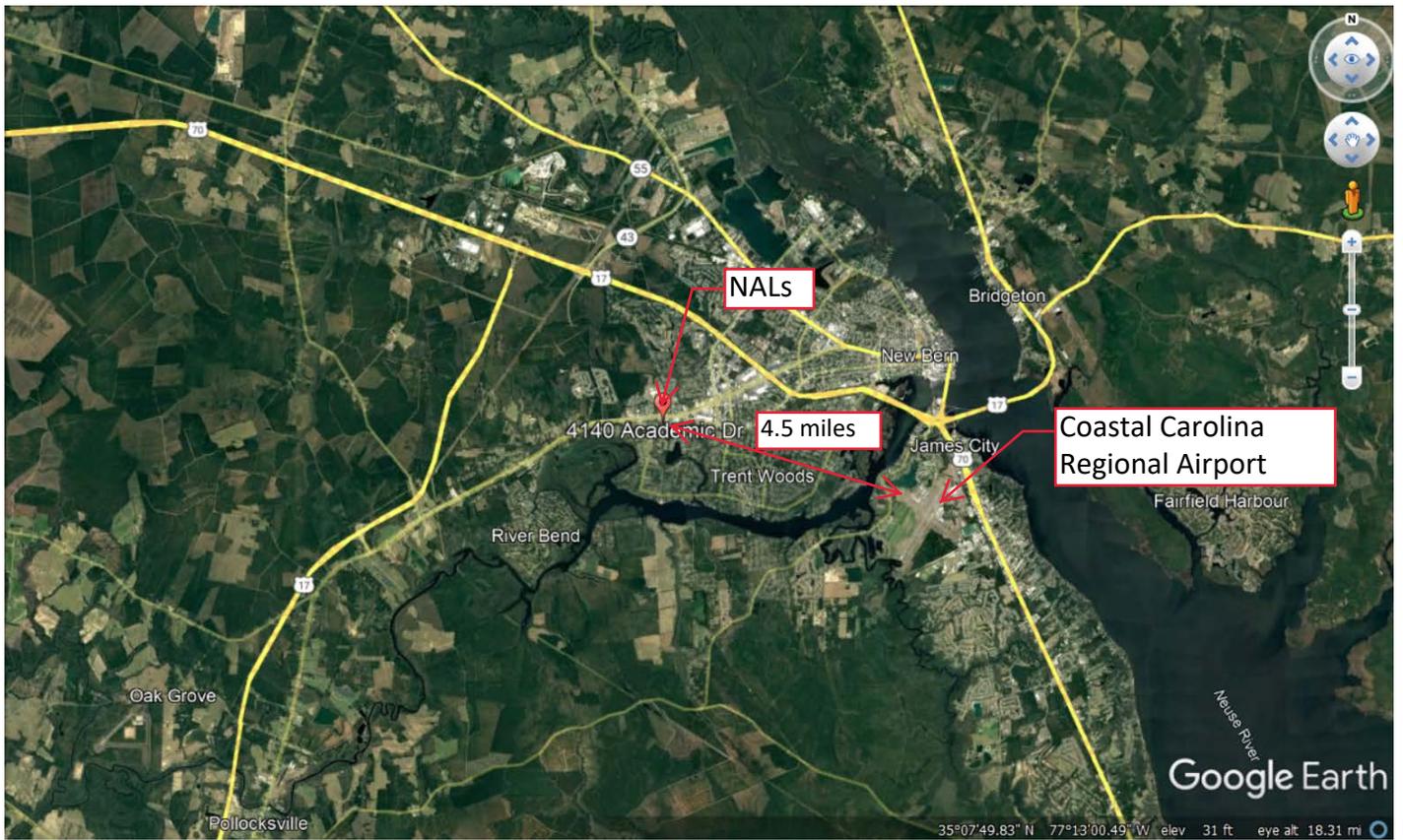
- ALL PARKING LOT STRIPING PAINT TO BE FEDERAL SPECIFICATION TRAFFIC PAINT.
- PAINT COLOR MAY BE YELLOW OR WHITE (OWNER'S CHOICE).
- PARKING LOT STRIPING IN HANDICAP ACCESS AREAS TO BE THE COLOR TO COMPLY WITH THE MOST CURRENT ADA REQUIREMENTS.
- STRIPING WIDTH TO BE 4".
- STRIPING PAINT TO BE WATER BASED SATIN WITH 40 MINUTE DRYING TIME.
- RESIN TYPE: ACRYLIC LATEX COPOLYMER.
- VISCOSITY: 80-90 KU.



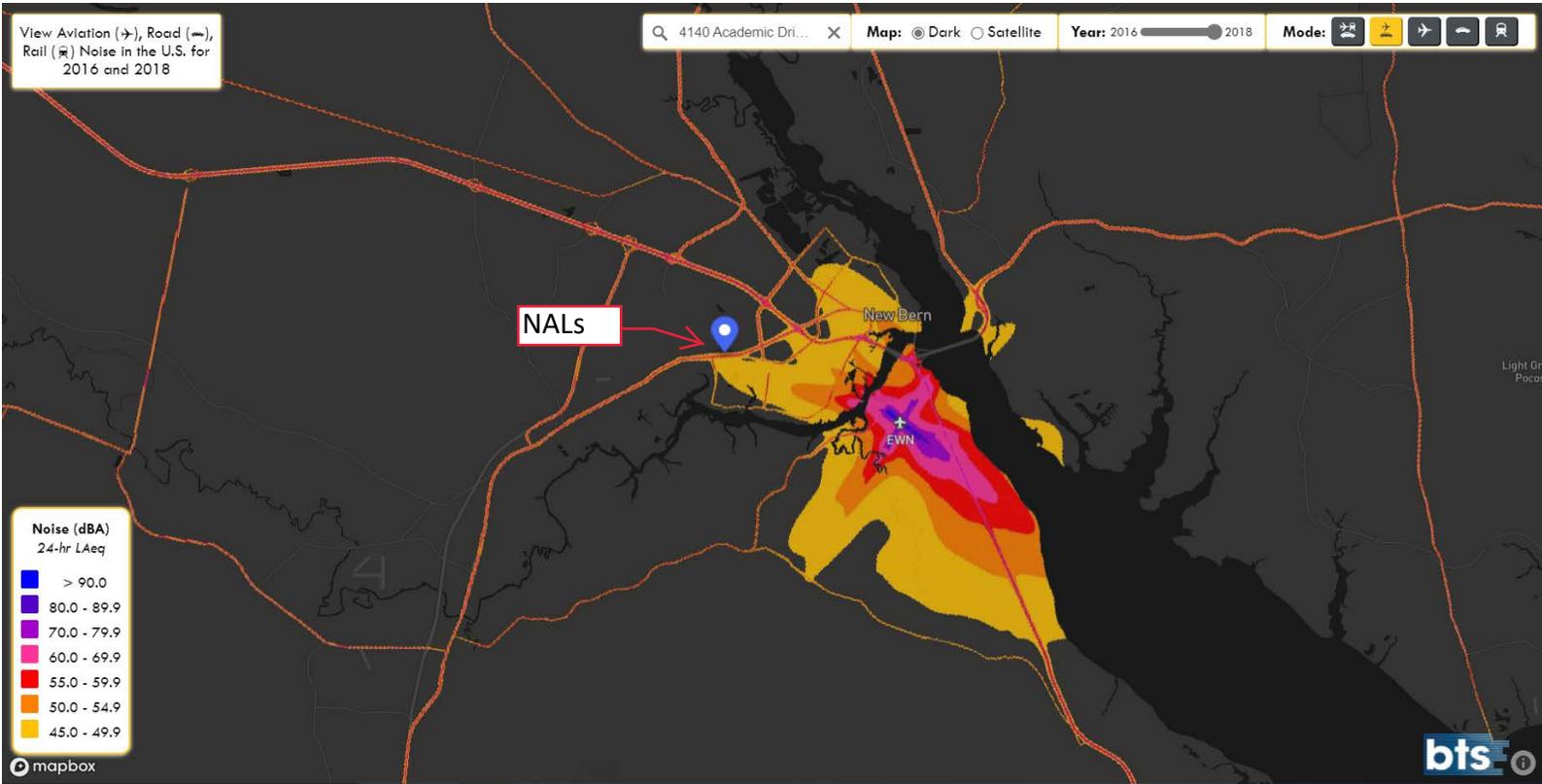
### LEGEND

ABS = ACRYLONITRILE BUTADIENE-STYRENE	BB = BOTTOM OF BANK	BC = BACK OF CURB	BD = BOLLARD	BE = BASE FLOOD ELEVATION	BLD = BUILDING CORNER	BM = BEST MANAGEMENT PRACTICE	BO = BLOW-OFF	BOX = BLOW-OFF IN VALVE BOX	BSP = BACTERIOLOGICAL SAMPLING POINT	BV = BALL VALVE	CATV = CABLE TELEVISION BOX	CB = CATCH BASIN	CH = CHORD	CLD = CENTERLINE DITCH	CLP = CENTERLINE PATH	CLR = CENTERLINE ROAD	CMP = CORRUGATED METAL PIPE	CO = CLEAN OUT	CONC = CONCRETE	CP = COMPACT PARKING SPACE	CPP = CORRUGATED PLASTIC PIPE	DI = DROP INLET	DIP = DUCTILE IRON PIPE	DS = DOWNSPOUT	DW = DRIVEWAY	EBOX = ELECTRICAL BOX	ECM = EXISTING CONCRETE MONUMENT	EA = EXISTING IRON ANGLE	EIP = EXISTING IRON PIPE	ES = EXISTING STAKE	ELEC = ELECTRICAL	ELM = ELECTRIC METER BOX	ELMH = ELECTRIC MANHOLE	EP = EDGE OF PAVEMENT	EPK = EXISTING PARKER KALON NAIL	ERRS = EXISTING RAILROAD SPIKE	ESCP = EXTRA STRENGTH CONCRETE PIPE	F = FIBER OPTIC MARKER	FIR = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL	NTS = NOT TO SCALE	OCS = OUTLET CONTROL STRUCTURE	OUP = OVERHEAD UTILITY POLE	PH = PUMP HOUSE	PIV = POST INDICATOR VALVE	PC = POINT OF CURVATURE	PCC = POINT OF COMPOUND CURVATURE	POB = POINT OF BEGINNING	PRC = POINT OF REVERSE CURVATURE	PT = POINT OF TANGENCY	PKN = EXISTING PARKER KALON NAIL	R = RADIUS	RCF = REINFORCED CONCRETE PIPE	RW = RIGHT-OF-WAY	F = FIBER OPTIC MARKER	FOV = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL	NTS = NOT TO SCALE	OCS = OUTLET CONTROL STRUCTURE	OUP = OVERHEAD UTILITY POLE	PH = PUMP HOUSE	PIV = POST INDICATOR 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WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL	NTS = NOT TO SCALE	OCS = OUTLET CONTROL STRUCTURE	OUP = OVERHEAD UTILITY POLE	PH = PUMP HOUSE	PIV = POST INDICATOR VALVE	PC = POINT OF CURVATURE	PCC = POINT OF COMPOUND CURVATURE	POB = POINT OF BEGINNING	PRC = POINT OF REVERSE CURVATURE	PT = POINT OF TANGENCY	PKN = EXISTING PARKER KALON NAIL	R = RADIUS	RCF = REINFORCED CONCRETE PIPE	RW = RIGHT-OF-WAY	F = FIBER OPTIC MARKER	FOV = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL	NTS = NOT TO SCALE	OCS = OUTLET CONTROL STRUCTURE	OUP = OVERHEAD UTILITY POLE	PH = PUMP 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VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL	NTS = NOT TO SCALE	OCS = OUTLET CONTROL STRUCTURE	OUP = OVERHEAD UTILITY POLE	PH = PUMP HOUSE	PIV = POST INDICATOR VALVE	PC = POINT OF CURVATURE	PCC = POINT OF COMPOUND CURVATURE	POB = POINT OF BEGINNING	PRC = POINT OF REVERSE CURVATURE	PT = POINT OF TANGENCY	PKN = EXISTING PARKER KALON NAIL	R = RADIUS	RCF = REINFORCED CONCRETE PIPE	RW = RIGHT-OF-WAY	F = FIBER OPTIC MARKER	FOV = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL	NTS = NOT TO SCALE	OCS = OUTLET CONTROL 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CONCRETE PIPE	RW = RIGHT-OF-WAY	F = FIBER OPTIC MARKER	FOV = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL	NTS = NOT TO SCALE	OCS = OUTLET CONTROL STRUCTURE	OUP = OVERHEAD UTILITY POLE	PH = PUMP HOUSE	PIV = POST INDICATOR VALVE	PC = POINT OF CURVATURE	PCC = POINT OF COMPOUND CURVATURE	POB = POINT OF BEGINNING	PRC = POINT OF REVERSE CURVATURE	PT = POINT OF TANGENCY	PKN = EXISTING PARKER KALON NAIL	R = RADIUS	RCF = REINFORCED CONCRETE PIPE	RW = RIGHT-OF-WAY	F = FIBER OPTIC MARKER	FOV = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL 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PARKER KALON NAIL	R = RADIUS	RCF = REINFORCED CONCRETE PIPE	RW = RIGHT-OF-WAY	F = FIBER OPTIC MARKER	FOV = FIBER OPTIC VAULT	GM = GAS METER	GV = GAS VALVE	GU = GUY WIRE	HB = HOSE BIB	ICV = IRRIGATION CONTROL VALVE	INV = INVERT	JB = JUNCTION BOX	LP = LIGHT POLE	LSA = LANDSCAPED AREA	MB = MAIL BOX	MBL = MINIMUM BUILDING LINE	MH = MANHOLE	MHW = MEAN HIGH WATER	MP = METAL PIPE	MW = MONITORING WELL
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Attachment 2: Map of Airport within 15 Miles of the NALS

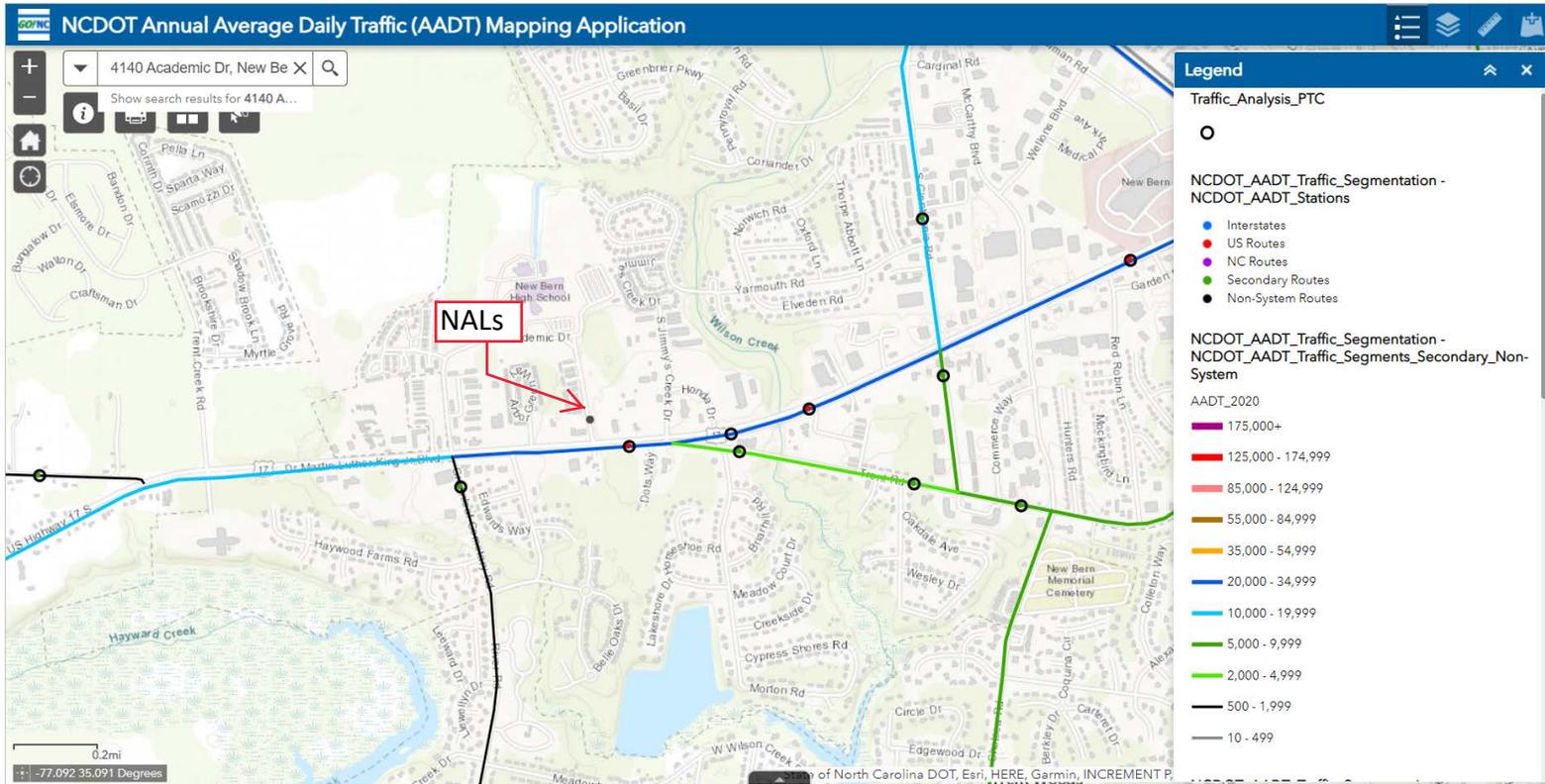


Attachment 3: Noise Contours for Coastal Carolina Regional Airport



Source: US Department of Transportation Online National Transportation Noise Map, accessed 01/13/22

Attachment 4: Annual Average Daily Traffic in the Vicinity of the NALS



accessed 01/13/22

Attachment 5: Distance from NALs to Major Roadway





STATE OF NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

ROY COOPER  
GOVERNOR

J. ERIC BOYETTE  
SECRETARY

April 27, 2020

MEMORANDUM TO: Sonya Tankersley  
Feasibility Studies Unit

FROM: Chris McKoy  
Traffic Forecasting Group

SUBJECT: Traffic Forecast for H150874  
Craven County  
US 17 Business (MLK Blvd) Superstreet Design

Please find attached the 2020/2040 traffic forecast for H150847 in Craven County.

The forecast represents project No-Build conditions. The project design has not yet been determined; therefore, a project Build forecast cannot be provided at this time. The superstreet design is not expected to substantially affect travel demand along US 17 Business.

**Certain Assumptions were made during the development of this forecast.**

**Fiscal Constraint:**

Within an MPO area travel demand forecasts assume the construction of projects listed within an MPO's Metropolitan Transportation Plan (MTP). This forecast is consistent with the New Bern Area Metropolitan Planning Organization 2040 MTP (adopted March 24, 2016) and with the current 2020-2029 STIP (adopted September 2019). This forecast assumes that the NC 43 Connector, which connects to US 17 Business via Trent Creek Road, is open to traffic in 2040.

**Development Activity:**

New Bern Marketplace is located at the intersection of South Glenburnie Road and US 17 Business. The shopping center has 330,000 square feet of space, is fully constructed with 90% occupancy, and is assumed to have full occupancy by 2040.

**Forecast Methodology:**

The 2020 estimates are based upon current traffic counts and historical AADT trends.

The 2040 forecast was developed based upon predictions of the New Bern Travel Demand Model dated March 24, 2016 and historic AADT trends.

The use of straight-line interpolation to estimate AADT for years between 2020 and 2040 is acceptable.

If it is determined that any of these assumptions have become inconsistent with the project and surrounding area activity, please request an updated forecast.

Mailing Address:  
NC DEPARTMENT OF TRANSPORTATION  
TRANSPORTATION PLANNING DIVISION  
1554 MAIL SERVICE CENTER  
RALEIGH, NC 27699-1554

Telephone: (919) 707-0900  
Fax: (919) 733-9794  
Customer Service: 1-877-368-4968

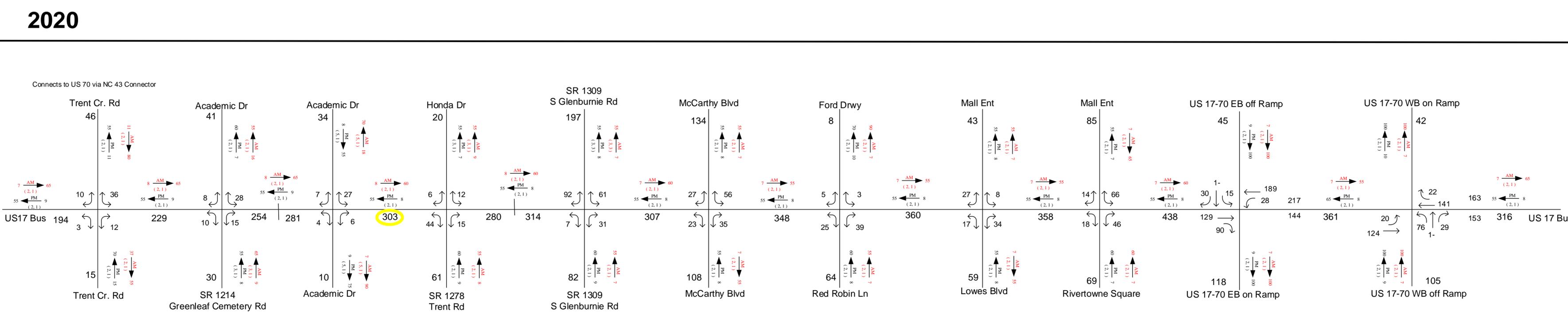
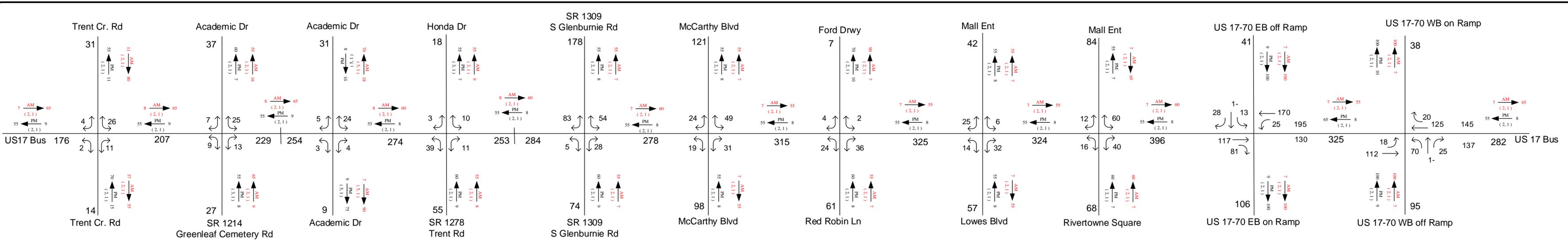
Location:  
1 SOUTH WILMINGTON ST  
RALEIGH, NC 27601

Website: [www.ncdot.gov](http://www.ncdot.gov)

If we can be of any further assistance please do not hesitate to contact me at 919-707-0939, email: [cdmckoy@ncdot.gov](mailto:cdmckoy@ncdot.gov).

cc (with Attachments):

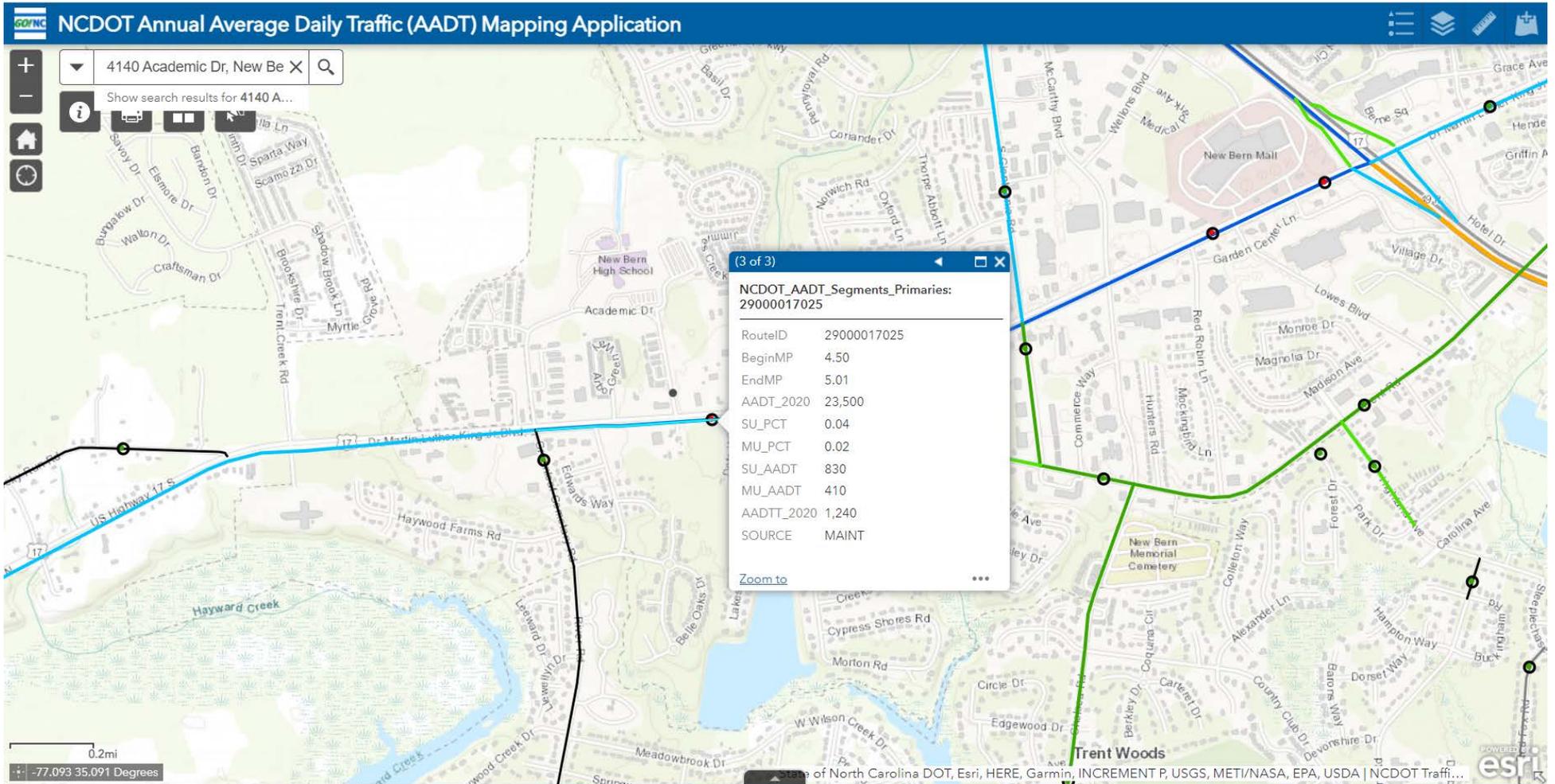
Brenda Moore, PE, Highway Design Unit  
Behshad Norowzi, Transportation Planning Division  
Keith Dixon, Transportation Planning Division  
Jim Dunlop, PE, Congestion Management Section  
Traffic Forecasting GIS Support



2020 – 2040 No Build		AVERAGE ANNUAL DAILY TRAFFIC	
<b>LEGEND</b>		TIP: H150847	WBS: 34263.1.1
### No. of Vehicles Per Day (VPD) in 100s	K Design Hour Factor(%)	COUNTY: Craven	DIVISION: 2
1- Less than 50 VPD	AM/PM Peak Period	DATE: 4--27-2020	PREPARED BY: Chris McKoy
X Movement Prohibited	D Peak Hour	LOCATION: US 17 Business	PROJECT: Superstreet improvements from US 70 interchange to Trent Cr Rd
(d,t) Duals, TT-STs (%)	→ Indicates Direction of D		



Attachment 7: AADT Data for Martin Luther Kin Jr Boulevard



accessed 01/13/2022

Home (/) > Programs (/programs/) > Environmental Review (/programs/environmental-review/) > DNL Calculator

## DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

## Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

## DNL Calculator

Site ID	Palantine Meadows NAL-1
Record Date	08/10/2022
User's Name	Braun Intertec Corporation
Road # 1 Name:	MLK Blvd

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	580		580
Distance to Stop Sign			
Average Speed	50		50
Average Daily Trips (ADT)	28710		1590
Night Fraction of ADT	15		15
Road Gradient (%)			1
Vehicle DNL	56	0	60
Calculate Road #1 DNL	61	Reset	

Add Road Source Add Rail Source

Airport Noise Level

Loud Impulse Sounds?

Yes  No

Combined DNL for all  
Road and Rail sources

61

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

Reset

# Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
  - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
  - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
  - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
  - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
  - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

## Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

[Home \(/\)](#) > [Programs \(/programs/\)](#) > [Environmental Review \(/programs/environmental-review/\)](#) > DNL Calculator

## DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](#).

## Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

## DNL Calculator

<b>Site ID</b>	Palantine Meadows NAL-2
<b>Record Date</b>	08/10/2022
<b>User's Name</b>	Braun Intertec Corporation
<b>Road # 1 Name:</b>	<b>MLK Blvd</b>

**Road #1**

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	420		420
Distance to Stop Sign			
Average Speed	50		50
Average Daily Trips (ADT)	28710		1590
Night Fraction of ADT	15		15
Road Gradient (%)			1
Vehicle DNL	58	0	62
Calculate Road #1 DNL	63	Reset	

Add Road Source

Add Rail Source

Airport Noise Level

Loud Impulse Sounds?

Yes  No

Combined DNL for all  
Road and Rail sources

63

Combined DNL including Airport

N/A

Site DNL with Loud Impulse Sound

Calculate

Reset

# Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
  - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
  - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
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  - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
  - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

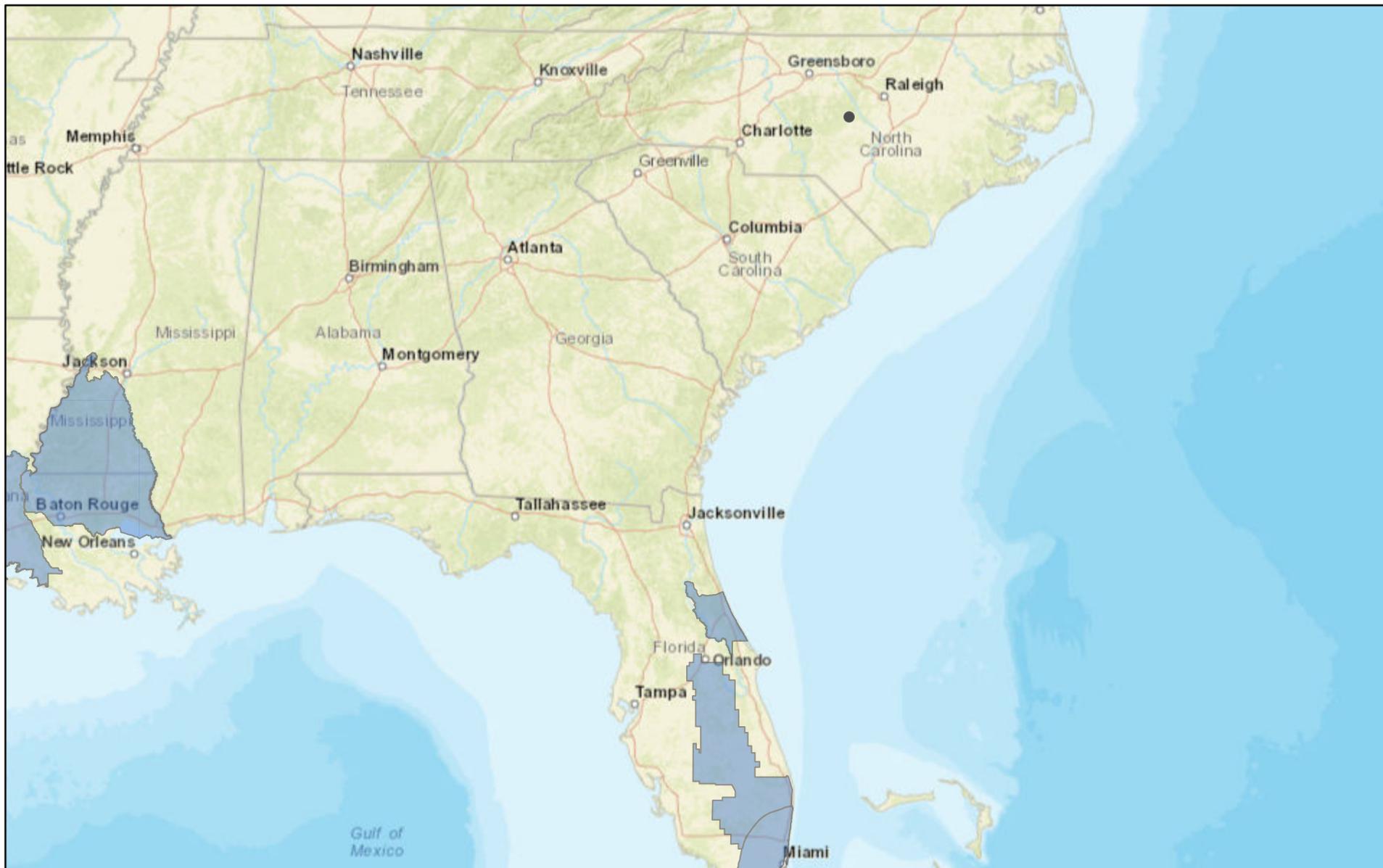
## Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

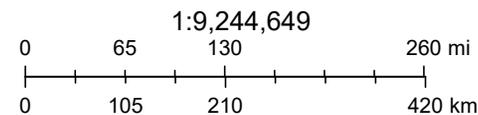
**Attachment M**  
**Sole Source Aquifers**

# North Carolina Sole Source Aquifer Map



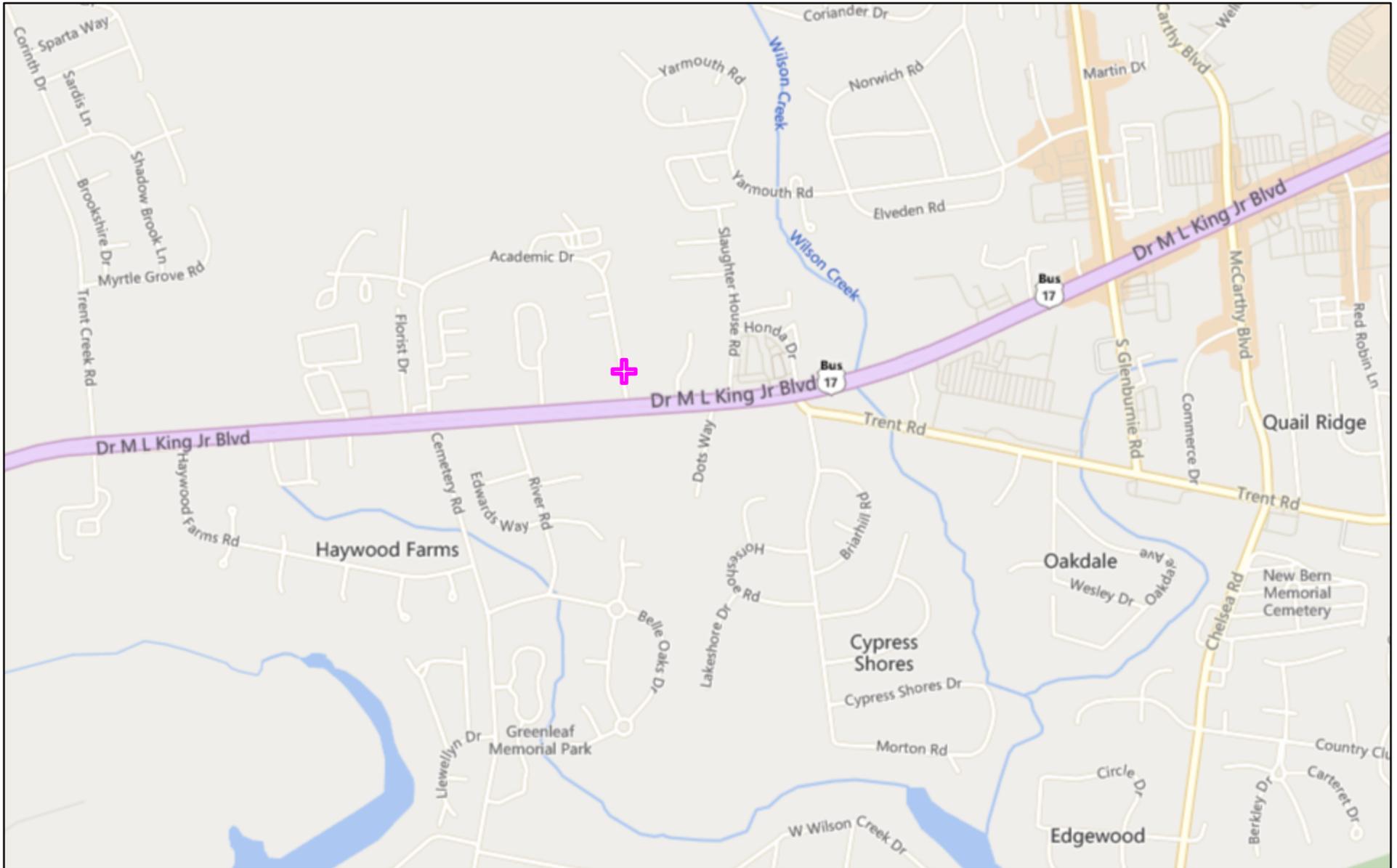
6/7/2022, 1:53:09 PM

 Sole\_Source\_Aquifers



Esri, HERE, Garmin, NGA, USGS, NPS

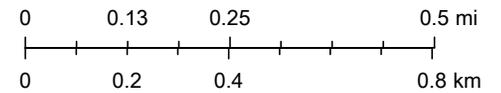
# Sole Source Aquifers



January 6, 2022

 Search Result (point)

1:18,056



## **Attachment N**

### **Wetlands**



-  Approximate Site Boundary
-  Proposed Stormwater Pond
-  Floodplain
-  Ditch
-  Wet Section of Ditch
-  Approximate Outfall Location



Drawing Information

Project No:  
B2111827

Drawing No:  
Fig3\_ProposedPlan

Drawn By: JPM  
Drawn Date: 1/7/2022  
Checked By: JW  
Last Modified: 8/18/2022

Project Information

Palatine Meadows

4100 Academic Drive

New Bern, North  
Carolina

**Proposed  
Project Plan**

Figure 3

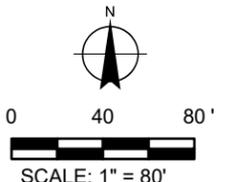
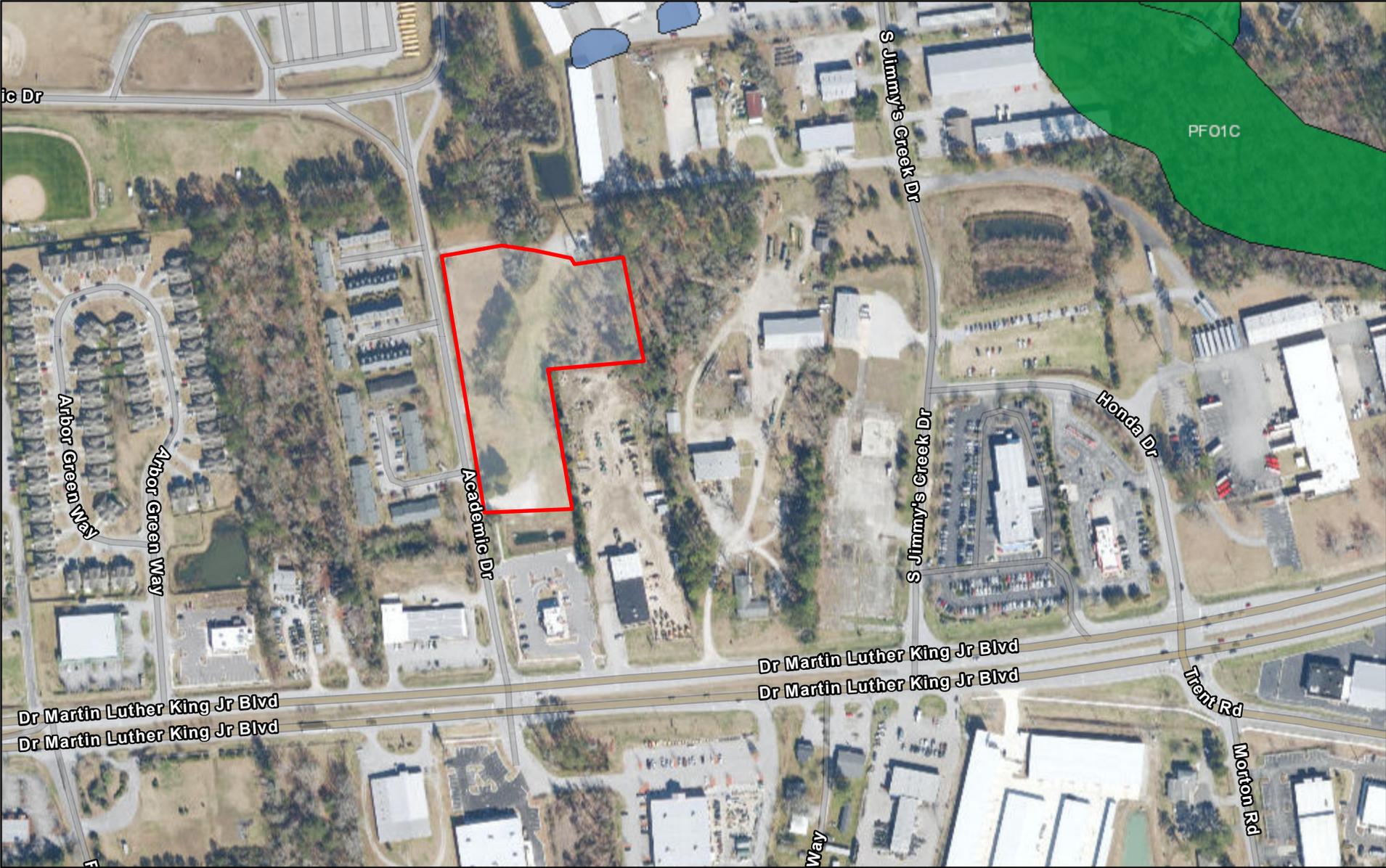


Image Source: Google Earth Imagery



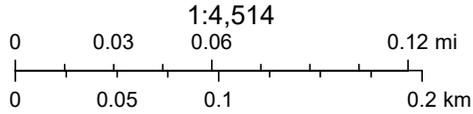
F:\2021\B2111827\GIS\B2111827.dwg

# Palatine Meadows - NWI Wetlands



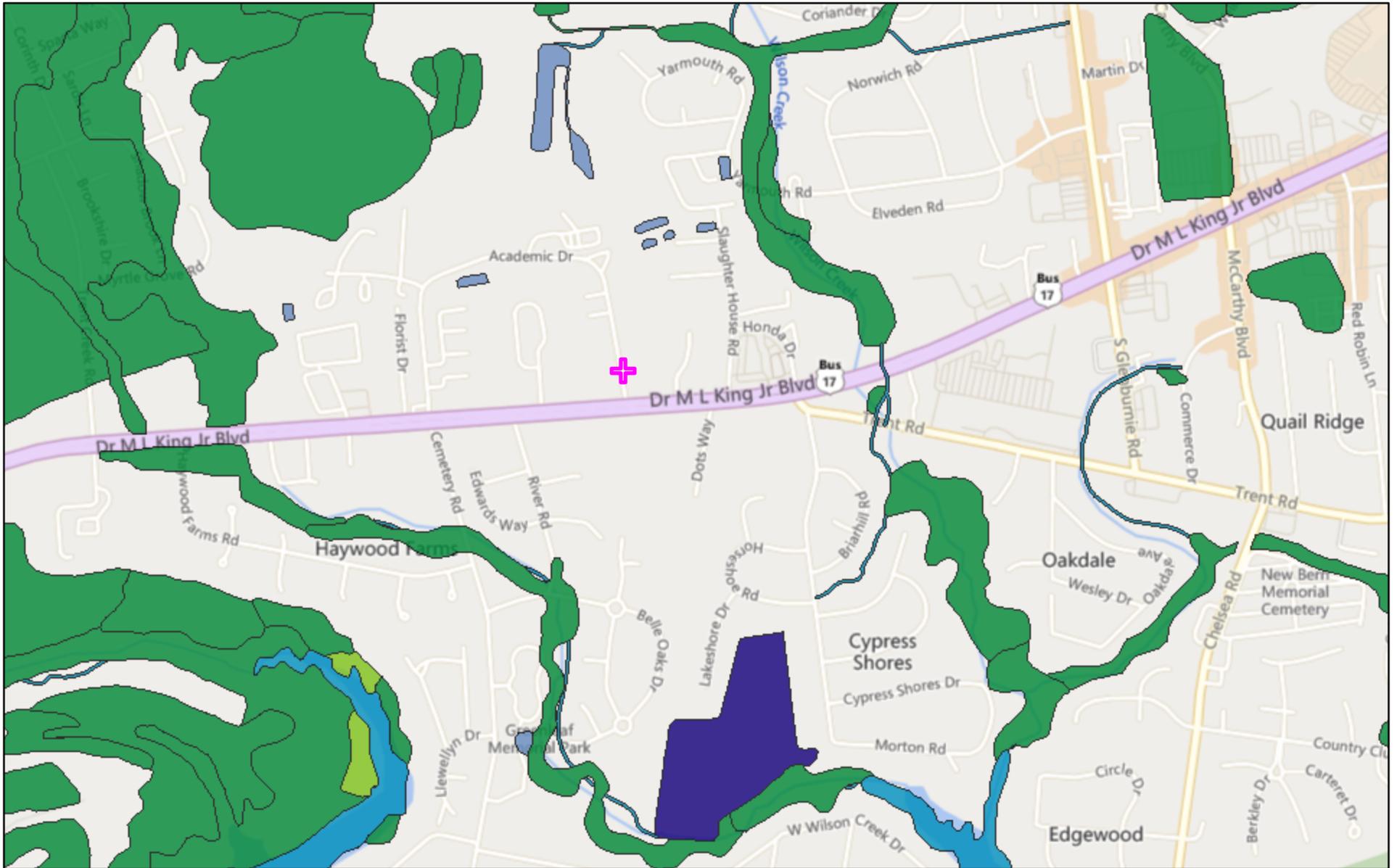
July 22, 2022

- Wetlands
-  Freshwater Emergent Wetland
  -  Lake
  -  Estuarine and Marine Deepwater
  -  Freshwater Forested/Shrub Wetland
  -  Other
  -  Estuarine and Marine Wetland
  -  Freshwater Pond
  -  Riverine



U.S. Fish and Wildlife Service, National Standards and Support Team, wetlands\_team@fws.gov, NC CGIA, Maxar, Esri Community Maps

# National Wetlands Inventory Map

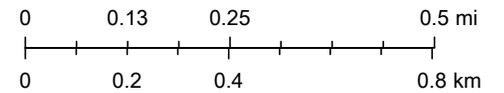


January 6, 2022

Wetlands

- |   |                                   |   |                 |
|---|-----------------------------------|---|-----------------|
|  | Freshwater Emergent Wetland       |  | Lake            |
|  | Freshwater Forested/Shrub Wetland |  | Other           |
|  | Estuarine and Marine Deepwater    |  | Riverine        |
|  | Estuarine and Marine Wetland      |  | Freshwater Pond |

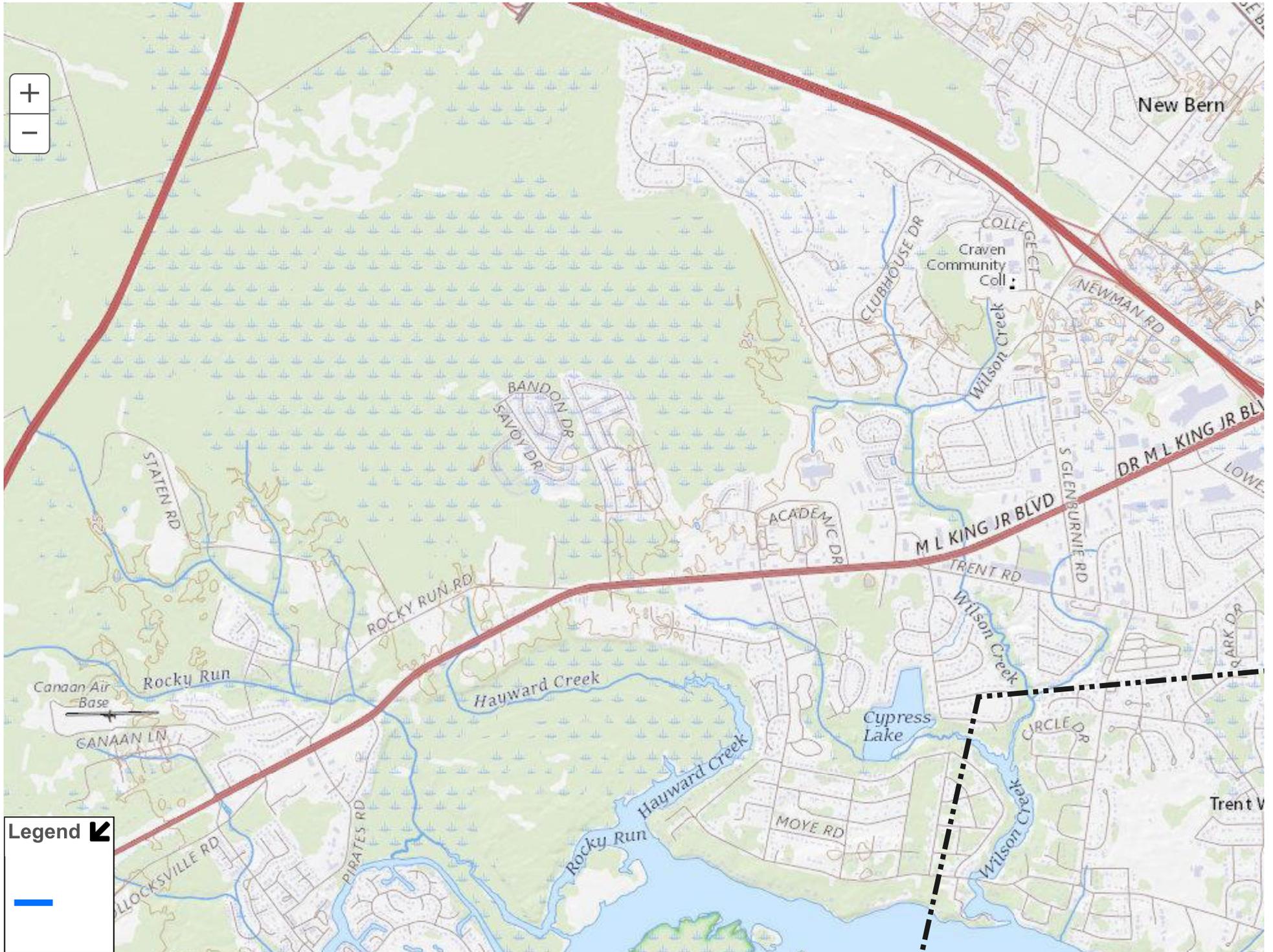
1:18,056



U.S. Fish and Wildlife Service, National Standards and Support Team,

**Attachment O**  
**Wild & Scenic Rivers**





**Attachment P**  
**Environmental Justice**

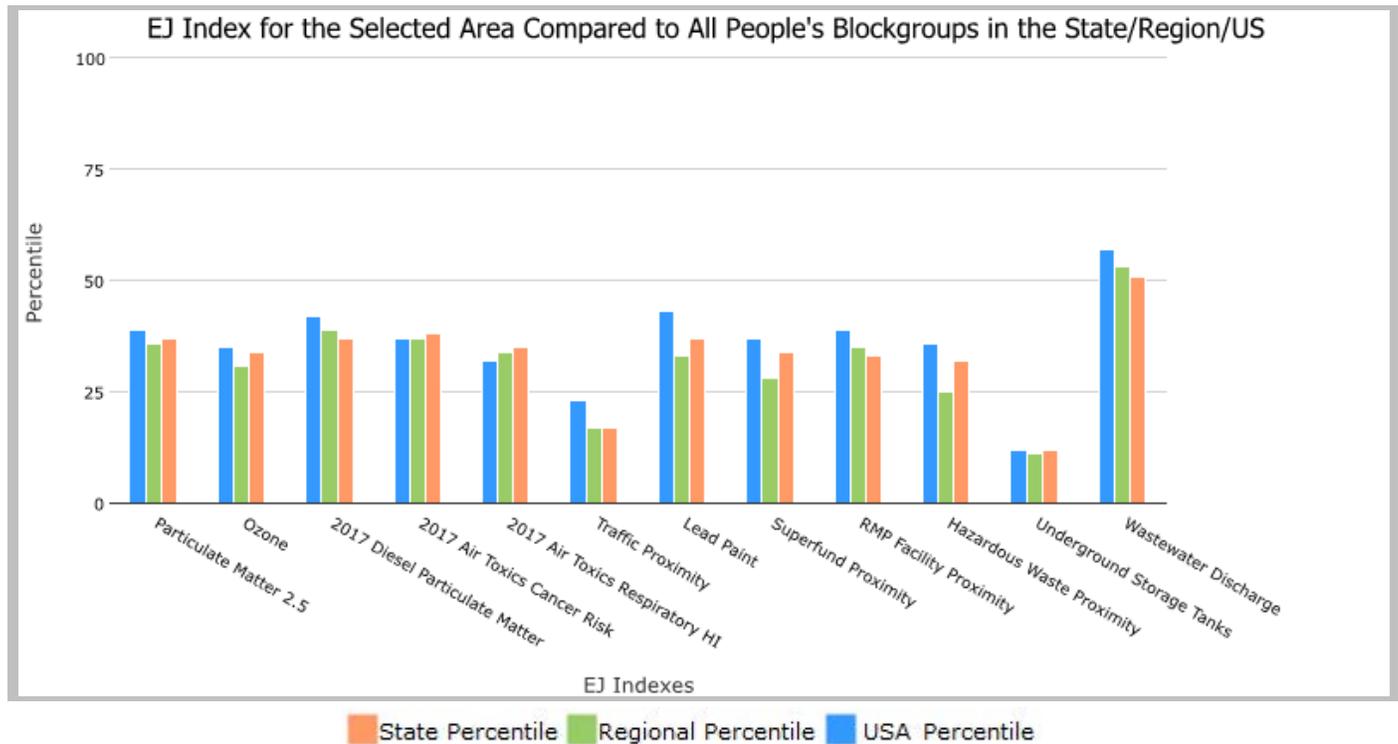
1 mile Ring Centered at 35.097035,-77.113153, NORTH CAROLINA, EPA Region 4

Approximate Population: 3,816

Input Area (sq. miles): 3.14

Palatine Meadows

Selected Variables	State Percentile	EPA Region Percentile	USA Percentile
<b>Environmental Justice Indexes</b>			
EJ Index for Particulate Matter 2.5	37	36	39
EJ Index for Ozone	34	31	35
EJ Index for 2017 Diesel Particulate Matter*	37	39	42
EJ Index for 2017 Air Toxics Cancer Risk*	38	37	37
EJ Index for 2017 Air Toxics Respiratory HI*	35	34	32
EJ Index for Traffic Proximity	17	17	23
EJ Index for Lead Paint	37	33	43
EJ Index for Superfund Proximity	34	28	37
EJ Index for RMP Facility Proximity	33	35	39
EJ Index for Hazardous Waste Proximity	32	25	36
EJ Index for Underground Storage Tanks	12	11	12
EJ Index for Wastewater Discharge	51	53	57



This report shows the values for environmental and demographic indicators and EJSCREEN indexes. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, if a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.

## EJScreen Report (Version 2.0)

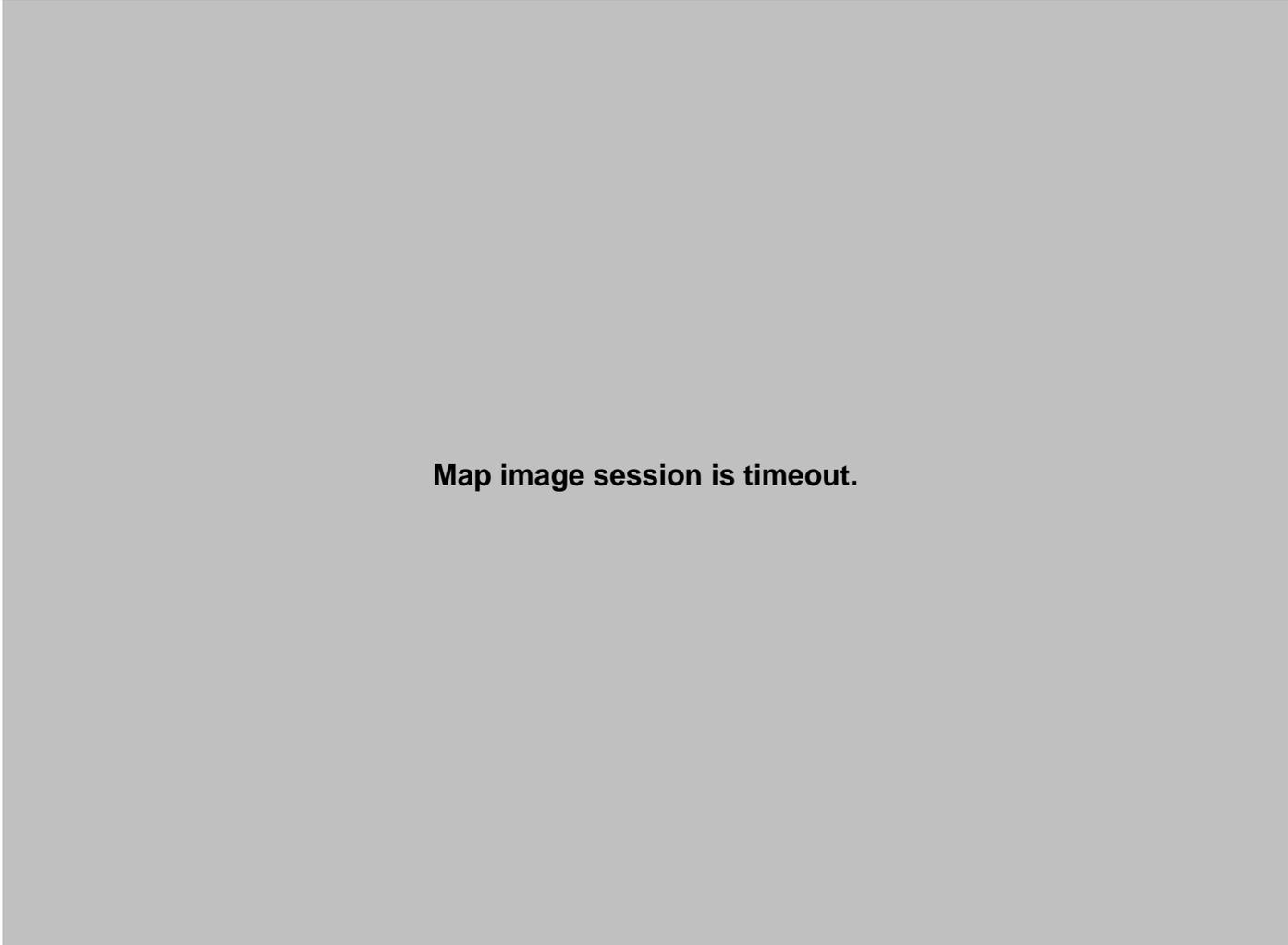


1 mile Ring Centered at 35.097035,-77.113153, NORTH CAROLINA, EPA Region 4

Approximate Population: 3,816

Input Area (sq. miles): 3.14

Palatine Meadows



Sites reporting to EPA	
Superfund NPL	0
Hazardous Waste Treatment, Storage, and Disposal Facilities (TSDF)	0

## EJScreen Report (Version 2.0)

1 mile Ring Centered at 35.097035,-77.113153, NORTH CAROLINA, EPA Region 4

Approximate Population: 3,816

Input Area (sq. miles): 3.14

### Palatine Meadows

Selected Variables	Value	State Avg.	%ile in State	EPA Region Avg.	%ile in EPA Region	USA Avg.	%ile in USA
<b>Pollution and Sources</b>							
Particulate Matter 2.5 ( $\mu\text{g}/\text{m}^3$ )	6.06	7.74	8	8.18	1	8.74	4
Ozone (ppb)	37.1	41.7	8	37.9	42	42.6	17
2017 Diesel Particulate Matter* ( $\mu\text{g}/\text{m}^3$ )	0.106	0.182	19	0.261	<50th	0.295	<50th
2017 Air Toxics Cancer Risk* (lifetime risk per million)	20	29	18	31	<50th	29	<50th
2017 Air Toxics Respiratory HI*	0.3	0.37	36	0.4	<50th	0.36	<50th
Traffic Proximity (daily traffic count/distance to road)	230	350	63	430	61	710	51
Lead Paint (% Pre-1960 Housing)	0.032	0.16	26	0.15	35	0.28	23
Superfund Proximity (site count/km distance)	0.033	0.082	37	0.083	46	0.13	29
RMP Facility Proximity (facility count/km distance)	0.14	0.39	39	0.6	31	0.75	24
Hazardous Waste Proximity (facility count/km distance)	0.24	0.83	40	0.62	54	2.2	33
Underground Storage Tanks (count/km <sup>2</sup> )	3.4	3.4	72	3.5	72	3.9	70
Wastewater Discharge (toxicity-weighted concentration/m distance)	1E-07	0.25	0	0.45	0	12	0
<b>Socioeconomic Indicators</b>							
Demographic Index	22%	36%	30	37%	29	36%	35
People of Color	24%	37%	38	39%	39	40%	41
Low Income	21%	34%	28	35%	27	31%	37
Unemployment Rate	2%	6%	26	6%	26	5%	28
Linguistically Isolated	1%	2%	58	3%	55	5%	49
Less Than High School Education	6%	12%	30	13%	27	12%	34
Under Age 5	3%	6%	19	6%	20	6%	18
Over Age 64	26%	16%	89	17%	87	16%	89

\*Diesel particulate matter, air toxics cancer risk, and air toxics respiratory hazard index are from the EPA's 2017 Air Toxics Data Update, which is the Agency's ongoing, comprehensive evaluation of air toxics in the United States. This effort aims to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that the air toxics data presented here provide broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. Cancer risks and hazard indices from the Air Toxics Data Update are reported to one significant figure and any additional significant figures here are due to rounding. More information on the Air Toxics Data Update can be found at: <https://www.epa.gov/haps/air-toxics-data-update>.

For additional information, see: [www.epa.gov/environmentaljustice](http://www.epa.gov/environmentaljustice)

EJScreen is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach. It does not provide a basis for decision-making, but it may help identify potential areas of EJ concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJScreen documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EJScreen outputs should be supplemented with additional information and local knowledge before taking any action to address potential EJ concerns.

Location: User-specified point center at 35.097035, -77.113153  
 Ring (buffer): 1-miles radius  
 Description: Palatine Meadows

Summary of ACS Estimates		2015 - 2019
Population		3,816
Population Density (per sq. mile)		1,329
People of Color Population		902
% People of Color Population		24%
Households		1,772
Housing Units		1,849
Housing Units Built Before 1950		26
Per Capita Income		40,307
Land Area (sq. miles) (Source: SF1)		2.87
% Land Area		96%
Water Area (sq. miles) (Source: SF1)		0.13
% Water Area		4%

	2015 - 2019 ACS Estimates	Percent	MOE (±)
<b>Population by Race</b>			
Total	3,816	100%	360
Population Reporting One Race	3,786	99%	1,056
White	3,029	79%	308
Black	657	17%	277
American Indian	0	0%	39
Asian	16	0%	305
Pacific Islander	0	0%	12
Some Other Race	83	2%	115
Population Reporting Two or More Races	30	1%	105
Total Hispanic Population	196	5%	138
Total Non-Hispanic Population	3,620		
White Alone	2,914	76%	295
Black Alone	654	17%	277
American Indian Alone	0	0%	39
Non-Hispanic Asian Alone	16	0%	305
Pacific Islander Alone	0	0%	12
Other Race Alone	4	0%	20
Two or More Races Alone	30	1%	105
<b>Population by Sex</b>			
Male	1,793	47%	226
Female	2,024	53%	256
<b>Population by Age</b>			
Age 0-4	105	3%	93
Age 0-17	606	16%	182
Age 18+	3,211	84%	416
Age 65+	1,010	26%	194

**Data Note:** Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2015 - 2019

Location: User-specified point center at 35.097035, -77.113153

Ring (buffer): 1-miles radius

Description: Palatine Meadows

	2015 - 2019 ACS Estimates	Percent	MOE (±)
<b>Population 25+ by Educational Attainment</b>			
Total	3,018	100%	260
Less than 9th Grade	40	1%	88
9th - 12th Grade, No Diploma	131	4%	72
High School Graduate	639	21%	192
Some College, No Degree	773	26%	283
Associate Degree	524	17%	156
Bachelor's Degree or more	912	30%	218
<b>Population Age 5+ Years by Ability to Speak English</b>			
Total	3,711	100%	345
Speak only English	3,496	94%	344
Non-English at Home <sup>1+2+3+4</sup>	216	6%	231
<sup>1</sup> Speak English "very well"	129	3%	189
<sup>2</sup> Speak English "well"	83	2%	65
<sup>3</sup> Speak English "not well"	4	0%	185
<sup>4</sup> Speak English "not at all"	0	0%	33
<sup>3+4</sup> Speak English "less than well"	4	0%	185
<sup>2+3+4</sup> Speak English "less than very well"	87	2%	196
<b>Linguistically Isolated Households*</b>			
Total	17	100%	115
Speak Spanish	15	90%	24
Speak Other Indo-European Languages	0	0%	12
Speak Asian-Pacific Island Languages	1	7%	96
Speak Other Languages	1	3%	60
<b>Households by Household Income</b>			
Household Income Base	1,772	100%	157
< \$15,000	96	5%	118
\$15,000 - \$25,000	186	11%	115
\$25,000 - \$50,000	446	25%	191
\$50,000 - \$75,000	253	14%	113
\$75,000 +	792	45%	195
<b>Occupied Housing Units by Tenure</b>			
Total	1,772	100%	157
Owner Occupied	1,281	72%	142
Renter Occupied	492	28%	165
<b>Employed Population Age 16+ Years</b>			
Total	3,384	100%	322
In Labor Force	1,807	53%	225
Civilian Unemployed in Labor Force	41	1%	81
Not In Labor Force	1,578	47%	268

**Data Note:** Detail may not sum to totals due to rounding. Hispanic population can be of anyrace.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS)

\*Households in which no one 14 and over speaks English "very well" or speaks English only.

Location: User-specified point center at 35.097035, -77.113153

Ring (buffer): 1-miles radius

Description: Palatine Meadows

	2015 - 2019 ACS Estimates	Percent	MOE (±)
<b>Population by Language Spoken at Home*</b>			
Total (persons age 5 and above)	1,115	100%	336
English	924	83%	369
Spanish	36	3%	120
French	14	1%	12
French Creole	N/A	N/A	N/A
Italian	N/A	N/A	N/A
Portuguese	N/A	N/A	N/A
German	1	0%	7
Yiddish	N/A	N/A	N/A
Other West Germanic	N/A	N/A	N/A
Scandinavian	N/A	N/A	N/A
Greek	N/A	N/A	N/A
Russian	N/A	N/A	N/A
Polish	N/A	N/A	N/A
Serbo-Croatian	N/A	N/A	N/A
Other Slavic	N/A	N/A	N/A
Armenian	N/A	N/A	N/A
Persian	N/A	N/A	N/A
Gujarathi	N/A	N/A	N/A
Hindi	N/A	N/A	N/A
Urdu	N/A	N/A	N/A
Other Indic	N/A	N/A	N/A
Other Indo-European	2	0%	10
Chinese	15	1%	83
Japanese	N/A	N/A	N/A
Korean	3	0%	17
Mon-Khmer, Cambodian	N/A	N/A	N/A
Hmong	N/A	N/A	N/A
Thai	N/A	N/A	N/A
Laotian	N/A	N/A	N/A
Vietnamese	0	0%	12
Other Asian	74	7%	233
Tagalog	8	1%	35
Other Pacific Island	N/A	N/A	N/A
Navajo	N/A	N/A	N/A
Other Native American	N/A	N/A	N/A
Hungarian	N/A	N/A	N/A
Arabic	10	1%	53
Hebrew	N/A	N/A	N/A
African	N/A	N/A	N/A
Other and non-specified	23	2%	122
Total Non-English	191	17%	499

**Data Note:** Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2015 - 2019.

\*Population by Language Spoken at Home is available at the census tract summary level and up.

Location: User-specified point center at 35.097035, -77.113153

Ring (buffer): 1-miles radius

Description: Palatine Meadows

Summary	Census 2010
Population	3,557
Population Density (per sq. mile)	1,240
People of Color Population	783
% People of Color Population	22%
Households	1,561
Housing Units	1,685
Land Area (sq. miles)	2.87
% Land Area	97%
Water Area (sq. miles)	0.10
% Water Area	3%

Population by Race	Number	Percent
Total	3,557	-----
Population Reporting One Race	3,496	98%
White	2,834	80%
Black	548	15%
American Indian	15	0%
Asian	67	2%
Pacific Islander	10	0%
Some Other Race	23	1%
Population Reporting Two or More Races	61	2%
Total Hispanic Population	96	3%
Total Non-Hispanic Population	3,461	97%
White Alone	2,774	78%
Black Alone	541	15%
American Indian Alone	13	0%
Non-Hispanic Asian Alone	67	2%
Pacific Islander Alone	7	0%
Other Race Alone	4	0%
Two or More Races Alone	54	2%

Population by Sex	Number	Percent
Male	1,718	48%
Female	1,839	52%

Population by Age	Number	Percent
Age 0-4	202	6%
Age 0-17	683	19%
Age 18+	2,874	81%
Age 65+	847	24%

Households by Tenure	Number	Percent
Total	1,561	
Owner Occupied	1,183	76%
Renter Occupied	378	24%

**Data Note:** Detail may not sum to totals due to rounding. Hispanic population can be of any race.

**Source:** U.S. Census Bureau, Census 2010 Summary File 1.



**Attachment Q**  
**EA Factors Attachment**



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# NEW BERN

NEW BERN POLICE DEPARTMENT

P.O. Box 1129, New Bern, NC 28563-1129  
(252) 672-4100

*Police and Community come together here.*



Patrick L. Gallagher  
Chief of Police

Date: August 5,

2022

**Woda Cooper Companies, Inc.**  
**Attn: Casie Hutchinson**  
**500 S. Front St., 10th Floor**  
**Columbus OH 43215**  
**Office: (614) 396-0126**

Dear Sir/Ma'am,

At your request, this letter is provided in order to verify/assign the below addresses which are located on parcel #8-211-008 - Palatine Meadows

**Address example: 3211 would be building 3200 (1)First floor, (1)unit 1**  
**Address example: 3421 would be building 3400 (2)Second floor, (1)unit 1**

BUILDING	FLOOR	ADDRESS	ROAD
Community Center		3000	ACADEMIC DRIVE
Playground		3002	ACADEMIC DRIVE
Grill Area		3004	ACADEMIC DRIVE
<b>A</b>	1	3211	ACADEMIC DRIVE
	1	3212	ACADEMIC DRIVE
	1	3213	ACADEMIC DRIVE
	1	3214	ACADEMIC DRIVE
	1	3215	ACADEMIC DRIVE
	1	3216	ACADEMIC DRIVE
	1	3217	ACADEMIC DRIVE
	1	3218	ACADEMIC DRIVE
	2	3221	ACADEMIC DRIVE
	2	3222	ACADEMIC DRIVE
	2	3223	ACADEMIC DRIVE

	2	3224	ACADEMIC DRIVE
	2	3225	ACADEMIC DRIVE
	2	3226	ACADEMIC DRIVE
	2	3227	ACADEMIC DRIVE
	2	3228	ACADEMIC DRIVE
	3	3231	ACADEMIC DRIVE
	3	3232	ACADEMIC DRIVE
	3	3233	ACADEMIC DRIVE
	3	3234	ACADEMIC DRIVE
	3	3235	ACADEMIC DRIVE
	3	3236	ACADEMIC DRIVE
	3	3237	ACADEMIC DRIVE
	3	3238	ACADEMIC DRIVE
<b>B</b>	1	3411	ACADEMIC DRIVE
	1	3412	ACADEMIC DRIVE
	1	3413	ACADEMIC DRIVE
	1	3414	ACADEMIC DRIVE
	1	3415	ACADEMIC DRIVE
	1	3416	ACADEMIC DRIVE
	1	3417	ACADEMIC DRIVE
	1	3418	ACADEMIC DRIVE
	2	3421	ACADEMIC DRIVE
	2	3422	ACADEMIC DRIVE
	2	3423	ACADEMIC DRIVE
	2	3424	ACADEMIC DRIVE
	2	3425	ACADEMIC DRIVE
	2	3426	ACADEMIC DRIVE
	2	3427	ACADEMIC DRIVE
	2	3428	ACADEMIC DRIVE
	3	3431	ACADEMIC DRIVE
	3	3432	ACADEMIC DRIVE
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	3	3434	ACADEMIC DRIVE
	3	3435	ACADEMIC DRIVE
	3	3436	ACADEMIC DRIVE
	3	3437	ACADEMIC DRIVE
	3	3438	ACADEMIC DRIVE
<b>C</b>	1	3611	ACADEMIC DRIVE
	1	3612	ACADEMIC DRIVE
	1	3613	ACADEMIC DRIVE
	1	3614	ACADEMIC DRIVE
	2	3621	ACADEMIC DRIVE
	2	3622	ACADEMIC DRIVE

	2	3623	ACADEMIC DRIVE
	2	3624	ACADEMIC DRIVE
	3	3631	ACADEMIC DRIVE
	3	3632	ACADEMIC DRIVE
	3	3633	ACADEMIC DRIVE
	3	3634	ACADEMIC DRIVE

Listed below is a set of guidelines also required by local ordinance to aid in property identification. All property owners and residents are required to display addresses based on the guidelines below:

1. Address numbers affixed to a structure must be a minimum of three (3) inches in height for residents and six (6) for businesses and shall be placed on the front of the building facing the road, or on the end of the building nearest the road so as to be easily seen. Numbers may be displayed on a mailbox which is located directly in front of the structure. **If a building is more than 75 feet from the street on which it fronts, the address number shall be displayed on a sign attached to a fence, gate, lawn, stake, mailbox, or other suitable structure at or near the street right-of-way line so as to be clearly visible from the street.**

2. Numbers for multiple dwelling units and nonresidential buildings shall be at six (6) inches in height and shall be placed on the front of the building facing the road or on the end of the building nearest the road. Individual units will also be required to display at least three (3) inch unit numbers on the front door or immediately adjacent to the door.

3. Address numbers must be set on a background of contrasting color.

4. On a corner lot, the address number should face the street named in the address.

5. Address numbers should be plain block numeric numbers and not in alpha print.

If you have any questions or concerns, please contact the undersigned at (252) 672-4107. If we can be of further assistance, please feel free to call on us.

Best regards,

*Ronnie Compton*

Ronnie Compton,  
 Geographic Information Systems Technician  
 City of New Bern Addressing Coordinator  
 Technology and Records Section  
 New Bern Police Department



**NEW BERN**  
CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129  
New Bern, NC 28563-1129  
(252) 636-4000

**Aldermen**

Sabrina Bengel  
Jameesha Harris  
Robert V. Aster  
Johnnie Ray Kinsey  
Barbara J. Best  
Jeffrey T. Odham

**Dana E. Outlaw**  
Mayor  
**Foster Hughes**  
City Manager  
**Brenda E. Blanco**  
City Clerk

**CERTIFICATE OF ZONING COMPLIANCE**

Jennifer B. Wolff  
Group Manager - Senior Environmental Scientist  
11001 Hampshire Avenue  
Minneapolis, MN 55438

Project Name: Palatine Meadows  
Proposed No. of Units: 60-unit affordable rental housing  
Address: 4140 Academic Drive, New Bern, North Carolina

Closest street intersection or landmark: Academic Dr and M L King Blvd

The above project site is zoned C-3 Commercial and permits  or does not permit  the proposed use; or, zoning is not present, and the proposed use has  has not  been approved for the site.

Additional Comments/Conditions/Concerns Multifamily Housing is permitted by right in the C-3 zoning district.

*Seth Laughlin*

1-28-2022

Seth Laughlin  
Land and Community Development Administrator

Date:

**From:** [STACY LEE](#)  
**To:** [Wolff, Jennifer](#)  
**Subject:** Re: [External] Palatine Meadows  
**Date:** Thursday, January 20, 2022 4:11:11 PM  
**Attachments:** [image001.png](#)

---

Ms. Wolff,

The proposed project is located in the Craven County School District (NC) and will not adversely impact the schools serving this project. The middle school for this project, HJ MacDonald, is considered low performing by the North Carolina Department of Education.

Please let me know if you have any questions.

Stacy C. Lee  
Chief Officer of Systems and Operations  
3600 Trent Road  
New Bern, NC 28562  
Office: 252-514-6391  
[stacy.lee@cravenk12.org](mailto:stacy.lee@cravenk12.org)

On Thu, Jan 20, 2022 at 1:54 PM Wolff, Jennifer <[jwolff@braunintertec.com](mailto:jwolff@braunintertec.com)> wrote:

Mr. Lee-

As we discussed today, I am working with Woda Cooper on an affordable housing project Palatine Meadows, located at 4140 Academic Drive, New Bern. The proposed project consists of development of an undeveloped lot with three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. I have attached a proposed project plan for your reference.

HUD funds will be used for this project and so an environmental review is being completed. As part of that review, HUD requires that we confirm the availability of public education for this project. Here are the questions that we are asking:

The proposed project is located in the NAME school district(s), and WILL/WILL NOT adversely affect the schools serving this project. Furthermore, schools located in this district ARE/ARE NOT considered high risk or poor performing schools per state or federal performance standards.

Additional Comments/Conditions/Concerns:

I have also attached a document that you can use to reply if you prefer.  
Jennifer Wolff  
Braun Intertec

[Jwolff@braunintertec.com](mailto:jwolff@braunintertec.com)



**Jennifer B. Wolff, PG (MN), CPG, CHMM**

Group Manager - Senior Environmental Scientist

11001 Hampshire Avenue S | Minneapolis, MN 55438

~~952-995-2454 direct~~ | 612-360-8630 cell

**\*\*\*Working from home**

[jwolff@braunintertec.com](mailto:jwolff@braunintertec.com) PG licensed in MN

[braunintertec.com](http://braunintertec.com) |

All e-mail correspondence to and from this address is subject to the North Carolina Public Records Law, which may result in monitoring and disclosure to third parties, including law enforcement.

**PUBLIC WATER AND SEWER CERTIFICATION**

Project Name: Palatine Meadows  
Proposed No. of Units: 60  
Address: 4140 Academic Drive, New Bern, NC

Closest street intersection or landmark: Academic Drive and M L King Jr Blvd

Public Water is available and adequate  or is not available  to serve the above project. The closest tap is a \_\_\_\_\_ inch line located about \_\_\_\_\_ feet off-site.  
Water and sewer lines run along Academic Dr. Taps will need to be installed by your utility contractor.

Public Sewer is available and adequate  or is not available  to serve the above project. The closest tap is a \_\_\_\_\_ inch line located about \_\_\_\_\_ feet off-site.  
This line is approximately \_\_\_\_\_ feet deep. This will be a gravity flow system  ; a lift station will be required  or will not be required   
Water and sewer lines run along Academic Dr. Taps will need to be installed by your utility contractor.

Additional Comments/Conditions/Concerns Before you can receive a building permit all water and sewer system development and system connection fees have to be paid to the City of New Bern.

01-19-2022  
Date

Melissa Garris  
(Officials Signature)

Melissa Garris  
(Officials Name – Print or Type)

Water Resources Service Coordinator  
(Official’s Title)

Water Resources  
(Department Name)

Robert M. Boyd, Jr.  
Fire Chief



Daniel T. Hill, Jr.  
Fire Marshal  
Fire Prevention

### FIRE PROTECTION CERTIFICATION

Project Name: Palatine Meadows  
Proposed No. of Units: 60  
Address: 4140 Academic Drive, New Bern, NC

Closest street intersection or landmark: Academic Drive and M L King Jr Blvd

Fire Protection is available and adequate  for the project as the average response time of 8 minutes falls within the average community response time of 9 minutes; or adequate Fire Protection is not available  for the project. Furthermore, available Fire Protection will  will not  be adversely affected by the project.

Additional Comments/Conditions/Concerns \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

1/19/22 \_\_\_\_\_  
Date (Officials Signature) D.T. Hill Jr

Daniel T Hill Jr  
(Officials Name – Print or Type)

Fire Marshal  
(Official’s Title)

New Bern Fire-Rescue  
(Department Name)

Note: Copying official letterhead onto this certification is encouraged.  
*Everything comes together here.*



Founded 1797

# NEW BERN

## NEW BERN POLICE DEPARTMENT

P.O. Box 1129, New Bern, NC 28563-1129  
(252) 672-4100

*Police and Community Come Together Here*



Patrick L. Gallagher  
Chief of Police

### LAW ENFORCEMENT CERTIFICATION

Project Name: Palatine Meadows  
Proposed No. of Units: 60 units  
Address: 4140 Academic Drive, New Bern

Closest street intersection or landmark: Academic Drive and ML King Jr Blvd

Police Service is available and adequate  for the project as the average response time of 6.21 minutes falls within the average community response time of 5.00 minutes; or adequate Police Service is not available  for the project. Furthermore, available Police Service will  will not  be adversely affected by the project.

Additional Comments/Conditions/Concerns The increased traffic problem the development will cause on Academic Drive will most likely require additional police presence during the Morning hours.

1/26/2022

Date

  
\_\_\_\_\_  
(Official's Signature)

Patrick L Gallagher  
\_\_\_\_\_  
(Official's Name – Print or Type)

Chief of Police  
\_\_\_\_\_  
(Official's Title)

New Bern Police Department  
\_\_\_\_\_  
(Department Name)



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**Attachment R**

**SCH All Comments March/ April 2022**



STATE OF NORTH CAROLINA  
DEPARTMENT OF ADMINISTRATION

Roy Cooper  
GOVERNOR

Pamela B. Cashwell  
Secretary

March 22, 2022

Andrea Gievers  
Palatine Meadows  
c/o NC Department of Public Safety  
Office of Recovery and Resiliency  
Durham, NC 27709-

Re: SCH File # 22-E-4600-0174 Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories

Dear Andrea Gievers:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act. Attached to this letter for your consideration are comments made by the agencies in the review of this document.

If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

Should you have any questions, please do not hesitate to call.

Sincerely,

CRYSTAL BEST  
State Environmental Review Clearinghouse

Attachments

*Mailing Address:*  
NC DEPARTMENT OF ADMINISTRATION  
1301 MAIL SERVICE CENTER  
RALEIGH, NC 27699-1301

*Telephone:* (919)807-2425  
*Fax:* (919)733-9571  
*COURIER:* #51-01-00  
*Email:* [state.clearinghouse@doa.nc.gov](mailto:state.clearinghouse@doa.nc.gov)  
*Website:* [www.ncadmin.nc.gov](http://www.ncadmin.nc.gov)

*Location:*  
116 WEST JONES STREET  
RALEIGH, NORTH CAROLINA

Control No.: 22-E-4600-0174

Date Received: 2/17/2022

County.: CRAVEN

Agency Response: 3/21/2022

Review Closed: 3/21/2022

JINTAO WEN  
CLEARINGHOUSE COORDINATOR  
DPS - DIV OF EMERGENCY MANAGEMENT

Project Information

Type: National Environmental Policy Act ping

Applicant: Palatine Meadows

Project Desc.: Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JINTAO WEN

Date: 3/14/2022

Control No.: 22-E-4600-0174

Date Received: 2/17/2022

County.: CRAVEN

Agency Response: 3/21/2022

Review Closed: 3/21/2022

JEANNE STONE  
CLEARINGHOUSE COORDINATOR  
DEPT OF TRANSPORTATION

Project Information

Type: National Environmental Policy Act ping

Applicant: Palatine Meadows

Project Desc.: Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JEANNE STONE

Date: 2/18/2022



STATE OF NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

ROY COOPER  
GOVERNOR

J. ERIC BOYETTE  
SECRETARY

February 18, 2022

**MEMORANDUM TO:** Crystal Best  
NC State Clearinghouse  
Administrative Building, 5<sup>th</sup> Floor, Room #5026

**FROM:** Christopher Connolly, EIT  
Transportation Engineer  
Eastern Group II, Transportation Planning Branch

**SUBJECT:** 22-E-4600-0174 - Proposed project is for the construction of  
Palatine Meadows

These are comments from the NCDOT – Transportation Planning Branch regarding North Carolina State Clearinghouse of Administration Intergovernmental Review 22-E-4600-0174 - Proposed project is for the construction of Palatine Meadows.

The NCDOT – Transportation Planning Division would like to make the applicant aware of the following project that may impact the study area:

- U-6198: US 70 TO SR 1278 (TRENT ROAD). UGRADE TO SUPERSTREET
- R-4463A: US 17 BUSINESS TO SOUTH OF US17/US 70

Please see the attached graphics for a better view of the proposal. If you have any further questions, please do not hesitate to contact me at 919-707-0958 or email at [cmconnolly@ncdot.gov](mailto:cmconnolly@ncdot.gov).

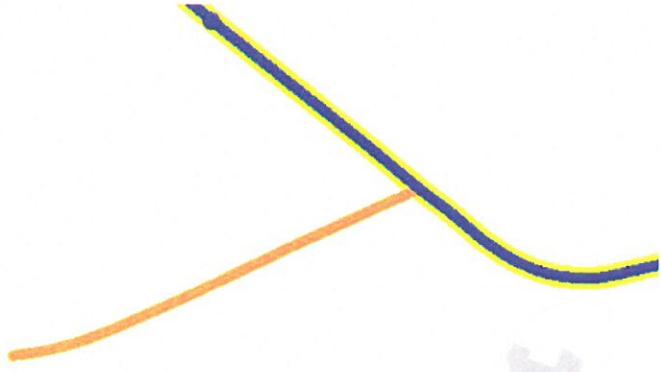
Attachments: NCDOT 2020-2029 STIP Map

*Mailing Address:*  
NC DEPARTMENT OF TRANSPORTATION  
TRANSPORTATION PLANNING BRANCH  
1554 MAIL SERVICE CENTER  
RALEIGH, NC 27699-1554

*Telephone:* (919) 707-0900  
*Fax:* (919) 733-9794  
*Customer Service:* 1-877-368-4968

*Website:* [www.ncdot.gov](http://www.ncdot.gov)

*Location:*  
1 SOUTH WILMINGTON STREET  
RALEIGH, NC 27601



Handwritten text, possibly a name or label, located below the green line.

Handwritten text, possibly a name or label, located below the orange line.

Handwritten text, possibly a name or label, located below the blue and yellow line.

Control No.: 22-E-4600-0174

Date Received: 2/17/2022

County.: CRAVEN

Agency Response: 3/21/2022

Review Closed: 3/21/2022

LYN HARDISON  
CLEARINGHOUSE COORDINATOR  
DEPT OF ENVIRONMENTAL QUALITY

Project Information

Type: National Environmental Policy Act ping

Applicant: Palatine Meadows

Project Desc.: Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: LYN HARDISON

Date: 3/21/2022



NORTH CAROLINA  
*Environmental Quality*

ROY COOPER  
*Governor*

ELIZABETH S. BISER  
*Secretary*

To: Crystal Best  
State Clearinghouse  
NC Department of Administration

From: Lyn Hardison  
Division of Environmental Assistance and Customer Service  
Washington Regional Office

RE: 22-0174  
Scoping – Proposed project is for the construction of Palatine Meadows consisting of a 60-unit affordable rental housing development targeting low-income family households.  
Craven County

Date: March 21, 2022

The Department of Environment Quality has reviewed the proposal for the referenced project. Based on the information provided, one (1) contamination site was identified within one mile of the project site. In addition, several of our agencies have identified permits that may be required and offered some valuable guidance. The comments are attached for the applicant's review.

The Department will continue to be available to assist the applicant with any question or concerns.

Thank you for the opportunity to respond.

Attachments



North Carolina Department of Environmental Quality  
217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601  
919.707.8600

ROY COOPER  
Governor  
ELIZABETH S. BISER  
Secretary  
MICHAEL SCOTT  
Director



Date: March 9, 2022

To: Michael Scott, Director  
Division of Waste Management

Through: Janet Macdonald  
Inactive Hazardous Sites Branch

From: Bonnie S. Ware  
Inactive Hazardous Sites Branch

Subject: NEPA Project # 22-0174, Palatine Meadows/CDBG-DR, Craven County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the Palatine Meadows/CDBG-DR project. Proposed project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

One (1) Superfund Section site was identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



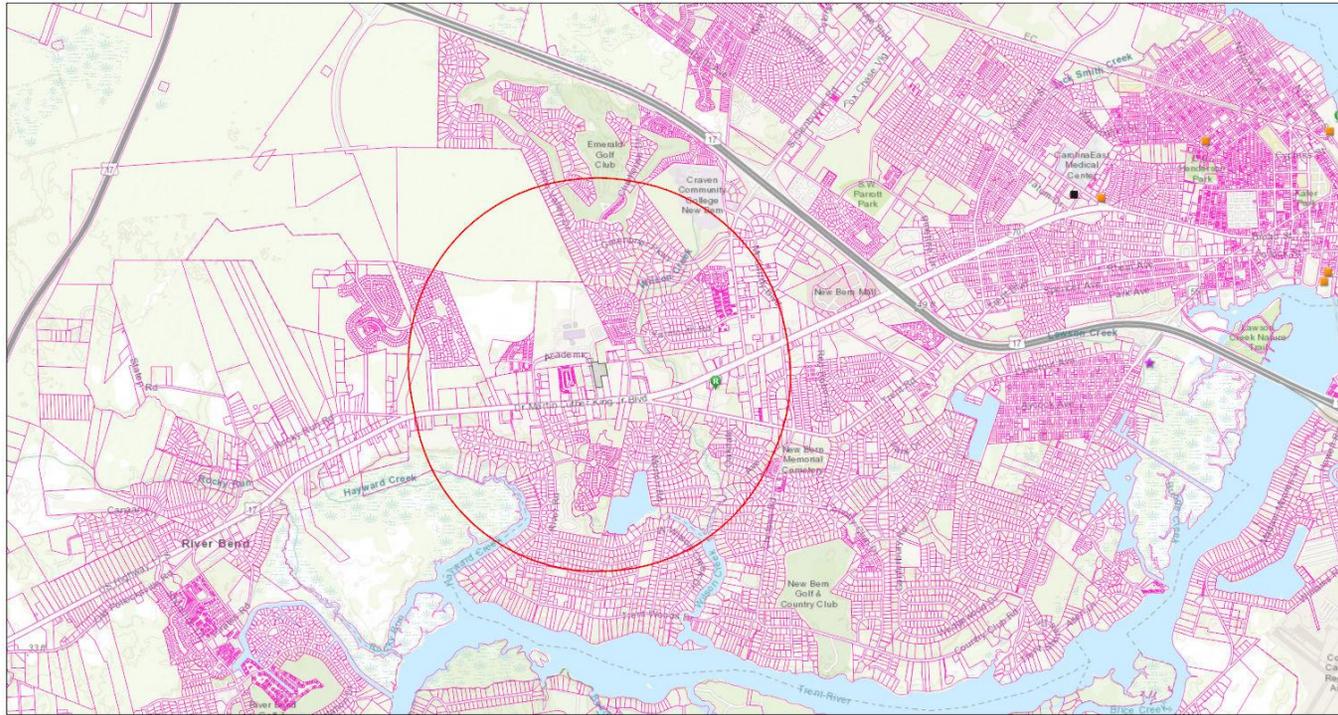
North Carolina Department of Environmental Quality | Division of Waste Management  
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646  
919.707.8200

# SUPERFUND SECTION SITES ONLY : SEPA/NEPA

## Area of Interest (AOI) Information

Area : 2,266.22 acres

Mar 9 2022 13:15:01 Eastern Standard Time



- NC Brownfields Location\_View
-  Recorded
-  Pre Regulatory Landfill Sites
-  Inactive Hazardous Sites
-  DryCleaning Contaminated
-  Parcels (Polygons) - Parcels



State of North Carolina DOT, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, METI/NASA, EPA, USDA

Superfund Section Sites Only : 22-0174 Craven County

## Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	0	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	0	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	1	N/A	N/A

## Brownfields Program Sites

#	BF_ID	BF_Name	Count
1	2006116025	Clarke Power Services	1



NORTH CAROLINA  
Environmental Quality

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director

## MEMORANDUM

TO: Michael Scott, Division Director through Sharon Brinkley

FROM: Drew Hammonds, Eastern District Supervisor - Solid Waste Section

DATE: March 14, 2022

SUBJECT: Review: SW 22-0174 – Craven County (Scoping – Palatine Meadows/CDBG-DR – Proposed project is for the construction of Palatine Meadows.)

---

The Division of Waste Management, Solid Waste Section (Section) has reviewed the documents submitted for the subject project in Craven County, NC. Based on the information provided in this document, the Section at this time does not see an adverse impact on the surrounding communities and likewise knows of no situations in the communities, which would affect this project.

For any planned or proposed projects, it is recommended that during any land clearing, demolition, and construction, the responsible party and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. **Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that the responsible party require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.**

Permitted solid waste management facilities are listed on the Division of Waste Management, Solid Waste Section portal site at: <https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/solid-waste-management-annual-reports/solid-waste-permitted-facility-list>

Questions regarding solid waste management for this project should be directed to Mr. Ray Williams, Environmental Senior Specialist, Solid Waste Section, at (252) 948-3955.

cc: Ray Williams, Environmental Senior Specialist



State of North Carolina Department of Environmental Quality  
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Washington  
 Project Number: 22-0174 Due Date: 3/16/2022  
 County: Craven

After review of this project it has been determined that the DEQ permit(s) and/or approvals indicated may need to be obtained in order for this project to comply with North Carolina Law. Questions regarding these permits should be addressed to the Regional Office indicated on the reverse of the form. All applications, information and guidelines relative to these plans and permits are available from the same Regional Office.

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Permit to construct & operate wastewater treatment facilities, non-standard sewer system extensions & sewer systems that do not discharge into state surface waters.	Application 90 days before begins construction or award of construction contracts. On-site inspection may be required. Post-application technical conference usual.	30 days (90 days)
<input checked="" type="checkbox"/>	Permit to construct & operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system	Fast-Track Permitting program consists of the submittal of an application and an engineer's certification that the project meets all applicable State rules and Division Minimum Design Criteria.	30 days (N/A)
<input type="checkbox"/>	NPDES - permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters.	Application 180 days before begins activity. On-site inspection. Pre-application conference usual. Additionally, obtain permit to construct wastewater treatment facility-granted after NPDES. Reply time, 30 days after receipt of plans or issue of NPDES permit-whichever is later.	90-120 days (N/A)
<input type="checkbox"/>	Water Use Permit	Pre-application technical conference usually necessary.	30 days (N/A)
<input type="checkbox"/>	Well Construction Permit	Complete application must be received and permit issued prior to the installation of a groundwater monitoring well located on property not owned by the applicant, and for a large capacity (>100,000 gallons per day) water supply well.	7 days (15 days)
<input type="checkbox"/>	Dredge and Fill Permit	Application copy must be served on each adjacent riparian property owner. On-site inspection. Pre-application conference usual. Filling may require Easement to Fill from N.C. Department of Administration and Federal Dredge and Fill Permit.	55 days (90 days)
<input type="checkbox"/>	Permit to construct & operate Air Pollution Abatement facilities and/or Emission Sources as per 15 A NCAC (2Q.0100 thru 2Q.0300)	Application must be submitted and permit received prior to construction and operation of the source. If a permit is required in an area without local zoning, then there are additional requirements and timelines (2Q.0113).	90 days
<input checked="" type="checkbox"/>	Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900	N/A	60 days (90 days)
<input checked="" type="checkbox"/>	Demolition or renovations of structures containing asbestos material must be in compliance with 15 A NCAC 20.1110 (a) (1) which requires notification and removal prior to demolition. Contact Asbestos Control Group 919-707-5950	Please Note - The Health Hazards Control Unit (HHCU) of the N.C. Department of Health and Human Services, must be notified of plans to demolish a building, including residences for commercial or industrial expansion, even if no asbestos is present in the building.	60 days (90 days)
<input checked="" type="checkbox"/>	The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. A fee of \$65 for the first acre or any part of an acre. An express review option is available with additional fees.		20 days (30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with NCDOT's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		(30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with _____ <b>Local Government's</b> approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		Based on Local Program
<input type="checkbox"/>	Compliance with 15A NCAC 2H .0126 - NPDES Stormwater Program which regulates three types of activities: Industrial, Municipal Separate Storm Sewer System & Construction activities that disturb ≥1 acre.		30-60 days (90 days)
<input checked="" type="checkbox"/>	Compliance with 15A NCAC 2H 1000 -State Stormwater Permitting Programs regulate site development and post-construction stormwater runoff control. Areas subject to these permit programs include all 20 coastal counties, and various other counties and watersheds throughout the state.		45 days (90 days)

State of North Carolina Department of Environmental Quality  
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Washington  
 Project Number: 22-0174 Due Date: 3/16/2022  
 County: Craven

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Mining Permit	On-site inspection usual. Surety bond filed with DEQ Bond amount varies with type mine and number of acres of affected land. Affected area greater than one acre must be permitted. The appropriate bond must be received before the permit can be issued.	30 days (60 days)
<input type="checkbox"/>	Dam Safety Permit	If permit required, application 60 days before begin construction. Applicant must hire N.C. qualified engineer to: prepare plans, inspect construction, and certify construction is according to DEQ approved plans. May also require a permit under mosquito control program. And a 404 permit from Corps of Engineers. An inspection of site is necessary to verify Hazard Classification. A minimum fee of \$200.00 must accompany the application. An additional processing fee based on a percentage or the total project cost will be required upon completion.	30 days (60 days)
<input type="checkbox"/>	Oil Refining Facilities	N/A	90-120 days (N/A)
<input type="checkbox"/>	Permit to drill exploratory oil or gas well	File surety bond of \$5,000 with DEQ running to State of NC conditional that any well opened by drill operator shall, upon abandonment, be plugged according to DEQ rules and regulations.	10 days N/A
<input type="checkbox"/>	Geophysical Exploration Permit	Application filed with DEQ at least 10 days prior to issue of permit. Application by letter. No standard application form.	10 days N/A
<input type="checkbox"/>	State Lakes Construction Permit	Application fee based on structure size is charged. Must include descriptions & drawings of structure & proof of ownership of riparian property	15-20 days N/A
<input type="checkbox"/>	401 Water Quality Certification	Compliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.	60 days (130 days)
<input type="checkbox"/>	Compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required. Buffer requirements: <a href="http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program">http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program</a>		
<input type="checkbox"/>	Nutrient Offset: Loading requirements for nitrogen and phosphorus in the Neuse and Tar-Pamlico River basins, and in the Jordan and Falls Lake watersheds, as part of the nutrient-management strategies in these areas. DWR nutrient offset information: <a href="http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information">http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information</a>		
<input type="checkbox"/>	CAMA Permit for MAJOR development	\$250.00 - \$475.00 fee must accompany application	75 days (150 days)
<input type="checkbox"/>	CAMA Permit for MINOR development	\$100.00 fee must accompany application	22 days (25 days)
<input checked="" type="checkbox"/>	Abandonment of any wells, if required must be in accordance with Title 15A. Subchapter 2C.0100.		
<input type="checkbox"/>	Notification of the proper regional office is requested if "orphan" underground storage tanks (USTS) are discovered during any excavation operation.		
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq., Plans and specifications should be submitted to 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. All public water supply systems must comply with state and federal drinking water monitoring requirements. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section at 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of the _____ water system must be approved through the _____ delegated plan approval authority. Please contact them at _____ for further information.		

State of North Carolina Department of Environmental Quality  
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Washington  
 Project Number: 22-0174 Due Date: 3/16/2022  
 County: Craven

Other Comments (attach additional pages as necessary, being certain to comment authority)

Division	Initials	No comment	Comments	Date Review
DAQ	FDB	<input checked="" type="checkbox"/>	No Comments	2/17/2022
DWR-WQROS (Aquifer & Surface)	DRS &	<input type="checkbox"/>	The proposed project may require a sewer extension permit. For more information contact DWR-WQROS in the Washington Regional office at (252)946-6481 & It is recommended to schedule a site visit with 401 Water quality staff to discuss the proposal and to ensure compliance will be maintained per 401 surface Water requirements, surface water standards and buffer rules.  If wetland, riparian buffers or stream impacts are proposed, this project will need to comply with/secure a 404 permit from the USACE, obtain a 401 Water Quality Certification authorization and a riparian buffer authorization.	2/28/2022
DWR-PWS	JEM	<input type="checkbox"/>	Plan approval required for expansion of a public water system	3/15/2022
DEMLR (LQ & SW)	SD	<input type="checkbox"/>	SW and E&SC required	2/22/22
DWM – UST	SNH	<input type="checkbox"/>	See attached comments	2/23/2022
Other Comments		<input type="checkbox"/>		/ /

**REGIONAL OFFICES**

Questions regarding these permits should be addressed to the Regional Office marked below.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> <b>Asheville Regional Office</b><br>2090 U.S. 70 Highway<br>Swannanoa, NC 28778-8211<br>Phone: 828-296-4500<br>Fax: 828-299-7043 | <input type="checkbox"/> <b>Fayetteville Regional Office</b><br>225 Green Street, Suite 714,<br>Fayetteville, NC 28301-5043<br>Phone: 910-433-3300<br>Fax: 910-486-0707  | <input type="checkbox"/> <b>Mooreville Regional Office</b><br>610 East Center Avenue, Suite 301,<br>Mooreville, NC 28115<br>Phone: 704-663-1699<br>Fax: 704-663-6040 |
| <input type="checkbox"/> <b>Raleigh Regional Office</b><br>3800 Barrett Drive,<br>Raleigh, NC 27609<br>Phone: 919-791-4200<br>Fax: 919-571-4718           | <input checked="" type="checkbox"/> <b>Washington Regional Office</b><br>943 Washington Square Mall,<br>Washington, NC 27889<br>Phone: 252-946-6481<br>Fax: 252-975-3716 | <input type="checkbox"/> <b>Wilmington Regional Office</b><br>127 Cardinal Drive Ext.,<br>Wilmington, NC 28405<br>Phone: 910-796-7215<br>Fax: 910-350-2004           |
|   | <input type="checkbox"/> <b>Winston-Salem Regional Office</b><br>450 Hanes Mill Road, Suite 300,<br>Winston-Salem, NC 27105<br>Phone: 336-776-9800<br>Fax: 336-776-9797  |  |

ROY COOPER  
*Governor*  
ELIZABETH S. BISER  
*Secretary*  
MICHAEL SCOTT  
*Director*



TO: Lyn Hardison, Environmental Coordinator

FROM: Sylvia Newsom-Hunneke, Regional UST Supervisor

COPY: Sharon Brinkley, Administrative Secretary

DATE: February 23, 2022

RE: Environmental Review – Project Number 22-0174– Proposed project is for the construction of Palatine Meadows, a 60-unit affordable rental housing development for low income family households in New Bern, Craven County.

I searched the Petroleum Underground Storage Tank (UST) and Non-UST Databases and review of those databases did not indicate any petroleum releases within the proposed project areas. I reviewed the above proposal and determined that this project should not have any adverse impact upon groundwater. The following comments are pertinent to my review:

1. The Washington Regional Office (WaRO) UST Section recommends removal of any abandoned or out-of-use petroleum USTs or petroleum above ground storage tanks (ASTs) within the project area. The UST Section should be contacted regarding use of any proposed or on-site petroleum USTs or ASTs. We may be reached at (252) 946-6481.
2. Any petroleum USTs or ASTs must be installed and maintained in accordance with applicable local, state, and federal regulations. For additional information on petroleum ASTs, it is advisable that the North Carolina Department of Insurance at (919) 661-5880 ext. 239, USEPA (404) 562-8761, local fire department, and Local Building Inspectors be contacted.
3. Any petroleum spills must be contained, and the area of impact must be properly restored. Petroleum spills of significant quantity must be reported to the North Carolina Department of Environmental Quality – Division of Waste Management Underground Storage Tank Section in the Washington Regional Office at (252) 946-6481
4. Any soils excavated during demolition or construction that show evidence of petroleum contamination, such as stained soil, odors, or free product must be reported immediately to the local Fire Marshall to determine whether explosive or inhalation hazards exist. Also, notify the UST Section of the Washington Regional Office at (252) 946-6481. Petroleum contaminated soils must be handled in accordance with all applicable regulations.
5. Any questions or concerns regarding spills from petroleum USTs, ASTs, or vehicles should be directed to the UST Section at (252) 946-6481.



## Department of Environmental Quality Project Review Form

**Project Number:** 22-0174

**County:** Craven

**Date Received:** 2-17-2022

**Due Date: 3-16-2022**

**Project Description:** *Scoping - Proposed project is for the construction of Palatine Meadows which will consist of a 60-unit affordable rental housing development targeting low-income family households.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input checked="" type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife <u>Maria</u>
<input type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: <b>3-1-2022</b>	In-House Reviewer/Agency: <b>M. J. D. NWRRC</b>
--------------------------	--------------------------	--

Response (check all applicable)

No objection to project as proposed.
  No Comment

Insufficient information to complete review
  Other (specify or attach comments)

If you have any questions, please contact:  
**Lyn Hardison at [lyn.hardison@ncdenr.gov](mailto:lyn.hardison@ncdenr.gov) or (252) 948-3842**  
**943 Washington Square Mall Washington NC 27889**  
**Courier No. 16-04-01**

# Department of Environmental Quality Project Review Form

**Project Number: 22-0174**

**County: Craven**

**Date Received: 2-17-2022**

**Due Date: 3-16-2022**

**Project Description:** *Scoping - Proposed project is for the construction of Palatine Meadows which will consist of a 60-unit affordable rental housing development targeting low-income family households.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input checked="" type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife <u>Maria</u>
<input type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: 3/15/22	In-House Reviewer/Agency: Melodi Deaver, Hazardous Waste Section
--------------------------	------------------	---

Response (check all applicable)

X

No objection to project as proposed.       No Comment

Insufficient information to complete review       Other (specify or attach comments)

If you have any questions, please contact:  
**Lyn Hardison at [lyn.hardison@ncdenr.gov](mailto:lyn.hardison@ncdenr.gov) or (252) 948-3842**  
**943 Washington Square Mall Washington NC 27889**  
**Courier No. 16-04-01**



STATE OF NORTH CAROLINA  
DEPARTMENT OF ADMINISTRATION

Roy Cooper  
GOVERNOR

Pamela B. Cashwell  
Secretary

April 12, 2022

Andrea Gievers  
Palatine Meadows  
c/o NC Department of Public Safety  
Office of Recovery and Resiliency  
Durham, NC 27709-

Re: SCH File # 22-E-4600-0174 Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories

Dear Andrea Gievers:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act. Attached to this letter for your consideration are comments made by the agencies in the review of this document.

If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

Should you have any questions, please do not hesitate to call.

Sincerely,

CRYSTAL BEST  
State Environmental Review Clearinghouse

Attachments

Mailing Address:  
NC DEPARTMENT OF ADMINISTRATION  
1301 MAIL SERVICE CENTER  
RALEIGH, NC 27699-1301

Telephone: (919)807-2425  
Fax: (919)733-9571  
COURIER: #51-01-00  
Email: [state.clearinghouse@doa.nc.gov](mailto:state.clearinghouse@doa.nc.gov)  
Website: [www.ncadmin.nc.gov](http://www.ncadmin.nc.gov)

Location:  
116 WEST JONES STREET  
RALEIGH, NORTH CAROLINA



**North Carolina Department of Natural and Cultural Resources  
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper  
Secretary D. Reid Wilson

Office of Archives and History  
Deputy Secretary, Darin J. Waters, Ph.D.

April 11, 2022

**MEMORANDUM**

**TO:** Crystal Best  
North Carolina State Clearinghouse  
Department of Administration

[crystal.best@doa.nc.gov](mailto:crystal.best@doa.nc.gov)

**FROM:** Ramona M. Bartos, Deputy  
State Historic Preservation Officer

*RMB for Ramona M. Bartos*

**SUBJECT:** Construct Palatine Meadows residential subdivision, 4140 Academic Drive, New Bern, Craven County, 22-E-4600-0174, ER 22-0567

Thank you for your email of February 17, 2022, concerning the above project.

We have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we have no comment on the project as proposed.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-814-6579 or [environmental.review@ncdcr.gov](mailto:environmental.review@ncdcr.gov). In all future communication concerning this project, please cite the above referenced tracking number

**Attachment S**  
**SCH Early Notice Comments**



**Roy Cooper**  
Governor

**Pamela B. Cashwell**  
Secretary

September 9, 2022

Andrea Gievers  
Palatine Meadows  
c/o NC Department of Public Safety  
Office of Recovery and Resiliency  
Durham, NC 27709-

**Re: SCH File # 23-E-4600-0030 Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories**

Dear Andrea Gievers:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act.

Attached to this letter are comments made by the agencies in the review of this document. If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

If you have any questions, please do not hesitate to contact me at (984) 236-0000.

Sincerely,

CRYSTAL BEST  
State Environmental Review Clearinghouse

Attachments

**Mailing**  
1301 Mail Service Center | Raleigh, NC 27699-1301



[ncadmin.nc.gov](http://ncadmin.nc.gov)

**Location**  
116 West Jones St. | Raleigh NC 27603  
984-236-0000 T

Control No.: 23-E-4600-0030

Date Received: 8/29/2022

County.: CRAVEN

Agency Response: 9/7/2022

Review Closed: 9/7/2022

LYN HARDISON  
CLEARINGHOUSE COORDINATOR  
DEPT OF ENVIRONMENTAL QUALITY

Project Information

Type: National Environmental Policy Act Environmental Review

Applicant: Palatine Meadows

Project Desc.: Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: LYN HARDISON

Date: 9/9/2022

Control No.: 23-E-4600-0030

Date Received: 8/29/2022

County.: CRAVEN

Agency Response: 9/7/2022

Review Closed: 9/7/2022

JINTAO WEN  
CLEARINGHOUSE COORDINATOR  
DPS - DIV OF EMERGENCY MANAGEMENT

Project Information

Type: National Environmental Policy Act Environmental Review

Applicant: Palatine Meadows

Project Desc.: Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

The proposed project is in close vicinity of Special Flood Hazard Area (SFHA). Any encroachment, grading, fill or placement of equipment or materials in the SFHA will require a floodplain development permit issued by City Of New Bern. Please coordinate with the City's Floodplain Administrator for permitting.

Reviewed By: JINTAO WEN

Date: 8/29/2022

Control No.: 23-E-4600-0030

Date Received: 8/29/2022

County.: CRAVEN

Agency Response: 9/7/2022

Review Closed: 9/7/2022

JEANNE STONE  
CLEARINGHOUSE COORDINATOR  
DEPT OF TRANSPORTATION

Project Information

Type: National Environmental Policy Act ironmental Review

Applicant: Palatine Meadows

Project Desc.: Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JEANNE STONE

Date: 9/6/2022

**Stone, Jeanne B**

---

**From:** Jones, Kelly K  
**Sent:** Tuesday, September 6, 2022 8:44 AM  
**To:** Stone, Jeanne B  
**Cc:** Norowzi, Behshad M  
**Subject:** Clearinghouse 23-E-4600-0030  
**Attachments:** 23E46000030\_Palatine Meadows.pdf

Good morning Ms. Jeanne,

I have reviewed Clearinghouse 23-E-4600-0030 (attached): proposed project for the construction of Palatine Meadows and below are my comments.

There are no STIP Projects that should affect the project area. A Comprehensive Transportation Plan is currently under development for Craven County. Please refer to the draft plan for any potential projects that could impact the proposed community development:

[https://connect.ncdot.gov/projects/planning/TPBCTP/Craven%20County/CravenCo\\_Full%20Report\\_2022-DRAFT.pdf](https://connect.ncdot.gov/projects/planning/TPBCTP/Craven%20County/CravenCo_Full%20Report_2022-DRAFT.pdf)

Best,

**Kelly Jones**  
Transportation Engineer  
Transportation Planning Division  
North Carolina Department of Transportation

919 707 0979 Office  
[kkjones1@ncdot.gov](mailto:kkjones1@ncdot.gov)

1554 Mail Service Center  
Raleigh, NC 27699-1554



*Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties*

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Email correspondence to and from this sender is subject to the N.C. Public Records Law and may be disclosed to third parties.

Control No.: 23-E-4600-0030

Date Received: 8/29/2022

County.: CRAVEN

Agency Response: 9/7/2022

Review Closed: 9/7/2022

DEVON BORGARDT  
CLEARINGHOUSE COORDINATOR  
DEPT OF NATURAL & CULTURAL  
RESOURCE

Project Information

Type: National Environmental Policy Act Environmental Review

Applicant: Palatine Meadows

Project Desc.: Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: DEVON BORGARDT

Date: 8/30/2022



NORTH CAROLINA  
*Environmental Quality*

ROY COOPER  
*Governor*

ELIZABETH S. BISER  
*Secretary*

To: Crystal Best  
State Clearinghouse  
NC Department of Administration

From: Lyn Hardison  
Division of Environmental Assistance and Customer Service  
Washington Regional Office

RE: 23-E-4600-0030  
Environmental Review - Proposed project is for the construction of Palatine Meadows, consisting of a 60-unit, three residential buildings and one community building, a playground, several passive recreation areas, and surface parking.  
Craven County

Date: September 8, 2022

The Department of Environment Quality has reviewed the proposal for the referenced project. Based on the information provided, one (1) contamination site was identified within one mile of the project site. In addition, several of our agencies have identified permits that may be required and offered some valuable guidance. The comments are attached for the applicant's review.

The Department will continue to be available to assist the applicant with any questions or concerns.

Thank you for the opportunity to respond.

Attachments



North Carolina Department of Environmental Quality  
217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601  
919.707.8600



NORTH CAROLINA  
*Environmental Quality*

ROY COOPER

*Governor*

ELIZABETH S. BISER

*Secretary*

MICHAEL SCOTT

*Director*

Date: September 2, 2022

To: Michael Scott, Director  
Division of Waste Management

Through: Janet Macdonald  
Inactive Hazardous Sites Branch

From: Katie C Tatum  
Inactive Hazardous Sites Branch

Subject: NEPA Project # 23-0030, Palatine Meadows, Craven County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the Palatine Meadows project. Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.

One (1) Superfund Section site was identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



North Carolina Department of Environmental Quality | Division of Waste Management  
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646  
919.707.8200



# Superfund Section Only: SEPA/NEPA

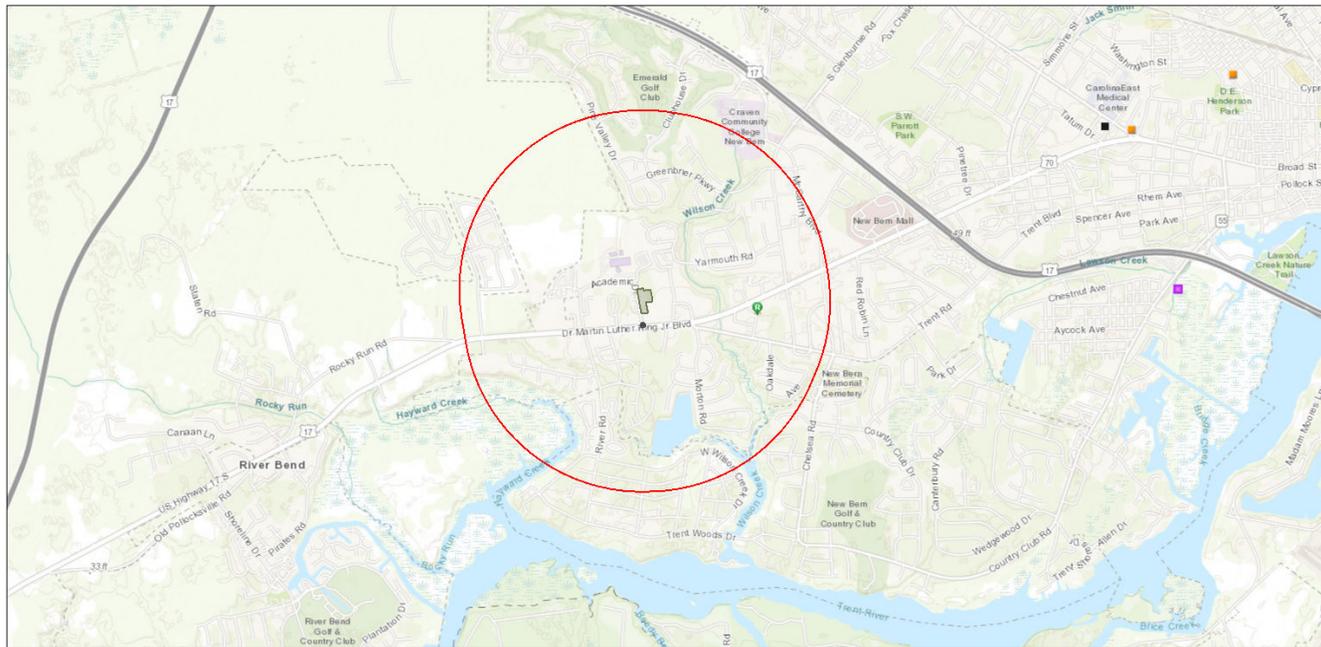
## Area of Interest (AOI) Information

Area : 2,266.35 acres

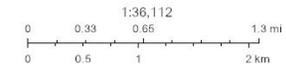
Sep 2 2022 9:25:48 Eastern Daylight Time

Craven County

NEPA project 23-0030



- NC Brownfields Location\_View
- Recorded
- Pre Regulatory Landfill Sites
- Activity Pending
- Inactive Hazardous Sites
- DryCleaning Contaminated



State of North Carolina DOT, Esri, HERE, DeLorme, GeoTechnologies, Inc., USGS, METI/NASA, EPA, USDA

## Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	0	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	0	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	1	N/A	N/A

## Brownfields Program Sites

#	BF_ID	BF_Name	Count
1	2006116025	Clarke Power Services	1

State of North Carolina Department of Environmental Quality  
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Washington  
 Project Number: 23-0030 Due Date: 09/07/2022  
 County: Craven

After review of this project, it has been determined that the DEQ permit(s) and/or approvals indicated may need to be obtained for this project to comply with North Carolina Law. Questions regarding these permits should be addressed to the Regional Office indicated on the reverse of the form. All applications, information and guidelines relative to these plans and permits are available from the same Regional Office.

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (Statutory time limit)
<input type="checkbox"/>	Permit to construct & operate wastewater treatment facilities, non-standard sewer system extensions & sewer systems that do not discharge into state surface waters.	Application 90 days before begins construction or award of construction contracts. On-site inspection may be required. Post-application technical conference usual.	30 days (90 days)
<input checked="" type="checkbox"/>	Permit to construct & operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system	Fast-Track Permitting program consists of the submittal of an application and an engineer's certification that the project meets all applicable State rules and Division Minimum Design Criteria.	30 days (N/A)
<input type="checkbox"/>	NPDES - permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters.	Application 180 days before begins activity. On-site inspection. Pre-application conference usual. Additionally, obtain permit to construct wastewater treatment facility granted after NPDES. Reply time, 30 days after receipt of plans or issue of NPDES permit-whichever is later.	90-120 days (N/A)
<input type="checkbox"/>	Water Use Permit	Pre-application technical conference usually necessary.	30 days (N/A)
<input type="checkbox"/>	Well Construction Permit	Complete application must be received, and permit issued prior to the installation of a groundwater monitoring well located on property not owned by the applicant, and for a large capacity (>100,000 gallons per day) water supply well.	7 days (15 days)
<input type="checkbox"/>	Dredge and Fill Permit	Application copy must be served on each adjacent riparian property owner. On-site inspection. Pre-application conference usual. Filling may require Easement to Fill from N.C. Department of Administration and Federal Dredge and Fill Permit.	55 days (90 days)
<input type="checkbox"/>	Permit to construct & operate Air Pollution Abatement facilities and/or Emission Sources as per 15 A NCAC (2Q.0100 thru 2Q.0300)	Application must be submitted, and permit received prior to construction and operation of the source. If a permit is required in an area without local zoning, then there are additional requirements and timelines (2Q.0113).	90 days
<input checked="" type="checkbox"/>	Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900	N/A	60 days (90 days)
<input checked="" type="checkbox"/>	Demolition or renovations of structures containing asbestos material must be in compliance with 15 A NCAC 20.1110 (a) (1) which requires notification and removal prior to demolition. Contact Asbestos Control Group 919-707-5950	Please Note - The Health Hazards Control Unit (HHCU) of the N.C. Department of Health and Human Services, must be notified of plans to demolish a building, including residences for commercial or industrial expansion, even if no asbestos is present in the building.	60 days (90 days)
<input checked="" type="checkbox"/>	The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. A fee of \$100 for the first acre or any part of an acre. An express review option is available with additional fees.		20 days (30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with NCDOT's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		(30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with _____ <b>Local Government's</b> approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		Based on Local Program
<input type="checkbox"/>	Compliance with 15A NCAC 04B .0125 – Buffers Zones for Trout Waters shall have an undisturbed buffer zone 25 feet wide or of sufficient width to confine visible siltation within the twenty-five percent (25%) of the buffer zone nearest the land-disturbing activity, whichever is greater.		
<input type="checkbox"/>	Compliance with 15A NCAC 2H .0126 - NPDES Stormwater Program which regulates three types of activities: Industrial, Municipal Separate Storm Sewer System & Construction activities that disturb ≥1 acre.		30-60 days (90 days)
<input checked="" type="checkbox"/>	Compliance with 15A NCAC 2H 1000 -State Stormwater Permitting Programs regulate site development and post-construction stormwater runoff control. Areas subject to these permit programs include all 20 coastal counties, and various other counties and watersheds throughout the state.		45 days (90 days)

State of North Carolina Department of Environmental Quality  
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Washington  
 Project Number: 23-0030 Due Date: 09/07/2022  
 County: Craven

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (Statutory time limit)
<input type="checkbox"/>	Mining Permit	On-site inspection usual. Surety bond filed with DEQ Bond amount varies with type mine and number of acres of affected land. Affected area greater than one acre must be permitted. The appropriate bond must be received before the permit can be issued.	30 days (60 days)
<input type="checkbox"/>	Dam Safety Permit	If permit required, application 60 days before begin construction. Applicant must hire N.C. qualified engineer to prepare plans, inspect construction, and certify construction is according to DEQ approved plans. May also require a permit under mosquito control program. And a 404 permit from Corps of Engineers. An inspection of site is necessary to verify Hazard Classification. A minimum fee of \$200.00 must accompany the application. An additional processing fee based on a percentage, or the total project cost will be required upon completion.	30 days (60 days)
<input type="checkbox"/>	Oil Refining Facilities	N/A	90-120 days (N/A)
<input type="checkbox"/>	Permit to drill exploratory oil or gas well	File surety bond of \$5,000 with DEQ running to State of NC conditional that any well opened by drill operator shall, upon abandonment, be plugged according to DEQ rules and regulations.	10 days N/A
<input type="checkbox"/>	Geophysical Exploration Permit	Application filed with DEQ at least 10 days prior to issue of permit. Application by letter. No standard application forms.	10 days N/A
<input type="checkbox"/>	State Lakes Construction Permit	Application fee based on structure size is charged. Must include descriptions & drawings of structure & proof of ownership of riparian property	15-20 days N/A
<input checked="" type="checkbox"/>	<b>401 Water Quality Certification</b>	Compliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.	60 days (130 days)
<input checked="" type="checkbox"/>	<b>Compliance with</b> Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required. Buffer requirements: <a href="http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program">http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program</a>		
<input type="checkbox"/>	Nutrient Offset: Loading requirements for nitrogen and phosphorus in the Neuse and Tar-Pamlico River basins, and in the Jordan and Falls Lake watersheds, as part of the nutrient-management strategies in these areas. DWR nutrient offset information: <a href="http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information">http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information</a>		
<input type="checkbox"/>	CAMA Permit for MAJOR development	\$250.00 - \$475.00 fee must accompany application	75 days (150 days)
<input type="checkbox"/>	CAMA Permit for MINOR development	\$100.00 fee must accompany application	22 days (25 days)
<input type="checkbox"/>	Abandonment of any wells, if required must be in accordance with Title 15A. Subchapter 2C.0100.		
<input type="checkbox"/>	Notification of the proper regional office is requested if "orphan" underground storage tanks (USTS) are discovered during any excavation operation.		
<input checked="" type="checkbox"/>	<b>Plans and specifications</b> for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq., Plans and specifications should be submitted to 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. All public water supply systems must comply with state and federal drinking water monitoring requirements. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input checked="" type="checkbox"/>	If existing <b>water lines</b> will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section at 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of the _____ water system must be approved through the _____ delegated plan approval authority. Please contact them at _____ for further information.		

State of North Carolina Department of Environmental Quality  
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Washington  
 Project Number: 23-0030 Due Date: 09/07/2022  
 County: Craven

Other Comments (attach additional pages as necessary, being certain to comment authority)

Division	Initials	No comment	Comments	Date Review
DAQ	FDB	<input checked="" type="checkbox"/>	No Comments	9/1/2022
DWR-WQROS (Aquifer & Surface)	&	<input type="checkbox"/>	It is recommended to schedule a site visit with 401 Water quality staff to discuss the proposal and to ensure compliance will be maintained per 401 surface Water requirements, surface water standards and buffer rules.  If wetland, riparian buffers or stream impacts are proposed, this project will need to comply with/secure a 404 permit from the USACE, obtain a 401 Water Quality Certification authorization and a riparian buffer authorization. &	/ /
DWR-PWS	JEM	<input type="checkbox"/>	No Additional Comments	9/7/2022
DEMLR (LQ & SW)		<input type="checkbox"/>	If greater than one acre of disturbance is proposed, an approved Sedimentation and Erosion Control and State Stormwater permit will be required prior to any land disturbance.	/ /
DWM – UST		<input type="checkbox"/>		/ /
Other Comments		<input type="checkbox"/>		/ /

**REGIONAL OFFICES**

Questions regarding these permits should be addressed to the Regional Office marked below.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> <b>Asheville Regional Office</b><br>2090 U.S. 70 Highway<br>Swannanoa, NC 28778-8211<br>Phone: 828-296-4500<br>Fax: 828-299-7043 | <input type="checkbox"/> <b>Fayetteville Regional Office</b><br>225 Green Street, Suite 714,<br>Fayetteville, NC 28301-5043<br>Phone: 910-433-3300<br>Fax: 910-486-0707  | <input type="checkbox"/> <b>Mooreville Regional Office</b><br>610 East Center Avenue, Suite 301,<br>Mooreville, NC 28115<br>Phone: 704-663-1699<br>Fax: 704-663-6040 |
| <input type="checkbox"/> <b>Raleigh Regional Office</b><br>3800 Barrett Drive,<br>Raleigh, NC 27609<br>Phone: 919-791-4200<br>Fax: 919-571-4718           | <input checked="" type="checkbox"/> <b>Washington Regional Office</b><br>943 Washington Square Mall,<br>Washington, NC 27889<br>Phone: 252-946-6481<br>Fax: 252-975-3716 | <input type="checkbox"/> <b>Wilmington Regional Office</b><br>127 Cardinal Drive Ext.,<br>Wilmington, NC 28405<br>Phone: 910-796-7215<br>Fax: 910-350-2004           |
|   | <input type="checkbox"/> <b>Winston-Salem Regional Office</b><br>450 Hanes Mill Road, Suite 300,<br>Winston-Salem, NC 27105<br>Phone: 336-776-9800<br>Fax: 336-776-9797  |  |

## Department of Environmental Quality Project Review Form

**Project Number: 23-E-4600-0030**

**County: Craven**

**Date Received: 8-29-2022**

**Due Date: 9-7-2022**

**Project Description:** *Environmental Review - Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input checked="" type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input checked="" type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife Maria
<input type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: <b>9-6-2022</b>	In-House Reviewer/Agency: <b>Mait / NCNRC</b>
--------------------------	--------------------------	--

Response (check all applicable)

No objection to project as proposed.       No Comment

Insufficient information to complete review       Other (specify or attach comments)

If you have any questions, please contact:  
**Lyn Hardison at [lyn.hardison@ncdenr.gov](mailto:lyn.hardison@ncdenr.gov) or (252) 948-3842**  
**943 Washington Square Mall Washington NC 27889**  
**Courier No. 16-04-01**

# Department of Environmental Quality

## Project Review Form

**Project Number: 23-E-4600-0030**

**County: Craven**

**Date Received: 8-29-2022**

**Due Date: 9-7-2022**

**Project Description:** *Environmental Review - Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories, 9,477-square feet, and contain 24 residential units. The third residential building will be three stories, 4,750-square feet, and contain 12 residential units. The proposed project will also include a playground, several passive recreation areas, and surface parking.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input checked="" type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input checked="" type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife <u>Maria</u>
<input type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: 9/7/22	In-House Reviewer/Agency: Melodi Deaver, Hazardous Waste Section
--------------------------	-----------------	---

Response (check all applicable)

X

No objection to project as proposed.       No Comment

Insufficient information to complete review       Other (specify or attach comments)

If you have any questions, please contact:  
**Lyn Hardison at [lyn.hardison@ncdenr.gov](mailto:lyn.hardison@ncdenr.gov) or (252) 948-3842**  
**943 Washington Square Mall Washington NC 27889**  
**Courier No. 16-04-01**



**Roy Cooper**  
Governor

**Pamela B. Cashwell**  
Secretary

September 13, 2022

Andrea Gievers  
Palatine Meadows  
c/o NC Department of Public Safety  
Office of Recovery and Resiliency  
Durham, NC 27709-

**Re: SCH File # 23-E-4600-0030 Proposed project is for the construction of Palatine Meadows. Project consists of a 60-unit affordable rental housing development targeting low-income family households. The project includes three residential buildings and one community building. Two residential buildings will each be three stories**

Dear Andrea Gievers:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act.

Attached to this letter are comments made by the agencies in the review of this document. If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

If you have any questions, please do not hesitate to contact me at (984) 236-0000.

Sincerely,

CRYSTAL BEST  
State Environmental Review Clearinghouse

Attachments

**Mailing**  
1301 Mail Service Center | Raleigh, NC 27699-1301



[ncadmin.nc.gov](http://ncadmin.nc.gov)

**Location**  
116 West Jones St. | Raleigh NC 27603  
984-236-0000 T



NORTH CAROLINA  
*Environmental Quality*

ROY COOPER  
*Governor*

ELIZABETH S. BISER  
*Secretary*

To: Crystal Best  
State Clearinghouse  
NC Department of Administration

From: Lyn Hardison  
Division of Environmental Assistance and Customer Service  
Washington Regional Office

RE: 23-0030 Additional Comments  
Environmental Review - Proposed project is for the construction of Palatine Meadows, consisting of a 60-unit, three residential buildings and one community building, a playground, several passive recreation areas, and surface parking.  
Craven County

Date: September 9, 2022

Please find attached additional comments from North Carolina Department of Environmental Quality, Division of Waste Management, UST Program.

Please forward it to the applicant and assemble into our previous comments.

Thank you

Attachments



North Carolina Department of Environmental Quality  
217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601  
919.707.8600

ROY COOPER  
*Governor*  
ELIZABETH S. BISER  
*Secretary*  
MICHAEL SCOTT  
*Director*



TO: Lyn Hardison, Environmental Coordinator

FROM: Sylvia Newsom-Hunneke, Regional UST Supervisor

COPY: Sharon Brinkley, Administrative Secretary

DATE: September 9, 2022

RE: Environmental Review – Project Number 23-0030 – Proposed project is for the construction of Palatine Meadows, an affordable rental housing project in New Bern, Craven County.

I searched the Petroleum Underground Storage Tank (UST), and Non-UST Databases and review of those databases did not indicate any petroleum releases within the proposed project area. I reviewed the above proposal and determined that this project should not have any adverse impact upon groundwater. The following comments are pertinent to my review:

1. The Washington Regional Office (WaRO) UST Section recommends removal of any abandoned or out-of-use petroleum USTs or petroleum above ground storage tanks (ASTs) within the project area. The UST Section should be contacted regarding use of any proposed or on-site petroleum USTs or ASTs. We may be reached at (252) 946-6481.
2. Any petroleum USTs or ASTs must be installed and maintained in accordance with applicable local, state, and federal regulations. For additional information on petroleum ASTs, it is advisable that the North Carolina Department of Insurance at (919) 661-5880 ext. 239, USEPA (404) 562-8761, local fire department, and Local Building Inspectors be contacted.
3. Any petroleum spills must be contained, and the area of impact must be properly restored. Petroleum spills of significant quantity must be reported to the North Carolina Department of Environmental Quality – Division of Waste Management Underground Storage Tank Section in the Washington Regional Office at (252) 946-6481
4. Any soils excavated during demolition or construction that show evidence of petroleum contamination, such as stained soil, odors, or free product must be reported immediately to the local Fire Marshall to determine whether explosive or inhalation hazards exist. Also, notify the UST Section of the Washington Regional Office at (252) 946-6481. Petroleum contaminated soils must be handled in accordance with all applicable regulations.
5. Any questions or concerns regarding spills from petroleum USTs, ASTs, or vehicles should be directed to the UST Section at (252) 946-6481.



**Attachment T**  
**SCH FONSI/NOIRROF/FN Comments**  
**(to be included)**