

**Environmental Assessment
Determinations and Compliance Findings for HUD-assisted Projects
24 CFR Part 58**

Project Information

Project Name: East Haven Apartments

Project Location: 1040 Dreaver Street (soon to be terminus of Glory Drive), Rocky Mount, Edgecombe County, North Carolina 27801

Federal Agency: U.S. Department of Housing & Urban Development (HUD)

Responsible Entity: North Carolina Office of Recovery and Resiliency (NCORR)

Project Administrator: North Carolina Housing Finance Agency (NCHFA)

Grant Recipient: KB Rocky Mount, LLC

State/Local Identifier: B-19-DV-37-0001 and B-19-DV-37-0002

Preparer: Andrea Gievers, Environmental SME, NCORR

Certifying Officer Name and Title: Laura Hogshead, Director, NCORR

Consultant: Mr. Chris Daves, P.W.S. – Senior Scientist, S&ME, Inc.

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Project Location:

The proposed project site is located at 1040 Dreaver Street (soon to be the terminus of Glory Drive) in Rocky Mount, Edgecombe County, North Carolina 27801. This proposed project site is comprised of approximately 5.53 acres (portion of Edgecombe County parcel number 386040671000/PIN 3860-40-6710).

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project involves the construction of an affordable multifamily apartment complex with 64 units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built Low-Income Housing Tax Credits (LIHTC) apartments and single-family homes by Rocky Mount Edgecombe Community Development Corporation (RMECDC). Water and sewer utilities are located along nearby streets and only short connections to the site will be necessary.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The purpose and need of the proposal is to provide quality, affordable housing opportunities to low- to moderate-income families and others in an area that needs it. Demand for low- to moderate-income and market-rate housing is driven by a lack of affordable housing in the Rocky Mount area.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families. Therefore, funding for the proposed project will be provided in part by the HUD CDBG-DR North Carolina's Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The wooded proposed project site is located in a mixed-use area just north of the Meadowbrook neighborhood in Rocky Mount. Immediately surrounding land uses consist of single-family residences, multifamily apartments, woodland, and commercial parcels (used cars/tires) located south of U.S. Highway/NC 43 (Raleigh Street) to the north. Additional residential and commercial parcels are located within a 0.25-mile radius of the site.

Two RMECDC developments, Thorne Ridge Apartments and Genesis Estates, are located east of the project area. The RMECDC is a 501(c)(3) tax-exempt organization implementing a comprehensive community economic development strategy and work plan. RMECDC's target area is the City of Rocky Mount/Edgecombe County, North Carolina. Since its inception in 1988, RMECDC has served as an economic engine in the eastern region of North Carolina. Economic development needs to be addressed by RMECDC, both past, and present, include: affordable housing development, neighborhood revitalization, blight removal, commercial development, human resource development programs, homebuyer education, foreclosure mitigation counseling,

small business technical assistance, job creation, technology and STEM education, and community planning and development.

Thorne Ridge Apartments located east of the proposed project site was developed by the RMECDC to provide affordable housing for residents of Rocky Mount and Edgecombe County. The complex contains 72 apartments (2-3 bedrooms units) and two community resource centers built using LIHTC. Genesis Estates is an affordable housing development that consists of single-family homes across the street from Thorne Ridge Apartments. The development contains 36 homes that have been built and sold thus far. There are 26 lots remaining at Genesis Estates that will allow potential homebuyers to construct new homes for ownership or for organizations to build rental units for seniors and the disabled.

Multiple commercial facilities including convenience stores and restaurants are located within a two-mile radius of the site. Banks, schools, medical facilities, pharmacies, retailers, and service providers are located within several miles of the site along U.S. Highway 64 Business to the north and the surrounding downtown area to the northwest.

In the absence of the proposed project, the site is likely to remain vacant and, thus, not generating tax revenue, creating affordable housing for low-to-moderate-income families, and improving the character and neighborhood dynamics of the area.

Funding Information

Grant Number	HUD Program	Funding Amount
B-19-DV-37-0001 and B-19-DV-37-0002	CDBG-DR	\$2,500,000

Estimated Total HUD Funded Amount: \$2,500,000

Non-HUD Funding Source: RPP Loan HOME Match

Non-HUD Funding Amount: \$800,000.00

Non-HUD Funding Source: Bank Loan

Non-HUD Funding Amount: \$2,844,180.00

Non-HUD Funding Source: Federal LIHTC

Non-HUD Funding Amount: \$6,364,128.00

Estimated Total Non-HUD Funded Amount: \$10,008,308.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$12,508,308.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

<p>Compliance Factors:</p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance determinations</p>
<p>STATUTES, EXECUTIVE ORDERS, & REGULATIONS LISTED AT 24 CFR 50.4 & 58.6</p>		
<p>Airport Hazards</p> <p>24 CFR Part 51 Subpart D</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project site is not located within a Runway Protection/Clear Zone (2,500' from civil airport runway) or Accident Potential Zone (15,000' from military airport runway). The proposed project is in compliance with Airport Hazards requirements.</p> <p>See Airport Hazards Exhibit. (Appendix A)</p>
<p>Coastal Barrier Resources</p> <p>Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>This proposed project is not located in or in proximity to a Coastal Barrier Resources System (CBRS) unit. Therefore, this proposed project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act.</p> <p>See attached exhibits. (Appendix B)</p>
<p>Flood Insurance</p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), the proposed project site is located in Zone X (Areas of Minimal Flood Hazard), and not in a floodplain or floodway. There are no Preliminary FIRMs available at the FEMA Flood Map Service Center for the proposed project site. Therefore, flood insurance is not required for the proposed project. While flood insurance is not mandatory for this project, HUD strongly recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The proposed project is in compliance with flood insurance requirements.</p> <p>See FEMA FIRM. (Appendix C)</p>

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance Determinations
STATUTES, EXECUTIVE ORDERS, & REGULATIONS LISTED AT 24 CFR 50.4 & 58.5		
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the EPA Nonattainment Areas for Criteria Pollutants (Green Book), Edgecombe County is in a maintenance area for 8-hour ozone (1997). The construction and operation of the facility is exempted from NC State air quality permit requirements under 15A NCAC 02Q.0102(d) since emissions will be below the established thresholds. Thus, the proposed project's emissions are automatically considered de minimis (40 CFR § 93.153(c)(2)) and the proposed project is considered compliant with the State Implementation Plan. The proposed project would not exceed de minimis emissions levels for federal general conformity purposes (40 CFR § 93.153(c)(2)).</p> <p>The proposed project involves new construction of a multi-family residential structure with amenities. The proposed project will not generate significant levels of vehicular traffic. The project would also generate minor emissions from additional vehicle traffic after construction. However, the number of vehicle trips associated with this project and the anticipated airborne emissions would be relatively imperceptible within the context of the region's airshed. Public transportation is currently available to the site area.</p> <p>Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. The contractor will use Best Management Practices (BMPs) to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading</p>

		<p>site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck to stabilize potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and construction vehicles and machinery operating at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed.</p> <p>Based on the EPA's Radon Zone Map, the proposed project site is located within Zone 3 with predicted average indoor radon screening levels less than 2 pCi/L (Low Potential) (see Attachment). Due to the low potential for elevated indoor radon levels, no additional steps are required for radon mitigation.</p> <p>Therefore, the proposed project is in compliance with the Clean Air Act, as amended, and 40 CFR Parts 6, 51, 93.</p> <p>See attached Air Quality Exhibit. (Appendix D)</p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Edgecombe County is not listed as one of the 20 counties in North Carolina covered by the North Carolina Coastal Management Program. Therefore, the proposed project is not anticipated to impact coastal resources. The proposed project is in compliance with the Coastal Zone Management Act, sections 307(c) & (d).</p> <p>See attached exhibit. (Appendix E)</p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project site is not listed on an EPA Superfund National Priorities or Comprehensive Environmental Response Superfund National Priorities or Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) List, or equivalent State list according to NEPAassist.</p> <p>A Phase I Environmental Site Assessment (ESA) (12/29/21) and site inspection (10/13/21) were completed for the property by S&ME, Inc. The</p>

Phase I ESA revealed no evidence of RECs, controlled recognized environmental conditions (CREC), or historical recognized environmental conditions (HREC) in connection with the property. Additionally, a Tier 1 Vapor Encroachment Screening (VES) was completed and did not identify any Vapor Encroachment Conditions (VEC). There are no buildings present on the property.

According to NEPAassist, there are no Superfund, Brownfields, Toxic Release Inventory, NPDES water discharger, Toxic Substances Control Act (TSCA), or air emission facility sites located within a one-mile radius of the proposed project site. According to NEPAassist, there are three RCRA hazardous waste sites located within one-mile of the proposed project site, including: Leon's Auto Recyclers/ B&P Auto Sales (0.96 mile, Recyclable Material Wholesaler), Army Reserve XVIII Airborne Corps (0.48 mile, Very Small Quantity Generator [VSQG]), and Walgreens (Pharmacy - 0.57 mile, VSQG). The ECHO and Facility information available for all of these sites are included in the attachments. A review of this information and the type of these facilities along with the Phase I ESA determines that these sites do not pose a hazard that could affect the health and safety of occupants or conflict with the intended utilization of the property.

According to the NC Department of Environmental Quality (DEQ) Division of Waste Management (DWM) Superfund Section in the State Environmental Clearinghouse Comments, there are four Superfund sites located within one mile of the proposed project site (DWM used larger parcel). Two are certified Dry-Cleaning Solvent Cleanup Act (DSCA) Sites: Thorne's Dry Cleaners and Prestige Cleaners. One is an Inactive Hazardous Waste Sites, Jiffy Mart. The Old Rocky Mount Landfill is lastly noted as a Pre-regulatory Landfill Site. Thorne's Dry Cleaners and Prestige Cleaners are located more than a mile from the proposed project site (actual parcel) and the development will be connected to municipal water supply. Jiffy Mart received a No Further Action letter on December 30, 2010. The Old

		<p>Rocky Mount Landfill is located one mile north of the proposed project site. These facilities are discussed in the Phase I ESA and do not pose a hazard that could affect the health and safety of occupants or conflict with the intended utilization of the property.</p> <p>According to the NC DEQ Underground Storage Tank Section Regional Supervisor in the State Environmental Clearinghouse comments, "Petroleum Underground Storage Tank (UST) and Non-UST Databases and review of those databases did not indicate any petroleum releases within the proposed project area. I reviewed the above proposal and determined that this project should not have any adverse impact upon groundwater."</p> <p>The DWM Site Locator Tool was used to review the surrounding areas potentially hazardous sites. The DWM Site locator Tool identified sites that have been reviewed in the Phase I ESA or that due to distance and use of a municipal water supply do not pose a hazard that could affect the health and safety of occupants or conflict with the intended utilization of the property.</p> <p>Based on a site visit and review of available environmental records for the proposed project site and surrounding area, the site is unlikely to contain hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of occupants or conflict with the intended utilization of the property. Therefore, the proposed project is in compliance with Contamination and Toxic Substances, 24 CFR Part 50.3(i) & 58.5(i)(2).</p> <p>See Contamination and Toxic Substance Documentation. (Appendix F) and State Environmental Clearinghouse Comments. (Appendix R).</p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A Protected Species Assessment was prepared by S&ME which included a review of the USFWS and the North Carolina Natural Heritage Program (NCNHP) websites to determine those species</p>

		<p>currently listed as federally protected (threatened and endangered), candidate, or proposed in Edgecombe County. S&ME also consulted with the USFWS Information for Planning and Consultation (IPaC) website to request an Official Species List for the site. Also, a field review was conducted on October 13, 2021. No critical habitat is present at the proposed project site. Edgecombe County is not a Northern long-eared bat known presence county. Based on this research, it was concluded that the site does not provide suitable habitat for the listed protected (threatened or endangered), candidate or proposed species.</p> <p>It was determined using the USFWS Raleigh Ecological Services' online 10-step project review process that the proposed project would have "no effect" on proposed/ listed species and/ or proposed/ designated critical habitat and a "no Eagle Act permit required" determination made for eagles. NCORR submitted to USFWS on November, 18, 2021, the Self-certification Letter and 10-step Project Review Package. USFWS has not contacted NCORR for additional information. The Grant Recipient will update this determination annually for multi-year activities.</p> <p>See Self-certification Letter and 10-step Project Review Package with No Effect determination. (Appendix G)</p>
<p>Explosive and Flammable Hazards 24 CFR Part 51 Subpart C</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project does not involve the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries). No ASTs or explosive storage facilities were observed on or near the site during the site inspection. As indicated in the Phase I ESA, the proposed project site consists of mostly wooded/undeveloped land. The Fire Department and Development Services Department were not aware of current sites or plans to construct potentially explosive tanks in the vicinity of the proposed project site. AST sites were not identified on the NCDENR database within a one-mile radius of the site. ASTs were not evident on aerial photography or topographic maps within</p>

		<p>a one-mile radius of the proposed project site. The proposed project is in compliance with Explosive and Flammable Hazards, 24 CFR Part 51 Subpart C.</p> <p>See attached data sheets, exhibits, and interviews. (Appendix H)</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project includes activities that could potentially convert agricultural land to a non-agricultural use, but an exemption applies. According to 7 CFR Part 658.2(a) “[f]armland does not include land already committed to urban development.” Further, the regulation defines “[f]armland already in urban development” as land “identified as an ‘urbanized area’ (UA) on the Census Bureau Map.” According to NEPAassist, the proposed project site is located in an UA according to data derived from the 2019 U.S. Census Bureau TIGER/Line Urban Areas. Urbanized Areas are contiguous areas of populations greater than 50,000. The proposed project is exempt from the Farmlands Protection Act and is in compliance with this section.</p> <p>See attached Farmlands Protection Policy Act exhibit. (Appendix I)</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the FEMA FIRM, the proposed project site is located in Zone X (Areas of Minimal Flood Hazard), and not in a floodplain or floodway. There are no Preliminary FIRMs available at the FEMA Flood Map Service Center for the proposed project site.</p> <p>The NC Department of Public Safety commented through the State Environmental Clearinghouse that the proposed project is in “close vicinity of Special Flood Hazard Area (SFHA). If there is any encroachment, grading, fill or placement of equipment or materials in the SFHA, a floodplain development permit issued by City Of Rocky Mount will be required. Please coordinate with the City's Floodplain Administrator for permitting if needed.” However, the comments are based on the larger parent parcel instead of the actual proposed project parcel as shown in the attached site plan. No new construction or improvements</p>

		<p>will occur in the SFHA. Thus, the proposed project is in compliance with this section.</p> <p>See FEMA FIRM. (Appendix C)</p>
<p>Compliance Factors:</p> <p>Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6</p>	<p>Are formal compliance steps or mitigation required?</p>	<p>Compliance Determinations</p>
<p>STATUTES, EXECUTIVE ORDERS, & REGULATIONS LISTED AT 24 CFR 50.4 & 58.5</p>		
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The North Carolina State Historic Preservation Office (NC SHPO) was consulted if the proposed project would have adverse effects on historic or archeological resources at the site. NCORR submitted the proposed project to the NC SHPO via email and the State Environmental Clearinghouse on November 19, 2021 and the NC SHPO responded on November 24, 2021 “[w]e confirm that we have no objection to the project and confirm that no historic resources would be affected by the project. This concludes the Section 106 consultation for this undertaking.” There are no historic properties or districts in the vicinity of the proposed project site according to the attached City of Rocky Mount Historic Preservation Commission map.</p> <p>The Catawba Indian Nation and Tuscarora Nation are the only federally-recognized Tribes identified with interests in Edgecombe County on the Tribal Directory Assessment Tool (TDAT). NCORR consulted with the Catawba Indian Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. On January 1, 2022, the Catawba Indian Nation’s Tribal Historic Preservation Office (THPO) responded that “[t]he Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.”</p>

		<p>NCORR consulted with the Tuscarora Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. A response has not been received, but will be included in the Environmental Review Record (ERR).when received.</p> <p>See attached SHPO submission and response, Catawba Indian Nation correspondence, Tuscarora Nation correspondence, and City of Rocky Mount Historic Preservation Commission map (Appendix J)</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A noise assessment was completed for the proposed project site. The combined (airports, roads, and railroads) day/night noise level (DNL) was calculated to be 53 dB (using 2040 NC DOT AADT forecasts), which is within HUD's Acceptable range as categorized by the Noise Assessment Guidelines. No mitigation is necessary. The proposed project does not pose the siting of a noise generating facility.</p> <p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours. Construction equipment will be required to meet sound control requirements.</p> <p>The proposed project is in compliance with the Noise Control Act of 1972, 24 CFR Part 51 Subpart B.</p> <p>See attached Noise Assessment. (Appendix K)</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the EPA, sole source aquifers are not present in North Carolina. No further action is required. The proposed project is in compliance with the Safe Drinking Water Act of 1974, 40 CFR Part 149.</p> <p>See Sole Source Aquifer Exhibit. (Appendix L)</p>
<p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the USFWS National Wetlands Inventory (NWI) Map, there are no designated wetlands located on the proposed project site. During the site inspection, no wetlands were observed on site. A wetland and stream with buffer zones map was prepared for the proposed project site and surrounding area based on delineation by Kimley Horn and does not show</p>

		<p>designated wetlands, streams or buffer zones on the proposed project site.</p> <p>The NC DEQ commented through the State Environmental Clearinghouse that the Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. The comments also address 401 Water Quality Certification, wetlands, streams and buffer zones based on the larger parent parcel instead of the actual proposed project parcel as shown in the attached Wetland Exhibit. The distances from the proposed project to the wetlands and streams in the vicinity are shown on the preliminary site plan. The proposed project will not involve new construction in wetlands and will abide by all identified pertinent 401 Water Quality Certification and wetlands, streams and buffer zones. An Erosion and Sedimentation Control Plan for the proposed project is being developed. BMPs will be utilized during construction to avoid any silt erosion. The proposed project is in compliance with this section.</p> <p>See attached Wetland Exhibit based on delineation by Kimley Horn. (Appendix M) and State Environmental Clearinghouse Comments. (Appendix R).</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the attached U.S. National Park Service Nationwide Rivers Inventory Map and National Wild and Scenic River System Map, the proposed project site is not located in proximity to wild and scenic rivers. The proposed project is in compliance with this section.</p> <p>See Wild and Scenic Rivers/Nationwide Rivers Inventory exhibits. (Appendix N)</p>

ENVIRONMENTAL JUSTICE		
<p>Environmental Justice</p> <p>Executive Order 12898</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the EPA Environmental Justice Screening and Mapping Tool, the proposed project site is located in a potential Environmental Justice area. The demographic indicators indicate that there is a higher percentage of minority and low-income population in the proposed project area as compared to the State, EPA Region, and US averages.</p> <p>The proposed project does not facilitate development which would result in disproportionate adverse environmental impacts on low-income or minority populations. Rather, the proposed project will benefit low- and moderate-income residents through the new construction of safe, affordable residential rental housing. The proposed project is in compliance with Environmental Justice, Executive Order 12898.</p> <p>See EPA EJ Screen information and information in Contamination and Toxic Substances. (Appendices O and F)</p>

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27]

Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features, and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable, and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	<p>The proposed project site is currently zoned as R-6MFA (Medium-Density Multi-family Residential District). The proposed project site's zoning changed from R-10 (Low Density Residential District) in April 2021. According to the City, "[t]he R-6MFA District is intended to provide for urban residential development, which is designed to provide for medium density areas for multifamily, triplex, duplex and single-family units with related recreational facilities protected from intrusion of commercial and industrial activity." No compatibility, land use, or zoning issues were identified. This proposed project will provide an opportunity to create much needed affordable housing on an ideal, underutilized, vacant site.</p> <p>See zoning documentation. (Appendix P)</p>
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	<p>According to USDA-SCS, onsite soils are somewhat well-suited for development with a few limiting factors. Goldsboro/ Marlboro/ Wagram soil series are considered well-suited for urban development and account for over 93% of onsite soils. Bibb/ Lynchburg/ Rains soil series are poorly suited for urban development with limitations due to wetness. However, these limitations can be alleviated by proper design/ grading/ construction installation to mitigate adverse effects. Slope ranges (0-6%) and the site will be graded appropriately. Soils have low erosion potential if proper BMPs are used. A more-detailed geotechnical report was prepared for the proposed project to confirm soil conditions.</p> <p>The NC DEQ commented through the State Environmental Clearinghouse that the Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. Stormwater drainage will be to a proposed detention pond on the northwest portion of site. NPDES permit/approval will be obtained from prior to site development for land disturbance (sediment and erosion controls/ BMPs to be utilized during construction). An Erosion and Sedimentation Control Plan for the proposed project is being developed.</p> <p>See Geotechnical Engineering Report (Appendix P) and State Environmental Clearinghouse Comments (Appendix R).</p>

<p>Hazards and Nuisances including Site Safety and Noise</p>	<p>2</p>	<p>No onsite or surrounding hazards were identified that pose a health risk to future site occupants or conflict with the intended use of the Subject Property.</p> <p>A noise assessment was completed for the proposed project site. The combined (airports, roads, and railroads) day/night noise level (DNL) was calculated to be 53 dB, which is within HUD's Acceptable range as categorized by the Noise Assessment Guidelines. No mitigation is necessary.</p> <p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours. Construction equipment will be required to meet sound control requirements.</p> <p>Construction related activities (land clearing, grading) could cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust leaving the construction site and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. Thus, there will be no significant impact to air quality from the proposed project.</p> <p>Hazards and nuisances including site safety and noise associated with the proposed project will not negatively impact the occupants and surrounding properties. The operation of the proposed project will not increase noise levels in the area.</p> <p>See Hazards and Nuisances Checklist. (Appendix P) and State Environmental Clearinghouse Comments. (Appendix R).</p>
<p>Energy Consumption</p>	<p>2</p>	<p>The proposed project will cause an increase in energy use as compared to the current use. However, the proposed project will be connected into an existing grid and will not require additional infrastructure. The existing power infrastructure can support the proposed project.</p> <p>The proposed project will incorporate energy efficient LED lighting, water sense low flow fixtures, and Energy Star Certified appliances. The proposed project will be governed by Energy Star Multifamily New Construction Version 1 which incorporates the latest sustainability and energy efficiency guidelines. Some areas implemented will be indoor air quality, building envelope sealing, Energy Star windows, thermal building envelopes, and energy efficient HVAC mechanical systems.</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMICS		
Employment and Income Patterns	2	New temporary construction jobs will be created as a result of this development. The proposed project will not adversely impact traffic during construction or operation. The residents will provide an employee and customer base to local businesses. The proposed project will not negatively affect employment or income patterns in the area.
Demographic Character Changes, Displacement	2	The proposed project site was wooded and undeveloped at the time of this investigation, so there will be no displacement. The proposed development of the site is compatible with the surrounding area and no demographic character changes or displacement should occur in connection with the development. Additionally, residents are expected to come from the surrounding communities and should not contribute to demographic character changes.

Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	Adequate educational and cultural facilities are located within one mile of the proposed project site. It is anticipated that residents of the proposed project will come from within the community and potentially already be enrolled in the school system. A request for information on the area's public education services was submitted to Edgecombe County Public Schools Superintendent, Dr. Valerie Bridges, but a response has not been received. If a response is received, then it will be added to the ERR. Braswell Memorial Library and other cultural facilities are available in the area. Due to the smaller size of the development, it is not anticipated to have an adverse effect on these educational and cultural facilities. See Educational/ Libraries/ Cultural Facilities exhibits/documentation. (Appendix Q)
Commercial Facilities	2	Adequate commercial facilities are located near the proposed project area. There are many grocery stores, food outlets and pharmacies located within a one-mile radius of the proposed project site. Oakwood Shopping Center, Citi Trends clothing store, Bojangles and Shawty's Grill restaurants and numerous other commercial facilities (retail, restaurants, gas stations, offices, barber shops, etc.) are located within a three-mile radius of the proposed project site. The downtown area of Rocky Mount is located approximately three miles from the proposed project site. The development will increase the customer base for these local businesses that might still be suffering losses experienced during the Covid-19 pandemic. The residents also provide an employee base to local businesses.

		See Commercial/Retail exhibits/documentation. (Appendix Q)
Health Care and Social Services	2	<p>Adequate facilities are located near the project area. A request for information on the area's health services was submitted to Edgecombe County Health Department Director, Ms. Michele Etheridge, but a response has not been received. If a response is received, then it will be added to the ERR. A request for information on the area's social services was submitted to Edgecombe County Department of Social Services Director, Ms. Betty Battle, but a response has not been received. If a response is received, then it will be added to the ERR. It is anticipated that residents of the proposed project will come from within the community and potentially already be using these services.</p> <p>See Health and Social Services exhibits/documentation. (Appendix Q)</p>
Solid Waste Disposal / Recycling	2	<p>Municipal solid waste and recycling services are available to the proposed project site through the City of Rocky Mount, NC and will be available for the proposed development. Cameron Privott, Rocky Mount Environmental Services Superintendent, stated that "[p]er City ordinance, dumpster service will be provided by the City.</p> <p>During the construction phase of the proposed project, wastes generated are expected to consist of primarily packaging from construction materials, and mixed municipal wastes generated daily by site workers. These materials will be disposed of in designated receptacles and transported to permitted landfills accepting these types of wastes by a licensed waste hauler.</p> <p>The NC DEQ DWM Solid Waste Section (Section) noted that "for any planned or proposed projects, it is recommended that during any land clearing, demolition and construction, East Haven Apartments (the responsible party) and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that East Haven Apartments (the responsible party) require all contractors to provide proof of proper disposal for all generated waste to permitted facilities." In the State Environmental Clearinghouse Comments, the NC DEQ notes that "[a]ny open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900."</p>

		See attached Solid waste/recycling documentation (Appendix Q) and State Environmental Clearinghouse Comments (Appendix R).
Waste Water / Sanitary Sewers	2	<p>According to the City of Rocky Mount Assistant City Engineer – Water Resources, Donald M. Perry, “[t]he service connections are proposed to be made as a service connecting to the City of Rocky Mount’s existing water distribution system and sanitary sewer collection system.” Mr. Perry notes that the “site is currently served by an 8” sewer line on White Sell Ct. The sewer line may only be accessible by pump; however, the sewer lines and treatment plant currently provide more than adequate capacity to serve the proposed development.”</p> <p>See attached waste water documentation (Appendix Q)</p>
Water Supply	2	<p>According to the City of Rocky Mount Assistant City Engineer – Water Resources, Donald M. Perry, “[t]he service connections are proposed to be made as a service connecting to the City of Rocky Mount’s existing water distribution system and sanitary sewer collection system.” Mr. Perry notes that the two water treatment plants are “currently at less than 40% permitted production capacity.” Mr. Perry also states that the “target development will be served by an 8” potable water main on White Sell Ct which currently provides more than adequate domestic flow for the proposed development.”</p> <p>Municipal water lines are currently in place along city streets near project area with only short connections to make. Lead-free pipes, solder, and flux will be used in the design and construction.</p> <p>The following comments were received from the NC DEQ through the State Environmental Clearinghouse: Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq. All public water supply systems must comply with state and federal drinking water monitoring requirements. If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section.</p> <p>See attached water supply documentation and letter from project engineer/architect (Safe Drinking Water Act). (Appendix Q). See State Environmental Clearinghouse Comments. (Appendix R).</p>
Public Safety: Police, Fire, and Emergency Medical	2	Adequate Public Safety, Police, Fire and Emergency Medical Services (EMS) are available to the proposed project site through the City of Rocky Mount and Edgecombe County. It is anticipated that residents of the proposed project will be from within the community and there will be a negligible increased

		<p>demand for services. These services are available and adequate for the proposed project.</p> <p>According to Mark Walters, Director of Edgecombe County Emergency Services, noted that EMS is available and adequate for the proposed project with an average response time of 4-5 minutes, and available EMS will not be adversely affected by the proposed project. According to the City of Rocky Mount Fire Marshal, William Hale, the total Fire Department response time is 7 minutes, 11 seconds. According to the City of Rocky Mount Police Department, Captain Ballard, the noted that police service is available and adequate for the proposed project with an average response time of 5 minutes, 46 seconds, and available police service will not be adversely affected by the proposed project.</p> <p>See attached public safety documentation. (Appendix Q)</p>
Parks, Open Space, and Recreation	2	<p>The proposed project will contain a playground, picnic area, and outdoor seating for residents. Many parks, open space, trails, and recreation facilities are located nearby. A request for information on the area’s parks was submitted to Rocky Mount Parks and Recreation Director, Mr. Joel Dunn, but a response has not been received. If a response is received, then it will be added to the ERR. Since this project is proposing to provide affordable housing to residents in the area, parks and recreational areas will be not anticipated to be adversely impacted by the proposed project.</p> <p>See recreational information. (Appendix Q)</p>
Transportation and Accessibility	2	<p>Tar River Transit (TRT) is a public transportation service providing affordable fixed-route bus service throughout the City of Rocky Mount and Rural General Public para-transit transportation for Nash and Edgecombe counties. According to Public Works – TRT System Manager, Todd Gardner, public transportation is available to serve the proposed project including bus and train. Public transportation is available surrounding the proposed project area via TRT System (Meadowbrook Blue Route). Local streets capable of handling proposed traffic. According to the City of Rocky Mount Public Works Department, Engineering/Traffic Division, the “local street network of Dreaver Street and Meadowbrook Road is capable to accommodate the anticipated traffic. There are no significant transportation improvement projects planned or scheduled in this vicinity.” NC Department of Transportation (NC DOT) did not have comments on the proposed project during the State Environmental Clearinghouse review.</p> <p>See transportation/accessibility documentation. (Appendix Q)</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	<p>According to the North Carolina Department of Natural and Cultural Resources (NCDNCR) Natural Heritage Program's (NHP) database query results, there are three managed areas and no natural areas documented within a one-mile radius of the site. The managed areas include two City of Rocky Mount Open Spaces and Lancaster Park. Based on the distance from the site, the managed and natural areas will not be impacted by the proposed project.</p> <p>No waterbodies were identified on the proposed project site. Proper BMPs will be implemented during construction activities to prevent significant erosion from occurring and impacting water resources. The NC DEQ commented through the State Environmental Clearinghouse that the Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion and sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. An Erosion and Sedimentation Control Plan for the proposed project is being developed. However, it is unlikely that silt erosion from this proposed project will migrate into surface waters due to the distance from the site.</p> <p>The proposed project activities will be completed in accordance with all applicable federal, State, and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the ERR when received from the permitting agencies.</p> <p>See Farmland Protection documentation (Appendix I). Project to use municipal water. Water resources (groundwater, streams, etc.) will not be impacted. See Wetlands Protection documentation (Appendix M) and Endangered Species documentation. (Appendix G). See State Environmental Clearinghouse Comments. (Appendix R).</p>
Vegetation, Wildlife	2	<p>It was determined using the USFWS Raleigh Ecological Services' online 10-step project review process that the proposed project would have "no effect" on proposed/ listed species and/ or proposed/ designated critical habitat and a "no Eagle Act permit required" determination made for eagles. In addition, the developer will be using native grass and plantings in landscaping. The proposed project will not affect protected</p>

		<p>species, cause major habitat disruption, or introduce non-native species.</p> <p>The proposed project activities will be completed in accordance with all applicable federal, State, and local laws, regulations, and permit requirements and conditions. Permits required for this proposed project shall be obtained before commencing work and appended to the ERR when received from the permitting agencies.</p> <p>See Endangered Species documentation. (Appendix G)</p>
<p>Other Factors</p> <p>Climate Change</p> <p>EO 14008</p>	1	<p>According to NOAA, climate change is likely increasing the intensity of tropical cyclones. The proposed project site is not located within a Special Flood Hazard Area. No portions of the site are located within 100- or 500-year floodplain. The proposed development will provide much needed affordable housing rental options within the community. Due to the increased frequency of high intensity storms and the resultant housing inventory shortage, the proposed project site was determined most suitable and necessary for providing the community with safe, affordable housing rental options.</p> <p>https://www.climate.gov/news-features/understanding-climate/climate-change-probably-increasing-intensity-tropical-cyclones</p>
<p>Other Factors</p> <p>Environmental Justice Impacts</p>	2	<p>According to the EPA Environmental Justice Screening and Mapping Tool, the proposed project site is located in a potential Environmental Justice area. The demographic indicators indicate that there is a higher percentage of minority and low-income population in the proposed project area as compared to the State, EPA Region, and US averages.</p> <p>The proposed project will not subject the community to environmental conditions that may have disproportional effects on low-income or minority populations. Rather, this proposed project will provide much needed affordable housing rental options within the community following a decrease in housing inventory after Hurricanes Matthew and Florence. All of the units are affordable. The proposed project does not site a nuisance or hazard in a potential environmental justice area, but rather provides much needed safe, affordable housing. Thus, the proposed project does not contribute to or promote environmental injustice.</p>

Additional Studies Performed:

Phase I Environmental Site Assessment on December 29, 2021 by S&ME, Inc.
Geotechnical Engineering Report on March 7, 2022 by Terracon Consultants, Inc.

Field Inspection (Date and completed by):

Completed by Chris Daves, P.W.S., Senior Scientist on October 13, 2021 by S&ME, Inc.

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

See attached partner worksheets and additional sheets for sources, agencies, and persons consulted as part of this EA.

References

- Airport IQ 5010 Airport Master Records and Reports, <https://www.gcr1.com/5010web/>.
- Edgecombe County GIS, <https://gis.edgecombecountync.gov/maps/default.htm>.
- EPA Environmental Justice Screening and Mapping Tool, <https://www.epa.gov/ejscreen>.
- EPA Nonattainment Areas for Criteria Pollutants (Green Book), <https://www.epa.gov/green-book>.
- Rocky Mount Affordable Housing Strategic Plan, Rocky Mount, 2021 Edition.
- Google Earth.
- HUD Acceptable Separation Distance Electronic Assessment Tool, <https://www.hudexchange.info/programs/environmental-review/asd-calculator/>.
- HUD Day/Night Noise Level Calculator, <https://www.hudexchange.info/programs/environmental-review/dnl-calculator/>.
- National Park Service, Nationwide Rivers Inventory, <https://www.nps.gov/subjects/rivers/nationwide-rivers-inventory.htm>.
- National Wild and Scenic Rivers System Map, <https://www.rivers.gov/north-carolina.php>
- NC Department of Transportation Annual Average Daily Traffic Mapping Application, <https://www.arcgis.com/apps/webappviewer/index.html?id=5f6fe58c1d90482ab9107ccc03026280>.
- North Carolina Natural Heritage Program website, Species/ Community Search, <https://www.ncnhp.org/data/speciescommunity-search>.
- North Carolina State Historic Preservation Office Online GIS service, <https://www.ncdcr.gov/about/history/division-historical-resources/gis-maps-and-data>.
- Rocky Mount, North Carolina website, <https://rockymountnc.gov/>.
- U.S. Census Bureau, <https://www.census.gov/quickfacts>.
- U.S. Department of Agriculture Natural Resource Conservation Service, Web Soil Survey, <https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>.
- U.S. Fish and Wildlife Service National Wetlands Inventory, Wetlands Mapper, <https://www.fws.gov/wetlands/data/mapper.html>.
- City of Rocky Mount Boards and Commissions website, <https://rockymountnc.gov/boards-commissions/>
- Together Tomorrow – Tier I Smart Growth Comprehensive Plan for the City

of Rocky Mount, adopted on June 9, 2003,

<https://rockymountnc.gov/?s=comprehensive+plan>

- U.S. Geological Survey website, <https://www.usgs.gov/>.
- North Carolina State Parks and Recreation, State Parks and Trails Map, <https://www.ncparks.gov/find-a-park>

List of Permits To Be Obtained (later identified permits will be added to the ERR):

All applicable federal, State and local permits will be identified and obtained prior to starting construction. Permits that might be required include, but are not limited, to:

- Rocky Mount - Site Plan Approval and Technical Review Committee Approval
- Rocky Mount - Building Permit
- NC DEQ - Land Disturbance Permit
- NC DEQ - Sewer Extension Permit
- NC DEQ - NPDES Construction Stormwater Permit (NCG010000)
- NC Public Water Supply Section - Water Extension Permit
- Rocky Mount Grading Permit

Public Outreach [24 CFR 50.23 & 58.43]:

- State Environmental Clearinghouse Review of Scoping Package for NCORR, November 2021 (SCH File No. 22-E-4600-0114) and FONSI/NOIRROF
- Rocky Mount City Council, Rezoning from R-10 to R-6MFA Request +6.035 acres, April 12, 2021
- Rocky Mount City Council, Rezoning, March 2021
- Rocky Mount Planning Board, February 2021

Cumulative Impact Analysis [24 CFR 58.32]:

Cumulative effects are caused by the aggregate of past, present, and reasonably foreseeable future actions. This analysis has revealed the proposed project would not have significant adverse impacts associated with cumulative effects. The proposed project will be an affordable multifamily housing complex that will provide new, safe housing that is needed in the area. The proposed project site was found to be a very suitable site for the development with no on-site or nearby recognized environmental conditions that would adversely affect the proposed project use or its occupants. This site was found to be appropriate for much needed multifamily affordable housing with minimal adverse environmental impacts and close proximity to community services. The benefits of this proposed project to the local economy and low-income community in the City of Rocky Mount cannot be understated.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

Alternative sites were evaluated but they were not as competitive within the State's scoring criteria for 9% LIHTC awards. This site was chosen because it met most of the NCHFA 2021 QAP scoring

criteria. There are very few sites in eastern Rocky Mount that fall within the 1.5 mile driving distances from grocery stores, pharmacies, etc. that make up the most consequential portion of the scoring criteria. This site was chosen as the most suitable for the proposed project.

No Action Alternative [24 CFR 58.40(e)]:

With the No Action Alternative, affordable housing would not be provided for low- and middle-income families in the local community. The City would need to find other options to address the shortage in affordable housing inventory exacerbated by the effects of hurricanes that recently damaged or destroyed hundreds of homes in North Carolina. In the absence of the proposed project, the site is likely to remain vacant and will not be generating tax revenue, creating affordable housing for residents, and improving the character and neighborhood dynamics of the area, which are of greater benefit to the community than leaving the property vacant.

Summary of Findings and Conclusions:

The preceding Statutory Checklist and Environmental Assessment Checklist, and the discussion below, document that the proposed project work will comply with regulations in 24 CFR part 58 and that there are no direct or cumulative adverse environmental impacts anticipated as a result of the proposed project.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Any change to the approved scope of work will require re-evaluation by the Certifying Officer for compliance with NEPA and other laws and Executive Orders.

This review does not address all federal, state, and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state, and local environmental permits and clearances may jeopardize federal funding. Guidelines, recommendations, and requirements identified during the State Environmental Clearinghouse inter-agency review shall be considered and required, where applicable.

Law, Authority, or Factor	Mitigation Measures
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. BMPs to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck to stabilize potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and construction vehicles and machinery operating at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed.</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p> <p>Hazards and Nuisances including Site Safety and Site-Generated Noise</p>	<p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours. Construction equipment will be required to meet sound control requirements.</p> <p>Construction-related activities (land clearing, grading) can cause short-term exposures to sensitive receptors from particulate matter (PM 10) such as fugitive dust and emissions from construction equipment. Mitigation measures for dust control will be implemented to reduce potential impacts to air quality during construction. The proposed project will conform to NC Air Quality Management regulations during and following construction. BMPs to reduce fugitive dust generation and diesel emissions. BMPs can include wetting the grading site during dry conditions; maintaining vegetative cover as much as possible around cleared areas; a water truck to stabilize potential dust during high traffic times or high wind days on heavily-travelled access roads and storage areas; and construction vehicles and machinery operating at reduced speeds to reduce soil disturbance and fugitive dust potential. BMPs to mitigate the generation of emissions during construction include limiting use of vehicles and other machinery to construction hours only and removal once construction is completed.</p>

Determination:

Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.27]
The project will not result in a significant impact on the quality of the human environment.

Finding of Significant Impact [24 CFR 58.40(g)(2); 40 CFR 1508.27]
The project may significantly affect the quality of the human environment.

Preparer Signature: Andrea Siwers Date: 7/21/22

Name/Title/Organization: Andrea Gievers, Environmental SME, NCORR

Certifying Officer Signature:  Date: 7/21/2022

Name/Title: Laura H. Hogshead, Director, NCORR

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

REFERENCE:

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APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

REFERENCE:

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 Approximate Boundary



Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977

SCALE:
1" = 500'

DATE:
10-8-21

PROJECT NUMBER
218540

EXHIBIT NO.

2

REFERENCE:

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APPROXIMATE SITE LOCATION
35.9435, -77.7684



100
Glow Rd
100
Glow Rd
1134
101
Charity Ct
1008
Tony Ct

0 200 400 FEET

 Approximate Boundary



Aerial Exhibit

East Haven Apartments +/- 5.53 Acres

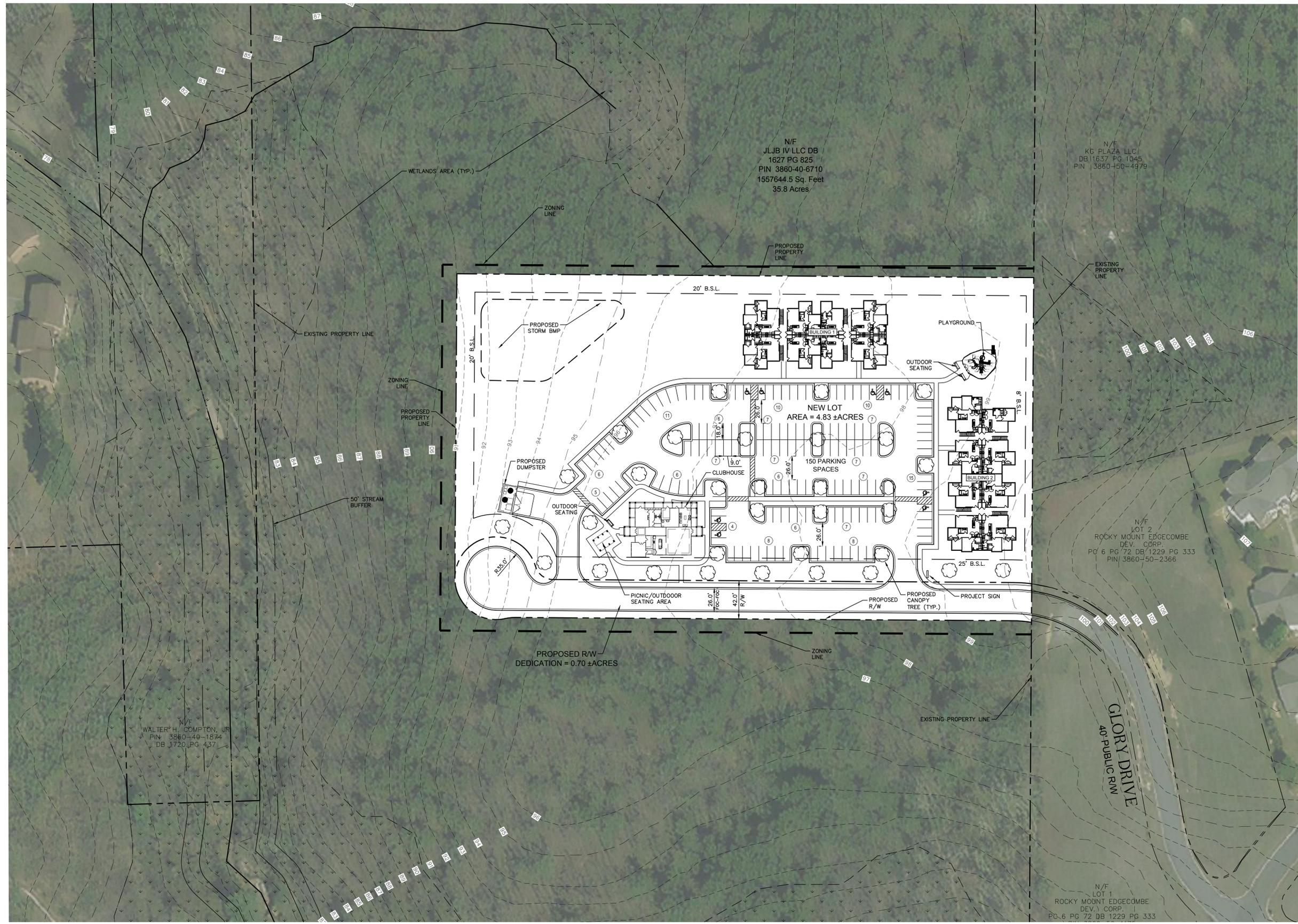
Rocky Mount, Edgecombe County, North Carolina
Source: World Imagery 2020

SCALE:
1" = 200'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
3

Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Aerial Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

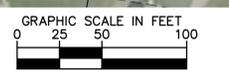
N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-450-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333

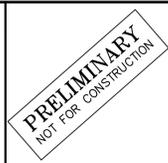


Kimley»Horn
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT	013856000
DATE	05/13/2021
SCALE	AS SHOWN
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA



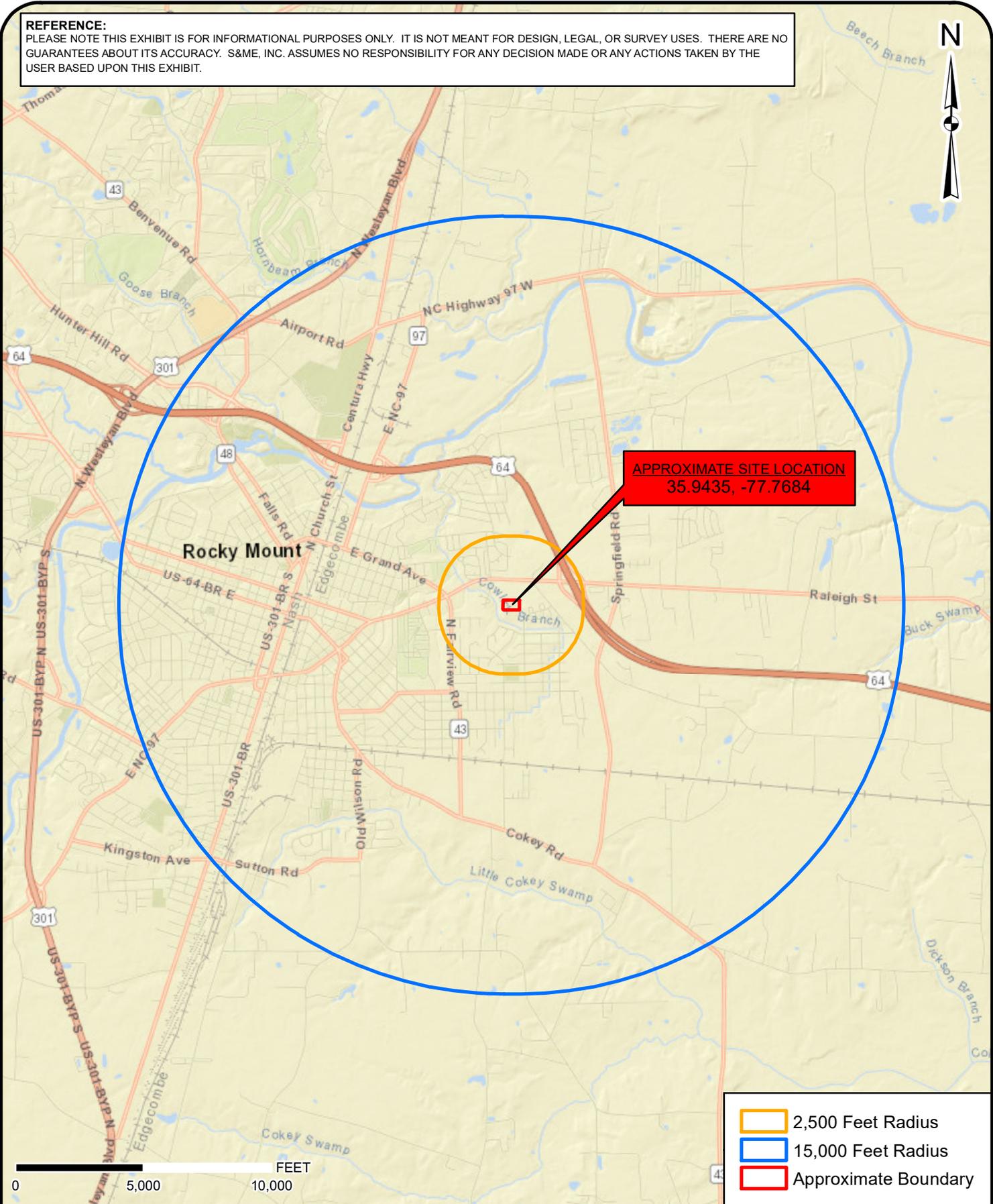
PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY

REFERENCE:
 PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
 35.9435, -77.7684

- 2,500 Feet Radius
- 15,000 Feet Radius
- Approximate Boundary



Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Airport Clear Zones Exhibit.mxd plotted by chandley 11-15-2021



Airport Hazards/Clear Zones

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

SCALE:
 1" = 5,000'

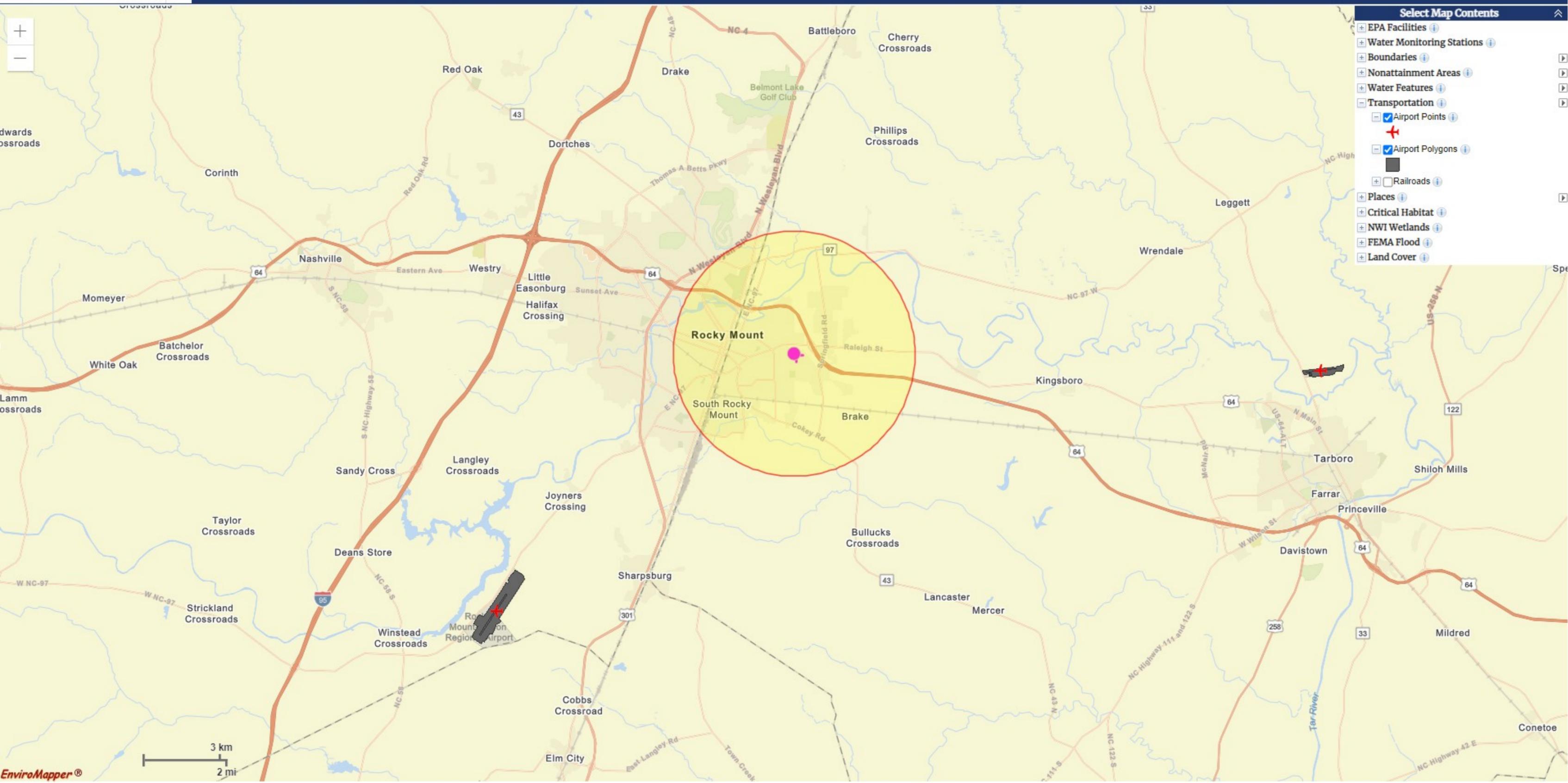
DATE:
 11-15-21

PROJECT NUMBER
 218540

EXHIBIT NO.

Find address or place

- Basemap
- Imagery
- Draw
- Erase
- Save Session
- Tools
- More Data



- ### Select Map Contents
- EPA Facilities
 - Water Monitoring Stations
 - Boundaries
 - Nonattainment Areas
 - Water Features
 - Transportation
 - Airport Points
 - Airport Polygons
 - Railroads
 - Places
 - Critical Habitat
 - NWI Wetlands
 - FEMA Flood
 - Land Cover



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Airport Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/airport-hazards>

1. To ensure compatible land use development, you must determine your site’s proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within the applicable distances to a military or civilian airport.*

Yes → *Continue to Question 2.*

2. Is your project located within a Runway Potential Zone/Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ)?

Yes, project is in an APZ → *Continue to Question 3.*

Yes, project is an RPZ/CZ → *Project cannot proceed at this location.*

No, project is not within an APZ or RPZ/CZ

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.*

3. Is the project in conformance with DOD guidelines for APZ?

Yes, project is consistent with DOD guidelines without further action.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

No, the project cannot be brought into conformance with DOD guidelines and has not been approved. → *Project cannot proceed at this location.*

If mitigation measures have been or will be taken, explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

Click here to enter text.

→ *Work with the RE/HUD to develop mitigation measures. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

No Effect. Project area is not located within Runway Clear Zone (2,500' from civil airport runway) or Accident Potential Zone (15,000' from military airport runway). See Airport Hazards/Clear Zones Exhibit. (Appendix A)

Sources:

- ESRI World Street Maps.
- EPA NEPAassist: <https://www.epa.gov/nepa/nepassist>.
- Google Earth.
- AirNav: <http://airnav.com/>.
- Federal Aviation Administration: <https://www.faa.gov/>.
- North Carolina Department of Transportation – Division of Aviation: <https://www.ncdot.gov/divisions/aviation/Pages/default.aspx>.
- Airport IQ 5010 Airport Master Records and Reports: <https://www.gcr1.com/5010web/>.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Airport Runway Clear Zones (CENST) – PARTNER

<https://www.hudexchange.info/environmental-review/airport-hazards>

1. Does the project involve the sale or acquisition of developed property?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Yes → *Continue to Question 2.*

2. Is the project in the **Runway Protection Zone/Clear Zone (RPZ/CZ)**¹?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.*

Yes → *Written notice must be provided to prospective buyers to inform them of the potential hazards from airplane accidents as well as the potential for the property to be purchased as part of an airport expansion project. [A sample notice is available through the HUD Exchange.](#)*

Provide a map showing that the site within RPZ/CZ. Work with the RE/HUD to provide written notice to the prospective buyers. Continue to the Worksheet Summary below.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

No Effect. Project area is not located within Runway Clear Zone (2,500' from civil airport runway).

Airport Clear Zones Exhibits. (Appendix A)

¹ Runway Protection Zone/Clear Zones are defined as areas immediately beyond the ends of runways. The standards are established by FAA regulations. The term in 24 CFR Part 51, Runway Clear Zones, was redefined in FAA's Airport Design Advisory Circular (AC) 150/5300-13 to refer to Runway Protection Zones for civil airports. See link above for additional information.



October 12, 2021

CBRS Buffer Zone System Unit

CBRS Units

Otherwise Protected Area

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/cbra/maps/index.html>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<http://www.fws.gov/cbra/Determinations.html>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS mapper.

National Flood Hazard Layer FIRMette



77°46'20"W 35°56'51"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

77°45'43"W 35°56'22"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard <i>Zone D</i> |
| | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance |
| | | 17.5 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/12/2021 at 11:01 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >North Carolina Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

North Carolina Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of May 31, 2022

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

NORTH CAROLINA

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
NORTH CAROLINA								
Cabarrus County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	178,011	37/025
Cabarrus County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,928	37/025
Catawba County	PM-2.5 (1997)-NAAQS revoked	Hickory-Morganton-Lenoir, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	154,358	37/035
Chatham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Part	32,372	37/037
Davidson County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	162,878	37/057
Davidson County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	162,878	37/057

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Davie County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Part	1	37/059
Durham County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	267,587	37/063
Durham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	267,587	37/063
Durham County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	267,587	37/063
Edgecombe County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	56,552	37/065
Forsyth County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	350,670	37/067
Forsyth County	Carbon Monoxide (1971)	Winston-Salem, NC	9293	11/07/1994	Moderate <= 12.7ppm	Whole	350,670	37/067
Franklin County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	60,619	37/069
Gaston County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	190,849	37/071

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Granville County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Part	17,725	37/077
Granville County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	59,916	37/077
Guilford County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	488,406	37/081
Guilford County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	488,406	37/081
Haywood County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Cos (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	985	37/087
Iredell County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Part	68,089	37/097
Iredell County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	65,899	37/097
Johnston County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	168,878	37/101
Lincoln County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	78,265	37/109
Lincoln County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	64,189	37/109

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Mecklenburg County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Whole	919,628	37/119
Mecklenburg County	Carbon Monoxide (1971)	Charlotte, NC	929394	09/18/1995	Not Classified	Whole	919,628	37/119
Nash County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	95,840	37/127
Orange County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	133,801	37/135
Person County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	39,464	37/145
Rowan County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	138,428	37/159
Rowan County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	130,057	37/159
Swain County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Cos (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	3,288	37/173
Union County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	201,292	37/179

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Union County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,055	37/179
Wake County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	900,993	37/183
Wake County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	900,993	37/183
Wake County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	900,993	37/183

Important Notes

Discover.

Connect.

Ask.

Follow.

2022-06-01



SOURCE: North Carolina DEQ

<https://deq.nc.gov/about/divisions/coastal-management/coastal-management-permit-guidance/permit-required>



SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-12-2021



COASTAL ZONE MANAGEMENT EXHIBIT East Haven Apartments ROCKY MOUNT, EDGECOMBE CO., NC	
PROJECT NO:	218540

EXHIBIT NO.



Phase I Environmental Site Assessment
East Haven Apartments
Rocky Mount, Edgecombe Co., NC
S&ME Project No. 218540

PREPARED FOR:

KB Rocky Mount, LLC
709 North Main Street, Suite 200
Aynor, SC 29511

PREPARED BY:

S&ME, Inc.
134 Suber Road
Columbia, SC 29210

December 29, 2021



December 29, 2021

KB Rocky Mount, LLC
709 North Main Street, Suite 200
Aynor, South Carolina 29511

Attention: Mr. Brad Queener
brad@bradleydevelopers.com

Reference: **Phase I Environmental Site Assessment
East Haven Apartments**
1040 Dreaver Street
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. Queener:

S&ME, Inc. (S&ME) has completed a Phase I Environmental Site Assessment (ESA) for the referenced Property. The attached report presents the findings of S&ME's Phase I ESA performed in general accordance with ASTM E1527-13 and S&ME Proposal Number 218540, dated September 20, 2021, and our Agreement for Services Form (AS-071). The purpose of the Phase I ESA was to identify, to the extent feasible, recognized environmental conditions in connection with the Property.

ASTM E1527-13 states that a Phase I ESA "meeting or exceeding" this practice and completed less than 180 days prior to the date of acquisition or intended transaction is presumed to be valid if the report is being relied on by the User for whom the assessment was originally prepared and the following components were completed: interviews, the regulatory review, site visit, environmental lien search, and the declaration by the environmental professional responsible for the assessment. Based on this requirement this report is presumed valid for 180 days from October 8, 2021.

S&ME appreciates the opportunity to provide this Phase I ESA for this project. Please contact us if there are questions regarding the information contained in this report.

Sincerely,

S&ME, Inc.

Handwritten signature of James Trotter in black ink.

James Trotter
Staff Professional
jtrotter@smeinc.com

Handwritten signature of Chris Daves in black ink.

Chris Daves, P.W.S.
Senior Reviewer/Senior Scientist
cdaves@smeinc.com



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- Appendix III – EDR Radius Map Report
- Appendix IV – Interview Documentation
- Appendix V – Regulatory Records
- Appendix VI – Vapor Encroachment Screening
- Appendix VII – Contract and User-Provided Information



Executive Summary

S&ME, Inc. (S&ME) has completed a Phase I Environmental Site Assessment (ESA) of the approximate 5.53-acre Property located at 1040 Dreaver Street (Soon to be Glory Road) in Rocky Mount, Edgecombe County, North Carolina. (i.e., "the Property"). This summary is intended as an overview of the Phase I ESA for the convenience of the reader. The complete report must be reviewed in its entirety prior to making decisions regarding the Property.

The information in this report was obtained from a site reconnaissance, environmental records review, interviews, and historical research. The Property consists of wooded land. The Property is identified as a portion of one Edgecombe County tax parcel currently owned by JLJB IV, LLC. The historical resources reviewed indicated a road was present on the Property from 1902-1904. Overall, Property consisted of open fields and/or wooded land since at least 1902.

A site reconnaissance was conducted by S&ME Environmental Professional, Chris Daves, P.W.S., on October 13, 2021, to evaluate the Property for drainage patterns, vegetation patterns, stains, discoloration, surrounding land use, and other visual aspects suggestive of the presence of Recognized Environmental Conditions (RECs).

No on-site findings of environmental concern were observed on the Property:

S&ME contracted Environmental Data Resources (EDR) to prepare a Radius Map Report compiling federal, state, and tribal environmental database information. The review of the EDR Radius Map Report and other public records identified several facilities with listings related to hazardous materials or petroleum products in the vicinity of the Property. Based on current regulatory status, distance from the Property, and topographic relationship, the off-site regulated facilities listed on the EDR report are not considered a REC in connection with the Property. In addition, a Vapor Encroachment Condition (VEC) in connection with the Property does not exist.

In summary, this assessment has revealed no evidence of RECs, controlled recognized environmental conditions (CREC), or historical recognized environmental conditions (HREC) in connection with the Property.

Phase I Environmental Site Assessment

East Haven Apartments

Rocky Mount, Edgecombe County, North Carolina

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1.0 Introduction

S&ME conducted a Phase I ESA of the approximate 5.53-acre Property located at 1040 Dreaver Street (soon to be Glory Road) in Rocky Mount, Edgecombe County, North Carolina. The Phase I ESA was conducted using the American Society for Testing and Materials (ASTM) *E1527-13, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process* and in general accordance with S&ME Proposal Number 218540, dated September 20, 2021, and our Agreement for Services Form (AS-071).

1.1 Purpose

The User of this report is KB Rocky Mount (Client). The purpose of the Phase I ESA is to identify, pursuant to ASTM E1527-13, recognized environmental conditions and controlled recognized environmental conditions in connection with the Property.

ASTM defines the term recognized environmental condition (REC) as the presence or likely presence of hazardous substances or petroleum products in, on, or at a Property: (1) due to any release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. The term includes hazardous substances or petroleum products even under conditions in compliance with laws.

ASTM defines the term controlled recognized environmental condition (CREC) as "a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority), with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, Property use restrictions, activity and use limitations, institutional controls, or engineering controls)".

ASTM defines the term historical recognized environmental condition (HREC) as a past release of any hazardous substances or petroleum products that has occurred in connection with the Property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the Property to any required controls (for example, Property use restrictions, activity and use limitations, institutional controls, or engineering controls).

The terms do not include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not recognized environmental conditions nor controlled recognized environmental conditions.



1.2 Detailed Scope of Services

1.2.1 ASTM E1527-13

S&ME's approach to performing this Phase I ESA consisted of four major tasks in accordance with ASTM Standard Practice E1527-13.

Task 1 - A review of reasonably ascertainable public records for the Property and the immediate vicinity was conducted. This review was performed to characterize environmental features of the Property and to identify past and present land use activities, on or in the vicinity of the Property, which may indicate a potential for recognized environmental conditions. The review of the reasonable ascertainable public records included:

1. Examination of federal, state, tribal and reasonably ascertainable local public records for the Property and immediate vicinity.
2. Examination of one or more of the following standard sources: aerial photographs, fire insurance maps, tax files, building department records, zoning/land use records, street directories and topographic maps of the site and vicinity for evidence suggesting past uses that might have involved hazardous substances or petroleum products.
3. Examination of land title records back to 1940, or first developed use - whichever is earlier, as well as a copy of the current deed if the documents are provided to S&ME by the Phase I ESA User.

Task 2 - A site reconnaissance was performed to identify visual signs of past or existing contamination on or adjacent to the Property. This reconnaissance was also performed to evaluate evidence found in our public record review that might indicate activities resulting in hazardous substances or petroleum products being used or deposited on the Property. The site reconnaissance included the following activities:

1. A reconnaissance of the Property and adjacent properties was performed to look for evidence of current and past Property uses, signs of spills, stressed vegetation, buried waste, underground or above ground storage tanks, subsidence, transformers, or unusual soil discoloration which may indicate the possible presence of contaminants on the properties. Photographs are provided to document these conditions.
2. The exterior reconnaissance involved a viewing of the periphery of the Property and a walk-through of accessible areas of the Property interior including the exterior of any on-site structures.
3. Areas of the site were photographed to document the current use(s) of the Property, as well as conditions such as unusually discolored soil, stressed vegetation, or other significant features associated with the Property.

Task 3 - Interviews with past and present Property owners (if available), operators and occupants as well as with appropriate local officials were conducted to consider any local knowledge of hazardous substances or petroleum products on the Property or on adjacent properties.

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Task 4 – Report preparation and review.

1.2.2 *Exclusions from and Additions to Scope of Services*

Unless specifically authorized as an addition to the Phase I ESA work scope, the assessment did not include assessment of environmental conditions not specifically included in the ASTM E1527-13 standard including, but not limited to sampling of materials (i.e., soil, surface water, groundwater or air), or the assessment of business risk issues such as wetlands, lead in drinking water, asbestos-containing materials, mold, fungi or bacteria in on-site buildings, regulatory compliance, cultural/historic risks, industrial hygiene, health/safety, ecological resources, endangered species, indoor air quality, vapor intrusion, radon or high voltage power lines.

1.3 Significant Assumptions

Information obtained from the User, Client, the Client's representatives, individuals interviewed, public record review, and prior environmental reports was considered to be accurate and reliable unless S&ME's reasonable inquiries clearly revealed otherwise.

The groundwater within the local geologic province is typically contained in an unconfined (water table) aquifer. The slope of the water table under static conditions (no pumping interference) often approximates the land surface topography. Thus, the interpreted groundwater flow direction is assumed to be approximately the same as the topography of the ground surface. Perennial surface waters (creeks, streams, rivers, ponds, etc.) are assumed to act as a discharge point for groundwater flow and thus delineate the locations of hydrogeologic barriers for flow within the subsurface groundwater regime.

1.4 Limitations and Exceptions of Assessment

The Phase I ESA was conducted using ASTM E1527-13. The findings of this report are applicable, and representative of conditions encountered at the Property on the date of this assessment and may not represent conditions at a later date. The review of public records was limited to that information which was available to S&ME at the time this report was prepared. Interviews with local and state government authorities were limited to those people whom S&ME was able to contact during the preparation of this report. Information was derived from "reasonably ascertainable" and "practically reviewable" sources in compliance with our understanding of the standards set forth by ASTM E1527-13.

Additional limitations to this Phase I ESA are as follows:

- ◆ Standard historical sources were not reasonably ascertainable to trace the historical usage of the Property in five-year intervals back to 1940 or when the Property was first developed.
- ◆ Due to the small scale and, in some cases poor resolution of historical aerial photographs, only limited detailed review of historic site conditions was feasible.
- ◆ The boundaries of the Property were approximated based on User-provided information, tax parcel maps, and field observations.
- ◆ A search of the land title records for environmental liens or Activity Use Limitations (AULs) was not performed by the User.



- ◆ The absence of an interview with past Property owners.

1.5 Special Terms and Conditions

This Phase I ESA was conducted in general accordance with S&ME Proposal Number 218540, dated September 20, 2021, and our Agreement for Services Form (AS-071). A copy of the contract between S&ME and KB Rocky Mount, LLC is included in **Appendix VI**.

1.6 User Reliance

The resulting report is provided for the sole use of the Client. Use of this report by any third parties will be at such party's sole risk except when granted under written permission by S&ME.

The additional party's use and reliance on the report will be subject to the rights, obligations, and limitations of S&ME's standard Agreement for Services (AS-071) which can be provided upon third party request for reliance on this report.

According to ASTM E1527-13, certain components of the Phase I ESA will expire 180 days from the date of that component and will require updating if the date of Property acquisition exceeds this time period. The entire report will expire in one year. The following table lists the dates for pertinent components.

<u>Component</u>	<u>Date of Initiation</u>
Environmental Database Search	October 8, 2021
Site Reconnaissance	October 13, 2021
Interviews	October 22, 2021
Environmental Lien Search	Not Performed
Declaration by Environmental Professional	Date of report

2.0 General Site Description

2.1 Site Location

The approximate 5.53-acre Property is located at 1040 Dreaver Street in Rocky Mount, Edgecombe County, North Carolina. The location of the Property is shown on **Exhibits 1-3** in **Appendix I**.

Table 2-1 General Information on Property

Item	Comments
Property Location/Address	1040 Dreaver Street (end of Glory Drive) Rocky Mount, Edgecombe Co., NC
Tax Parcels	Portion of 386040671000



Item	Comments
Number of Buildings and Square Footage (sf)	No buildings located on Property
Current Property Use	Forestland and partially open land

2.2 Site and Vicinity Characteristics

The Property consists predominately of wooded land. Properties surrounding the Property include wooded land, commercial businesses, apartment complexes, and single-family residences.

3.0 User Provided Information

Certain information identified in ASTM E1527-13 is typically provided by the User of this report (Client) on a User Questionnaire. The User completed the User Questionnaire (**Appendix VII**).

3.1 Title Records

The User did not provide S&ME with title records, and S&ME was not engaged by the Client to secure a title report as part of the Scope of Services.

3.2 Environmental Liens or Activity and Use Limitations

Review of AULs and environmental liens by the environmental professional can help in determining if a *recognized environmental condition* is associated with the Property. AULs can include both institutional and engineering controls and are often recorded in land title records in the restrictions of record rather than a typical chain-of-title or title abstract. The User has the responsibility of checking land title and judicial (federal, state, tribal, and local) records.

No lien/AUL search was provided by the User, and no information regarding environmental liens/AULs, or governmental notification relating to past or recurrent violations of environmental laws with respect to the Property was reported to S&ME by the User.

3.3 Specialized Knowledge

The User did not provide specialized knowledge that is material to potential RECs identified in connection with the Property. No other specialized knowledge was provided by the User.

3.4 Commonly Known or Reasonably Ascertainable Information

The User did not provide commonly known or reasonably ascertainable information regarding the Property.

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3.5 Valuation Reduction for Environmental Issues

The User did not indicate that they were aware of a valuation reduction for the Property due to environmental issues.

3.6 Owner, Property Manager, and Occupant Information

According to the Edgecombe County GIS website, the Property consists of a portion of one Edgecombe County tax parcel currently owned by JLJB IV, LLC. The Property does not currently have occupants.

3.7 Reason for Performing the Phase I ESA

It is our understanding that the Phase I ESA is being conducted due to a planned transaction of the Property. The purpose of the ESA is to identify, pursuant to ASTM E1527-13, RECs in connection with the Property. S&ME assumes that this Phase I ESA is being performed to assist the purchaser in qualifying for the innocent landowner, contiguous Property owner, or bona fide prospective purchaser limitations on CERCLA liability.

3.8 Other

The User provided S&ME with a site plan. No other information pertinent to the Phase I ESA was provided by the Client.

4.0 Records Review

4.1 Standard Environmental Record Sources

S&ME reviewed selected federal and state regulatory lists in an attempt to identify recorded information concerning environmental impacts or conditions or concerns associated with the subject Property. S&ME reviewed the regulatory lists as obtained from Environmental Data Resources (EDR). The database report is attached as **Appendix III**, including a listing of the databases, search radii, explanation of each database, and figures depicting the approximate locations of regulated facilities in the vicinity of the subject Property. The EDR environmental records report contains detailed information regarding the release date and search distance for each database researched.

Regulatory listings are limited and include only those facilities or incidents that are known to the regulatory agencies at the time of publication to be contaminated, in the process of evaluation for potential contamination, or to store/generate potentially hazardous substances, waste, or petroleum.

Several facilities with records pertaining to hazardous substance or petroleum products within ASTM-specified search distances were listed. The subject Property was not identified on regulatory databases.



Table 4-1 Database Search Results Summary (Standard Records Sources)

Facility	Location Direction/ Distance Topographic Relationship	Record	Comment
Jiffy Mart	2802 N. Raleigh St. 900 ft. NE Down-gradient	LUST, LUST TRUST, UST, INST Control, SHWS	Former UST site. All tanks have been removed and is currently a parking area. Petroleum release reported in 2009, clean-up initiated in 2009. The incident was closed out in 2010. Based on USGS topographic mapping and groundwater mapping obtained from NCDEQ, groundwater appears to flow west away from Property.
Freshway #782/ Friendly Way	1616 N. Raleigh St. 1,025 ft. N Down-gradient	LUST, UST, INST Control, IMD, LUST Trust	Business is currently Friendly Way. Tanks have been removed. Release reported in 1988, incident was closed out in 2006. Based on USGS topographic mapping and groundwater mapping obtained from NCDEQ, groundwater appear to flow northwest away from Property.
The Fuel Doc #3	2341 N. Raleigh St. 3,825 ft. NW Down-gradient	LUST TRUST, IMD	Active gas station. Per EDR report, DOT found soil above MSCC limits during roadway expansion project in 2001. Site is currently being monitored. Based on USGS topo mapping, groundwater appears to flow northeast away from Property.
LSE Auto Center	2761 N. Raleigh St. 1.2 Miles NW Down-gradient	LUST TRUST, IMD	Incorrectly listed on EDR Report. Located outside ASTM radius.
Former Sprint Facility	901 N. Fairview Rd. 1,600 ft. W Down-gradient	IMD	Former heating oil site. UST has been removed and incident was closed out in 2012.
Gay Yost Funeral Home	905 Fairview Rd. 1,800 ft. W Down-gradient	LUST TRUST, IMD	Heating oil tank has been removed. Release reported in 1992, incident was closed out in 1993.

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Facility	Location Direction/ Distance Topographic Relationship	Record	Comment
US Army Reserve- Rocky Mount	804 Fairview Rd. 2,300 ft. SW Down-gradient	LUST, IMD, SHWS, SEMS Archive	Tanks have been removed. Release reported in 1990, incident was closed out in 2001.
Edgecombe Co. ABC Board	1201 N. Raleigh St. 2,400 ft. NW Down-gradient	LUST, IMD	Active gas station (Speedway). Release reported in 2002, incident was closed out in 2002. Based on USGS topo mapping, groundwater appears to flow north away from Property.

Based on spatial distance, apparent direction of groundwater flow, and regulatory status, these sites, as well as five additional sites listed in the EDR report, do not appear to pose a material threat of contamination to the Property.

The EDR report contains an Orphan Summary which are sites that cannot be located by EDR due to incomplete address information. No additional facilities were identified that are believed to be within the specified search radius.

4.2 Additional Environmental Record Sources

4.2.1 EDR Supplementary Sources

The EDR report also included additional environmental records not listed among the standard federal, state, and tribal databases. No additional facilities were listed.

4.2.2 Tribal Record Sources

The review of the public record including the EDR Radius Map Report did not reveal any listings of tribal environmental records (Indian Reservations, Indian UST, or Indian LUST). According to a fact sheet obtained from the National Indian Child Welfare Association, there are no recognized Tribal lands within the vicinity of the subject Property. According to the U.S. Census, there is one federally recognized tribe in North Carolina, the Eastern Band of Cherokee Indians of North Carolina. S&ME reviewed their website (<http://nc-chokeee.com/>) for information regarding environmental concerns. S&ME also reviewed the North Carolina Tribal Lands Fact Sheet (<http://www.nicwa.org/states/northcarolina.pdf>). These sources did not contain information regarding environmental issues.

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4.2.3 Other Record Sources

- ◆ A search of the Environmental Protection Agency (EPA) Envirofacts database (<http://www.epa.gov/emefdata/em4ef.home>) was conducted. No other information was available.
- ◆ A search of the NCDEQ UST Incidents Map Database (<https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/waste-management-gis-maps/rust-map>) was conducted. Files for LUST sites were obtained and are included in **Appendix V**.
- ◆ NCDEQ Laserfiche: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>.

4.2.4 State Agency File Review

Based on current information, distance and topographic location, the Environmental Professional in charge of this Phase I ESA determined a state agency file review for off-site facilities was necessary. Records for multiple facilities were downloaded from the NCDEQ databases. Nearby facilities within the U.S. Housing and Urban Development screening radii were also researched. Information obtained from these sources is included in **Appendix V**.

Thornes Drycleaners and Prestige Cleaners were located over one mile from the Property. The Old Rocky Mount Landfill is located approximately a mile north of the Property. These facilities do not pose a material threat of contamination to the Property due to distance.

4.3 Physical Setting Sources

Physical setting sources specified in Section 12.0 of this report were reviewed to provide information about the geology and hydrogeology of the area of the Property.

Surface Drainage and Soil

The Property is identified on the United States Geological Survey (USGS) 7.5-minute series Topographic Maps titled *Rocky Mount, North Carolina* Quadrangle dated 1977. The original map has a scale of one-inch equals 2,000 feet. A Topographic Exhibit, prepared using a portion of the map, is included as **Exhibit 2** in **Appendix I**.

The map depicted the Property as primarily open land with a wooded portion along the western edge. No structures are depicted on the Property. No blue-line drainage features are depicted on the Property. The Property is generally rolling with slope to the southwest. Surface elevation on the Property is approximately 90-100 feet above Mean Sea Level.

S&ME reviewed the United States Department of Agriculture (USDA) Soil Conservation Service's Soil Survey of Edgecombe County, North Carolina and the USDA Natural Resources Conservation Service (NRCS) Web Soil Survey (<http://websoilsurvey.nrcs.usda.gov/app/>), which depict the soil types underlying the Property and its surrounding area. These sources depicted the Property as being underlain by the following soils:



Table 4-2 Site Soils

Soil Series	Drainage	Locations
Bibb Soils (BB) (0-2 percent slopes)	Poor	Long, narrow to moderately broad areas on flood plains
Goldsboro Fine Sandy Loam (GoA) (0-2 percent slopes)	Moderately Well	Smooth, low ridges and flats, and in shallow depressions in uplands
Lynchburg Fine Sandy Loam (LyA) (0-2 percent slopes)	Somewhat Poor	Broad, smooth interstream areas and in shallow depressions in uplands
Marlboro Sandy Loam (MaB) (2-6 percent slopes)	Well	Broad, smooth areas of the uplands
Rains Fine Sandy Loam (RaA) (0-2 percent slopes)	Poor	Broad, smooth interstream areas and shallow depressions in uplands
Wagram Loamy Sand (WaB) (0-6 percent slopes)	Well	Smooth to slightly convex, broad areas on uplands

Bedrock

Bedrock was not observed on the Property.

Hydrogeology

According to *The Geology of the Carolinas*, (Horton, Jr. J. Wright and Victor A. Zullo, University of Tennessee Press, 1991), the subject property lies within the Coastal Plain Physiographic Province of South Carolina. The Coastal Plain consists of unconsolidated sands, silts, and clays of the Pleistocene epoch. During this time, the ocean retreated over the land and left formations and terraces indicating former shorelines. The parent material of most of the soils is marine or fluvial deposits. The sedimentary beds of the Coastal Plain overlap each other in the sequence they were laid down and slope gently to the coast.

In the Coastal Plain, the soils typically have moderate to rapid permeability; thus readily transmitting groundwater. The movement of groundwater through the sands and clays is strongly influenced by topography which generally controls the location of recharge and discharge zones. Groundwater within the Coastal Plain generally moves from topographically high areas (recharge zones) to topographically low areas within and along stream valleys (discharge areas).

4.4 Historical Use Information on the Property

4.4.1 Discussion

The historical use of the Property was determined by reviewing various historical sources listed below. In summary, the Property has consisted of agricultural fields, cleared land, and wooded or partially open land since at least 1902. A road was depicted on the Property from at least 1902-1904.



4.4.2 Aerial Photographs

Aerial photographs (1950-2020) were reviewed to observe previous conditions and development of the Property, as well as immediately adjacent properties. A copy of the 2020 aerial photograph is included as **Exhibit 3** in **Appendix I**. The following table presents the findings of the aerial photograph review.

Table 4-3 Aerial Photographs

Source	Date	Approx. Scale	Comments
World Imagery	2020	1" = 200'	Property consists of undeveloped, wooded land. Surrounding properties consist of commercial businesses, wooded land (N), single-family residences (S), Thorn Ridge Apartments (E), wooded land, and an apartment complex (W).
EDR Aerial Photo	2016 2012 2009 2006	1" = 500'	Property similar to 2020 aerial photo. Surrounding properties similar to 2020 aerial photo.
EDR Aerial Photo	1998 1993	1" = 500'	Property similar to 2006 aerial photo. Surrounding properties consists of wooded land, commercial businesses (N), wooded land, single-family residences (S), open fields (E), a drive-in theatre, and an apartment complex (W).
EDR Aerial Photo	1983 1977 1974	1" = 500'	Property is open land/field. Other surrounding properties are similar to 1993 aerial photo.
EDR Aerial Photo	1964 1961 1957 1950	1" = 500'	Property is open, agricultural land. Surrounding properties consist of wooded land, open land, businesses (N), open land, wooded land (S), a drive-in theatre, open land/fields (E), wooded land, open land (W).

No evidence of potential hazardous materials use or storage was observed in the aerial photographs observed. Due to the scale and clarity of most of the aerial photographs, details of the Property could not be observed.

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4.4.3 *City Directories*

S&ME contracted with EDR to conduct a city directory review of the Property and surrounding street addresses. City directories were reviewed from 1964-2017. The Property was not listed in the City directory review and surrounding properties consisted of single-family residences, apartment complexes, and commercial businesses.

4.4.4 *Sanborn Fire Insurance Maps*

S&ME contracted with EDR to conduct a database search of Sanborn Fire Insurance maps for the subject Property and surrounding area. EDR maintains the largest library of Sanborn Fire Insurance maps available. Sanborn maps were unavailable for the Property.

4.4.5 *Historical Topographic Maps*

S&ME contracted with EDR to obtain a historical topographic map report of the Property. Topographic maps were available for the Property from 1902, 1904, 1977, 1998, and 2013. No structures were depicted on the Property. No blue-line drainage features were depicted on the Property. A road was depicted through the central portion of the Property on the 1902-1904 maps. Overall, the Property was depicted and primarily open land, with a small, wooded portion along the western boundary.

4.4.6 *Building Records*

S&ME attempted to review building records on the Edgecombe County GIS website. No structures are located on the Property; thus, no building records were available.

4.4.7 *Zoning/Land Use Records*

S&ME reviewed zoning/land records on the Edgecombe County GIS website. Zoning records indicated the Property was R-10 (Low Density Residential District). Additional land use records were not available.

4.4.8 *Land Title Records*

Land title records were not provided to S&ME for this assessment. According to the Edgecombe County GIS website, the Property consists of a portion of one Edgecombe County tax parcel currently owned by JLJB IV, LLC. Refer to Property tax card in **Appendix II**.

4.4.9 *Property Tax Files*

S&ME attempted to review Property tax files on the Edgecombe County Tax Assessor's Office website. Taxable valuations were listed on the tax card. Refer to Property tax cards in **Appendix II** for additional information.



4.5 Historical Use Information on Adjoining Properties

Historical information including aerial photographs, city directories, topographic maps, and regulatory records were reviewed to assess off-site historical land uses.

Table 4-4 Adjoining Properties

Location/Current Use	Prior Use
<p>North: Commercial businesses, wooded land</p>	Northern adjoining have been occupied commercial businesses (1957-present), and open or wooded land since at least 1902.
<p>East: Thorn Ridge Apartments</p>	Eastern adjoining properties have been occupied by Thorn Ridge Apartments (2006-present), a drive-in theatre (1958-1998), and wooded or open land since at least 1902.
<p>South: Single-family residences, wooded land</p>	Southern adjoining properties have been occupied by single-family residences (1974-present) and wooded or open land since at least 1902.
<p>West: Wooded land, multi-family residences</p>	Western adjoining properties have been occupied by wooded land and multi-family residences (1977) since at least 1902.

4.6 Vapor Encroachment Screening

The purpose of the Tier 1 Vapor Encroachment Screening (VES) is to identify, to the extent feasible pursuant to the procedures presented in the ASTM E 2600-15 standard guide if a Vapor Encroachment Condition (VEC) exists at the Property. A VEC in connection with the Property or nearby listed regulated facilities does not exist. See **Appendix VI** for copy of the VES report.

5.0 Site Reconnaissance

The site reconnaissance was conducted by S&ME Environmental Professional, Chris Daves, on October 13, 2021. The purpose of the site reconnaissance is to “obtain information indicating the likelihood of identifying RECs in connection with the Property.”

5.1 Methodology and Limiting Conditions

The methodology used during the site reconnaissance consisted of a walk around the boundaries of the Property and available portions of the Property’s interior. Observation of nearby properties was limited to areas visible in the line-of-sight from public roadways. S&ME did not enter adjacent properties to view areas not visible from the Property or public Property. Following the site reconnaissance, S&ME performed a vehicular survey of the surrounding area by public roads to observe adjoining and nearby properties. No limiting conditions were encountered during the site reconnaissance.



5.2 General Site Setting

5.2.1 *Current Use(s) of the Property*

The Property consists of undeveloped wooded land (Photographs 1-4).

5.2.2 *Past Use(s) of the Property*

No evidence of past uses of the Property was observed.

5.2.3 *Current Use(s) of Adjoining Properties*

North Wooded land and commercial businesses are located north of the Property.

South Single-family residences and wooded land are located south of the Property.

East Thorn Ridge Apartments are located east of the Property (Photograph 5).

West Apartments and wooded land are located west of the Property (Photograph 6).

5.2.4 *Past Use(s) of Adjoining Properties*

No obvious evidence of previous land uses was observed on adjoining and surrounding properties through observations made during the site visit.

5.2.5 *Geologic, Hydrogeologic, Hydrologic, and Topographic Conditions*

The Property is generally rolling with a slope towards the southwest. No surface water features were observed. Surface soils consisted of sandy loams and clay loams.

5.2.6 *Description of Structures and Roads*

No structures or roads were observed on the Property. Ingress and egress to the Property are Glory Road east of the Property (Photograph 7).

5.2.7 *Potable Water Supply and Sewage Disposal System*

Municipal water and sewer line connections (City of Rocky Mount) serve the Property along Dreaver Street (Glory Road) to the east of the Property.



5.3 Exterior Observations

Table 5-1 Property Exterior Observations

Descriptions	Reported or Observed On-Site (Y/N)	Comments
Hazardous Substances and Petroleum Products in Connection with Identified Uses	N	
Storage Tanks (USTs/ASTs)	N	
Strong, Pungent, or Noxious Odors	N	
Pools of Liquid	N	
Drums	N	
Hazardous Substances and Petroleum Products Containers Not in Connection with Identified Uses	N	
Unidentified Substance Containers	N	
Potential Polychlorinated Biphenyls (PCB)-Containing Equipment	N	
Pits, Ponds, Lagoons, and Surface Waters	N	
Stained Soil or Pavement	N	
Stressed Vegetation	N	
Solid Waste	N	
Utilities and Storm Water Management	N	
Process/Industrial Wastewater Discharges	N	
Wells	N	
Septic Systems	N	
Hydraulic Equipment	N	
Contracted Maintenance Services	N	
Other	Y	Household trash was observed in various locations on the Property (Photograph 8)



5.4 Interior Observations

No structures were observed on the Property; thus, no interior observations were made.

6.0 Interviews

Interviews were conducted by Chris Daves, an S&ME Environmental Professional, to obtain information from individuals who have knowledge of current and past activities at the Property and to clarify observations made during the site reconnaissance or data review of the Property. Copies of interview correspondence are located in **Appendix IV**.

6.1 Interview with Past and Present Owner

S&ME interviewed Mr. Brad Powell via an Owner Questionnaire on December 29, 2021. Mr. Powell is the current owner representative for the Property. Mr. Powell stated that the Property has been historically vacant. He stated that he had no knowledge of USTs or ASTs, liens, AULs, or environmental concerns with the Property or surrounding properties.

6.2 Interview with Key Site Manager

See Section 6.1.

6.3 Interview with Occupants

There are no occupants of the Property.

6.4 Interview with Local Government Officials

S&ME interviewed the Rocky Mount Fire Department Administrative Secretary, Karen S. Murray via their record request portal on October 21, 2021, to request information concerning fire and hazardous material responses at the Property. Ms. Murray responded via email on October 22, 2021 and stated that there were no records of responses to the Property.

6.5 Interviews with Others

No other interviews were conducted as part of this assessment.



7.0 Findings

7.1 On-Site Findings

- ◆ No on-site findings of environmental concern were observed on the Property.

7.2 Off-Site Findings

- ◆ Multiple regulated facilities were located within the ASTM-designated radius from the subject Property.

8.0 Opinions

8.1 On-Site Opinions

- ◆ No on-site findings of environmental concern were observed on the Property; thus, no opinions are rendered.

8.2 Off-Site Opinions

- ◆ Based on current regulatory status, distance, and topographic relationship to the Property, the off-site regulated facilities are not considered a REC in connection with the Property.

8.3 Data Gaps

The following data gaps were encountered during the Phase I ESA:

- ◆ Failure to document Property use in approximately five-year intervals back to its first developed use, or back to 1940, whichever earlier.
- ◆ Chain of title or a review for environmental liens or AULs were not provided by the User.
- ◆ Interviews with past Property owners were not conducted.

Based on other historical sources of information and the Property's known past site uses, these data gaps are not considered significant.

9.0 Conclusions

We have performed a Phase I ESA in conformance with the scope and limitations of ASTM E1527-13 of the approximate 5.53-acre Property located at 1040 Dreaver Street in Rocky Mount, Edgecombe County, North Carolina. Any exceptions to, or deviations from, this practice are described in Sections 1.4 and 10 of this report. This assessment has revealed no evidence of RECs, HRECs, or CRECs in connection with the Property.



10.0 Deviations

S&ME has endeavored to perform this Phase I ESA in conformance with the scope and limitations of ASTM E1527-13. Deviations from the standard are summarized in Section 1.4 and 8.3.

11.0 References

- ◆ Edgecombe County GIS Assessor website (<https://gis.edgecombecountync.gov/maps/>);
- ◆ Aerial photographs obtained from the EDR and World Imagery, dated 1950-2020;
- ◆ Rocky Mount, North Carolina, USGS 7.5-minute series Topographic Map, dated 1977;
- ◆ EDR Certified Sanborn Map Report, East Haven Apartments, Inquiry Number 6697074.3, dated October 8, 2021;
- ◆ EDR Historical Topographic Map Report, East Haven Apartments, Inquiry Number 66970714.4, dated October 8, 2021;
- ◆ EDR Aerial Photo Decade Package, East Haven Apartments, Inquiry Number 6697074.8, dated October 11, 2021;
- ◆ EDR City Directory Image Report, East Haven Apartments, Inquiry Number 6697074.5, dated October 14, 2021;
- ◆ EDR Radius Map Report, East Haven Apartments, Inquiry Number 6697074.2s, dated October 8, 2021;
- ◆ USDA Natural Resources Conservation Services (NRCS) Web Soil Survey (<http://websoilsurvey.nrcs.usda.gov/app/>);
- ◆ ASTM Standards on Environmental Site Assessments for Commercial Real Estate. E 1527-13, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process. American Society for Testing and Materials (ASTM), Philadelphia, PA, 2013; and,
- ◆ ASTM Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions. E 2600-15. American Society for Testing and Materials (ASTM), Philadelphia, PA, 2015.

12.0 Signature(s) of Environmental Professional(s)

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in §312.10 of 40 CFR 312 and I have the specific qualifications based on education, training, and experience to assess a Property of the nature, history, and setting of the Property. I have developed and performed all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Reviewer/Senior Scientist

Phase I Environmental Site Assessment

East Haven Apartments

Rocky Mount, Edgecombe County, North Carolina

S&ME Project No. 218540



13.0 Qualification(s) of Environmental Professional(s)

The Environmental Professional who contributed to this project is Mr. Chris Daves, P.W.S. Mr. Daves has a B.S. in Biology and a M.S. in Earth and Environmental Resources Management and over 20 years of relevant work experience in environmental consulting. He has performed hundreds of environmental assessments for real estate transactions in South Carolina, North Carolina, and Georgia. Mr. Daves is a senior reviewer for S&ME and has attended ASTM training for Phase I ESAs.

Appendices

Appendix I – Exhibits and Site Photographs

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Street Map

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



 Approximate Boundary



Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977

SCALE:
1" = 500'

DATE:
10-8-21

PROJECT NUMBER
218540

EXHIBIT NO.

2

REFERENCE:

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APPROXIMATE SITE LOCATION
35.9435, -77.7684



100

Clay Rd

100
Clay Rd

1134

101
Charity Ct

1008

Tony Ct

100

100

100

100



Photograph Location & Direction



Approximate Boundary

0 200 400 FEET



Aerial Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Imagery 2020

SCALE:
1" = 200'

DATE:
10-28-21

PROJECT NUMBER
218540

EXHIBIT NO.

3



1 Wooded land on northeastern portion of Property.



2 Wooded land on the southeastern portion of the Property.



3 Wooded land on the southwestern portion of the Property.



4 Wooded land on the northwestern portion of the Property.



Site Photographs
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina

S&ME Project: 218540

Taken by: MV

Date: October 13, 2021



5 Thorn Ridge Apartments located east of the Property.



6 Apartments located west of the Property.



7 Ingress and egress to the Property are via Glory Road located east of the Property.



8 Typical household trash scattered in various locations on the Property.



**Site Photographs
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina**

S&ME Project: 218540

Taken by: MV

Date: October 13, 2021

Appendix II – Historical Research Documentation

Search Results Layers

Results List
Details

PIN: 3860-40-6710
Parcel Num: 386040671000
Account Number: 208310
Parcel Type: Parcel
Owner: JLJB IV LLC
PO BOX 7921
ROCKY MOUNT NC 27804
Physical Address: E RALIEGH BLVD
Property Desc: DAUGHTRIDGE LD INSIDE
Deed Reference: 1627/0825
Acres: 37.59
Building Value: \$0
Land Value: \$281,925
Net Value: \$281,925
Deferred Value: \$0
Last Sale Price: \$0
Deed Date: 3/31/2015
Tax Codes: C02
Zoning: R10
Subdivision:
Township: 12
PClass: 04

- Property Information
- Deed Reference

Zoom To	Clear
Adjoiners	Select By Location
Directions	Google Streetview

Buffer



Road Map Photography



East Haven Apartments

Dreaver Steet

Rocky Mount, NC 27801

Inquiry Number: 6697074.8

October 11, 2021

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Site Name:

East Haven Apartments
 Dreaver Steet
 Rocky Mount, NC 27801
 EDR Inquiry # 6697074.8

Client Name:

S&ME, Inc.
 134 Suber Road
 Columbia, SC 29210
 Contact: Chris Daves



Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2016	1"=500'	Flight Year: 2016	USDA/NAIP
2012	1"=500'	Flight Year: 2012	USDA/NAIP
2009	1"=500'	Flight Year: 2009	USDA/NAIP
2006	1"=500'	Flight Year: 2006	USDA/NAIP
1998	1"=500'	Acquisition Date: January 01, 1998	USGS/DOQQ
1993	1"=500'	Acquisition Date: February 03, 1993	USGS/DOQQ
1983	1"=500'	Flight Date: March 13, 1983	NHAP
1977	1"=500'	Flight Date: March 01, 1977	USGS
1974	1"=500'	Flight Date: April 01, 1974	USGS
1964	1"=500'	Flight Date: April 01, 1964	USGS
1961	1"=500'	Flight Date: August 17, 1961	USGS
1957	1"=500'	Flight Date: January 23, 1957	USGS
1950	1"=500'	Flight Date: November 18, 1950	USGS

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INQUIRY #: 6697074.8

YEAR: 2016

— = 500'





INQUIRY #: 6697074.8

YEAR: 2012

— = 500'





INQUIRY #: 6697074.8

YEAR: 2009

— = 500'





INQUIRY #: 6697074.8

YEAR: 2006

 = 500'





INQUIRY #: 6697074.8

YEAR: 1998

— = 500'





INQUIRY #: 6697074.8

YEAR: 1993

— = 500'



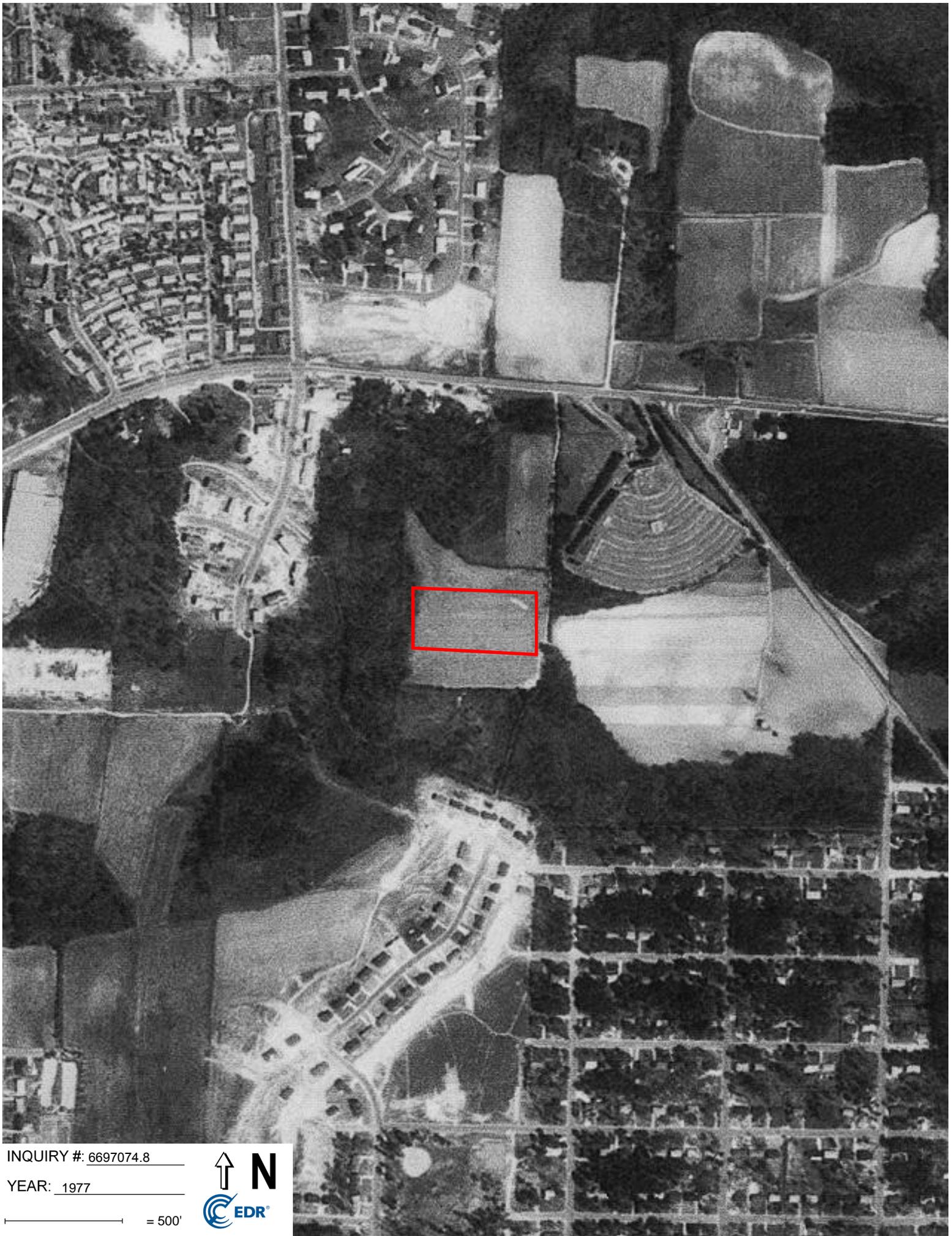


INQUIRY #: 6697074.8

YEAR: 1983

— = 500'



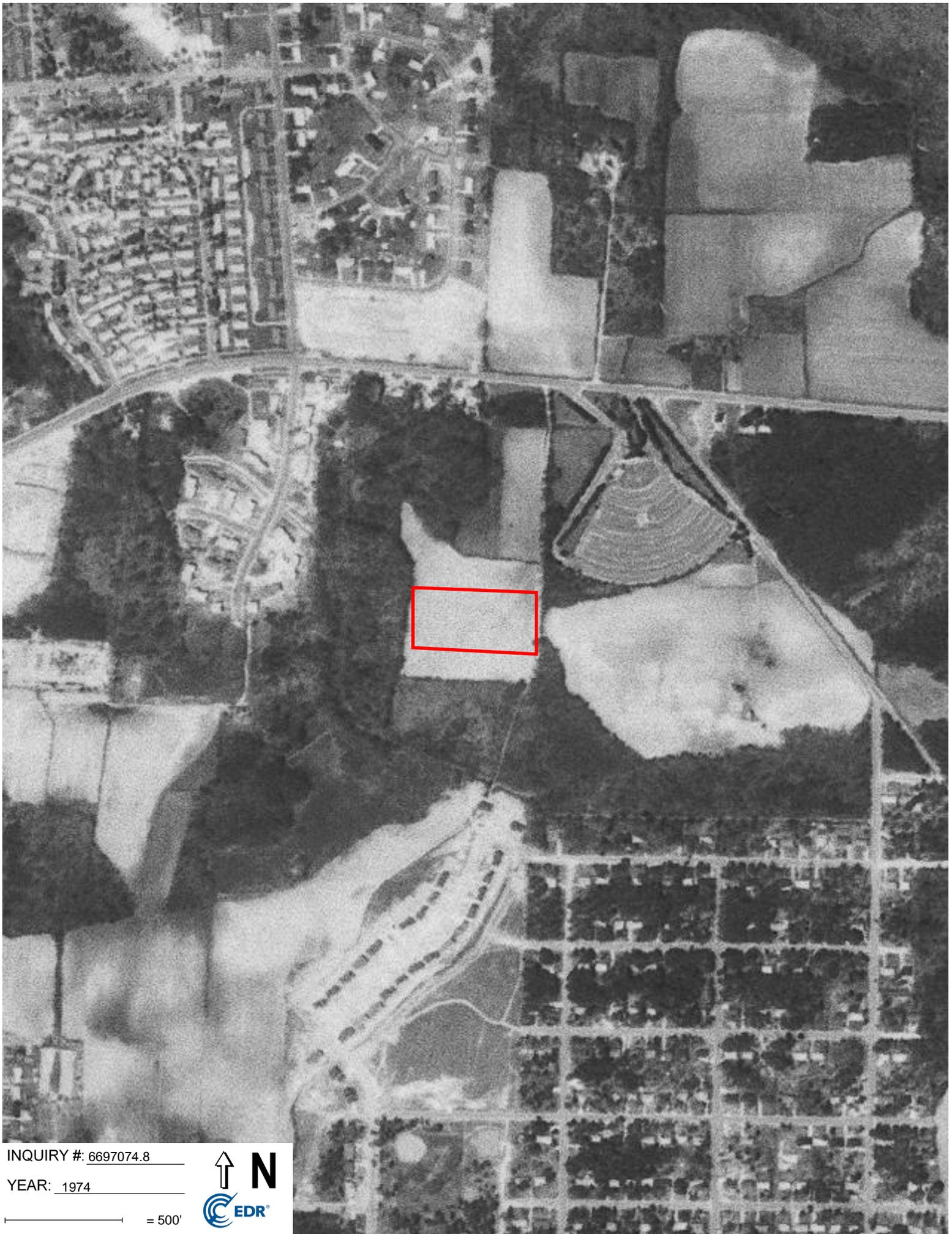


INQUIRY #: 6697074.8

YEAR: 1977

— = 500'





INQUIRY #: 6697074.8

YEAR: 1974

— = 500'





INQUIRY #: 6697074.8

YEAR: 1964

 = 500'





INQUIRY #: 6697074.8

YEAR: 1961

— = 500'





INQUIRY #: 6697074.8

YEAR: 1957

— = 500'





INQUIRY #: 6697074.8

YEAR: 1950

— = 500'



East Haven Apartments

Dreaver Steet
Rocky Mount, NC 27801

Inquiry Number: 6697074.5

October 14, 2021

The EDR-City Directory Image Report

TABLE OF CONTENTS

SECTION

Executive Summary

Findings

City Directory Images

Thank you for your business.

Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Report is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Report includes a search of available city directory data at 5 year intervals.

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

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RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. A check mark indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Target Street</u>	<u>Cross Street</u>	<u>Source</u>
2017	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2014	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2010	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2005	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2000	<input checked="" type="checkbox"/>	<input type="checkbox"/>	EDR Digital Archive
1995	<input type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
1992	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
1985	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Hill's City Directory
1980	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Hill's City Directory
1975	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Hill's City Directory
1970	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Hill's City Directory
1968	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Hill's City Directory
1964	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Hill's City Directory
1950	<input type="checkbox"/>	<input type="checkbox"/>	Hill's City Directory

EXECUTIVE SUMMARY

Year Target Street Cross Street Source

FINDINGS

TARGET PROPERTY STREET

Dreaver Steet
Rocky Mount, NC 27801

Year CD Image Source

DREAVER

1992 pg A11 EDR Digital Archive

DREAVER ST

2017	pg A1	EDR Digital Archive	
2014	pg A3	EDR Digital Archive	
2010	pg A5	EDR Digital Archive	
2005	pg A7	EDR Digital Archive	
2000	pg A9	EDR Digital Archive	
1995	-	EDR Digital Archive	Target and Adjoining not listed in Source
1985	pg A13	Hill's City Directory	
1980	pg A15	Hill's City Directory	
1975	pg A17	Hill's City Directory	
1970	pg A18	Hill's City Directory	
1968	pg A19	Hill's City Directory	
1964	pg A20	Hill's City Directory	
1950	-	Hill's City Directory	Street not listed in Source

FINDINGS

CROSS STREETS

Year

CD Image

Source

KAREN PL

2017	pg. A2	EDR Digital Archive	
2014	pg. A4	EDR Digital Archive	
2010	pg. A6	EDR Digital Archive	
2005	pg. A8	EDR Digital Archive	
2000	-	EDR Digital Archive	Target and Adjoining not listed in Source
1995	pg. A10	EDR Digital Archive	
1992	pg. A12	EDR Digital Archive	
1985	pg. A14	Hill's City Directory	
1980	pg. A16	Hill's City Directory	
1975	-	Hill's City Directory	Street not listed in Source
1970	-	Hill's City Directory	Street not listed in Source
1968	-	Hill's City Directory	Street not listed in Source
1964	-	Hill's City Directory	Street not listed in Source
1950	-	Hill's City Directory	Street not listed in Source

City Directory Images



-

DREAVR ST 2017

249 SMITH, MALCOLM E
330 WARD, JOHN D
1310 THORNRIDGE APARTMENTS

KAREN PL 2017

701	THOMPSON, LILLY
705	NICHOLSON, MAXINE M
708	WHITE, JAMES
712	KNIGHT, JAZMAN
717	WILLIAMS, COKESHIA

DREAVR ST 2014

249	SMITH, MALCOLM E
324	MAXWELL, RANDOLPH S
330	WARD, JOHN D
1020	OCCUPANT UNKNOWN,
1033	OCCUPANT UNKNOWN,
1036	OCCUPANT UNKNOWN,
1037	OCCUPANT UNKNOWN,
1040	OCCUPANT UNKNOWN,
1041	OCCUPANT UNKNOWN,
1310	THORN RIDGE APARTMENTS

KAREN PL 2014

701	THOMPSON, LILLY
704	WHITEHEAD, SHARONDA Y
705	NICHOLSON, MAXINE M
708	OCCUPANT UNKNOWN,
712	PHELPS, ALVIN
717	LLOYD, MANESA M

DREAVR ST 2010

249	SMITH, MALCOLM E
324	MAXWELL, RANDOLPH S
330	WARD, JOHN D
1020	OCCUPANT UNKNOWN,
1033	OCCUPANT UNKNOWN,
1036	OCCUPANT UNKNOWN,
1037	OCCUPANT UNKNOWN,
1040	OCCUPANT UNKNOWN,
1041	OCCUPANT UNKNOWN,
1310	THORN RIDGE APARTMENTS

KAREN PL 2010

701 COOPER, GLADYS J
704 WHITEHEAD, SHARONDA
705 NICHOLSON, MAXINE
708 BARNES, SHARON
712 PHELPS, SHAI
717 OCCUPANT UNKNOWN,



-

DREAVR ST 2005

249 SMITH, MALCOLM E
324 MAXWELL, RANDOLPH S
1310 THORN RIDGE APTS

KAREN PL 2005

701	TERRY, CLARENCE
704	PARKER, DENNIS
705	PARKER, STACIE
708	ARRINGTON, SHAMICA L
712	STUBBS, E
717	BAINES, MICHELLE R



-

DREAVR ST 2000

324 MAXWELL, AMY

KAREN PL 1995

701	LOTT, B F
704	OCCUPANT UNKNOWNN
705	LEACH, JIMMY
708	ALEXANDER, CAROLYN
712	BARNHILL, ELLA L
717	OCCUPANT UNKNOWNN

DREAVR 1992

504 WARD, TIMOTHY W

KAREN PL 1992

708 ARRINGTON, DOROTHY

✓

-

DREAVR ST 1985

12

**DREAVR ST (EDGECOMBE)—FROM
1800 ROSEWOOD AV NORTH**

ZIP CODE 27801

BEVERLY RD INTERSECTS

BEDFORD RD INTERSECTS

LYNNE AV INTERSECTS

WINDSOR DR INTERSECTS

FLETCHER DR INTERSECTS

VERNON RD INTERSECTS

500★Ward Timothy W ©

KAREN PL 1985

12

**KAREN PL --FROM VERNON RD IN
SEMICIRCLE NORTHWEST OF ELAINE
CT**

ZIP CODE 27801

701 Lewis Chester R © 446-2479

704 Harrell Angelyn D Mrs © 977-7270

705★Lane Joyce 977-9759

708 Johnson Rudolph 977-1924

712 Battle Grover R © 446-6942

717 Marrow James 442-3915

DREAVR ST 1980

12

**DREAVR ST (EDGECOMBE)—FROM
1800 ROSEWOOD AV NORTH**

ZIP CODE 27801

BEVERLY RD INTERSECTS

BEDFORD RD INTERSECTS

LYNNE AV INTERSECTS

WINDSOR DR INTERSECTS

FLETCHER DR INTERSECTS

VERNON RD INTERSECTS

KAREN PL 1980

12

**KAREN PL —FROM VERNON RD IN
SEMICIRCLE NORTHWEST OF ELAINE
CT**

ZIP CODE 27801

701★Powell C H ©

704 Cockrells Grady A ©

705 Gardner Joseph F ©

DREAVR ST 1975

12

**DREAVR ST (EDGECOMBE)—FROM
1800 ROSEWOOD AV NORTH**

ZIP CODE 27801

BEVERLY RD INTERSECTS

BEDFORD RD INTERSECTS

LYNNE AV INTERSECTS

WINDSOR DR INTERSECTS

FLETCHER DR INTERSECTS

VERNON RD INTERSECTS

DREAVR ST 1970

12

**DREAVR ST (EDGECOMBE)—FROM
1800 ROSEWOOD AV NORTH, 7 EAST
OF FAIRVIEW RD**

10

DREAVR ST 1968

12

DREAVR ST (EDGECOMBE)-FROM 1800
ROSEWOOD AV NORTH, 7 EAST OF
FAIRVIEW RD

DREAVR ST 1964

~~DAVID MEADOWBROOK~~

12

DREAVR (Meadowbrook) - From 1800
Rosewood av north, 7 east of Fairview
rd

10

East Haven Apartments

Dreaver Steet

Rocky Mount, NC 27801

Inquiry Number: 6697074.3

October 08, 2021

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

10/08/21

Site Name:

East Haven Apartments
Dreaver Steet
Rocky Mount, NC 27801
EDR Inquiry # 6697074.3

Client Name:

S&ME, Inc.
134 Suber Road
Columbia, SC 29210
Contact: Chris Daves



The Sanborn Library has been searched by EDR and maps covering the target property location as provided by S&ME, Inc. were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting www.edrnet.com/sanborn.

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

Certified Sanborn Results:

Certification # 6491-46E1-968A
PO # NA
Project 218540 Phase 431



Sanborn® Library search results

Certification #: 6491-46E1-968A

UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

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East Haven Apartments

Dreaver Steet

Rocky Mount, NC 27801

Inquiry Number: 6697074.4

October 08, 2021

EDR Historical Topo Map Report

with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Historical Topo Map Report

10/08/21

Site Name:

East Haven Apartments
Dreaver Steet
Rocky Mount, NC 27801
EDR Inquiry # 6697074.4

Client Name:

S&ME, Inc.
134 Suber Road
Columbia, SC 29210
Contact: Chris Daves



EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by S&ME, Inc. were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDR's Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:**Coordinates:**

P.O.#	NA	Latitude:	35.943166 35° 56' 35" North
Project:	218540 Phase 431	Longitude:	-77.767588 -77° 46' 3" West
		UTM Zone:	Zone 18 North
		UTM X Meters:	250354.58
		UTM Y Meters:	3981185.51
		Elevation:	98.00' above sea level

Maps Provided:

2013
1998
1977, 1981
1903, 1904
1902

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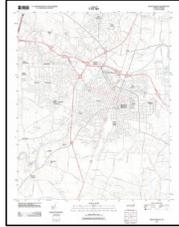
Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

2013 Source Sheets



Hartsease
2013
7.5-minute, 24000



Rocky Mount
2013
7.5-minute, 24000

1998 Source Sheets



Rocky Mount
1998
7.5-minute, 24000
Aerial Photo Revised 1998

1977, 1981 Source Sheets



Rocky Mount
1977
7.5-minute, 24000
Aerial Photo Revised 1974



Hartsease
1981
7.5-minute, 24000
Aerial Photo Revised 1977

1903, 1904 Source Sheets



Tarboro
1903
15-minute, 62500



Rocky Mount
1904
15-minute, 62500

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

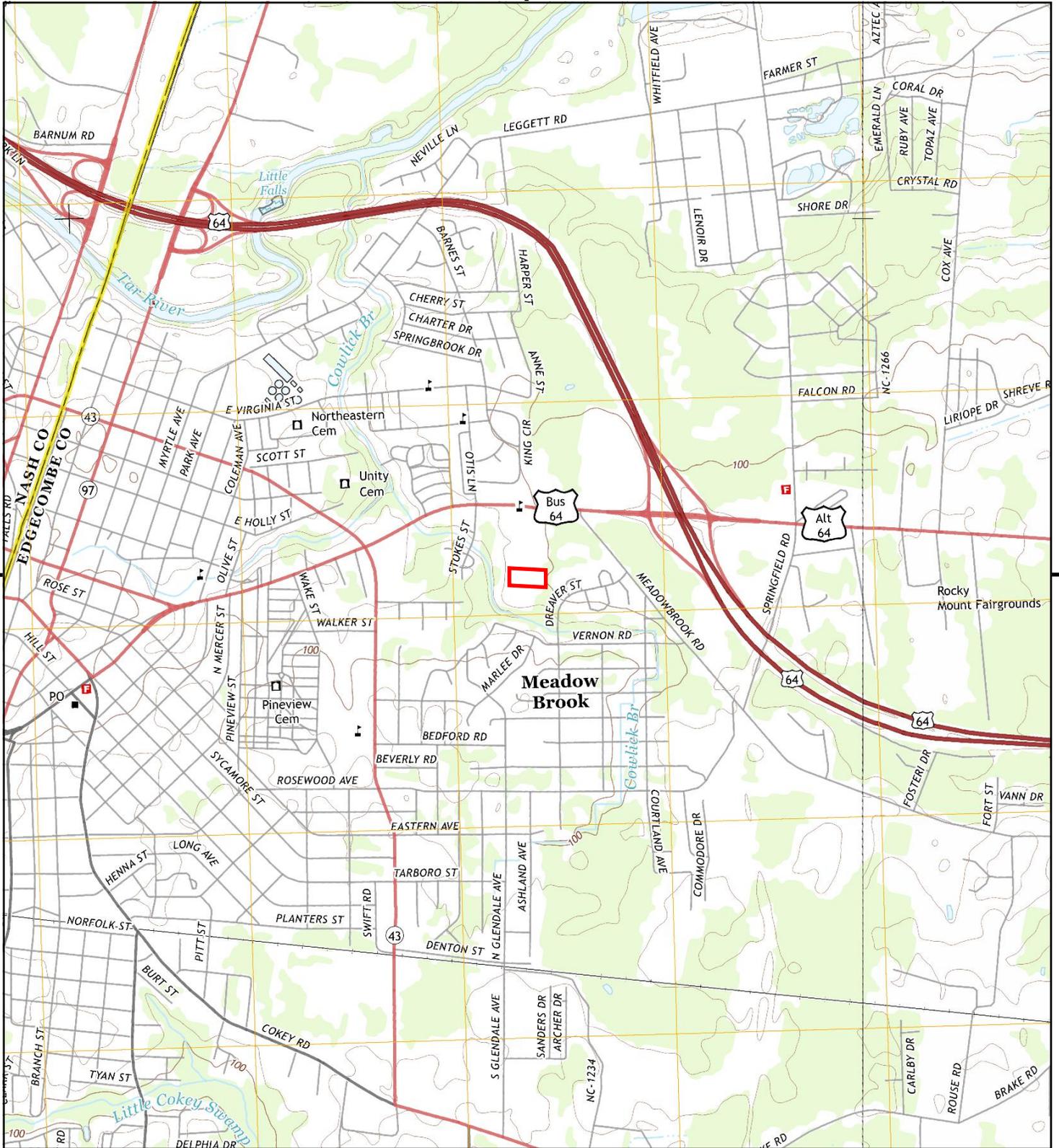
1902 Source Sheets



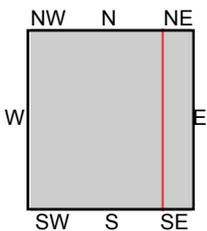
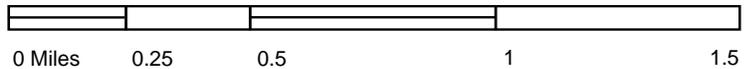
Tarboro
1902
15-minute, 62500



Rocky Mount
1902
15-minute, 62500



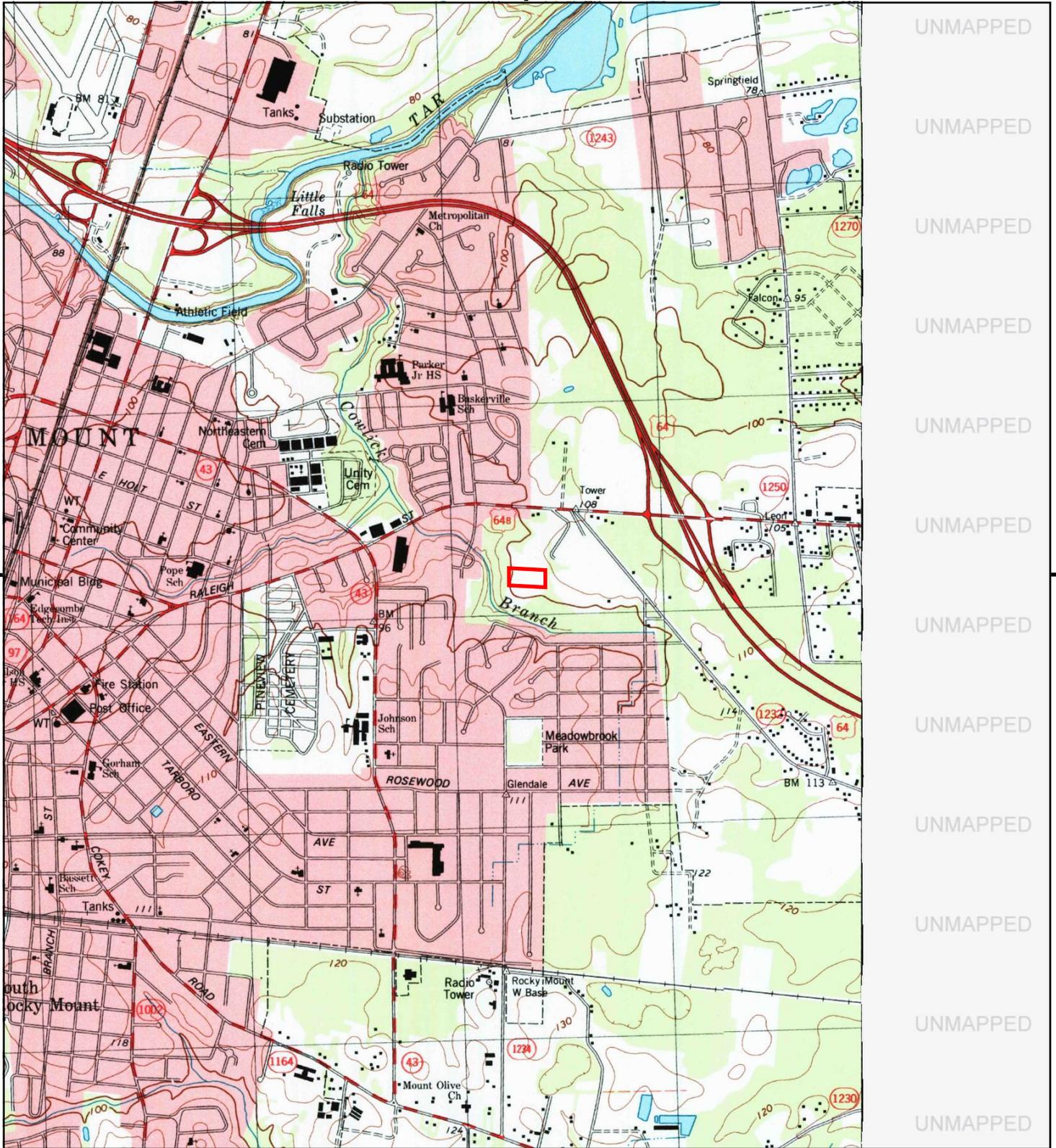
This report includes information from the following map sheet(s).



TP, Rocky Mount, 2013, 7.5-minute
 E, Hartsease, 2013, 7.5-minute

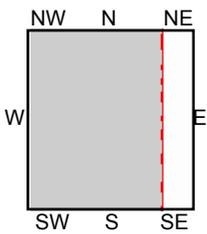
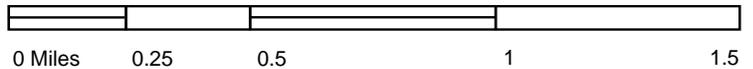
SITE NAME: East Haven Apartments
ADDRESS: Dreaver Steet
 Rocky Mount, NC 27801
CLIENT: S&ME, Inc.





UNMAPPED
UNMAPPED

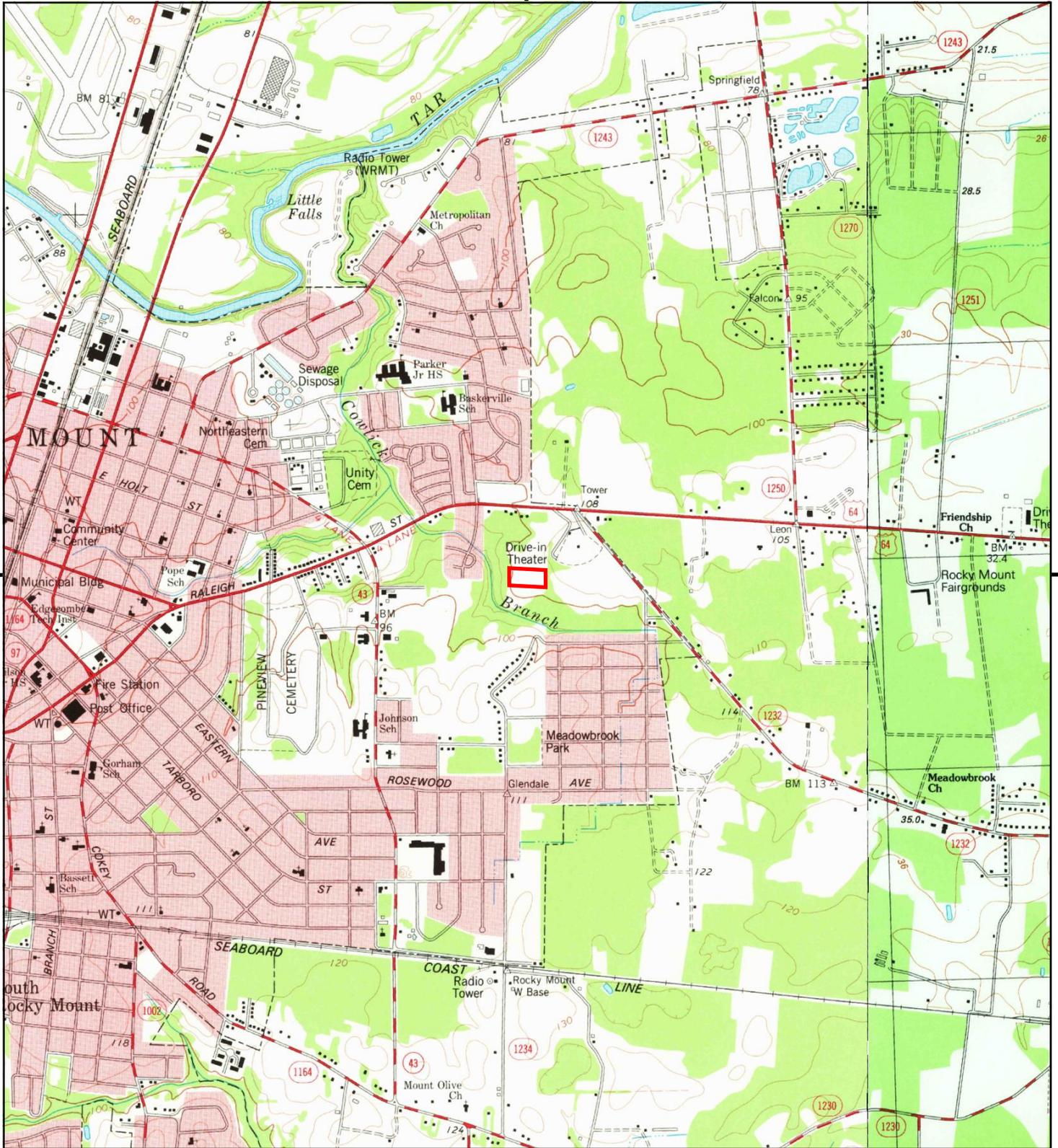
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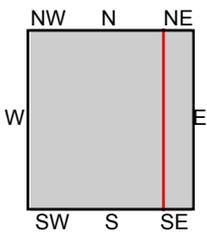
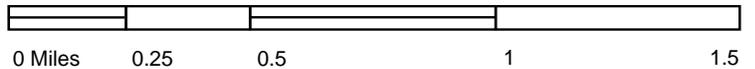
TP, Rocky Mount, 1998, 7.5-minute

SITE NAME: East Haven Apartments
ADDRESS: Dreaver Steet
Rocky Mount, NC 27801
CLIENT: S&ME, Inc.





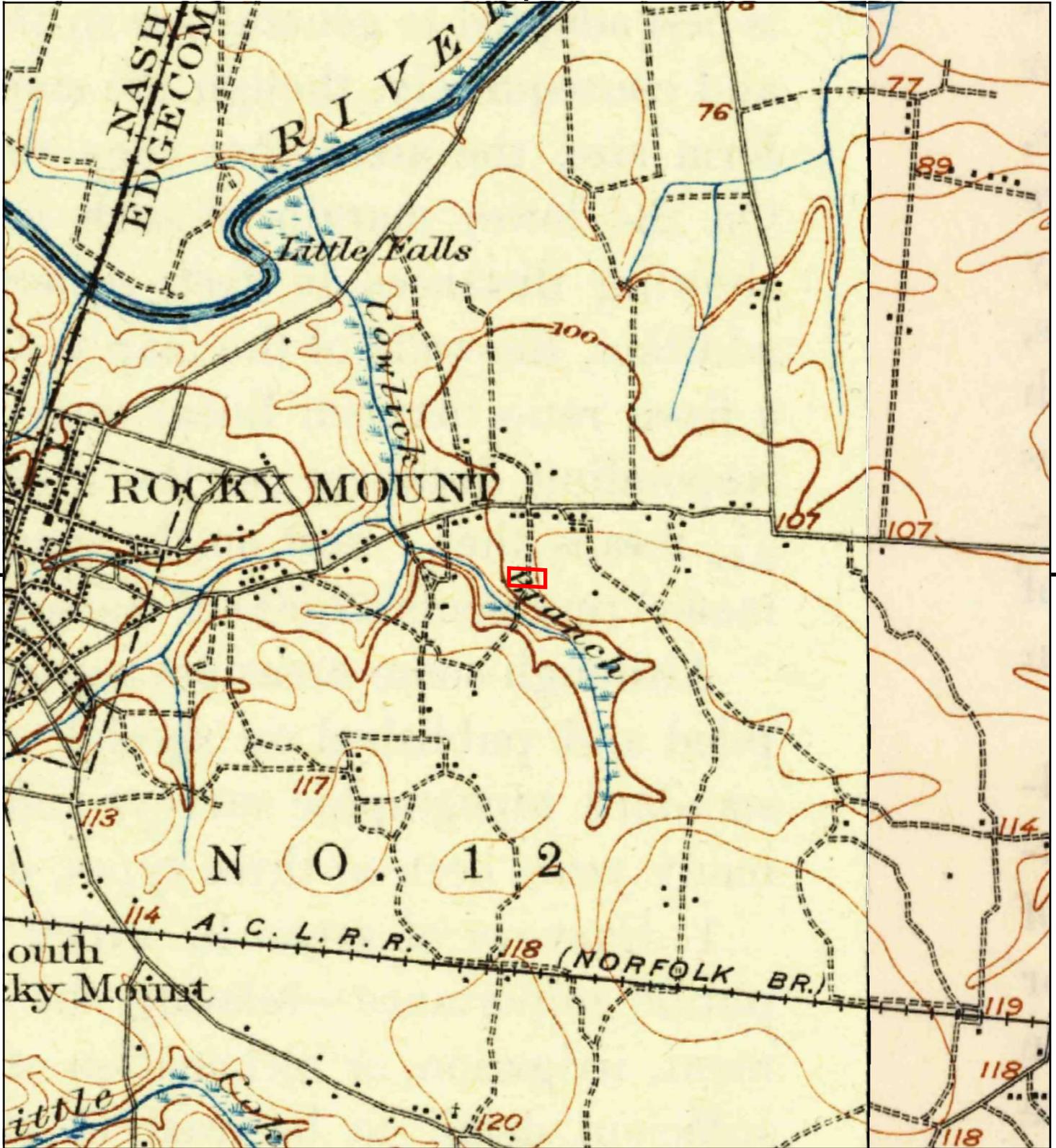
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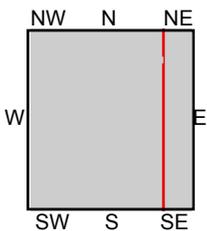
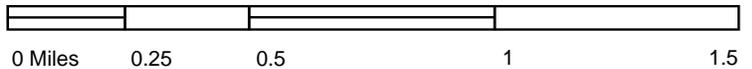
TP, Rocky Mount, 1977, 7.5-minute
E, Hartsease, 1981, 7.5-minute

SITE NAME: East Haven Apartments
ADDRESS: Dreaver Steet
Rocky Mount, NC 27801
CLIENT: S&ME, Inc.





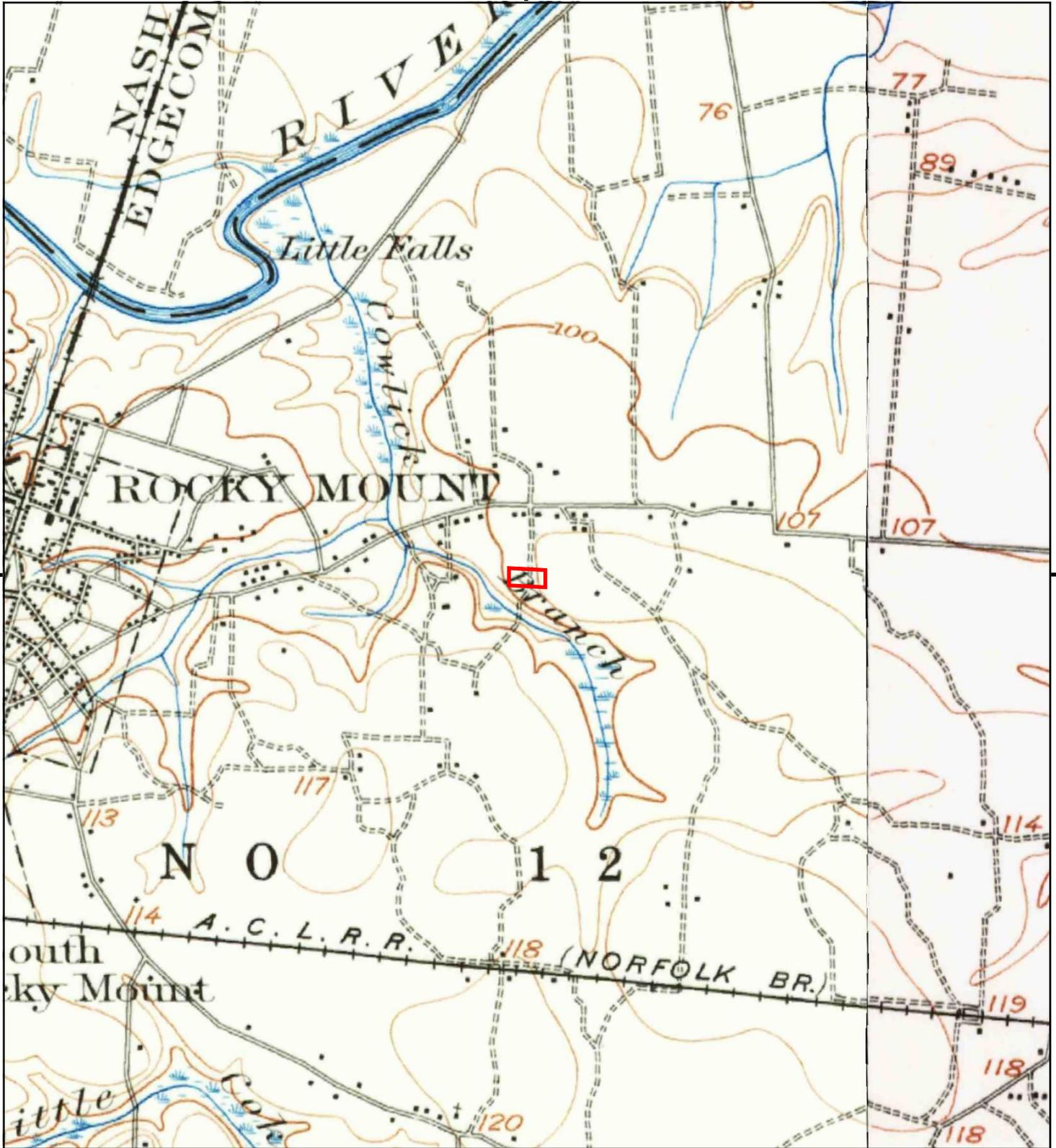
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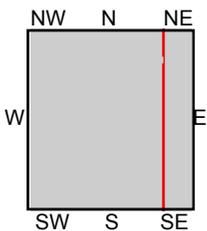
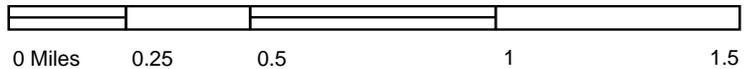
TP, Rocky Mount, 1904, 15-minute
SE, Tarboro, 1903, 15-minute

SITE NAME: East Haven Apartments
ADDRESS: Dreaver Steet
Rocky Mount, NC 27801
CLIENT: S&ME, Inc.





This report includes information from the following map sheet(s).



TP, Rocky Mount, 1902, 15-minute
SE, Tarboro, 1902, 15-minute

SITE NAME: East Haven Apartments
ADDRESS: Dreaver Steet
Rocky Mount, NC 27801
CLIENT: S&ME, Inc.



Appendix III – EDR Radius Map Report

East Haven Apartments

Dreaver Steet

Rocky Mount, NC 27801

Inquiry Number: 6697074.2s

October 08, 2021

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

DREAVER STEET
ROCKY MOUNT, NC 27801

COORDINATES

Latitude (North): 35.9431660 - 35° 56' 35.39"
Longitude (West): 77.7675880 - 77° 46' 3.31"
Universal Tranverse Mercator: Zone 18
UTM X (Meters): 250348.7
UTM Y (Meters): 3980985.2
Elevation: 98 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5944974 ROCKY MOUNT, NC
Version Date: 2013

East Map: 5944948 HARTSEASE, NC
Version Date: 2013

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140521
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
DREAVAR STEET
ROCKY MOUNT, NC 27801

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	JIFFY MART	1801 NORTH RALEIGH S	LUST, LUST TRUST, UST, INST CONTROL	Higher	925, 0.175, North
A2	JIFFY MART	1801 N RALEIGH ST	SHWS	Higher	925, 0.175, North
B3	FRESHWAY #782	1616 RALEIGH ST.	INST CONTROL, IMD	Lower	1091, 0.207, NNW
B4	FRIENDLY WAY	1616 RALEIGH STREET	LUST, UST	Lower	1091, 0.207, NNW
B5	FRESHWAY #782	STOKES AVE AND RALEI	LUST TRUST	Lower	1120, 0.212, NW
C6	THE FUEL DOC # 3(DAU	2341 NORTH RALEIGH S	LUST TRUST, IMD	Higher	1332, 0.252, NE
C7	LSE AUTO CENTER	2761 NORTH RALEIGH S	LUST, UST, IMD	Higher	1400, 0.265, ENE
8	FORMER SPRINT FACILI	901 N. FAIRVIEW ROAD	IMD	Lower	2030, 0.384, West
D9	GAY YOST FUNERAL HOM	805 FAIRVIEW RD.	LUST, LUST TRUST, IMD	Lower	2205, 0.418, WSW
D10	U S ARMY RESERVE-ROC	804 FAIRVIEW ROAD	SHWS, LUST, IMD, NPDES	Lower	2225, 0.421, WSW
D11	USA RESERVE XVIII AI	804 FAIRVIEW RD	SEMS-ARCHIVE	Lower	2225, 0.421, WSW
12	EDGECOMBE COUNTY ABC	1201 NORTH RALEIGH S	LUST, IMD	Lower	2423, 0.459, West

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing
SEMS..... Superfund Enterprise Management System

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators
RCRA-VSQG..... RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System
US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROLS..... Institutional Controls Sites List

Federal ERNS list

ERNS..... Emergency Response Notification System

EXECUTIVE SUMMARY

State- and tribal - equivalent NPL

NC HSDS..... Hazardous Substance Disposal Site

State and tribal landfill and/or solid waste disposal site lists

SWF/LF..... List of Solid Waste Facilities
DEBRIS..... Solid Waste Active Disaster Debris Sites Listing
OLI..... Old Landfill Inventory
LCID..... Land-Clearing and Inert Debris (LCID) Landfill Notifications

State and tribal leaking storage tank lists

LAST..... Leaking Aboveground Storage Tanks
INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FEMA UST..... Underground Storage Tank Listing
AST..... AST Database
INDIAN UST..... Underground Storage Tanks on Indian Land

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing
VCP..... Responsible Party Voluntary Action Sites

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields Projects Inventory

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY..... Recycling Center Listing
HIST LF..... Solid Waste Facility Listing
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
ODI..... Open Dump Inventory
IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register
US CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS 2..... CERCLA Lien Information

EXECUTIVE SUMMARY

Records of Emergency Release Reports

HMIRS.....	Hazardous Materials Information Reporting System
SPILLS.....	Spills Incident Listing
SPILLS 90.....	SPILLS 90 data from FirstSearch
SPILLS 80.....	SPILLS 80 data from FirstSearch

Other Ascertainable Records

RCRA NonGen / NLR.....	RCRA - Non Generators / No Longer Regulated
FUDS.....	Formerly Used Defense Sites
DOD.....	Department of Defense Sites
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR.....	Financial Assurance Information
EPA WATCH LIST.....	EPA WATCH LIST
2020 COR ACTION.....	2020 Corrective Action Program List
TSCA.....	Toxic Substances Control Act
TRIS.....	Toxic Chemical Release Inventory System
SSTS.....	Section 7 Tracking Systems
ROD.....	Records Of Decision
RMP.....	Risk Management Plans
RAATS.....	RCRA Administrative Action Tracking System
PRP.....	Potentially Responsible Parties
PADS.....	PCB Activity Database System
ICIS.....	Integrated Compliance Information System
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS.....	Material Licensing Tracking System
COAL ASH DOE.....	Steam-Electric Plant Operation Data
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
RADINFO.....	Radiation Information Database
HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
FINDS.....	Facility Index System/Facility Registry System
UXO.....	Unexploded Ordnance Sites
ECHO.....	Enforcement & Compliance History Information
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
FUELS PROGRAM.....	EPA Fuels Program Registered Listing
AIRS.....	Air Quality Permit Listing
ASBESTOS.....	ASBESTOS
COAL ASH.....	Coal Ash Disposal Sites
DRYCLEANERS.....	Drycleaning Sites
Financial Assurance.....	Financial Assurance Information Listing
NPDES.....	NPDES Facility Location Listing
UIC.....	Underground Injection Wells Listing

EXECUTIVE SUMMARY

AOP.....	Animal Operation Permits Listing
PCSRP.....	Petroleum-Contaminated Soil Remediation Permits
CCB.....	Coal Ash Structural Fills (CCB) Listing
SEPT HAULERS.....	Permitted Septage Haulers Listing
MINES MRDS.....	Mineral Resources Data System

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP.....	EDR Proprietary Manufactured Gas Plants
EDR Hist Auto.....	EDR Exclusive Historical Auto Stations
EDR Hist Cleaner.....	EDR Exclusive Historical Cleaners

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS.....	Recovered Government Archive State Hazardous Waste Facilities List
RGA LF.....	Recovered Government Archive Solid Waste Facilities List
RGA LUST.....	Recovered Government Archive Leaking Underground Storage Tank

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property. Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

A review of the SEMS-ARCHIVE list, as provided by EDR, and dated 07/29/2021 has revealed that there

EXECUTIVE SUMMARY

is 1 SEMS-ARCHIVE site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
USA RESERVE XVIII AI	804 FAIRVIEW RD	WSW 1/4 - 1/2 (0.421 mi.)	D11	34

State- and tribal - equivalent CERCLIS

SHWS: The State Hazardous Waste Sites records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. The data come from the Department of Environment & Natural Resources' Inactive Hazardous Sites Program.

A review of the SHWS list, as provided by EDR, and dated 05/12/2021 has revealed that there are 2 SHWS sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JIFFY MART Facility Id: NONCD0002522	1801 N RALEIGH ST	N 1/8 - 1/4 (0.175 mi.)	A2	13

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
U S ARMY RESERVE-ROC Facility Id: NC8210021624	804 FAIRVIEW ROAD	WSW 1/4 - 1/2 (0.421 mi.)	D10	29

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incidents Management Database contains an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environment, & Natural Resources' Incidents by Address.

A review of the LUST list, as provided by EDR, and dated 04/30/2021 has revealed that there are 6 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JIFFY MART Incident Phase: Closed Out Product Type: PETROLEUM Incident Number: 33763 Current Status: File Located in House	1801 NORTH RALEIGH S	N 1/8 - 1/4 (0.175 mi.)	A1	8
LSE AUTO CENTER Incident Phase: Closed Out Product Type: PETROLEUM Incident Number: 17374 Current Status: File Located in Archives	2761 NORTH RALEIGH S	ENE 1/4 - 1/2 (0.265 mi.)	C7	21

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FRIENDLY WAY	1616 RALEIGH STREET	NNW 1/8 - 1/4 (0.207 mi.)	B4	15

EXECUTIVE SUMMARY

Incident Phase: Closed Out
 Product Type: PETROLEUM
 Incident Number: 3801
 Current Status: File Located in Archives

GAY YOST FUNERAL HOM **805 FAIRVIEW RD.** **WSW 1/4 - 1/2 (0.418 mi.)** **D9** **26**

Incident Phase: Closed Out
 Product Type: PETROLEUM
 Incident Number: 10280
 Current Status: File Located in Archives

U S ARMY RESERVE-ROC **804 FAIRVIEW ROAD** **WSW 1/4 - 1/2 (0.421 mi.)** **D10** **29**

Incident Phase: Closed Out
 Product Type: PETROLEUM
 Incident Number: 15925
 Current Status: File Located in Archives

EDGEcombe COUNTY ABC **1201 NORTH RALEIGH S** **W 1/4 - 1/2 (0.459 mi.)** **12** **35**

Incident Phase: Closed Out
 Product Type: PETROLEUM
 Incident Number: 26001
 Current Status: File Located in Archives

LUST TRUST: This database contains information about claims against the State Trust Funds for reimbursements for expenses incurred while remediating Leaking USTs.

A review of the LUST TRUST list, as provided by EDR, and dated 07/02/2021 has revealed that there are 4 LUST TRUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JIFFY MART Site ID: 33763	1801 NORTH RALEIGH S	N 1/8 - 1/4 (0.175 mi.)	A1	8
THE FUEL DOC # 3(DAU) Facility Id: 0-016527 Site ID: 26685	2341 NORTH RALEIGH S	NE 1/4 - 1/2 (0.252 mi.)	C6	19

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FRESHWAY #782 Site ID: 3801	STOKES AVE AND RALEI	NW 1/8 - 1/4 (0.212 mi.)	B5	19
GAY YOST FUNERAL HOM Site ID: 10280	805 FAIRVIEW RD.	WSW 1/4 - 1/2 (0.418 mi.)	D9	26

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environment & Natural Resources' Petroleum Underground Storage Tank Database.

A review of the UST list, as provided by EDR, and dated 04/30/2021 has revealed that there are 2 UST sites within approximately 0.25 miles of the target property.

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JIFFY MART Tank Status: Removed Facility Id: 00-0-0000016471	1801 NORTH RALEIGH S	N 1/8 - 1/4 (0.175 mi.)	A1	8

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FRIENDLY WAY Tank Status: Removed Facility Id: 00-0-0000027273	1616 RALEIGH STREET	NNW 1/8 - 1/4 (0.207 mi.)	B4	15

State and tribal institutional control / engineering control registries

INST CONTROL: No Further Action Sites With Land Use Restrictions Monitoring.

A review of the INST CONTROL list, as provided by EDR, and dated 09/04/2020 has revealed that there are 2 INST CONTROL sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JIFFY MART	1801 NORTH RALEIGH S	N 1/8 - 1/4 (0.175 mi.)	A1	8
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FRESHWAY #782	1616 RALEIGH ST.	NNW 1/8 - 1/4 (0.207 mi.)	B3	13

ADDITIONAL ENVIRONMENTAL RECORDS

Records of Emergency Release Reports

IMD: Incident Management Database.

A review of the IMD list, as provided by EDR, and dated 07/30/2021 has revealed that there are 7 IMD sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
THE FUEL DOC # 3(DAU) Facility Id: 26685	2341 NORTH RALEIGH S	NE 1/4 - 1/2 (0.252 mi.)	C6	19
LSE AUTO CENTER Facility Id: 17374	2761 NORTH RALEIGH S	ENE 1/4 - 1/2 (0.265 mi.)	C7	21
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FRESHWAY #782 Facility Id: 3801	1616 RALEIGH ST.	NNW 1/8 - 1/4 (0.207 mi.)	B3	13
FORMER SPRINT FACILI	901 N. FAIRVIEW ROAD	W 1/4 - 1/2 (0.384 mi.)	8	25
GAY YOST FUNERAL HOM Facility Id: 10280	805 FAIRVIEW RD.	WSW 1/4 - 1/2 (0.418 mi.)	D9	26
U S ARMY RESERVE-ROC	804 FAIRVIEW ROAD	WSW 1/4 - 1/2 (0.421 mi.)	D10	29

EXECUTIVE SUMMARY

Facility Id: 15925

EDGECOMBE COUNTY ABC

Facility Id: 26001

1201 NORTH RALEIGH S

W 1/4 - 1/2 (0.459 mi.)

12

35

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 1 records.

<u>Site Name</u>	<u>Database(s)</u>
FORMER CONOCO STORE #33047	LUST

OVERVIEW MAP - 6697074.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

County Boundary

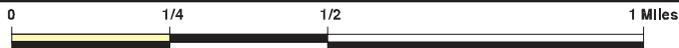
Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

Hazardous Substance Disposal Sites

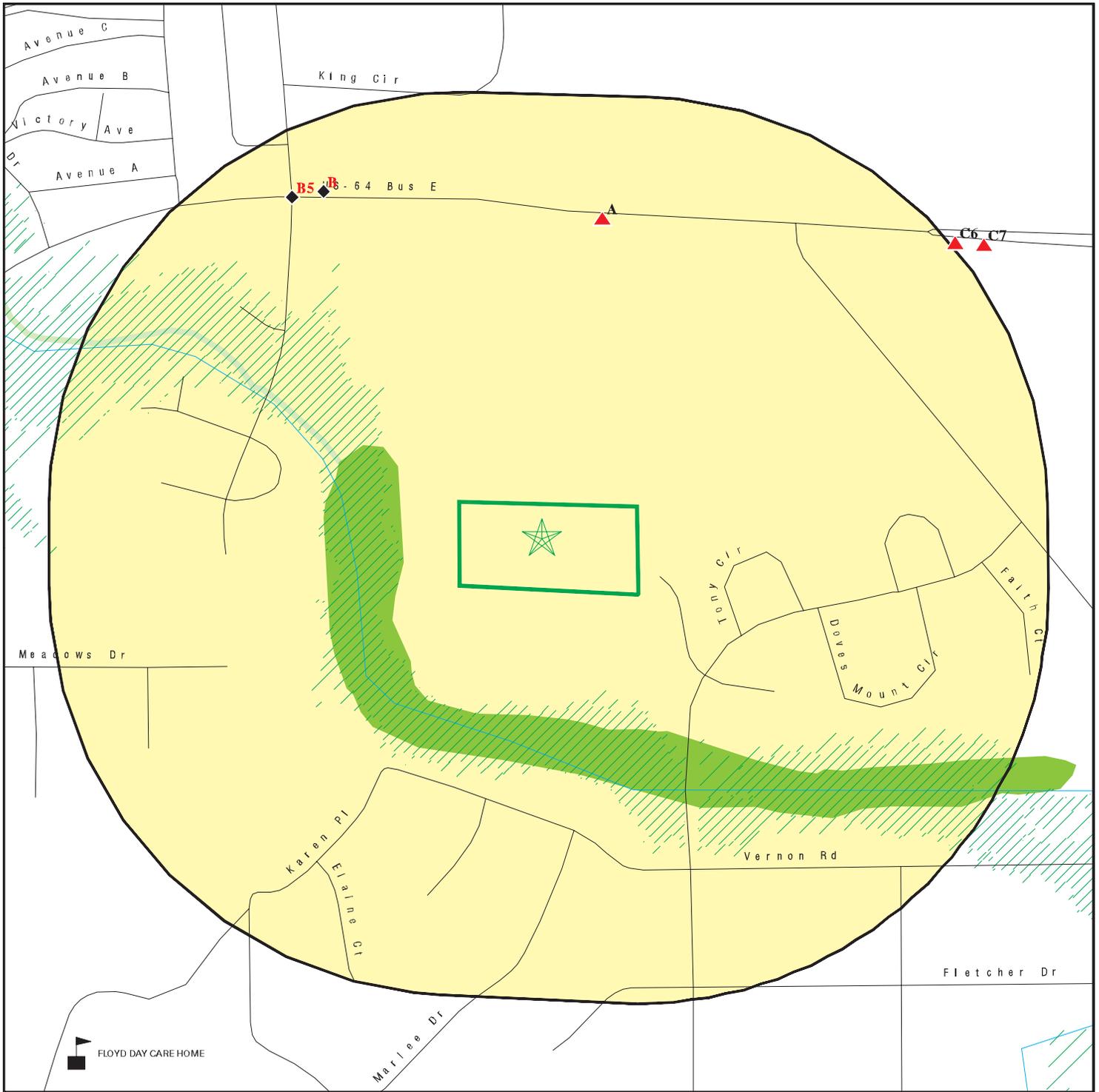


This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: East Haven Apartments
 ADDRESS: Dreaver Steet
 Rocky Mount NC 27801
 LAT/LONG: 35.943166 / 77.767588

CLIENT: S&ME, Inc.
 CONTACT: Chris Daves
 INQUIRY #: 6697074.2s
 DATE: October 08, 2021 3:16 pm

DETAIL MAP - 6697074.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands
-  Hazardous Substance Disposal Sites

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: East Haven Apartments ADDRESS: Dreaver Steet Rocky Mount NC 27801 LAT/LONG: 35.943166 / 77.767588</p>	<p>CLIENT: S&ME, Inc. CONTACT: Chris Daves INQUIRY #: 6697074.2s DATE: October 08, 2021 3:17 pm</p>
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MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		0	0	1	NR	NR	1
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent NPL</i>								
NC HSDS	1.000		0	0	0	0	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	1	1	0	NR	2
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	0	NR	NR	0
DEBRIS	0.500		0	0	0	NR	NR	0
OLI	0.500		0	0	0	NR	NR	0
LCID	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<i>State and tribal leaking storage tank lists</i>								
LAST	0.500		0	0	0	NR	NR	0
LUST	0.500		0	2	4	NR	NR	6
INDIAN LUST	0.500		0	0	0	NR	NR	0
LUST TRUST	0.500		0	2	2	NR	NR	4
<i>State and tribal registered storage tank lists</i>								
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250		0	2	NR	NR	NR	2
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
<i>State and tribal institutional control / engineering control registries</i>								
INST CONTROL	0.500		0	2	0	NR	NR	2
<i>State and tribal voluntary cleanup sites</i>								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VCP	0.500		0	0	0	NR	NR	0
<i>State and tribal Brownfields sites</i>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
<i>Local Brownfield lists</i>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Landfill / Solid Waste Disposal Sites</i>								
SWRCY	0.500		0	0	0	NR	NR	0
HIST LF	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Hazardous waste / Contaminated Sites</i>								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
<i>Local Land Records</i>								
LIENS 2	TP		NR	NR	NR	NR	NR	0
<i>Records of Emergency Release Reports</i>								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
IMD	0.500		0	1	6	NR	NR	7

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
SPILLS 90	TP		NR	NR	NR	NR	NR	0
SPILLS 80	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	0	NR	NR	NR	0
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
ASBESTOS	TP		NR	NR	NR	NR	NR	0
COAL ASH	0.500		0	0	0	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
Financial Assurance	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
AOP	TP		NR	NR	NR	NR	NR	0
PCSRP	0.500		0	0	0	NR	NR	0
CCB	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
SEPT HAULERS	TP		NR	NR	NR	NR	NR	0
MINES MRDS	TP		NR	NR	NR	NR	NR	0
<u>EDR HIGH RISK HISTORICAL RECORDS</u>								
<i>EDR Exclusive Records</i>								
EDR MGP	1.000		0	0	0	0	NR	0
EDR Hist Auto	0.125		0	NR	NR	NR	NR	0
EDR Hist Cleaner	0.125		0	NR	NR	NR	NR	0
<u>EDR RECOVERED GOVERNMENT ARCHIVES</u>								
<i>Exclusive Recovered Govt. Archives</i>								
RGA HWS	TP		NR	NR	NR	NR	NR	0
RGA LF	TP		NR	NR	NR	NR	NR	0
RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		0	0	10	14	0	0	24

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

A1
North
1/8-1/4
0.175 mi.
925 ft.

JIFFY MART
1801 NORTH RALEIGH STREET
ROCKY MOUNT, NC 27801

Site 1 of 2 in cluster A

LUST **U003202386**
LUST TRUST **N/A**
UST
INST CONTROL

Relative:
Higher

LUST:

Actual:
100 ft.

Name: JIFFY MART
 Address: 1801 NORTH RALEIGH STREET
 City,State,Zip: ROCKY MOUNT, NC 27801
 Facility ID: 00-0-000
 UST Number: RA-6597
 Incident Number: 33763
 Contamination Type: Groundwater/Both
 Source Type: Leak-underground
 Product Type: PETROLEUM
 Date Reported: 12/04/2009
 Date Occur: 12/04/2009
 Cleanup: 12/04/2009
 Closure Request: Not reported
 Close Out: 12/30/2010
 Level Of Soil Cleanup Achieved: Residential
 Tank Regulated Status: REGULATED
 # Of Supply Wells: 0
 Commercial/NonCommercial UST Site: COMMERCIAL
 Risk Classification: L
 Risk Class Based On Review: L
 Corrective Action Plan Type: Not reported
 NOV Issue Date: Not reported
 NORR Issue Date: Not reported
 Site Priority: Not reported
 Phase Of LSA Req: 1
 Site Risk Reason: Not reported
 Land Use: Not reported
 MTBE: No
 MTBE1: Unknown
 Flag: No
 Flag1: No
 LUR Filed: 01/12/2011
 Release Detection: 0
 Current Status: File Located in House
 RBCA GW: Cleanups to alternate standards
 PETOPT: 3
 RPL: False
 CD Num: 0
 Reel Num: 0
 RPOW: False
 RPOP: False
 Error Flag: 0
 Error Code: N
 Valid: False
 Lat/Long Decimal: 35.9456 -77.7643
 Testlat: Not reported
 Regional Officer Project Mgr: HMM
 Region: WAS
 Company: Jiffy Mart
 Contact Person: Lois Brantley
 Telephone: 2529374775
 RP Address: 213 Dover Road

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JIFFY MART (Continued)

U003202386

RP City,St,Zip:	Rocky Mount, NC 27801
RP County:	Not reported
Comments:	On October 13 through October 19, 2009, three 8000 gallon gasoline, one 8000 gallon kerosene, and one 8000 gallon diesel USTs were removed. Groundwater was encountered 11 feet below land surface. > TPH standard for gasoline around the USTs, beneath the product lines, and beneath the dispensers. Soil sample WWC confirmed the presence of seven petroleum - related conatminants, with the concentration of MADEP C9-C22 aromatics exceeding the Soil-to-Groundwater MSCC's. Recommended re-sampling of monitoring well MW-2 where carbon tetrachloride was detected in amounts > 2 L. UST portion of site may be closed with NRP on GW only, but if MW-2 resampling comes back with carbon tetrachloride still present at MW-2, then will close UST portion with NRP on GW, and send file to IHWSB (Inactive Hazardous Waste Site Branch).
5 Min Quad:	Not reported
PIRF:	
Facility Id:	33763
Date Occurred:	12/4/2009
Date Reported:	12/4/2009
Description Of Incident:	Five tanks were removed from October 13 through October 19, three 8000 gallon gasoline, one 8000 gallon kerosene, and one 8000 gallon diesel. Groundwater encoun
Owner/Operator:	Not reported
Ownership:	4
Operation Type:	6
Type:	3
Location:	1
Site Priority:	Not reported
Priority Update:	Not reported
Wells Affected Y/N:	N
Samples Include:	Not reported
7#5 Minute Quad:	Y
5 Minute Quad:	Not reported
Pirf/Min Soil:	Not reported
Release Code:	Not reported
Source Code:	Not reported
Err Type:	2
Cause:	7
Source:	G
Ust Number:	P
Last Modified:	Not reported
Incident Phase:	Closed Out
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Signed:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JIFFY MART (Continued)

U003202386

[Click here to access the North Carolina DEQ records for this facility:](#)

LUST TRUST:

Name: JIFFY MART
Address: 1801 NORTH RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC
Facility ID: Not reported
Site ID: 33763
Site Note: RIF on file Commercial Fund - 20 K deductible
Site Eligible?: True
Commercial Find: 100% Commercial
Priority Rank: Not reported
Deductable Amount: 20000
3rd Party Deductable Amt: 100000
Sum 3rd Party Amt Applied: 0

UST:

Name: JIFFY MART
Address: 1801 NORTH RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC 27801-3781
Facility Id: 00-0-0000016471
Contact: JIFFY MART, INC.
Contact Address1: 213 DOVER ROAD
Contact Address2: Not reported
Contact City/State/Zip: ROCKY MOUNT, NC 27804-2506
FIPS County Desc: Edgecombe
Latitude: 35.94567
Longitude: -77.76432

Tank Id: 1
Tank Status: Removed
Installed Date: 10/31/1972
Perm Close Date: 10/14/2009
Product Name: Gasoline, Gas Mix
Tank Capacity: 8000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: Not reported
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Ball Float Valve
Spill Protection Name: Catchment Basin
Leak Detection Name: Unknown
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Unknown

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 2
Tank Status: Removed
Installed Date: 10/31/1972
Perm Close Date: 10/13/2009

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JIFFY MART (Continued)

U003202386

Product Name: Gasoline, Gas Mix
Tank Capacity: 8000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: Not reported
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Ball Float Valve
Spill Protection Name: Catchment Basin
Leak Detection Name: Unknown
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Unknown

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 3
Tank Status: Removed
Installed Date: 10/31/1972
Perm Close Date: 10/13/2009
Product Name: Gasoline, Gas Mix
Tank Capacity: 8000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: Not reported
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Ball Float Valve
Spill Protection Name: Catchment Basin
Leak Detection Name: Unknown
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Unknown

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 4
Tank Status: Removed
Installed Date: 10/31/1972
Perm Close Date: 10/13/2009
Product Name: Kerosene, Kero Mix
Tank Capacity: 8000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: Not reported
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Ball Float Valve
Spill Protection Name: Catchment Basin

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JIFFY MART (Continued)

U003202386

Leak Detection Name: Unknown
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Unknown

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id: 5
Tank Status: Removed
Installed Date: 09/22/1987
Perm Close Date: 10/14/2009
Product Name: Diesel
Tank Capacity: 8000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: Not reported
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Ball Float Valve
Spill Protection Name: Catchment Basin
Leak Detection Name: Unknown
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall FRP
Decode for PSYS_KEY: Unknown

[Click here to access the North Carolina DEQ records for this facility:](#)

INST CONTROL:

Name: JIFFY MART
Address: 1801 NORTH RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC
Project Number: RA-6597
Object ID: 5272
DWM Contact: Raleigh Regional Office (919) 791-4200
DWM Program: Underground Storage Tank Section
Project Status: No Further Action
COC: Multi COC
Contamination Source: UST System
Received Date: 1/11/2011
Restricted Media: Groundwater Only
Allowed Use: Media Restrictions Only
Certification: None
Plant Reception Date: Not reported
Instrument Status: Effective
Deed BK: Not reported
Deed PG: Not reported
Plat BK: Not reported
Plat PG: Not reported
Instrument: Notice and Restriction
Deed: Not reported
Deed Date: Recorded 1-11-2011
Plat: Not reported
Plat Date: Not reported
X Coord: 2365744.6935

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JIFFY MART (Continued)

U003202386

Y Coord: 801396.43513

A2
North
1/8-1/4
0.175 mi.
925 ft.

JIFFY MART
1801 N RALEIGH ST
ROCKY MOUNT, NC
Site 2 of 2 in cluster A

SHWS S111283784
N/A

Relative:
Higher
Actual:
100 ft.

SHWS:
Name: JIFFY MART
Address: 1801 N RALEIGH ST
City,State,Zip: ROCKY MOUNT, NC
EPAID: NONCD0002522
Lat/Longitude: 35.945667 / -77.764339
Geolocation Method: On Screen Placement On Georeferenced Map

[Click here to access the North Carolina DEQ records for this facility:](#)

B3
NNW
1/8-1/4
0.207 mi.
1091 ft.

FRESHWAY #782
1616 RALEIGH ST.
ROCKY MOUNT, NC
Site 1 of 3 in cluster B

INST CONTROL S101167414
IMD N/A

Relative:
Lower
Actual:
90 ft.

INST CONTROL:
Name: FRESHWAY #782
Address: 1616 RALEIGH ST.
City,State,Zip: ROCKY MOUNT, NC
Project Number: RA-603
Object ID: 1137
DWM Contact: Raleigh Regional Office (919) 791-4200
DWM Program: Underground Storage Tank Section
Project Status: No Further Action
COC: Multi COC
Contamination Source: UST System
Received Date: 4/20/2006
Restricted Media: Groundwater Only
Allowed Use: Media Restrictions Only
Certification: None
Plant Reception Date: Not reported
Instrument Status: Effective
Deed BK: Not reported
Deed PG: Not reported
Plat BK: Not reported
Plat PG: Not reported
Instrument: Notice and Restriction
Deed: Not reported
Deed Date: Recorded 4-20-2006
Plat: Not reported
Plat Date: Not reported
X Coord: 2364071.9278
Y Coord: 801678.90799

IMD:
Facility ID: 3801
Name: FRESHWAY #782

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRESHWAY #782 (Continued)

S101167414

Address:	1616 RALEIGH ST.
City,State,Zip:	ROCKY MOUNT, NC
Date Occurred:	8/1/1988
Submit Date:	11/7/1988
Incident Desc:	ENVIRONMENTAL ASSESSMENT REVEALED SOIL CONTAM. IN MONITOR WELLS ON PROPERTY.
Operator:	STALLINGS OIL CO
UST ID:	Not reported
Incident ID:	Not reported
Initials of UST Regional Contact:	Not reported
Regional Office:	Not reported
Responsible Party/Company Name:	Not reported
Ownership:	4
Responsible Party Contact Name:	Not reported
Operation:	6
Responsible Party Mailing Address:	Not reported
Responsible Party City,State,Zip:	Not reported
Ownership:	Private
Operation Type:	Commercial
Responsible Party County:	Not reported
Source of Contamination:	GASOLINE/DIESEL/KEROSENE
Source:	3
Type:	3
Location:	1
Petroleum Type:	Not reported
Date Incident Reported:	Not reported
Whether Tank is Commercial or Non Commercial:	Not reported
Site Priority:	30E
Whether Tank is Regulated:	Not reported
Priority Update:	4/16/1998
Notice of Regulatory Requirement:	Not reported
Wells Affected:	N
Notice of Violation:	Not reported
Phase 1 or Phase 2:	Not reported
Num Affected:	0
Site Priority:	Not reported
Type:	GASOLINE/DIESEL
Location:	Facility
Current Risk Condition:	Not reported
Sampled By:	5
Samples Include:	Not reported
Initial reported risk of incident (never changes):	Not reported
7.5 Min Quad:	Not reported
5 Min Quad:	Not reported
Intermediate Condition Present:	Not reported
Latitude:	35.94555555
Longitude:	-77.7675
Use of Land, Industrial:	Not reported
Corrective Action Plan Selected - up to 5:	Not reported
RBCA:	Not reported
Date Close Review Requested From RP or Owner:	Not reported
Date Case Closed:	Not reported
Extent of Contamination:	Not reported
Number of Supply Wells Located on Property:	Not reported
MTBE in Well Y/N/U Yes, No or Unknown:	Not reported
Facility Phone Number:	Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRESHWAY #782 (Continued)

S101167414

Date Land Use Restriction Filed: Not reported
Date Cleanup Initiated: Not reported
Record Status: Not reported
RBCA GW Codes: Not reported
RBCA GW: Not reported
Pollutant Type Present: Not reported
Reference Number for Media Disk for Archived Record: Not reported
RP Owner?: Not reported
RP Operator?: Not reported
RP Landowner?: Not reported

Status:

Facility ID: 3801
Last Modified: 2006-10-20 00:00:00
Incident Phase: CO
NOV Issued: Not reported
NORR Issued: Not reported
45 Day Report: Not reported
Public Meeting Held: Not reported
Corrective Action Planned: Not reported
SOC Sighned: Not reported
Reclassification Report: Not reported
RS Designation: Not reported
Closure Request Date: Not reported
Close-out Report: Not reported

**B4
NNW
1/8-1/4
0.207 mi.
1091 ft.**

**FRIENDLY WAY
1616 RALEIGH STREET
ROCKY MOUNT, NC 27801
Site 2 of 3 in cluster B**

**LUST U001203469
UST N/A**

**Relative:
Lower
Actual:
90 ft.**

LUST:
Name: FRESHWAY #782
Address: 1616 RALEIGH ST.
City,State,Zip: ROCKY MOUNT, NC 27801-3665
Facility ID: 00-0-000
UST Number: RA-603
Incident Number: 3801
Contamination Type: Groundwater/Both
Source Type: Leak-underground
Product Type: PETROLEUM
Date Reported: 08/01/1988
Date Occur: 08/01/1988
Cleanup: 08/01/1988
Closure Request: Not reported
Close Out: 10/20/2006
Level Of Soil Cleanup Achieved: Soil to Groundwater
Tank Regulated Status: REGULATED
Of Supply Wells: 0
Commercial/NonCommercial UST Site: COMMERCIAL
Risk Classification: L
Risk Class Based On Review: L
Corrective Action Plan Type: Not reported
NOV Issue Date: Not reported
NORR Issue Date: Not reported
Site Priority: 30E

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FRIENDLY WAY (Continued)

U001203469

<p>Phase Of LSA Req: Site Risk Reason: Land Use: MTBE: MTBE1: Flag: Flag1: LUR Filed: Release Detection: Current Status: RBCA GW: PETOPT: RPL: CD Num: Reel Num: RPOW: RPOP: Error Flag: Error Code: Valid: Lat/Long Decimal: Testlat: Regional Officer Project Mgr: Region: Company: Contact Person: Telephone: RP Address: RP City,St,Zip: RP County: Comments: 5 Min Quad: PIRF: Facility Id: Date Occurred: Date Reported: Description Of Incident: Owner/Operator: Ownership: Operation Type: Type: Location: Site Priority: Priority Update: Wells Affected Y/N: Samples Include: 7#5 Minute Quad: 5 Minute Quad: Pirf/Min Soil:</p>	<p>Not reported F,G Not reported No Unknown No No 04/21/2006 0 File Located in Archives Cleanups to alternate standards 3 False 350 316 False False 0 N False 35.9465 -77.7699 Not reported RKD WAS BOYD TOLMAN STALLINGS OIL CO 2529376185 300 S. WESLEYAN BULEVARD ROCKY MOUNT, NC 27803- Not reported FP. REMEDIAL ACTION PLAN SUBMITTED-4-25-89:PUMP&TREAT,SVE-DOWN NOW DUE TO FE DEPOSITS IN P&T SYS. /// NRP filed with Edgecombe County Reg of Deeds 4/21/06, Book 1462, Page 312-315, RKD. File Re opened. // Groundwater Monitoring Well Installation and Sampling report rec'd 9/19/06. MW installed in former tank pit, no FP observed, benzene 2,200 ppb, all contaminants below GCLs. Will issue NFA, NRP with GW restriction recorded in April 2006 and will be OK for this close out, RKD. Not reported 3801 8/2/1988 11/7/1988 ENVIRONMENTAL ASSESSMENT REVEALED SOIL CONTAM. IN MONITOR WELLS ON PROPERTY. STALLINGS OIL CO 4 6 3 1 30E 4/16/1998 N 0 5 Not reported Not reported</p>
--	---

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRIENDLY WAY (Continued)

U001203469

Release Code: Not reported
Source Code: Pirf
Err Type: Not reported
Cause: Not reported
Source: Not reported
Ust Number: Not reported

Last Modified: 10/20/2006
Incident Phase: Closed Out
NOV Issued: Not reported
NORR Issued: Not reported
45 Day Report: Not reported
Public Meeting Held: Not reported
Corrective Action Planned: Not reported
SOC Signed: Not reported
Reclassification Report: Not reported
RS Designation: Not reported
Closure Request Date: Not reported
Close-out Report: Not reported

[Click here to access the North Carolina DEQ records for this facility:](#)

UST:

Name: FRIENDLY WAY
Address: 1616 RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC 27801-3665
Facility Id: 00-0-0000027273
Contact: SALEH A ODEH
Contact Address1: 1521 NORTH RALEIGH ST
Contact Address2: Not reported
Contact City/State/Zip: ROCKY MOUNT, NC 27803-3952
FIPS County Desc: Edgecombe
Latitude: 35.94651
Longitude: -77.7702

Tank Id: 1
Tank Status: Removed
Installed Date: 09/23/1981
Perm Close Date: 05/01/2006
Product Name: Gasoline, Gas Mix
Tank Capacity: 10000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: Not reported
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Auto Shutoff Device
Spill Protection Name: Catchment Basin
Leak Detection Name: Unknown
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Other
Decode for PSYS_KEY: Unknown

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRIENDLY WAY (Continued)

U001203469

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id:	2
Tank Status:	Removed
Installed Date:	09/23/1981
Perm Close Date:	05/01/2006
Product Name:	Gasoline, Gas Mix
Tank Capacity:	10000
Root Tank Id:	Not reported
Main Tank:	No
Compartment Tank:	No
Manifold Tank:	Not reported
Commercial:	Yes
Regulated:	Yes
Other CP Tank:	Not reported
Overfill Protection Name:	Auto Shutoff Device
Spill Protection Name:	Catchment Basin
Leak Detection Name:	Unknown
Decode for TCONS_KEY:	Single Wall Steel
Decode for PCONS_KEY:	Other
Decode for PSYS_KEY:	Unknown

[Click here to access the North Carolina DEQ records for this facility:](#)

Tank Id:	3
Tank Status:	Removed
Installed Date:	09/23/1981
Perm Close Date:	05/01/2006
Product Name:	Gasoline, Gas Mix
Tank Capacity:	10000
Root Tank Id:	Not reported
Main Tank:	No
Compartment Tank:	No
Manifold Tank:	Not reported
Commercial:	Yes
Regulated:	Yes
Other CP Tank:	Not reported
Overfill Protection Name:	Auto Shutoff Device
Spill Protection Name:	Catchment Basin
Leak Detection Name:	Unknown
Decode for TCONS_KEY:	Single Wall Steel
Decode for PCONS_KEY:	Other
Decode for PSYS_KEY:	Unknown

[Click here to access the North Carolina DEQ records for this facility:](#)

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

**B5
NW
1/8-1/4
0.212 mi.
1120 ft.**

**FRESHWAY #782
STOKES AVE AND RALEIGH STREET
ROCKY MOUNT, NC**

**LUST TRUST S105217864
N/A**

Site 3 of 3 in cluster B

**Relative:
Lower
Actual:
89 ft.**

LUST TRUST:
Name: FRESHWAY #782
Address: STOKES AVE AND RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC
Facility ID: Not reported
Site ID: 3801
Site Note: originally denied in 95, reversed in 96. Claim 204, 205 and appeal to 202 were paid from the non-comm fund/the elig info has now been updated/jc 11/6/07

Site Eligible?: True
Commercial Find: 100% Commercial
Priority Rank: Low
Deductable Amount: 50000
3rd Party Deductable Amt: 100000
Sum 3rd Party Amt Applied: 0

**C6
NE
1/4-1/2
0.252 mi.
1332 ft.**

**THE FUEL DOC # 3(DAUGHTRIDGE E
2341 NORTH RALEIGH STREET
ROCKY MOUNT, NC**

**LUST TRUST S105895605
IMD N/A**

Site 1 of 2 in cluster C

**Relative:
Higher
Actual:
109 ft.**

LUST TRUST:
Name: THE FUEL DOC #3 (DAUGHTRIDGE ENTERPRISES)
Address: 2341 NORTH RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC
Facility ID: 0-016527
Site ID: 26685
Site Note: Commercial; \$20,000 deductible; 100% eligible for costs that exceed the \$20,000 deductible.[CGS 3/12/13]

Site Eligible?: True
Commercial Find: 100% Commercial
Priority Rank: Not reported
Deductable Amount: 20000
3rd Party Deductable Amt: 0
Sum 3rd Party Amt Applied: 0

IMD:

Facility ID: 26685
Name: THE FUEL DOC # 3(DAUGHTRIDGE E
Address: 2341 NORTH RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC
Date Occurred: 2/7/2001
Submit Date: 8/27/2004
Incident Desc: DURING DOT EXTESION PROJECTDOT FOUND SOIL ABOVE MSCC LIMITS
Operator: WILLIAM DAUGHTRIDGE
UST ID: Not reported
Incident ID: Not reported
Initials of UST Regional Contact: Not reported
Regional Office: Not reported
Responsible Party/Company Name: Not reported
Ownership: 4
Responsible Party Contact Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

THE FUEL DOC # 3(DAUGHTRIDGE E (Continued))

S105895605

Operation:	6
Responsible Party Mailing Address:	Not reported
Responsible Party City,State,Zip:	Not reported
Ownership:	Private
Operation Type:	Commercial
Responsible Party County:	Not reported
Source of Contamination:	GASOLINE/DIESEL/KEROSENE
Source:	3
Type:	3
Location:	1
Petroleum Type:	Not reported
Date Incident Reported:	Not reported
Whether Tank is Commercial or Non Commercial:	Not reported
Site Priority:	Not reported
Whether Tank is Regulated:	Not reported
Priority Update:	Not reported
Notice of Regulatory Requirement:	Not reported
Wells Affected:	Not reported
Notice of Violation:	Not reported
Phase 1 or Phase 2:	Not reported
Num Affected:	Not reported
Site Priority:	Not reported
Type:	GASOLINE/DIESEL
Location:	Facility
Current Risk Condition:	Not reported
Sampled By:	Y
Samples Include:	Not reported
Initial reported risk of incident (never changes):	Not reported
7.5 Min Quad:	Not reported
5 Min Quad:	Not reported
Intermediate Condition Present:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Use of Land, Industrial:	Not reported
Corrective Action Plan Selected - up to 5:	Not reported
RBCA:	Not reported
Date Close Review Requested From RP or Owner:	Not reported
Date Case Closed:	Not reported
Extent of Contamination:	Not reported
Number of Supply Wells Located on Property:	Not reported
MTBE in Well Y/N/U Yes, No or Unknown:	Not reported
Facility Phone Number:	Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown:	Not reported
Date Land Use Restriction Filed:	Not reported
Date Cleanup Initiated:	Not reported
Record Status:	Not reported
RBCA GW Codes:	Not reported
RBCA GW:	Not reported
Pollutant Type Present:	Not reported
Reference Number for Media Disk for Archived Record:	Not reported
RP Owner?:	Not reported
RP Operator?:	Not reported
RP Landowner?:	Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

C7 **LSE AUTO CENTER**
ENE **2761 NORTH RALEIGH STREET**
1/4-1/2 **ROCKY MOUNT, NC 27801**
0.265 mi.
1400 ft. **Site 2 of 2 in cluster C**

LUST **U003137797**
UST **N/A**
IMD

Relative:
Higher
Actual:
109 ft.

LUST:
 Name: LSE AUTO CENTER
 Address: 2761 N. RALEIGH STREET
 City,State,Zip: ROCKY MOUNT, NC 27801-6433
 Facility ID: 0-023379
 UST Number: RA-2742
 Incident Number: 17374
 Contamination Type: Soil
 Source Type: Leak-underground
 Product Type: PETROLEUM
 Date Reported: 04/18/1997
 Date Occur: 03/11/1997
 Cleanup: 04/18/1997
 Closure Request: Not reported
 Close Out: 05/12/1997
 Level Of Soil Cleanup Achieved: Not reported
 Tank Regulated Status: REGULATED
 # Of Supply Wells: 0
 Commercial/NonCommercial UST Site: COMMERCIAL
 Risk Classification: L
 Risk Class Based On Review: L
 Corrective Action Plan Type: Not reported
 NOV Issue Date: Not reported
 NORR Issue Date: Not reported
 Site Priority: 210B
 Phase Of LSA Req: Not reported
 Site Risk Reason: Not reported
 Land Use: Not reported
 MTBE: No
 MTBE1: Unknown
 Flag: No
 Flag1: No
 LUR Filed: Not reported
 Release Detection: 0
 Current Status: File Located in Archives
 RBCA GW: Not reported
 PETOPT: 5
 RPL: False
 CD Num: 45
 Reel Num: 106
 RPOW: False
 RPOP: False
 Error Flag: 0
 Error Code: N
 Valid: False
 Lat/Long Decimal: 35.9449 -77.7453
 Testlat: Not reported
 Regional Officer Project Mgr: ZMB
 Region: WAS
 Company: HAROLD LYNCH
 Contact Person: HAROLD LYNCH
 Telephone: 919-446-0150
 RP Address: 500 EASTERN AVENUE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LSE AUTO CENTER (Continued)

U003137797

RP City,St,Zip: ROCKY MOUNT, NC 27801-
RP County: Not reported
Comments: Not reported
5 Min Quad: Not reported

PIRF:
Facility Id: 17374
Date Occurred: 3/11/1997
Date Reported: 5/27/1997
Description Of Incident: UPON REMOVAL OF A 1,000 GAL. WASTE OIL TANK MINOR SOIL CONTAM. WAS CONFIRMED.
Owner/Operator: HAROLD LYNCH
Ownership: 4
Operation Type: 6
Type: 5
Location: 1
Site Priority: 210B
Priority Update: 12/4/1998
Wells Affected Y/N: Not reported
Samples Include: 0
7#5 Minute Quad: Not reported
5 Minute Quad: Not reported
Pirf/Min Soil: Not reported
Release Code: Not reported
Source Code: Min_Soil
Err Type: Not reported
Cause: Not reported
Source: Not reported
Ust Number: Not reported

Last Modified: 6/11/1997
Incident Phase: Closed Out
NOV Issued: Not reported
NORR Issued: Not reported
45 Day Report: Not reported
Public Meeting Held: Not reported
Corrective Action Planned: Not reported
SOC Signed: Not reported
Reclassification Report: Not reported
RS Designation: Not reported
Closure Request Date: Not reported
Close-out Report: 5/12/1997

[Click here to access the North Carolina DEQ records for this facility:](#)

UST:

Name: LSE AUTO CENTER
Address: 2761 NORTH RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC 27801
Facility Id: 00-0-0000023379
Contact: LYNCH SERVICES CORP.
Contact Address1: 500 EASTERN AVE
Contact Address2: Not reported
Contact City/State/Zip: ROCKY MOUNT, NC 27801-5465
FIPS County Desc: Edgecombe
Latitude: 0
Longitude: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LSE AUTO CENTER (Continued)

U003137797

Tank Id: 1
Tank Status: Removed
Installed Date: 05/08/1985
Perm Close Date: 03/11/1997
Product Name: Oil, New/Used/Mix
Tank Capacity: 1000
Root Tank Id: Not reported
Main Tank: No
Compartment Tank: No
Manifold Tank: Not reported
Commercial: Yes
Regulated: Yes
Other CP Tank: Not reported
Overfill Protection Name: Unknown
Spill Protection Name: Unknown
Leak Detection Name: Unknown
Decode for TCONS_KEY: Single Wall Steel
Decode for PCONS_KEY: Single Wall Steel
Decode for PSYS_KEY: Unknown

Click here to access the North Carolina DEQ records for this facility:

IMD:

Facility ID: 17374
Name: LSE AUTO CENTER
Address: 2761 N. RALEIGH STREET
City,State,Zip: ROCKY MOUNT, NC
Date Occurred: 3/11/1997
Submit Date: 5/27/1997
Incident Desc: UPON REMOVAL OF A 1,000 GAL. WASTE OIL TANK MINOR SOIL CONTAM. WAS CONFIRMED.
Operator: HAROLD LYNCH
UST ID: Not reported
Incident ID: Not reported
Initials of UST Regional Contact: Not reported
Regional Office: Not reported
Responsible Party/Company Name: Not reported
Ownership: 4
Responsible Party Contact Name: Not reported
Operation: 6
Responsible Party Mailing Address: Not reported
Responsible Party City,State,Zip: Not reported
Ownership: Private
Operation Type: Commercial
Responsible Party County: Not reported
Source of Contamination: GASOLINE/DIESEL/KEROSENE
Type: 3
Location: 1
Petroleum Type: Not reported
Date Incident Reported: Not reported
Whether Tank is Commercial or Non Commercial: Not reported
Site Priority: 210B
Whether Tank is Regulated: Not reported
Priority Update: 12/4/1998
Notice of Regulatory Requirement: Not reported
Wells Affected: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LSE AUTO CENTER (Continued)

U003137797

Notice of Violation:	Not reported
Phase 1 or Phase 2:	Not reported
Num Affected:	0
Site Priority:	Not reported
Type:	GASOLINE/DIESEL
Location:	Facility
Current Risk Condition:	Not reported
Sampled By:	Not reported
Samples Include:	Not reported
Initial reported risk of incident (never changes):	Not reported
7.5 Min Quad:	Not reported
5 Min Quad:	Not reported
Intermediate Condition Present:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Use of Land, Industrial:	Not reported
Corrective Action Plan Selected - up to 5:	Not reported
RBCA:	Not reported
Date Close Review Requested From RP or Owner:	Not reported
Date Case Closed:	Not reported
Extent of Contamination:	Not reported
Number of Supply Wells Located on Property:	Not reported
MTBE in Well Y/N/U Yes, No or Unknown:	Not reported
Facility Phone Number:	Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown:	Not reported
Date Land Use Restriction Filed:	Not reported
Date Cleanup Initiated:	Not reported
Record Status:	Not reported
RBCA GW Codes:	Not reported
RBCA GW:	Not reported
Pollutant Type Present:	Not reported
Reference Number for Media Disk for Archived Record:	Not reported
RP Owner?:	Not reported
RP Operator?:	Not reported
RP Landowner?:	Not reported
Status:	
Facility ID:	17374
Last Modified:	1997-06-11 00:00:00
Incident Phase:	CO
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Sighned:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	1997-05-12 00:00:00

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

8
West
1/4-1/2
0.384 mi.
2030 ft.

FORMER SPRINT FACILITY
901 N. FAIRVIEW ROAD
ROCKY MOUNT, NC 27801

IMD S127491888
N/A

Relative:
Lower
Actual:
86 ft.

IMD:
 Facility ID: Not reported
 Name: FORMER SPRINT FACILITY
 Address: 901 N. FAIRVIEW ROAD
 City,State,Zip: ROCKY MOUNT, NC 27801
 Date Occurred: Not reported
 Submit Date: Not reported
 Incident Desc: Not reported
 Operator: Not reported
 UST ID: RA-7029
 Incident ID: Not reported
 Initials of UST Regional Contact: BRH
 Regional Office: WAS
 Responsible Party/Company Name: Bunn Brothers Investments, LLC
 Ownership: Not reported
 Responsible Party Contact Name: Michael S. Bunn
 Operation: Not reported
 Responsible Party Mailing Address: 1209 Michael Scott Drive
 Responsible Party City,State,Zip: Rocky Mount, NC 27804
 Ownership: Not reported
 Operation Type: Not reported
 Responsible Party County: Not reported
 Source of Contamination: GASOLINE/DIESEL/KEROSENE
 Source: 3
 Type: Not reported
 Location: Not reported
 Petroleum Type: PETROLEUM
 Date Incident Reported: 2012-05-04 00:00:00
 Whether Tank is Commercial or Non Commercial: NON COMMERCIAL
 Site Priority: Not reported
 Whether Tank is Regulated: NON REGULATED
 Priority Update: Not reported
 Notice of Regulatory Requirement: Not reported
 Wells Affected: Not reported
 Notice of Violation: Not reported
 Phase 1 or Phase 2: 1
 Num Affected: Not reported
 Site Priority: Not reported
 Type: Not reported
 Location: Not reported
 Current Risk Condition: L
 Sampled By: Not reported
 Samples Include: Not reported
 Initial reported risk of incident (never changes): L
 7.5 Min Quad: Not reported
 5 Min Quad: Not reported
 Intermediate Condition Present: Not reported
 Latitude: 35.942399999999999
 Longitude: -77.774199999999993
 Use of Land, Industrial: Not reported
 Corrective Action Plan Selected - up to 5: Not reported
 RBCA: Not reported
 Date Close Review Requested From RP or Owner: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FORMER SPRINT FACILITY (Continued)

S127491888

Date Case Closed: 2012-05-29 00:00:00
 Extent of Contamination: None
 Number of Supply Wells Located on Property: 0
 MTBE in Well Y/N/U Yes, No or Unknown: 0
 Facility Phone Number: 2529034999
 MTBE in Groundwater Y/N/U Yes, No or Unknown: U
 Date Land Use Restriction Filed: Not reported
 Date Cleanup Initiated: Not reported
 Record Status: CURRENT RECORD
 RBCA GW Codes: Not reported
 RBCA GW: Not reported
 Pollutant Type Present: HEATING OIL
 Reference Number for Media Disk for Archived Record: 0
 RP Owner?: False
 RP Operator?: False
 RP Landowner?: False

D9
WSW
1/4-1/2
0.418 mi.
2205 ft.

GAY YOST FUNERAL HOME
805 FAIRVIEW RD.
ROCKY MOUNT, NC 27801

Site 1 of 3 in cluster D

LUST **S101573038**
LUST TRUST **N/A**
IMD

Relative:
Lower

Actual:
95 ft.

LUST:
 Name: GAY YOST FUNERAL HOME
 Address: 805 FAIRVIEW RD.
 City,State,Zip: ROCKY MOUNT, NC 27801-6114
 Facility ID: Not reported
 UST Number: RA-1626
 Incident Number: 10280
 Contamination Type: Soil
 Source Type: Leak-underground
 Product Type: PETROLEUM
 Date Reported: 06/16/1992
 Date Occur: 06/16/1992
 Cleanup: 06/16/1992
 Closure Request: Not reported
 Close Out: 02/23/1993
 Level Of Soil Cleanup Achieved: Not reported
 Tank Regulated Status: NON REGULATED
 # Of Supply Wells: 0
 Commercial/NonCommercial UST Site: NON COMMERCIAL
 Risk Classification: L
 Risk Class Based On Review: L
 Corrective Action Plan Type: Not reported
 NOV Issue Date: Not reported
 NORR Issue Date: Not reported
 Site Priority: 0
 Phase Of LSA Req: Not reported
 Site Risk Reason: Not reported
 Land Use: Not reported
 MTBE: No
 MTBE1: Unknown
 Flag: No
 Flag1: No
 LUR Filed: Not reported
 Release Detection: 0
 Current Status: File Located in Archives

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GAY YOST FUNERAL HOME (Continued)

S101573038

RBCA GW:	Not reported
PETOPT:	4
RPL:	False
CD Num:	45
Reel Num:	106
RPOW:	False
RPOP:	False
Error Flag:	0
Error Code:	N
Valid:	False
Lat/Long Decimal:	35.9406 -77.7749
Testlat:	Not reported
Regional Officer Project Mgr:	STA
Region:	WAS
Company:	GAY - YOST FUNERAL HOME
Contact Person:	Not reported
Telephone:	Not reported
RP Address:	805 FAIRVIEW RD.
RP City,St,Zip:	ROCKY MT., NC 27804-
RP County:	Not reported
Comments:	Not reported
5 Min Quad:	Not reported
PIRF:	
Facility Id:	10280
Date Occurred:	6/16/1992
Date Reported:	6/7/1993
Description Of Incident:	1,000 GAL. HEATING OIL UST REMOVED; MINOR SOIL CONTAM. CONFIRMED.
Owner/Operator:	Not reported
Ownership:	4
Operation Type:	6
Type:	4
Location:	1
Site Priority:	Not reported
Priority Update:	Not reported
Wells Affected Y/N:	Not reported
Samples Include:	0
7#5 Minute Quad:	Not reported
5 Minute Quad:	Not reported
Pirf/Min Soil:	Not reported
Release Code:	Not reported
Source Code:	Min_Soil
Err Type:	Not reported
Cause:	Not reported
Source:	Not reported
Ust Number:	Not reported
Last Modified:	6/16/1993
Incident Phase:	Closed Out
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Signed:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GAY YOST FUNERAL HOME (Continued)

S101573038

Close-out Report: 5/24/1993

[Click here to access the North Carolina DEQ records for this facility:](#)

LUST TRUST:

Name: GAY YOST FUNERAL HOME
Address: 805 FAIRVIEW ROAD
City,State,Zip: ROCKY MOUNT, NC
Facility ID: Not reported
Site ID: 10280
Site Note: Site closed
Site Eligible?: True
Commercial Find: 100% Non-Commercial
Priority Rank: Not reported
Deductable Amount: 0
3rd Party Deductable Amt: 0
Sum 3rd Party Amt Applied: 0

IMD:

Facility ID: 10280
Name: GAY YOST FUNERAL HOME
Address: 805 FAIRVIEW RD.
City,State,Zip: ROCKY MOUNT, NC
Date Occurred: 6/16/1992
Submit Date: 6/7/1993
Incident Desc: 1,000 GAL. HEATING OIL UST REMOVED; MINOR SOIL CONTAM. CONFIRMED.
Operator: Not reported
UST ID: Not reported
Incident ID: Not reported
Initials of UST Regional Contact: Not reported
Regional Office: Not reported
Responsible Party/Company Name: Not reported
Ownership: 4
Responsible Party Contact Name: Not reported
Operation: 6
Responsible Party Mailing Address: Not reported
Responsible Party City,State,Zip: Not reported
Ownership: Private
Operation Type: Commercial
Responsible Party County: Not reported
Source of Contamination: GASOLINE/DIESEL/KEROSENE
Source: 3
Type: 3
Location: 1
Petroleum Type: Not reported
Date Incident Reported: Not reported
Whether Tank is Commercial or Non Commercial: Not reported
Site Priority: Not reported
Whether Tank is Regulated: Not reported
Priority Update: Not reported
Notice of Regulatory Requirement: Not reported
Wells Affected: Not reported
Notice of Violation: Not reported
Phase 1 or Phase 2: Not reported
Num Affected: 0
Site Priority: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

GAY YOST FUNERAL HOME (Continued)

S101573038

Type:	GASOLINE/DIESEL
Location:	Facility
Current Risk Condition:	Not reported
Sampled By:	Not reported
Samples Include:	Not reported
Initial reported risk of incident (never changes):	Not reported
7.5 Min Quad:	Not reported
5 Min Quad:	Not reported
Intermediate Condition Present:	Not reported
Latitude:	Not reported
Longitude:	Not reported
Use of Land, Industrial:	Not reported
Corrective Action Plan Selected - up to 5:	Not reported
RBCA:	Not reported
Date Close Review Requested From RP or Owner:	Not reported
Date Case Closed:	Not reported
Extent of Contamination:	Not reported
Number of Supply Wells Located on Property:	Not reported
MTBE in Well Y/N/U Yes, No or Unknown:	Not reported
Facility Phone Number:	Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown:	Not reported
Date Land Use Restriction Filed:	Not reported
Date Cleanup Initiated:	Not reported
Record Status:	Not reported
RBCA GW Codes:	Not reported
RBCA GW:	Not reported
Pollutant Type Present:	Not reported
Reference Number for Media Disk for Archived Record:	Not reported
RP Owner?:	Not reported
RP Operator?:	Not reported
RP Landowner?:	Not reported

Status:

Facility ID:	10280
Last Modified:	1993-06-16 00:00:00
Incident Phase:	CO
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Sighned:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	1993-05-24 00:00:00

D10
WSW
1/4-1/2
0.421 mi.
2225 ft.

U S ARMY RESERVE-ROCKY MOUNT
804 FAIRVIEW ROAD
ROCKY MOUNT, NC 27801
Site 2 of 3 in cluster D

SHWS S101426036
LUST N/A
IMD
NPDES

Relative:
Lower
Actual:
95 ft.

SHWS:
 Name: USA RESERVE XVIII AIRBORNE CORPS
 Address: 804 FAIRVIEW RD
 City,State,Zip: ROCKY MOUNT, NC

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

U S ARMY RESERVE-ROCKY MOUNT (Continued)

S101426036

EPAID: NC8210021624
Lat/Longitude: Not reported
Geolocation Method: Not reported

[Click here to access the North Carolina DEQ records for this facility:](#)

LUST:

Name: U S ARMY RESERVE-ROCKY MOUNT
Address: 804 FAIRVIEW ROAD
City,State,Zip: ROCKY MOUNT, NC 27801-6115
Facility ID: Not reported
UST Number: RA-2452
Incident Number: 15925
Contamination Type: Groundwater/Both
Source Type: Leak-underground
Product Type: PETROLEUM
Date Reported: 08/10/1992
Date Occur: 08/20/1990
Cleanup: 08/10/1992
Closure Request: Not reported
Close Out: 06/11/2001
Level Of Soil Cleanup Achieved: Not reported
Tank Regulated Status: REGULATED
Of Supply Wells: 0
Commercial/NonCommercial UST Site: COMMERCIAL
Risk Classification: L
Risk Class Based On Review: L
Corrective Action Plan Type: Not reported
NOV Issue Date: Not reported
NORR Issue Date: Not reported
Site Priority: 30E
Phase Of LSA Req: Not reported
Site Risk Reason: Not reported
Land Use: Not reported
MTBE: No
MTBE1: Yes
Flag: No
Flag1: No
LUR Filed: Not reported
Release Detection: 0
Current Status: File Located in Archives
RBCA GW: Not reported
PETOPT: 4
RPL: False
CD Num: 126
Reel Num: 17
RPOW: False
RPOP: False
Error Flag: 0
Error Code: N
Valid: False
Lat/Long Decimal: 35.9416 -77.7763
Testlat: Not reported
Regional Officer Project Mgr: STA
Region: WAS
Company: 81ST REGIONAL SUPPORT COMMAND
Contact Person: JAMES ADAIR. ATTN FAST ADAIR

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

U S ARMY RESERVE-ROCKY MOUNT (Continued)

S101426036

Telephone: 615 373-3350
RP Address: BLDG. 9810, LEE RD.
RP City,St,Zip: FORT JACKSON, SC 29207-6070
RP County: Not reported
Comments: GW contam. below NC Standards for MTBE & Napth., MISSING GW LAB WORK FOR FINAL CO
5 Min Quad: Not reported

PIRF:

Facility Id: 15925
Date Occurred: 8/20/1990
Date Reported: 7/19/1996
Description Of Incident: GW CONTAM. CONFIRMED. 2.8 PPB NAPHTHALENE AND 40 PPB MTBE.
Owner/Operator: JAMES ADAIR. ATTN FAST ADAIR
Ownership: 5
Operation Type: 1
Type: 4
Location: 1
Site Priority: 30E
Priority Update: 4/16/1998
Wells Affected Y/N: N
Samples Include: 0
7#5 Minute Quad: 3
5 Minute Quad: 1
Pirf/Min Soil: Not reported
Release Code: I29S
Source Code: Pirf
Err Type: Not reported
Cause: Not reported
Source: Not reported
Ust Number: Not reported

Last Modified: 6/11/2001
Incident Phase: Closed Out
NOV Issued: Not reported
NORR Issued: Not reported
45 Day Report: Not reported
Public Meeting Held: Not reported
Corrective Action Planned: Not reported
SOC Signed: Not reported
Reclassification Report: Not reported
RS Designation: Not reported
Closure Request Date: Not reported
Close-out Report: Not reported

Click here to access the North Carolina DEQ records for this facility:

IMD:

Facility ID: 15925
Name: U S ARMY RESERVE-ROCKY MOUNT
Address: 804 FAIRVIEW ROAD
City,State,Zip: ROCKY MOUNT, NC
Date Occurred: 8/20/1990
Submit Date: 7/19/1996
Incident Desc: GW CONTAM. CONFIRMED. 2.8 PPB NAPHTHALENE AND 40 PPB MTBE.
Operator: JAMES ADAIR. ATTN FAST ADAIR
UST ID: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

U S ARMY RESERVE-ROCKY MOUNT (Continued)

S101426036

Incident ID:	Not reported
Initials of UST Regional Contact:	Not reported
Regional Office:	Not reported
Responsible Party/Company Name:	Not reported
Ownership:	5
Responsible Party Contact Name:	Not reported
Operation:	1
Responsible Party Mailing Address:	Not reported
Responsible Party City,State,Zip:	Not reported
Ownership:	Federal
Operation Type:	Public Service
Responsible Party County:	Not reported
Source of Contamination:	GASOLINE/DIESEL/KEROSENE
Source:	3
Type:	3
Location:	1
Petroleum Type:	Not reported
Date Incident Reported:	Not reported
Whether Tank is Commercial or Non Commercial:	Not reported
Site Priority:	30E
Whether Tank is Regulated:	Not reported
Priority Update:	4/16/1998
Notice of Regulatory Requirement:	Not reported
Wells Affected:	N
Notice of Violation:	Not reported
Phase 1 or Phase 2:	Not reported
Num Affected:	0
Site Priority:	Not reported
Type:	GASOLINE/DIESEL
Location:	Facility
Current Risk Condition:	Not reported
Sampled By:	3
Samples Include:	1
Initial reported risk of incident (never changes):	Not reported
7.5 Min Quad:	Not reported
5 Min Quad:	I29S
Intermediate Condition Present:	Not reported
Latitude:	35.94277777
Longitude:	-77.77583333
Use of Land, Industrial:	Not reported
Corrective Action Plan Selected - up to 5:	Not reported
RBCA:	Not reported
Date Close Review Requested From RP or Owner:	Not reported
Date Case Closed:	Not reported
Extent of Contamination:	Not reported
Number of Supply Wells Located on Property:	Not reported
MTBE in Well Y/N/U Yes, No or Unknown:	Not reported
Facility Phone Number:	Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown:	Not reported
Date Land Use Restriction Filed:	Not reported
Date Cleanup Initiated:	Not reported
Record Status:	Not reported
RBCA GW Codes:	Not reported
RBCA GW:	Not reported
Pollutant Type Present:	Not reported
Reference Number for Media Disk for Archived Record:	Not reported
RP Owner?:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

U S ARMY RESERVE-ROCKY MOUNT (Continued)

S101426036

RP Operator?: Not reported
RP Landowner?: Not reported

Status:

Facility ID: 15925
Last Modified: 2001-06-11 00:00:00
Incident Phase: CO
NOV Issued: Not reported
NORR Issued: Not reported
45 Day Report: Not reported
Public Meeting Held: Not reported
Corrective Action Planned: Not reported
SOC Sighned: Not reported
Reclassification Report: Not reported
RS Designation: Not reported
Closure Request Date: Not reported
Close-out Report: Not reported

NPDES:

Name: ROCKY MOUNT ARC NC039
Address: 804 FAIRVIEW RD
City,State,Zip: ROCKY MOUNT, NC 27801
Permit Number: NCGNE1224
Permit Status: Active
Permit Type: Stormwater Discharge, No Exposure Certificate
Issue Date: Not reported
Region: Raleigh
Owner Name: 81st Regional Support Command
Class: Not reported
Applied: Not reported
Drafted: Not reported
Expires: Not reported
Subbasin: Not reported
Receiving Stream: Not reported
Comments: Not reported
As-Built Flow (GPD): Not reported
Domestic %: Not reported
Industrial %: Not reported
stormwtr %: Not reported
Permitted Flow (GPD): Not reported
Program Category: Not reported
Project Type: Not reported
Is Major Permit: Not reported
Date Assigned: Not reported
Organization Name: Not reported
Outfall: Not reported
Discharge Via: Not reported
Stream Classification: Not reported
Regulated Activity: Not reported
Owner Type: Government - Federal
Effective Date: 09/08/2017
Basin Name: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

D11 **USA RESERVE XVIII AIRBORNE CORPS** **SEMS-ARCHIVE** **1000102361**
WSW **804 FAIRVIEW RD**
1/4-1/2 **ROCKY MOUNT, NC 27801** **NC8210021624**
0.421 mi.
2225 ft. **Site 3 of 3 in cluster D**

Relative: SEMS Archive:
Lower Site ID: 0403196
Actual: EPA ID: NC8210021624
95 ft. Name: USA RESERVE XVIII AIRBORNE CORPS
 Address: 804 FAIRVIEW RD
 Address 2: Not reported
 City,State,Zip: ROCKY MOUNT, NC 27801
 Cong District: 02
 FIPS Code: 37065
 FF: Y
 NPL: Not on the NPL
 Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:

Region: 04
 Site ID: 0403196
 EPA ID: NC8210021624
 Site Name: USA RESERVE XVIII AIRBORNE CORPS
 NPL: N
 FF: Y
 OU: 00
 Action Code: VS
 Action Name: ARCH SITE
 SEQ: 1
 Start Date: 2017-02-13 05:00:00
 Finish Date: 2017-02-13 05:00:00
 Qual: Not reported
 Current Action Lead: EPA Perf In-Hse

Region: 04
 Site ID: 0403196
 EPA ID: NC8210021624
 Site Name: USA RESERVE XVIII AIRBORNE CORPS
 NPL: N
 FF: Y
 OU: 00
 Action Code: PA
 Action Name: PA
 SEQ: 1
 Start Date: Not reported
 Finish Date: 1990-08-29 04:00:00
 Qual: L
 Current Action Lead: Fed Fac

Region: 04
 Site ID: 0403196
 EPA ID: NC8210021624
 Site Name: USA RESERVE XVIII AIRBORNE CORPS
 NPL: N
 FF: Y
 OU: 00
 Action Code: DS
 Action Name: DISCVRY
 SEQ: 1

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

USA RESERVE XVIII AIRBORNE CORPS (Continued)

1000102361

Start Date:	1988-11-16 05:00:00
Finish Date:	1988-11-16 05:00:00
Qual:	Not reported
Current Action Lead:	Fed Fac
Region:	04
Site ID:	0403196
EPA ID:	NC8210021624
Site Name:	USA RESERVE XVIII AIRBORNE CORPS
NPL:	N
FF:	Y
OU:	00
Action Code:	PA
Action Name:	PA
SEQ:	3
Start Date:	Not reported
Finish Date:	2006-08-11 04:00:00
Qual:	N
Current Action Lead:	St Perf

12
West
1/4-1/2
0.459 mi.
2423 ft.

EDGECOMBE COUNTY ABC BOARD
1201 NORTH RALEIGH STREET
ROCKY MOUNT, NC 27801

LUST S105702782
IMD N/A

Relative:
Lower
Actual:
87 ft.

LUST:

Name:	EDGECOMBE COUNTY ABC BOARD
Address:	1201 NORTH RALEIGH STREET
City,State,Zip:	ROCKY MOUNT, NC 27801-3698
Facility ID:	Not reported
UST Number:	RA-422
Incident Number:	26001
Contamination Type:	Soil
Source Type:	Leak-underground
Product Type:	PETROLEUM
Date Reported:	08/30/2002
Date Occur:	05/28/2002
Cleanup:	05/28/2002
Closure Request:	2002-08-30 00:00:00
Close Out:	09/09/2002
Level Of Soil Cleanup Achieved:	Not reported
Tank Regulated Status:	REGULATED
# Of Supply Wells:	0
Commercial/NonCommercial UST Site:	COMMERCIAL
Risk Classification:	L
Risk Class Based On Review:	L
Corrective Action Plan Type:	Not reported
NOV Issue Date:	Not reported
NORR Issue Date:	Not reported
Site Priority:	Not reported
Phase Of LSA Req:	1
Site Risk Reason:	Not reported
Land Use:	Residential
MTBE:	No
MTBE1:	Unknown
Flag:	No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

EDGEcombe COUNTY ABC BOARD (Continued)

S105702782

Flag1:	No
LUR Filed:	Not reported
Release Detection:	0
Current Status:	File Located in Archives
RBCA GW:	Not reported
PETOPT:	3
RPL:	False
CD Num:	229
Reel Num:	96
RPOW:	False
RPOP:	False
Error Flag:	0
Error Code:	N
Valid:	False
Lat/Long Decimal:	35.9440 -77.7762
Testlat:	Not reported
Regional Officer Project Mgr:	JFM
Region:	WAS
Company:	EDGEcombe COUNTY ABC BOARD
Contact Person:	Not reported
Telephone:	Not reported
RP Address:	P.O. BOX 398
RP City,St,Zip:	TARBORO, NC 27886-
RP County:	edgecombe
Comments:	Not reported
5 Min Quad:	Not reported
PIRF:	
Facility Id:	26001
Date Occurred:	5/28/2002
Date Reported:	9/12/2002
Description Of Incident:	Not reported
Owner/Operator:	Not reported
Ownership:	6
Operation Type:	Not reported
Type:	3
Location:	1
Site Priority:	Not reported
Priority Update:	Not reported
Wells Affected Y/N:	N
Samples Include:	Not reported
7#5 Minute Quad:	1
5 Minute Quad:	Not reported
Pirf/Min Soil:	Not reported
Release Code:	Not reported
Source Code:	Not reported
Err Type:	2
Cause:	Not reported
Source:	C
Ust Number:	C
Last Modified:	9/9/2002
Incident Phase:	Closed Out
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

EDGEcombe COUNTY ABC BOARD (Continued)

S105702782

SOC Signed:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	Not reported

[Click here to access the North Carolina DEQ records for this facility:](#)

IMD:

Facility ID:	26001
Name:	EDGEcombe COUNTY ABC BOARD
Address:	1201 NORTH RALEIGH STREET
City,State,Zip:	ROCKY MOUNT, NC
Date Occurred:	5/28/2002
Submit Date:	9/12/2002
Incident Desc:	Not reported
Operator:	Not reported
UST ID:	Not reported
Incident ID:	Not reported
Initials of UST Regional Contact:	Not reported
Regional Office:	Not reported
Responsible Party/Company Name:	Not reported
Ownership:	6
Responsible Party Contact Name:	Not reported
Operation:	Not reported
Responsible Party Mailing Address:	Not reported
Responsible Party City,State,Zip:	Not reported
Ownership:	County
Operation Type:	Not reported
Responsible Party County:	Not reported
Source of Contamination:	GASOLINE/DIESEL/KEROSENE
Source:	3
Type:	3
Location:	1
Petroleum Type:	Not reported
Date Incident Reported:	Not reported
Whether Tank is Commercial or Non Commercial:	Not reported
Site Priority:	Not reported
Whether Tank is Regulated:	Not reported
Priority Update:	Not reported
Notice of Regulatory Requirement:	Not reported
Wells Affected:	N
Notice of Violation:	Not reported
Phase 1 or Phase 2:	Not reported
Num Affected:	Not reported
Site Priority:	Not reported
Type:	GASOLINE/DIESEL
Location:	Facility
Current Risk Condition:	Not reported
Sampled By:	1
Samples Include:	Not reported
Initial reported risk of incident (never changes):	Not reported
7.5 Min Quad:	Not reported
5 Min Quad:	Not reported
Intermediate Condition Present:	Not reported
Latitude:	35.94444444
Longitude:	-77.77611111

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

EDGEcombe COUNTY ABC BOARD (Continued)

S105702782

Use of Land, Industrial:	Not reported
Corrective Action Plan Selected - up to 5:	Not reported
RBCA:	Not reported
Date Close Review Requested From RP or Owner:	Not reported
Date Case Closed:	Not reported
Extent of Contamination:	Not reported
Number of Supply Wells Located on Property:	Not reported
MTBE in Well Y/N/U Yes, No or Unknown:	Not reported
Facility Phone Number:	Not reported
MTBE in Groundwater Y/N/U Yes, No or Unknown:	Not reported
Date Land Use Restriction Filed:	Not reported
Date Cleanup Initiated:	Not reported
Record Status:	Not reported
RBCA GW Codes:	Not reported
RBCA GW:	Not reported
Pollutant Type Present:	Not reported
Reference Number for Media Disk for Archived Record:	Not reported
RP Owner?:	Not reported
RP Operator?:	Not reported
RP Landowner?:	Not reported
Status:	
Facility ID:	26001
Last Modified:	2002-09-09 00:00:00
Incident Phase:	CO
NOV Issued:	Not reported
NORR Issued:	Not reported
45 Day Report:	Not reported
Public Meeting Held:	Not reported
Corrective Action Planned:	Not reported
SOC Sighed:	Not reported
Reclassification Report:	Not reported
RS Designation:	Not reported
Closure Request Date:	Not reported
Close-out Report:	Not reported

Count: 1 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
ROCKY MOUNT	S127470411	FORMER CONOCO STORE #33047	11120 EAST RALEIGH BLVD	27801	LUST

EDR ZIP Code Scan Report

ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
** - Indicates location may or may not be in requested radius. Site has not been assigned a latitude/longitude coordinate. Further review recommended.								
27801	1025567521		SAND PIT			ROCKY MOUNT	NC	
27801	1025768937		SAND PIT			ROCKY MOUNT	NC	
27801	1025634272		BRASWELL SAND PIT NUMBER 2			ROCKY MOUNT	NC	
27801	1025567517		ROCKY MOUNT QUARRY 11			ROCKY MOUNT	NC	
27801	1025634165		LUPER PIT NUMBER 5			ROCKY MOUNT	NC	
27801	U001196054	0-015719	FAST LANE		**	ROCKY MOUNT	NC	UST
27801	1008021540	110027410273	WINSTEAD MOBILE TERRACE		**	ROCKY MOUNT	NC	FINDS
27801	1025724098		OTTIS BULLOCK PIT NUMBER 4			ROCKY MOUNT	NC	
27801	1025768905		ROCKY MOUNT QUARRY 11			ROCKY MOUNT	NC	
27801	2010104938				**	ROCKY MOUNT	NC	HMIRS
27801	1025587909		BRASWELL PIT NUMBER 6			ROCKY MOUNT	NC	
27801	2013009175				**	Rocky Mount	NC	HMIRS
27801	1022868170		BRANTLEY PIT		**		NC	
27801	1025612071		E.L. DAUGHTRIDGE PIT NUMBER 3			ROCKY MOUNT	NC	
27801	1022868209		LANGLEY		**		NC	
27801	1025700998		BRANTLEY PIT			ROCKY MOUNT	NC	
27801	1023667422	110070081823	CITY OF ROCKY MOUNT - UTILITIES DEPA		**	ROCKY MOUNT	NC	FINDS
27801	1025567518		E.L. DAUGHTRIDGE PIT NUMBER 3			ROCKY MOUNT	NC	
27801	1025587910		BRASWELL SAND PIT NUMBER 2			ROCKY MOUNT	NC	
27801	1009654478	110027406947	HILLTOP MOBILE HOME PARK		**	ROCKY MOUNT	NC	FINDS
27801	1025611466		DAUGHTRIDGE PIT			ROCKY MOUNT	NC	
27801	1025611461		BRASWELL PIT NUMBER 6			ROCKY MOUNT	NC	
27801	1007710935	110018675307	ROCKY MOUNT LEGGETT ROAD WWTP		**	ROCKY MOUNT	NC	FINDS
27801	1022868171		DAUGHTRIDGE PIT		**		NC	
27801	1025723869		DAUGHTRIDGE PIT			ROCKY MOUNT	NC	
27801	1025567516		BRANTLEY PIT			ROCKY MOUNT	NC	
27801	1021347197		HOLLOMANS SUPER MARKET		**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1025567515		LUPER PIT NUMBER 5			ROCKY MOUNT	NC	
27801	2000543668				**	ROCKY MOUNT	NC	ERNS
27801	2011005361				**	ROCKY MOUNT	NC	HMIRS
27801	2010011451				**	ROCKY MOUNT	NC	HMIRS
27801	1025567513		OTTIS BULLOCK PIT NUMBER 4			ROCKY MOUNT	NC	
27801	1020783444		STRICKS TRUCK STOP SV STN*	HWY #301 BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020667688		AMOCO SERVICE STOP	HWY #301 BY PASS SOUTH	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020491794		STRICKS TRUCK STOP SV STN*	HWY #301 BY-PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020408349		HOWARD JOHNSONS SHELL STATION	HWY #301 BYPASS NORTH	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021979302		BY PASS EXXON	HWY #301 NORTH	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020834643		BROWNS GIFTS INC	HWY #301 S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021829178		ROWES TEXACO	HWY #301 SOUTH BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020266979		WHITEHURST GROCERY	HWY #64	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021324503		WHITEHURST GROCERY	HWY #64 E	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001196632	0-016518	DISCIPLES OF CHRISTHOLY TABER-	-NACLE / ROUTE # 2	**	ROCKY MOUNT	NC	UST
27801	1007702262	110018588535	DISCIPLES OF CHRISTHOLY TABER	-NACLE / ROUTE # 2	**	ROCKY MOUNT	NC	FINDS
27801	1020205791		LANGLEY BROTHERS	ROUTE 1	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021634473		FOUR CORNERS FOOD MART	ROUTE 1	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003160897	0-022637	FOUR CORNERS STORE	RT 1		ROCKY MOUNT	NC	UST
27801	U003145497	0-020694	OTHA LANGLEY	RT 1 BOX 384	**	ROCKY MOUNT	NC	UST
27801	1020777529		ERNIES TRUCK STOP	HWY 103 S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	S117055153		DUKE POWER TRNF SPILL	612 HWY 11 & 55		KINSTON	NC	
27801	U003142469	0-000476	H L SKINNER STORE	S.R. 1745	**	ROCKY MOUNT	NC	UST
27801	1007724490	110018811302	L AND W GROCERY & GRILL #2	ROUTE 2, BOX 107	**	ROCKY MOUNT	NC	FINDS
27801	U003136303	0-016210	L & W GROCERY & GRILL 2	ROUTE 2, BOX 107	**	ROCKY MOUNT	NC	UST
27801	U003136316	0-016270	WEST EDGECOMBE SCHOOL	ROUTE 2, BOX 223 (ST RD 1224)	**	ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007724569	110018812098	WEST EDGECOMBE SCHOOL	ROUTE 2, BOX 223 (ST. RD.1224)	**	ROCKY MOUNT	NC	FINDS
27801	1007693677	110018502556	EDGECOMBE CO SCHOOL	RT 2-NCSR 1224	**	ROCKY MOUNT	NC	FINDS
27801	1023618532	110070069060	125 & 213 ROSE STREET	125 & 213 ROSE STREET		ROCKY MOUNT	NC	US BROWNFIELDS, FINDS

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ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
27801	1016669668	110039063937	OLD CARLTON & FENNER TOBACCO WAF	221 - 223 NE MAIN ST.	**	ROCKY MOUNT	NC	FINDS
27801	1012149930		OLD CARLTON & FENNER TOBACCO WAF	221 - 223 NE MAIN ST.		ROCKY MOUNT	NC	US BROWNFIELDS
27801	1017407232	110063211288	219, 223, 227, 231 SOUTH WASHINGTON S	219, 223, 227, 231 SOUTH WASHINGTON S		ROCKY MOUNT	NC	US BROWNFIELDS, FINDS
27801	1007707304	110018639017	AMERICAN BAKERIES CO	HIGHWAY 258	**	KINSTON	NC	FINDS
27801	U003561905	0-000429	AMERICAN BAKERIES CO	HIGHWAY 258	**	KINSTON	NC	UST
27801	S118128171		WHITEHURST TRANSPORTATION	HIGHWAY 258		KINSTON	NC	
27801	1020990577		STOP-N-SHOP THE	#2 2704 WEST MOUNT DR		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001434029	0-000332	J O VICK	RT 3	**	ROCKY MOUNT	NC	UST
27801	U003145850	0-023131	MRS. GEORGE ELLEN	RT 3 BOX 135	**	ROCKY MOUNT	NC	UST
27801	1007724917	110018815576	MRS. GEORGE ELLEN	RT 3 BOX 135	**	ROCKY MOUNT	NC	FINDS
27801	S105912140	15548	BOBBITT RESIDENCE	ROUTE 3, BOX 175		TARBORO	NC	IMD
27801	U003563415	0-034117	M & S OIL STATION	3094 HIGHWAY 301		ROCKY MOUNT	NC	IMD, LUST, UST
27801	U001437763	0-020772	JR'S STEAK HOUSE, INC.	HIGHWAY 301 B		ROCKY MOUNT	NC	UST
27801	1007693592	110018501682	JR S STEAK HOUSE, INCORPORATED	HIGHWAY 301 B	**	ROCKY MOUNT	NC	FINDS
27801	1007703494	110018600860	TOM BAILEY MOTORS INCORPORATED	HIGHWAY 301 BYPASS SOUTH	**	ROCKY MOUNT	NC	FINDS
27801	1020896905		BY-PASS WRECKER SERVICE	HIGHWAY 301 N	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1016058569	110007376473	HOSPIRA, INC.	HIGHWAY 301 NORTH		ROCKY MOUNT	NC	FINDS
27801	1007704844	110018614383	AMERICAN BAKERIES CO.	HIGHWAY 301 NORTH	**	ROCKY MOUNT	NC	FINDS
27801	U003562803	0-020112	CBC - ROCKY MOUNT STORE	HIGHWAY 301 NORTH	**	ROCKY MOUNT	NC	UST
27801	1007723345	110018799852	BILL ROWE OLDS NISSAN INCORPORATE	HIGHWAY 301 NORTH	**	ROCKY MOUNT	NC	FINDS
27801	1007727676	110018843215	SCHLAGE LOCK CO	HIGHWAY 301 NORTH PO BOX 552	**	ROCKY MOUNT	NC	FINDS
27801	U001437818	0-020934	COBLE DAIRY PRODUCTS, INC.	HIGHWAY 301 SOUTH	**	ROCKY MOUNT	NC	UST
27801	1007701413	110018580043	BONE INTERNATIONAL	HIGHWAY 301 SOUTH	**	ROCKY MOUNT	NC	FINDS
27801	1012120418	110039000363	NC WESLEYAN COLLEGE	HIGHWAY 301 WEST	**	ROCKY MOUNT	NC	FINDS
27801	1012119237	110039008105	SCHLAGE LOCK COMPANY	HIGHWAY 301 WEST	**	ROCKY MOUNT	NC	FINDS
27801	1021977477		GEORGE & JONES SERVICE STATION	HWY 301	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021801632		BONES 301 GULF	HWY 301 A S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021704819		BONES 301 GULF	HWY 301 A S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021575157		BURGESS ERNEST C	HWY 301 BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021037548		M & S OIL CO INC	HWY 301 BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020380040		WILLIAMS AMERICAN SERVICE STN	HWY 301 BY PASS NORTH	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021412521		STRICKS TRUCK STOP SV STN*	HWY 301 BY PASS S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020465774		STRICKS TRUCK STOP SV STN*	HWY 301 BY PASS S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020544660		AMOCO SERVICE STOP	HWY 301 BY PASS SOUTH	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021768697		AMOCO SERVICE STOP	HWY 301 BY PASS SOUTH	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022115719		STRICKS TRUCK STOP SV STN*	HWY 301 BY-PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022173619		COBB JEFF TEXACO	HWY 301 BY-PASS N	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021741489		COBB JEFF TEXACO	HWY 301 BY-PASS N	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021699016		STRICKS TRUCK STOP SV STN*	HWY 301 BY-PASS S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1000170058	NCD042891663	MITCHELL ENGR CO	HWY 301 BYP		ROCKY MOUNT	NC	CERCLIS-NFRAP, ICIS, RCRA-NonGen
27801	1015735192	NCD990733180	ABBOTT LABS	HWY 301 N		ROCKY MOUNT	NC	CERCLIS-NFRAP, RCRAInfo-LQG
27801	1000276146	NCD065300519	SCHLAGE LOCK CO	HWY 301 N		ROCKY MOUNT	NC	HSDS, CORRACTS, CERCLIS-NFRAP, UIC, RCRA-CESQG, RCRAInfo-TSDF
27801	1021312838		JOHNSON HOWARD SHELL SV STN	HWY 301 N	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022029203		BRYANS AUTO-TRUCK SERVICE	HWY 301 N	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001438284	0-022683	SERVICE AMERICA CORP.	HWY 301 N BY-PASS		ROCKY MOUNT	NC	UST
27801	1020783730		WILLIAMS AMERICAN SERVICE STN	HWY 301 N BY-PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001437707	0-020565	MOORE'S BLDG. SUPPLY 297	HWY 301 N.		ROCKY MOUNT	NC	UST
27801	U001434117	0-000677	BILL ROWE OLDS NISSAN INC	HWY 301 NORTH		ROCKY MOUNT	NC	UST
27801	U003562924	0-022336	AMERICAN BAKERIES CO.	HWY 301 NORTH		ROCKY MOUNT	NC	UST
27801	1021146234		BY PASS EXXON	HWY 301 NORTH	**	ROCKY MOUNT	NC	EDR Historical Auto

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ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
27801	1022144985		BROWNS GIFTS INC	HWY 301 S	**	ROCKY MOUNT	NC	Stations
27801	1020351296		ERNIES TRUCK STOP	HWY 301 S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001438260	0-022635	BONE INTERNATIONAL	HWY 301 S	**	ROCKY MOUNT	NC	UST
27801	1020660085		STRICKS TRUCK STOP SERVICE STN	HWY 301 S BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022189186		ROWES TEXACO	HWY 301 SOUTH BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001438311	0-023019	TOM BAILEY MOTORS INC.	HWY. 301 BYPASS S	**	ROCKY MOUNT	NC	UST
27801	1007703142	110018597339	PHILLIPS 66 CO #011810	US 301 BYPASS	**	ROCKY MOUNT	NC	FINDS
27801	U001438131	0-022271	PHILLIPS 66 CO #011810	US 301 BYPASS	**	ROCKY MOUNT	NC	UST
27801	U003145477	0-020501	MOORE'S TAVERN	US 301 S 2321 WESLYAN BLVD	**	ROCKY MOUNT	NC	UST
27801	U003008327	0-022552	ROCKY MOUNT WELDING SUPPLY	US 301 SOUTH 1917 S. WESLEYAN BV	**	ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007696367	110018529528	ROCKY MOUNT WELDING SUPPLY	US 301 SOUTH 1917 SOUTH WESLEYAN E	**	ROCKY MOUNT	NC	FINDS
27801	1007718328	110018749498	MOORE S TAVERN	US 301 SOUTH 2321 WESLYAN BOULEVAI	**	ROCKY MOUNT	NC	FINDS
27801	U003136375	0-016519	GEORGE K. TAYLOR STORE	ROUTE 4	**	ROCKY MOUNT	NC	UST
27801	U003136207	0-015924	ROY TAYLOR	ROUTE 4, BOX 134	**	ROCKY MOUNT	NC	UST
27801	1007725010	110018816511	ROY TAYLOR	ROUTE 4, BOX 134	**	ROCKY MOUNT	NC	FINDS
27801	U003136380	0-016528	EARL GAY'S GROCERY	ROUTE 4, BOX 179 OLD WILSON RD	**	ROCKY MOUNT	NC	UST
27801	1007724305	110018809440	EARL GAY S GROCERY	ROUTE 4, BOX 179 OLD WILSON ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1007717938	1100187445562	MOORES CASH GROCERY	ROUTE 4, BOX 439	**	ROCKY MOUNT	NC	FINDS
27801	1021330474		ELMERS GULF	995 HWY 43	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020185009		HIGH LEVEL GROCERY	HWY 43	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020438311		PATES SERVICE STATION	HWY 43	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021879892		WELLS GENERAL MERCHANDISE	HWY 43 NORTH	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021937785		TAYLORS GROCERY	HWY 43 PINETOPS HIGHWAY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020783433		TAYLORS GROCERY	HWY 43 PINETOPS HIGHWAY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022165440		TAYLORS GROCERY	HWY 43 PINETOPS HWY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020486556		BONE ALVIN P	HWY 43 S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020602842		BONE ALVIN P	HWY 43 S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020141596		MOORES CASH GROCERY & SERVICE	HWY 43 S PINETOPS RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1019937627		BENEVENUE CLEANERS	HWY 43 W	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	U001437566	0-020136	BRUCE RADFORD	N.C. 43 & S.R. 1607	**	ROCKY MOUNT	NC	UST
27801	1007717488	110018741058	BRUCE RADFORD	NC 43 & STATE ROAD 1607	**	ROCKY MOUNT	NC	FINDS
27801	1021607894		BULLOCKS SERVICE STATION	HWY 431	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020208303		BULLOCKS SERVICE STATION	HWY 431	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007726627	110018832673	SPEIGHT S GROCERY	HIGHWAY 44 EAST	**	WHITAKERS	NC	FINDS
27801	U003562613	0-015132	SPEIGHT'S GROCERY	HIGHWAY 44 EAST	**	WHITAKERS	NC	UST
27801	1007698778	110018553652	OAK LEVEL GROCERY	ROUTE 5, BOX 148	**	ROCKY MOUNT	NC	FINDS
27801	U003137236	0-020390	OAK LEVEL GROCERY	ROUTE 5, BOX 148	**	ROCKY MOUNT	NC	UST
27801	U001438499	0-024644	STOP & SAVE GROCERY	ROUTE 5, BOX 152-A	**	ROCKY MOUNT	NC	UST
27801	1007704961	110018615541	STOP AND SAVE GROCERY	ROUTE 5, BOX 152-A	**	ROCKY MOUNT	NC	FINDS
27801	U003137238	0-020396	DANIELS POULTRY FARM	ROUTE 5, BOX 162	**	ROCKY MOUNT	NC	UST
27801	1007698798	110018553858	DANIELS POULTRY FARM	ROUTE 5, BOX 162	**	ROCKY MOUNT	NC	FINDS
27801	U003137265	0-020592	VIOLA CUMMINGS	RT 6 BOX 197	**	ROCKY MOUNT	NC	UST
27801	1007722958	110018795981	VIOLA CUMMINGS	RT 6 BOX 197	**	ROCKY MOUNT	NC	FINDS
27801	1016660885	110006070839	UNITED PARCEL SERVICE	RT 6 BOX 44 INSTRUMENT DR	**	ROCKY MOUNT	NC	FINDS
27801	1004746097	NCD986194645	UNITED PARCEL SERVICE	RT 6 BOX 44 INSTRUMENT DR	**	ROCKY MOUNT	NC	RCRA-CESQG
27801	1007703114	110018597062	KINGSDOWN. INCORPORATED	ROUTE 6, BOX 35	**	ROCKY MOUNT	NC	FINDS
27801	U003144775	0-015836	KINGSDOWN, INC.	ROUTE 6, BOX 35	**	ROCKY MOUNT	NC	UST
27801	U000817197	0-016527	FUEL DOC 3	14443 US 64 ALT WEST	**	ROCKY MOUNT	NC	UST
27801	U001199072	0-020013	RED'S PLACE	HIGHWAY 64 (TARBORO HIGHWAY)	**	ROCKY MOUNT	NC	UST
27801	1007717909	110018745223	RED S PLACE	HIGHWAY 64 (TARBORO HIGHWAY)	**	ROCKY MOUNT	NC	FINDS
27801	S121974033		ROADMARK CORPORATION SPILL	HIGHWAY 64 E @ MM 477	**	ROCKY MOUNT	NC	
27801	1021002045		WHITEHURST GROCERY	HWY 64	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021141893		MANNING LINWOOD W	HWY 64 E	**	ROCKY MOUNT	NC	EDR Historical Auto

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ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
27801	1022021087		WHITEHURST GROCERY	HWY 64 E	**	ROCKY MOUNT	NC	Stations EDR Historical Auto
27801	1021270338		BULLOCKS SERVICE STATION	HWY 64 W	**	ROCKY MOUNT	NC	Stations EDR Historical Auto
27801	1021925011		WESTRYS TAKE OUT	HWY 64 WEST	**	ROCKY MOUNT	NC	Stations EDR Historical Auto
27801	U003134429	0-006752	R & R GROCERY	ROUTE 7 / S.R. 1146	**	ROCKY MOUNT	NC	UST
27801	1007700645	110018572356	R AND R GROCERY	ROUTE 7 / STATE ROAD 1146	**	ROCKY MOUNT	NC	FINDS
27801	U003133992	0-000089	FAMILY GRO	RT 7 BOX 158	**	ROCKY MOUNT	NC	UST
27801	1007706957	110018635529	FAMILY GRO	RT 7 BOX 158	**	ROCKY MOUNT	NC	FINDS
27801	1007722875	110018795160	JAMES TAYLOR S STORE	ROUTE 7, BOX 271	**	ROCKY MOUNT	NC	FINDS
27801	U003134412	0-006349	JAMES TAYLOR'S STORE	ROUTE 7, BOX 271	**	ROCKY MOUNT	NC	UST
27801	U004115146	0-016525	THE BRIDGE GROCERY & GRILL	11199 NC 97 WEST	**	ROCKY MOUNT	NC	UST
27801	S117916148		CLARK PIT #2	11855 HWY 97 W	**	ROCKY MOUNT	NC	NPDES
27801	1015922560	110044960147	CLARK PIT #2	11855 HWY 97 W	**	ROCKY MOUNT	NC	FINDS
27801	1017382687	110062690958	ADAMS PRODUCTS COMPANY - ROCKY M	12446 NC 97 WEST	**	ROCKY MOUNT	NC	FINDS
27801	1004548462	110010349113	CITY OF ROCKY MOUNT HWY 97 LIFT ST,	HIGHWAY 97 EAST	**	ROCKY MOUNT	NC	FINDS
27801	U003562649	0-015902	REGIONAL WASTEWATER TREATMENT P	HIGHWAY 97 EAST	**	ROCKY MOUNT	NC	UST
27801	U003562511	0-012986	NELLO L.TEER CO, RKY MT QUARRY	HIGHWAY 97 EAST	**	ROCKY MOUNT	NC	UST
27801	U001195736	0-015230	BROWN OIL CO (BULK PLANT)	HIGHWAY 97 EAST-COOLSPRING RD	**	ROCKY MOUNT	NC	UST
27801	1007726515	110018831549	BROWN OIL CO (BULK PLANT)	HIGHWAY 97 EAST-COOLSPRING ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1011578409	110010624100	FARMINGTON HILLS WATER SYS	HIGHWAY 97 NEAR SR 1006	**	ROCKY MOUNT	NC	FINDS
27801	1007718416	110018750378	LOGWOOD CABIN STORE	HIGHWAY 97 WEST	**	ROCKY MOUNT	NC	FINDS
27801	1004744360	NC0000359943	CITY OF ROCKY MOUNT TAR RIVER WWT	HWY 97 EAST	**	ROCKY MOUNT	NC	RCRA-CESQG
27801	U001437696	0-020540	LOGWOOD CABIN STORE	HWY 97 W,	**	ROCKY MOUNT	NC	UST
27801	1020237055		LANGWOOD CONVENIENT MART	HWY 97 WEST	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001438275	0-022652	J.P.TAYLOR TABACCO COMPANY	HWY 97 WEST	**	ROCKY MOUNT	NC	UST
27801	U003144735	0-015603	TYI VOR	N.C. 97	**	ROCKY MOUNT	NC	UST
27801	1004549514		HANSON AGGREGATES CAROLINA, LLC -	N.C. 97 EAST	**	ROCKY MOUNT	NC	ICIS
27801	S121514996		HANSON AGGREGATES CAROLINA, LLC -	N.C. 97 EAST	**	ROCKY MOUNT	NC	ICIS
27801	1007726098	110018827386	TYI VOR	NC 97	**	ROCKY MOUNT	NC	FINDS
27801	S106022374	16288	BARNHILL CONSTRUCTION	EAST 97TH STREET (HW 97)	**	ROCKY MOUNT	NC	IMD
27801	1024918527		ROCKY MOUNT QUARRY	10471 NC 97W	**	ROCKY MOUNT	NC	
27801	1022230233		WILLIAMS RUFUS PAUL	<	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022241627		SPRINKLE SERVICE STATION	<	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022235550		WILLIAMS RUFUS PAUL	<	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020687733		ZIP MARTS INC	ADDRESS UNKNOWN	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1011516330	110010621988	MIDLAKE MOBILE HOME TERRACE #1 WA	NO ADDRESS AVAILABLE	**	ROCKY MOUNT	NC	ICIS, FINDS
27801	97417658			500 AIRPORT RD	**	ROCKY MOUNT	NC	ERNS
27801	1012119611	110039008043	TIETEX INTERIORS INACTIVE	500 AIRPORT ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1004550196	NCD986172047	CITY OF ROCKY MOUNT	628 ALBEMARLE AVE	**	ROCKY MOUNT	NC	PADS
27801	U001196189	0-015901	PARKS DIVISION	726 ALBEMARLE AVE. (L & M BLDG)	**	ROCKY MOUNT	NC	UST
27801	1007703042	110018596330	PARKS DIVISION	726 ALBEMARLE AVENUE (L & M BLDG)	**	ROCKY MOUNT	NC	FINDS
27801	A100186988	33017	LIGGETT & MYERS TOBACCO CO.	724 ALBERMARLE AVE.	**	ROCKY MOUNT	NC	AST
27801	1018149832		ROCKY MOUNT EVENT CENTER	ALBERMARLE AND IVY STREET	**	ROCKY MOUNT	NC	US BROWNFIELDS
27801	1023385462	110066849227	ROCKY MOUNT EVENT CENTER	ALBERMARLE AND IVY STREET	**	ROCKY MOUNT	NC	FINDS
27801	U001437643	0-020370	BASS OIL CO. OF MOMMEYER, INC.	ALTERNATE ROUTE 64	**	ROCKY MOUNT	NC	UST
27801	1007718090	110018747114	BASS OIL CO. OF MOMMEYER, INCORPOR	ALTERNATE ROUTE 64	**	ROCKY MOUNT	NC	FINDS
27801	1007700204	110018567950	PREMIER FORD	64 AND 301 BYPASS	**	ROCKY MOUNT	NC	FINDS
27801	1000299573	NCD981756646	PREMIER FORD	64 AND 301 BYPASS	**	ROCKY MOUNT	NC	RCRA-CESQG, UST
27801	U001438119	0-022250	COASTAL DEVELOPMENT	414 ANDERSON ST	**	ROCKY MOUNT	NC	UST
27801	1007702717	110018593084	COASTAL DEVELOPMENT	414 ANDERSON STREET	**	ROCKY MOUNT	NC	FINDS
27801	A100186972	33001	YELVERTON COAL & OIL CO. INC.	1025 ARLINGTON ST.	**	ROCKY MOUNT	NC	AST
27801	S108966467		TRUTH TABERNACLE MINISTRIES	704 ARLINGTON STREET	**	ROCKY MOUNT	NC	LUST TRUST, INST CONTROL, LUST
27801	1007707848	110018644430	NC HIDE AND FUR CO INCORPORATED Y,	301 SOUTH AT LITTLE MEXICO	**	ROCKY MOUNT	NC	FINDS
27801	1000534700	NCD986169696	NC HIDE & FUR CO INC YARD 2	301 SOUTH AT LITTLE MEXICO	**	ROCKY MOUNT	NC	RCRA-CESQG, UST
27801	S122371825		PHILLIPS 66 COMPANY	1245 ATLANTIC AVE	**	ROCKY MOUNT	NC	UIC
27801	U003369568	0-020007	PANTRY 4026 DBA SHARIF'S SMRKT	111 ATLANTIC AVE.	**	ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007698934	110018555231	PANTRY #4026 DBA SHARIF S SMR	111 ATLANTIC AVENUE	**	ROCKY MOUNT	NC	FINDS
27801	U001196058	0-015724	FORMERLY: SE&M CONSTRUCTORS	110 ATLANTIC AVE	**	ROCKY MOUNT	NC	UST
27801	1007726060	110018827019	SE&M CONSTRUCTORS	110 ATLANTIC AVENUE	**	ROCKY MOUNT	NC	FINDS
27801	1000269466	110057251833	TELEPATHIC GRAPHICS, INC	1131 ATLANTIC AVE	**	ROCKY MOUNT	NC	RCRA-NonGen, FINDS
27801	U001195701	0-015174	VACANT	1141 ATLANTIC AVE.	**	ROCKY MOUNT	NC	UST
27801	1007703232	110018598249	VACANT	1141 ATLANTIC AVENUE	**	ROCKY MOUNT	NC	FINDS

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27801	1016639118	110007664571	PENSKE TRUCK LEASING CO LP	1152 ATLANTIC AVE		ROCKY MOUNT	NC	FINDS
27801	1020925825		P & D FOOD MART	1240 ATLANTIC AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1015735120	NCD041466525	AMERICAN FIBERS & YARNS CO	1245 ATLANTIC AVE		ROCKY MOUNT	NC	CERCLIS-NFRAP, RCRA-NonGen
27801	1020553361		AMOCO FABRICS & FIBERS CO	1245 ATLANTIC AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1016099059	110018729982	AMERICAN FIBERS AND YARNS	1245 ATLANTIC AVE EXT		ROCKY MOUNT	NC	ICIS, FINDS
27801	1024115586		AMERICAN FIBERS AND YARNS	1245 ATLANTIC AVE EXT		ROCKY MOUNT	NC	
27801	1018158123	27801MCFBRAT	SEPRO DISTRIBUTION CENTER	1259 ATLANTIC AVE		ROCKY MOUNT	NC	RCRA-CESQG, TRIS
27801	1016707876	110056965324	SEPRO DISTRIBUTION CENTER	1259 ATLANTIC AVENUE		ROCKY MOUNT	NC	FINDS
27801	1016951115		SEPRO CORPORATION - DISTRIBUTION C	1259 ATLANTIC AVENUE		ROCKY MOUNT	NC	TSCA
27801	S122371826		PHILLIPS FIBERS (FORMER)	1301 ATLANTIC AVE		ROCKY MOUNT	NC	UIC
27801	1000832090	NCD986228971	BARCA LOUNGER COMPANY	1450 ATLANTIC AVE		ROCKY MOUNT	NC	RCRA-CESQG
27801	1016636971	110004049333	BARCA LOUNGER COMPANY	1450 ATLANTIC AVE		ROCKY MOUNT	NC	FINDS
27801	U001186113	0-000070	BARCALOUNGER COMPANY	1450 ATLANTIC AVENUE		ROCKY MOUNT	NC	UST
27801	U003295528	0-033047	HUNTER-ODOM FUNERAL SERVICE, INC	240 ATLANTIC AVENUE		ROCKY MOUNT	NC	LUST, UST
27801	1023619986	110070069062	HUNTER-ODOM FUNERAL HOME	240 ATLANTIC AVENUE		ROCKY MOUNT	NC	US BROWNFIELDS, FINDS
27801	1007709436	110018660313	HUNTER-ODOM FUNERAL SERVICE.	240 ATLANTIC AVENUE		ROCKY MOUNT	NC	FINDS
27801	1007722519	110018791583	ATLANTIC AVENUE AMOCO	257 ATLANTIC AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001196995	0-016997	ATLANTIC AVENUE AMOCO	257 ATLANTIC AVENUE		ROCKY MOUNT	NC	LUST TRUST, INST CONTROL, LUST, UST
27801	1018304877		AMOCO FABRICS & FIBERS SITE	ATLANTIC AVE EXTENSION		ROCKY MOUNT	NC	ICIS
27801	U001196388	0-016162	PHILLIPS FIBERS CORP.	NORTH ATLANTIC AVENUE EXTENSION		ROCKY MOUNT	NC	IMD, UST
27801	1007717726	110018743430	THE PANTRY #4020 DBA EXPRESSM	1627 BARNES STREET		ROCKY MOUNT	NC	FINDS
27801	S102443296	16583	GNS EXPRESS MART	1637 BARNES ST		ROCKY MOUNT	NC	IMD, SHWS, LUST
27801	1000355165	NCD982166282	MOORE'S BODY SHOP	106 E BASSETT ST		ROCKY MOUNT	NC	RCRA-CESQG
27801	1016619424	110004037337	MOORE'S BODY SHOP	106 E BASSETT ST		ROCKY MOUNT	NC	FINDS
27801	U001187530	0-002287	HERMAN L & WILLY L PITTMAN	1545 BELLVIEW RD	**	ROCKY MOUNT	NC	UST
27801	1007710117	110018667138	HERMAN L AND WILLY L PITTMAN	1545 BELLVIEW ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1020523739		PATES SERVICE STATION	10 BENEVENUE RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020021582		KORETIZING ONE HR CLRS & LDYR	BENEVENUE RD	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	U003137695	0-022641	PANTRY 4022 DBA HARRIS FMART	934 BENUENUE ROAD		ROCKY MOUNT	NC	UST
27801	1007725059	110018816995	PANTRY #4022 DBA HARRIS FMART	934 BENUENUE ROAD	**	ROCKY MOUNT	NC	FINDS
27801	U004158490		TURNER MINI MART	1029 BENVENUE ROAD		ROCKY MOUNT	NC	LUST, UST
27801	S125089185		QUALITY CLEANERS & LAUNDRY	1342 BENVENUE RD		ROCKY MOUNT	NC	DRYCLEANERS
27801	1016626039	110007662975	QUALITY LAUNDRY & CLEANERS INC	342 BENVENUE RD	**	ROCKY MOUNT	NC	FINDS
27801	1000286945	NCD981858822	QUALITY LAUNDRY & CLEANERS INC	342 BENVENUE RD		ROCKY MOUNT	NC	RCRA-NonGen
27801	1007696111	110018526969	SHEHADEHS SUPER MARKET	100 BETHLEHEM ROAD	**	ROCKY MOUNT	NC	FINDS
27801	U003145736	0-022378	SHEHADEHS SUPER MARKET	100 BETHLEHEM ROAD		ROCKY MOUNT	NC	UST
27801	U001439482	0-031247	SPEEDWAY #8665	1212 BETHLEHEM ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1007706979	110018635743	WINOCO #208	1212 BETHLEHEM ROAD		ROCKY MOUNT	NC	FINDS
27801	S111826139		SE MAIN ST UST	100 BLOCK SE MAIN ST		ROCKY MOUNT	NC	INST CONTROL, LUST
27801	U001437674	0-020448	PEOPLES BANK PARK	200 BLOCK OF WESTERN AVE.		ROCKY MOUNT	NC	UST
27801	1007718426	110018750485	PEOPLES BANK PARK	200 BLOCK OF WESTERN AVENUE	**	ROCKY MOUNT	NC	FINDS
27801	1007707450	110018640443	TEXFI INDUSTRIES INCORPORATED	BOSCH BOULEVARD	**	ROCKY MOUNT	NC	FINDS
27801	1021758410		PATES SERVICE STATION	BOX 10 BENEVENUE RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001438451	0-024328	NC FOREST SERVICE	BOX 249 AIR PORT RD		ROCKY MOUNT	NC	UST
27801	1007718531	110018751545	WIGGINS LAKE STORE	BOX 4, WIGGINS LAKE		ROCKY MOUNT	NC	FINDS
27801	U003136415	0-016622	WIGGINS LAKE STORE	BOX 4, WIGGINS LAKE	**	ROCKY MOUNT	NC	UST
27801	1026622409		NEW SOUTHERN OF ROCKY MOUNT	P.O. BOX 109	**	ROCKY MOUNT	NC	PRP
27801	U001438047	0-022130	ADAMS PRODUCTS CO.	P.O. BOX 2385 / HIGHWAY 97 EAST	**	ROCKY MOUNT	NC	UST
27801	U003144889	0-016497	INCO, INC.	P.O. BOX 2705 ATLANTIC AVE. EXT.	**	ROCKY MOUNT	NC	UST
27801	U003137231	0-020349	WILLIAMS-LAMM	P.O. BOX 6175	**	ROCKY MOUNT	NC	UST
27801	1007717991	110018746133	WILLIAMS-LAMM	P.O. BOX 6175	**	ROCKY MOUNT	NC	FINDS
27801	1026633347		ROCKY MOUNT RECYCLERS	P.O. BOX 7186	**	ROCKY MOUNT	NC	PRP
27801	U003145715	0-022251	DODD DISTRIBUTING CO INC	P.O. BOX 748 1548 VANCE ST		ROCKY MOUNT	NC	UST
27801	1007695508	110018520901	DODD DISTRIBUTING CO INCORPORATEI	P.O. BOX 748 1548 VANCE STREET		ROCKY MOUNT	NC	FINDS
27801	A100186992	33021	CSX TRANS. ROCKY MOUNT FAC.	PO BOX 2508	**	ROCKY MOUNT	NC	AST
27801	A100187207	42009	NASH BRICK CO	PO BOX 962	**	ROCKY MOUNT	NC	AST
27801	1011998033		CROP PRODUCTION SVCS	1160 BRAKE RD	**	ROCKY MOUNT	NC	SSTS
27801	1016660845	110038233382	CROP PRODUCTION SERVICE	1160 BRAKE RD		ROCKY MOUNT	NC	FINDS
27801	1011836125		ROCKY MOUNT, NC 247	1160 BRAKE ROAD		ROCKY MOUNT	NC	RMP
27801	1026158274		NUTRIEN AG SOLUTIONS 247	1160 BRAKE ROAD	**	ROCKY MOUNT	NC	SSTS
27801	1004747432	NCS000000252	ROYSTER CLARK INC	3330 BRAKE RD	**	ROCKY MOUNT	NC	RCRA-NonGen
27801	1012052871		ROYSTER-CLARK, INC 1308	3330 BRAKE RD	**	ROCKY MOUNT	NC	SSTS
27801	1010569302		CROP PRODUCTION SERVICES	3330 BRAKE RD	**	ROCKY MOUNT	NC	SSTS
27801	1007717370	110018739864	LEBANON AGRICORP. LOC 33	3330 BRAKE RD/P.O. BOX 271		ROCKY MOUNT	NC	FINDS
27801	1012042438		ROYSTER - CLARK ROCKY MOUNT	3330 BRAKE ROAD		ROCKY MOUNT	NC	RMP
27801	1004549083	NCD040037061	KAISER AGRICULTURAL CHEMICALS	1009 BRANCH ST		ROCKY MOUNT	NC	RCRA-NonGen

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27801	1016610670	110001477269	KAISER AGRI CHEMICAL	1009 BRANCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003142616	0-001408	RONNIE H WILKINS	117 BRASWELL LANE		ROCKY MOUNT	NC	UST
27801	1007708617	110018652135	RONNIE H WILKINS	117 BRASWELL LANE		ROCKY MOUNT	NC	FINDS
27801	1016453855	110057073884	COUNTRY BOYZ	1005 BROWNVIEW DR		ROCKY MOUNT	NC	RCRA-NonGen, FINDS
27801	U001196468	0-016267	BULLLUCK ELEMENTARY SCHOOL	3090 BULLOCK SCHOOL RD		ROCKY MOUNT	NC	UST
27801	S113813422		SOUTHERN STATES SPILL	5299 BULLUCK SCHOOL ROAD		ROCKY MOUNT	NC	
27801	1007705488	110018620820	TURNER S MINI MART #3	1029 BVENUE ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1021037497		GEORGE & JONES SERVICE STATION	301 BYPASS S	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003145786	0-022726	THOMAS MOORE DECEASED	1124 CALVARY ST		ROCKY MOUNT	NC	UST
27801	1007696637	110018532248	THOMAS MOORE DECEASED	1124 CALVARY STREET		ROCKY MOUNT	NC	FINDS
27801	1021271791		SAVE A TON	1001 N CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003137264	0-020590	CHURCH ST CONV MARKET INC	1001 N CHURCH STREET		ROCKY MOUNT	NC	LUST, UST
27801	1007693673	110018502501	CIRCLE K #2705354	1001 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003146210	0-025612	FRIENDLY FOOD MART	1002 N. CHURCH ST.		ROCKY MOUNT	NC	LUST TRUST, IMD, LUST, UST
27801	1007701451	110018580436	FRIENDLY FOOD MART	1002 NORTH CHURCH ST.		ROCKY MOUNT	NC	FINDS
27801	1018474469		PITT OPERATING COMPANY INC	1016 SOUTH CHURCH ST		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	U003137524	0-021751	FRESH WAY 7	1227 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	1007694589	110018511706	FRESH WAY #7	1227 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1021271792		STALLINGS OIL CO	1228 N CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007725037	110018816780	THE PANTRY #3080 DBA ZIP MAR	1228 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003142422	0-000159	FAST FOOD MANUFACTURING INC	1233 NORTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	U003137240	0-020447	GENERAL SERVICES DEPT	1439 S. CHURCH ST.		ROCKY MOUNT	NC	UST
27801	1007698854	110018554410	GENERAL SERVICES DEPARTMENT	1439 SOUTH CHURCH ST.		ROCKY MOUNT	NC	FINDS
27801	1021590683		SOUTH CHURCH MOBILE SERVICE	1445 S CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020135526		BOONES ESSO STATION	150 N CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003145420	0-020102	WHITEHURST EXXON SERVICE	150 NORTH CHURCH STREET		ROCKY MOUNT	NC	INST CONTROL, IMD, LUST, UST
27801	1007717060	110018736769	WHITEHURST EXXON SERVICE	150 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1020257000		ROWES GULF SERVICE	1545 S CHURCH STREET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003137232	0-020354	LEE'S GULF	1545 SOUTH CHURCH STREET		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007718005	110018746277	LEE S GULF	1545 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1007703369	110018599612	BASS ELECTRIC COMPANY, INCORPORA	1548 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003137667	0-022531	BASS ELECTRIC COMPANY, INC.	1548 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	U003137227	0-020339	COMER OIL CO.	1553 SOUTH CHURCH STREET		ROCKY MOUNT	NC	AST, IMD, LUST, UST
27801	1007717970	110018745900	COMER OIL CO.	1553 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003137276	0-020681	BARNES TIN SHOP	1741 N. CHURCH ST		ROCKY MOUNT	NC	UST
27801	1007718191	110018748131	BARNES TIN SHOP	1741 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1021531759		SOUTHERLANDS SUNOCO SV STN	201 N CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021241018		LINDYS GULF SERVICE	230 S CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003295273	0-020355	THE FIRST BAPT CH OF RKY MT NC	230 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	1011534357	110030893433	HOTEL SERVICE	230 SOUTH CHURCH STREET		ROCKY MOUNT	NC	ICIS, FINDS
27801	U001199765	0-021302	FIRESTONE STORE 0573/003069	231 S CHURCH ST		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007697907	110018544949	FIRESTONE STORE NUMBER 0573/003069	231 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	S113813255		EZ EXPRESS MART	2365 S CHURCH ST		ROCKY MOUNT	NC	LUST
27801	U004158481		SOUTH END SELF SERVE	2365 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	1007725143	110018817832	AA MART	2405 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003145849	0-023128	C.S. HENRY TRANSFER	2440 N. CHURCH STREET		ROCKY MOUNT	NC	LUST, UST
27801	U001434548	0-003471	SERVICE-SALES, INCORPORATED	2550 NORTH CHURCH STREET		ROCKY MOUNT	NC	LUST, UST
27801	1007722326	110018789649	SERVICE-SALES, INCORPORATED	2550 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1007695999	110018525835	FRANKLIN BAKING/SUNBEAM TERMI	2917 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003136074	0-015400	FRANKLIN BAKING/SUNBEAM TERMINAL	2917 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	1020718179		WILEYS MINI MART	2934 S CHURCH ST	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020554065		DOWNTOWN ATLANTIC SERVICE STN	301 S CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001199073	0-020014	MKW POWER SYSTEMS INC.	301 SOUTH CHURCH STREET NO.100		ROCKY MOUNT	NC	UST
27801	1007717919	110018745367	MKW POWER SYSTEMS INCORPORATED	301 SOUTH CHURCH STREET NO.100		ROCKY MOUNT	NC	FINDS
27801	U003137325	0-020896	FIRE STATION 4	3021 NORTH CHURCH STREET		ROCKY MOUNT	NC	IMD, LUST, UST
27801	U001438155	0-022377	RAY'S UNION 76 SERVICE STATION	331 N CHURCH ST		ROCKY MOUNT	NC	UST
27801	1007696107	110018526923	RAY S UNION 76 SERVICE STATIO	331 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1007703190	110018597810	M.C. NEW AND SON	3330 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003145737	0-022380	M.C. NEW AND SON	3330 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST

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27801	U003145473	0-020490	SOUTHERN STATES ROCKY MOUNT	3541 SOUTH CHURCH ST EXT		ROCKY MOUNT	NC	UST
27801	1007718304	110018749256	SOUTHERN STATES ROCKY MOUNT	3541 SOUTH CHURCH STREET EXTENSIC		ROCKY MOUNT	NC	FINDS
27801	1024080062	110061795062	NEW STANDARD CORPORATION	3883 S CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1023968245	NCR000169666	NEW STANDARD CORPORATION	3883 SOUTH CHURCH STREET		ROCKY MOUNT	NC	RCRA-CESQG
27801	1020237028		MARKS BROTHERS	400 S CHURCH STREET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020351295		HOTEL GULF SERVICE STATION	401 S CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003145453	0-020338	HOTEL BP	401 SOUTH CHURCH STREET		ROCKY MOUNT	NC	LUST, UST
27801	1007717969	110018745893	HOTEL BP	401 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1020609142		COASTAL TEXACO SERVICE STATION	421 S CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001558718	0-033600	ROCKY MOUNT YMCA	427 S CHURCH ST		ROCKY MOUNT	NC	UST
27801	1007725940	110018825805	ROCKY MOUNT YMCA	427 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003137742	0-023118	ROCKY MOUNT FEED & FARM SUPPLY	4361 S. CHURCH ST.		ROCKY MOUNT	NC	UST
27801	1007704249	110018608425	ROCKY MOUNT FEED AND FARM SUPPL	4361 SOUTH CHURCH ST.		ROCKY MOUNT	NC	FINDS
27801	1020718962		B & S GENERATOR & STARTER RP	441 SOUTH CHURCH STREET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021408091		SPRUILLS TEXACO STATION	534 N CHURCH STREET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003137618	0-022252	WILLIAMS FOODS	603 N. CHURCH ST		ROCKY MOUNT	NC	UST
27801	1007695510	110018520938	WILLIAMS FOODS	603 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1021630871		LANGLEYS CONVENIENT MART INC	621 N CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020610502		SOUTH END TEXACO	640 S CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001434383	0-002327	L & M FOOD STORES	640 S CHURCH STREET		ROCKY MOUNT	NC	UST
27801	1007702638	110018592245	L AND M FOOD STORES	640 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1007703186	110018597785	RALPH S TUNE-UP	649 SOUTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003137645	0-022379	RALPH'S TUNE-UP	649 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	1020725584		CHURCH STREET TEXACO	700 SOUTH CHURCH STREET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021089663		WOOD OIL CO	701 S CHURCH		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007699190	110018557765	WOOD OIL CO	701 SO CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U003142739	0-002225	WOOD OIL CO	701 SO CHURCH STREET		ROCKY MOUNT	NC	UST
27801	1004745455	NCD982122376	ORKIN PEST CONTROL CO INC	705 N CHURCH ST		ROCKY MOUNT	NC	RCRA-CESQG
27801	1016606350	110004033046	ORKIN PEST CONTROL CO INC	705 N CHURCH ST		ROCKY MOUNT	NC	FINDS
27801	U003137235	0-020363	DODSON BROS. EXTERMINATING CO.	807 SOUTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	U003137620	0-022254	NORTH CHURCH ST TIGA	822 N. CHURCH ST		ROCKY MOUNT	NC	UST
27801	1007695522	110018521045	NORTH CHURCH ST TIGA	822 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	1021015180		AMOCO SERVICE STOP	825 N CHURCH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U002040031	0-000786	DAVENPORT INVESTMENT CO	900 S CHURCH ST		ROCKY MOUNT	NC	LUST, UST
27801	1016626023	110004037275	DAVENPORT MOTOR CO	900 S CHURCH ST		ROCKY MOUNT	NC	FINDS
27801	1000208202	NCD982165870	DAVENPORT MOTOR CO	900 S CHURCH ST		ROCKY MOUNT	NC	IMD, RCRA-NonGen
27801	1007698279	110018548669	HAYNES, INCORPORATED	942-945 NORTH CHURCH STREET		ROCKY MOUNT	NC	FINDS
27801	U001437790	0-020861	HAYNES, INC.	942-945 NORTH CHURCH STREET		ROCKY MOUNT	NC	UST
27801	S125089199		ONE HOUR KORETIZING CLEANERS	CHURCH ST	**	ROCKY MOUNT	NC	DRYCLEANERS
27801	1007694450	110018510253	CONCRETE SERVICES ROCKY MOUNT	NORTH CHURCH STREET HIGHWAY 301 N	**	ROCKY MOUNT	NC	FINDS
27801	1004745076	NCD981858442	TULLOSS TRACTOR CO	S CHURCH EXIT	**	ROCKY MOUNT	NC	RCRA-CESQG
27801	1016637000	110007662957	TULLOSS TRACTOR CO	S CHURCH EXIT	**	ROCKY MOUNT	NC	FINDS
27801	1020319194		LANE & SONS MOBILE	309 CLIFTON RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007696303	110018528896	RICHARD A. LANE	309 CLIFTON ROAD		ROCKY MOUNT	NC	FINDS
27801	U003137664	0-022520	RICHARD A. LANE	309 CLIFTON ROAD		ROCKY MOUNT	NC	UST
27801	1016667586	110004059045	ROCKY MT TRAIN STATION	100 COAST LINE ST		ROCKY MOUNT	NC	FINDS
27801	1001485490	NCR000010868	ROCKY MT TRAIN STATION	100 COAST LINE ST		ROCKY MOUNT	NC	RCRA-CESQG
27801	U001437697	0-020544	MACHINE & WELDING SUPPLY CO	105 COECO CIRCLE		ROCKY MOUNT	NC	UST
27801	1007725652	110018822915	MACHINE AND WELDING SUPPLY CO	105 COECO CIRCLE		ROCKY MOUNT	NC	FINDS
27801	A100186973	33002	PLANTERS OIL MILL INC.	1004 COKEY RD. PO DRAWER 2507		ROCKY MOUNT	NC	AST
27801	1012101833		PLANTERS OIL MILL	1004 COKEY ROAD		ROCKY MOUNT	NC	US BROWNFIELDS
27801	U004190425		FORMER PLANTERS OIL MILL	1004 COKEY ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1016612847	110038716459	PLANTERS OIL MILL	1004 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	1007702667	110018592593	WATER BROTHERS CONTRACTORS, I	1017 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	U003136281	0-016119	WATER BROTHERS CONTRACTORS, INC.	1017 COKEY ROAD		ROCKY MOUNT	NC	UST
27801	1020775018		PROCTORS UNION 76	1100 COKEY RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022217794		DAUGHTRIDGE ENTERPRISES INC	1108 COKEY RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021460344		DAUGHTRIDGE ENTERPRISES INC	1116 COKEY RD		ROCKY MOUNT	NC	EDR Historical Auto Stations

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ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
27801	U003202387	0-016524	FUEL DOC 2	1116 COKEY ROAD		ROCKY MOUNT	NC	Stations DRYCLEANERS, IMD, LUST, UST
27801	1007702108	110018587019	FUEL DOC #2	1116 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	1000533836	0-032333	PLANTERS OIL MILL	1145 COKEY ROAD		ROCKY MOUNT	NC	UST
27801	1007708308	110018649033	PLANTERS OIL MILL	1145 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	U003134110	0-001519	TRAFFIC CONTROL SERVICES, INC.	1304 A COKEY RD		ROCKY MOUNT	NC	UST
27801	1007708339	110018649346	TRAFFIC CONTROL SERVICES, INCORPO	1304 A COKEY ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1021337201		HILL DAVID SUPER MARKET	1308 COKEY RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020492084		HOLLOMANS SUPER MARKET	1316 COKEY RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003136379	0-016526	HOLLOMANS INS	1316 COKEY ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1007718745	110018753687	HOLLOMANS INS	1316 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	1020726578		JUSTICE DALTON GROCERY	1320 COKEY ROAD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020468416		JUSTICE DALTON GROCERY	1408 COKEY ROAD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007717674	110018742912	MRS. BETTY LEWIS	2400 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	U003135383	0-012944	MRS. BETTY LEWIS	2400 COKEY ROAD		ROCKY MOUNT	NC	UST
27801	S110493034		MURDOCK PROPERTY (PINKNEY)	431 COKEY ROAD		ROCKY MOUNT	NC	LUST TRUST, LUST
27801	U001195718	0-015206	THE HOUSE OF PRAYER	612 COKEY RD		ROCKY MOUNT	NC	LUST, UST
27801	1007696453	110018530393	THE HOUSE OF PRAYER	612 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	1007708210	110018648061	SOUTHERN MATTRESS CO	621 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	U001187383	0-002068	SOUTHERN MATTRESS CO	621 COKEY ROAD		ROCKY MOUNT	NC	UST
27801	1020717397		ROSES SERVICE STATION	821 E/S COKEY RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003136016	0-015111	ROSE'S MOBIL SERVICE STATION	825 COKEY ROAD		ROCKY MOUNT	NC	IMD, UST
27801	1007726651	110018832913	ROSE S MOBIL SERVICE STATION	825 COKEY ROAD		ROCKY MOUNT	NC	FINDS
27801	1021437858		ROSES MOBIL SERVICE STATION	825 COKEY ROAD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	S112223123		COKEY ROAD UST SITE	929 COKEY ROAD		ROCKY MOUNT	NC	LUST
27801	1020775327		PROCTOR ROBERT F	COKEY RD EXTN	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001199068	0-020008	EXPRESSWAY #9 CLOSED/SOLD	COKEY ROAD	**	ROCKY MOUNT	NC	UST
27801	1007717892	110018745107	EXPRESSWAY #9 CLOSED/SOLD	COKEY ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1020750743		PROCTOR ROBERT F	COKEY ROAD EXTN	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022200103		PROCTOR ROBERT F	COKEY ROAD EXTN	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021974577		DUMONT AMOCO	28 COLEY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020927378		DAUGHTRIDGE ENTERPRISES INC	1108 COOKIE RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020408035		HOLLOMANS SUPER MARKET	1911 COOL SPRINGS ROAD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	S117915846		HANSON AGGREGATES - ROCKY MOUNT	2631 COOL SPRING RD		ROCKY MOUNT	NC	NPDES
27801	1016667585	110002441705	HANSON AGGREGATES CAROLINA LLC -	2631 COOL SPRINGS ROAD		ROCKY MOUNT	NC	FINDS
27801	1000270789	NCD980842413	WILKINSON PROPERTY BATTERY SITE	3552 COOL SPRING RD & HWY 97 E		ROCKY MOUNT	NC	CERCLIS-NFRAP
27801	1021746148		HOLLOMANS SUPER MARKET	500 COOL SPRINGS RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022250134		HOLLOMON SUPER MARKET	500 COOL SPRINGS RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021567398		HOLLOMON SUPER MARKET	500 COOL SPRINGS ROAD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003145459	0-020364	HAYES STORE	COOLEY ROAD	**	ROCKY MOUNT	NC	UST
27801	1007718017	110018746393	HAYES STORE	COOLEY ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1007714325	110018709307	BRIDGE GROCERY	1900 COOLSPRING ROAD		ROCKY MOUNT	NC	FINDS
27801	1007718743	110018753678	THE BRIDGE GROCERY AND GRILL	1911 COOLSPRINGS ROAD		ROCKY MOUNT	NC	FINDS
27801	U001196062	0-015729	ROCKY MT. CITY SCHOOLS MAINT DEP	CORNER OF WAKE & WALKER STREETS	**	ROCKY MOUNT	NC	UST
27801	U001196191	0-015903	ENVIRONMENTAL SERVICE DIVISION	N.E. CORNER OF SPRUCE & VIRGINIA	**	ROCKY MOUNT	NC	UST
27801	1020549347		SCHERROD ENTERPRISES	125 COUNTRY CLUB		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007718461	110018750840	STONY CREEK FIRE RESCUE	97 COUNTRY CLUB DRIVE		ROCKY MOUNT	NC	FINDS
27801	U001437755	0-020735	STONY CREEK FIRE RESCUE	97 COUNTRY CLUB DRIVE		ROCKY MOUNT	NC	UST
27801	U001437713	0-020591	ROBERT E CUMMINGS	1500 CUMMINGS RD		ROCKY MOUNT	NC	UST
27801	1007693675	110018502529	ROBERT E CUMMINGS	1500 CUMMINGS ROAD		ROCKY MOUNT	NC	FINDS
27801	1018217888		DURHAM SALES YARD	5013 DENFIELD STREET		DURHAM	NC	
27801	9166517			517 DEXTER ST.		ROCKY MOUNTAIN	NC	ERNS
27801	U003369575	0-022631	CIRCLE K 2723079	5102 DORCHES BLVD		ROCKY MOUNT	NC	UST
27801	1007696223	110018528100	THE PANTRY #3079 DBA ZIP MART	5102 DORCHES BOULEVARD	**	ROCKY MOUNT	NC	FINDS

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27801	U003369569	0-020652	NEW DIXIE MART 229	5095 DORTCHES BLVD		ROCKY MOUNT	NC	UST
27801	1007725586	110018822274	GRIFFINS #9	5095 DORTCHES BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	S108407861	33196	DORTCHES BP (FORMER)	DORTCHES BLVD. & FLUELLEN DR.		DORTCHES	NC	INST CONTROL, LUST
27801	1000310354	NCD037152683	FHO PARTNERS LLC	1040 DOZIER RD		ROCKY MOUNT	NC	RCRA-NonGen
27801	1017816036	110064435400	FHO PARTNERS	1040 DOZIER RD		ROCKY MOUNT	NC	FINDS
27801	U003160468	0-015061	LOG CABIN HOMES, LTD.	4351 DOZIER RD		ROCKY MOUNT	NC	UST
27801	1007704074	110018606677	LOG CABIN HOMES, LTD.	4351 DOZIER ROAD		ROCKY MOUNT	NC	FINDS
27801	S117917963		EAGLE ROCK CONCRETE - ROCKY MOUN	4541 DOZIER RD		ROCKY MOUNT	NC	NPDES
27801	1007702959	110018595509	PEMBERTON INCORPORATED	277 NORTH EAST MAIN STREET	**	ROCKY MOUNT	NC	FINDS
27801	1007703045	110018596367	ENVIRONMENTAL SERVICE DIVISIO	NORTH EAST CORNER OF SPRUCE & VIR	**	ROCKY MOUNT	NC	FINDS
27801	1020409501		LAKEWOOD TRUCKERS PARADISE	1200 EASTERN AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001186473	0-000656	MEADOWBROOK MEAT CO INC	EDGE 2641 MEADOWBROOK RD		ROCKY MOUNT	NC	UST
27801	1007707520	110018641157	MEADOWBROOK MEAT CO INCORPORAT	EDGE 2641 MEADOWBROOK ROAD		ROCKY MOUNT	NC	FINDS
27801	1007698967	110018555525	SEABOARD COAST LINE RAILROAD	EDGECOMBE STREET		ROCKY MOUNT	NC	FINDS
27801	U001199076	0-020019	SEABOARD COAST LINE RAILROAD	EDGECOMBE STREET	**	ROCKY MOUNT	NC	UST
27801	U001434304	0-001743	ELIZABETH ELLIS	120 ENGLEWOOD DRIVE		ROCKY MOUNT	NC	UST
27801	1007709333	110018659290	ELIZABETH ELLIS	120 ENGLEWOOD DRIVE		ROCKY MOUNT	NC	FINDS
27801	U003134204	0-003375	CIRCLE K 2723077	235 FAIRVIEW ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1007695168	110018517498	THE PANTRY #3077 DBA ZIPMART	235 FAIRVIEW ROAD		ROCKY MOUNT	NC	FINDS
27801	1022247966		STALLINGS OIL COMPANY	235 N FAIRVIEW RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1000102361	NC8210021624	USA RESERVE XVIII AIRBORNE CORPS	804 FAIRVIEW RD	D, West, 1/4 - 1/2	ROCKY MOUNT	NC	CERCLIS-NFRAP
27801	1016649888	110004015075	ARMY RESERVE XVIII AIRBORNE CORPS	804 FAIRVIEW RD		ROCKY MOUNT	NC	FINDS
27801	1007712526	110018691245	USAR CENTER	804 FAIRVIEW ROAD		ROCKY MOUNT	NC	FINDS
27801	S127491888		FORMER SPRINT FACILITY	901 N. FAIRVIEW ROAD	8, West, 1/4 - 1/2	ROCKY MOUNT	NC	IMD
27801	1018650916		ONE HOUR KORETIZING ROCKY MT*	202-204 FALL RD	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1023385464	110066849245	202 FALLS ROAD	202 FALLS ROAD		ROCKY MOUNT	NC	FINDS
27801	1018149641		202 FALLS ROAD	202 FALLS ROAD		ROCKY MOUNT	NC	US BROWNFIELDS
27801	1018450710		ONE HOUR KORETIZING RKY MT NC*	202-204 FALLS RD		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1023385463	110066849236	357 FALLS ROAD	357 FALLS ROAD		ROCKY MOUNT	NC	FINDS
27801	1018149653		357 FALLS ROAD	357 FALLS ROAD		ROCKY MOUNT	NC	US BROWNFIELDS
27801	U003137682	0-022589	PHILLIP'S BODY SHOP	357 FALLS ROAD		ROCKY MOUNT	NC	UST
27801	1020056438		OVERTON DRY CLEANERS	823 FALLS RD		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1020056439		OVERTON DRY CLEANERS	833 FALLS RD		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	S125089198		OVERTONS CLEANERS	833 FALLS RD		ROCKY MOUNT	NC	DRYCLEANERS
27801	1020056440		OVERTON DRY CLEANERS	843 FALLS ROAD		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1021755451		NORTH END SERVICE STATION	900 FALLS RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001434254	0-001503	FLOWERS BAKING CO INC	320 FARM ROAD		ROCKY MOUNT	NC	UST
27801	U001438269	0-022646	BRYANT LANGLEY	401 FARM RD		ROCKY MOUNT	NC	UST
27801	1007725066	110018817066	BRYANT LANGLEY	401 FARM ROAD		ROCKY MOUNT	NC	FINDS
27801	1016643441	110004051579	FAWN PLASTICS CO INC	401 FAWN DR		ROCKY MOUNT	NC	FINDS
27801	1000305845	NCD990867855	FAWN PLASTICS CO INC ROCKY MOUNT	401 FAWN DR		ROCKY MOUNT	NC	CERCLIS-NFRAP, RCRA-NonGen
27801	1000211537	NCD981920077	RYDER TRANSPORTATION SERV 0642	551 FENNER RD.		ROCKY MOUNT	NC	RCRA-CESQG, UST
27801	S113813278		RYDER TRUCK RELEASE/2013	551 FENNER ROAD		ROCKY MOUNT	NC	LUST
27801	1024424784	110070344583	135208 - ANN ANGUS FARMS, INC	2400 FLOODS STORE RD		ROCKY MOUNT	NC	FINDS
27801	U001438132	0-022273	PHILLIPS 66 CO #019434	105 FOREST HILL AVE.		ROCKY MOUNT	NC	UST
27801	1007695571	110018521535	PHILLIPS 66 CO #019434	FOREST HILL AND HIGHWAY 64	**	ROCKY MOUNT	NC	FINDS
27801	1017464879		BLUE HAWAIIAN PRODUCTS INC.	101 FOUNTAIN PARK DRIVE		ROCKY MOUNT	NC	
27801	1010154490	110028716904	BLUE HAWAIIAN PRODUCTS INC.	101 FOUNTAIN PARK DRIVE		ROCKY MOUNT	NC	FINDS
27801	U001202689	0-020055	FOUNTAIN C.C. FOR WOMEN	827 FOUNTAIN ROAD		ROCKY MOUNT	NC	INST CONTROL, LUST, UST
27801	1007702182	110018587723	FOUNTAIN C.C. FOR WOMEN	827 FOUNTAIN ROAD		ROCKY MOUNT	NC	FINDS
27801	1016667567	110004028784	CITY OF ROCKY MOUNT	331 SOUTH FRANKLIN ST		ROCKY MOUNT	NC	FINDS
27801	1000440350	NCD981922669	CITY OF ROCKY MOUNT	331 SOUTH FRANKLIN ST		ROCKY MOUNT	NC	RCRAInfo-SQG
27801	U001434147	0-000804	WILLIAM EDWARD GRIMES	1100 GAY ST		ROCKY MOUNT	NC	UST
27801	1007707743	110018643397	WILLIAM EDWARD GRIMES	1100 GAY STREET		ROCKY MOUNT	NC	FINDS
27801	S103240146	P0424	BARNHILL CONTRACTING - GAY PIT	GAY ROAD (S.R. 1268)		ROCKY MOUNT	NC	HIST LF, SWF/LF
27801	U003136201	0-015904	FIRE STATION 1	101 SOUTH GEORGE STREET		ROCKY MOUNT	NC	UST
27801	1007694693	110018512732	FIRE STATION #1	101 SOUTH GEORGE STREET		ROCKY MOUNT	NC	FINDS
27801	1007727385	110018840307	U.S. POSTAL SERVICE	201 SOUTH GEORGE STREET		ROCKY MOUNT	NC	FINDS
27801	U001195818	0-015360	U.S. POSTAL SERVICE	201 SOUTH GEORGE STREET		ROCKY MOUNT	NC	LUST, UST
27801	U003145731	0-022344	MILDRED J. DAVIS	640 GLENN AVE.		ROCKY MOUNT	NC	UST
27801	1007703263	110018598551	MILDRED J. DAVIS	640 GLENN AVENUE		ROCKY MOUNT	NC	FINDS
27801	1021006159		GOLDLEAF SERVICE STATION	103 W GOLDLEAF ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	S100564136	10418	STRETCHLON INDUSTRIES-AST	200 GOLDLEAF STREET		ROCKY MOUNT	NC	IMD
27801	1012183501	NCR000147025	CSX TRANSPORTATION INC	GOLDLEAF ST	**	ROCKY MOUNT	NC	RCRA-NonGen
27801	1012111138	110038885784	CSX TRANSPORTATION INC	GOLDLEAF ST		ROCKY MOUNT	NC	FINDS
27801	U003137324	0-020893	FIRE STATION 2	824 SOUTH GRACE STREET		ROCKY MOUNT	NC	UST

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27801	U003137302	0-020795	EASTERN PETROLEUM CORP	105 WEST GRAND AVENUE		ROCKY MOUNT	NC	UST
27801	1007693614	110018501904	EASTERN PETROLEUM CORPORATION	105 WEST GRAND AVENUE		ROCKY MOUNT	NC	FINDS
27801	S113193268		ROCKY MT FLEET MAINTENANCE	106 E. GRAND ST		ROCKY MOUNT	NC	INST CONTROL, LUST
27801	1007703049	110018596401	FLEET MAINTENANCE DIVISION	106 EAST GRAND AVENUE		ROCKY MOUNT	NC	FINDS
27801	U003144785	0-015906	FLEET MAINTENANCE DIVISION	106 EAST GRAND AVENUE		ROCKY MOUNT	NC	UST
27801	U001187056	0-001583	STREET MAINTENANCE DIVISION	208 E GRAND AVE		ROCKY MOUNT	NC	UST
27801	1007708842	110018654393	STREET MAINTENANCE DIVISION	208 EAST GRAND AVENUE		ROCKY MOUNT	NC	FINDS
27801	1007703288	110018598800	NASH COAL COMPANY, INCORPORATED	800 WEST GRAND AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001438231	0-022541	NASH COAL COMPANY, INC.	800 WEST GRAND AVENUE		ROCKY MOUNT	NC	UST
27801	1007702099	110018586902	W.C. VARNELL, JR.	2901 GREEN PASTURE ROAD		ROCKY MOUNT	NC	FINDS
27801	U003136376	0-016520	W.C. VARNELL, JR.	2901 GREEN PASTURE ROAD		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1026633372		ROCKY MOUNTAIN RECYCLERS, INC.	232 HALIFAX RD. P.O. BOX 7186		ROCKY MOUNTAIN,	NC	PRP
27801	1016610649	110004029505	CSX TRANSPORTATION INC	101 HAMMOND ST		ROCKY MOUNT	NC	FINDS
27801	1004745264	NCD982078966	CSX TRANSPORTATION INC	101 HAMMOND ST		ROCKY MOUNT	NC	RCRA-CESQG
27801	1007695995	110018525791	ROADMASTERS OFFICE	101 HAMMOND STREET		ROCKY MOUNT	NC	FINDS
27801	U001438039	0-022056	ROADMASTERS OFFICE	101 HAMMOND STREET		ROCKY MOUNT	NC	UST
27801	1007711262	110018678607	US FOODSERVICE INCORPORATED	2217 HARDEE S BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	1007725528	110018821685	KRAFT FOOD SERVICE INCORPORATED	2217 NORTH HARDEE S BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	U003137329	0-020912	KRAFT FOOD SERVICE INC	2217 NORTH HARDEE'S BLVD.		ROCKY MOUNT	NC	LUST TRUST, IMD, LUST, UST
27801	1007698342	110018549285	MODERN BUILDERS, INCORPORATED W/	512-516 NORTH HARRIS STREET		ROCKY MOUNT	NC	FINDS
27801	U001437762	0-020766	MODERN BUILDERS, INC. WAREHOUSE	512-516 NORTH HARRIS STREET		ROCKY MOUNT	NC	UST
27801	U003137289	0-020746	LEA LUMBER & TRADING COMPANY	110 WEST HIGHLAND AVENUE		ROCKY MOUNT	NC	UST
27801	1007718359	110018749808	LEA LUMBER AND TRADING COMPANY	110 WEST HIGHLAND AVENUE		ROCKY MOUNT	NC	FINDS
27801	S125089192		JOHN WIMBERLY CLEANERS	309 E HIGHLAND AVE		ROCKY MOUNT	NC	DRYCLEANERS
27801	1006246261		BARNHILL CONTRACTING COMPANY - RC	10826 NC HIGHWAY 97 WEST		ROCKY MOUNT	NC	ICIS
27801	S121514999		BARNHILL CONTRACTING COMPANY - RC	10826 NC HIGHWAY 97 WEST		ROCKY MOUNT	NC	
27801	1021792817		REDS PLACE	12727 US HIGHWAY 64 ALT W		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1016639091	110010427760	BARNHILL CONTRACTING COMPANY	NC HIGHWAY 97 EAST		ROCKY MOUNT	NC	FINDS
27801	1005647847	110007031513	INDUSTRIAL ELECTRIC SALES SERV INAC	NC HIGHWAY 97 WEST	**	ROCKY MOUNT	NC	FINDS
27801	S122873651		FOUNTAIN INDUSTRIAL PARK	U.S. HIGHWAY 301		ROCKY MOUNT	NC	COAL ASH
27801	1016680913	110007115978	CARGILL INC INACTIVE	US HIGHWAY 301-A SOUTH	**	ROCKY MOUNT	NC	FINDS
27801	1007721936	110018785741	JOE W. POWELL	834 HILL STREET		ROCKY MOUNT	NC	FINDS
27801	U000817215	0-015811	JOE W. POWELL	834 HILL STREET		ROCKY MOUNT	NC	UST
27801	1020687713		LYNCH SERVICENTER	504 HOLLY ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	2006807856			6493 HOWARD AVENUE EXT		ROCKY MOUNT	NC	ERNS
27801	U003137646	0-022385	L & L FOOD STORES 8	2558 HUNTER HILL ROAD		ROCKY MOUNT	NC	UST
27801	1007696123	110018527076	L AND L FOOD STORES #8	2558 HUNTER HILL ROAD		ROCKY MOUNT	NC	FINDS
27801	1007718139	110018747622	MR. CALVIN DAVENPORT	6120 HUNTER HILL ROAD		ROCKY MOUNT	NC	FINDS
27801	U003137237	0-020393	MR. CALVIN DAVENPORT	6120 HUNTER HILL ROAD		ROCKY MOUNT	NC	UST
27801	U003137613	0-022210	W.H. PARKER	3421 HUNTERHILL RD		ROCKY MOUNT	NC	UST
27801	1007725223	110018818635	W.H. PARKER	3421 HUNTERHILL ROAD		ROCKY MOUNT	NC	FINDS
27801	S110776673		BARNHILL CONTRACTING COMPANY-ROC	10826 NC HWY 97 WEST		ROCKY MOUNT	NC	
27801	1022013246		SOUTHERLAND TEXACO STATION	1720 E/S HWY 301 BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020544633		OWENS C R	N/S HWY 97 5 MI W	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020726568		OWENS C R	N/S HWY 97 5 MI W	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021849619		JONES STUMP EXXON	NC HWY #43	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020782300		JONES STUMP EXXON	NC HWY 43 & I 95	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020184266		WHITEHURST GROCERY	S/S HWY 64	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	94254408			US HWY 64	**	ROCKY MOUNT	NC	ERNS
27801	1020186093		M & S OIL CO	W/S HWY 301 BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021218149		M & S OIL CO	W/S HWY 301 S BY PASS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007699407	110018559987	UPS ROCKY MOUNT CENTER	1101 INSTRUMENT DRIVE		ROCKY MOUNT	NC	FINDS
27801	S110493321		UNITED PARCEL SERVICE-ROCKY MOUN	1108 INSTRUMENT DR		ROCKY MOUNT	NC	UIC, NPDES
27801	1005540220	110006670370	UNITED PARCEL SERVICE-ROCKY MOUN	1108 INSTRUMENT DR		ROCKY MOUNT	NC	FINDS
27801	U001437583	0-020208	UPS ROCKY MOUNT CENTER	1108 INSTRUMENT DRIVE		ROCKY MOUNT	NC	INST CONTROL, LUST, UST
27801	1000831852	NCD986206894	BFI	1119 INSTRUMENT DR		ROCKY MOUNT	NC	IMD, RCRA-NonGen
27801	U003160483	0-022544	WASTE INDUSTRIES-ROCKY MOUNT	1119 INSTRUMENT DRIVE		ROCKY MOUNT	NC	LUST, UST
27801	1011617193	110009854559	WASTE INDUSTRIES - ROCKY MOUNT	1119 INSTRUMENT DRIVE		ROCKY MOUNT	NC	ICIS, FINDS
27801	1005453139	27804LCNCN40	KABA ILCO CORP	400 JEFFERYS RD		ROCKY MOUNT	NC	TRIS

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ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
27801	U003137654	0-022439	ILCO UNICAN CORP	400 JEFFRIES RD		ROCKY MOUNT	NC	UST
27801	U003137202	0-020212	YELLOW FREIGHT SYSTEM, INC.	555 JEFFRIES ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1020021569		KORETIZING CARE LAUNDRY	K-MART PLAZA	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	U001437804	0-020900	KAMLAR CORPORATION	444 KAMLAR DRIVE		ROCKY MOUNT	NC	UST
27801	1007698301	110018548883	KAMLAR CORPORATION	444 KAMLAR DRIVE		ROCKY MOUNT	NC	FINDS
27801	U001438134	0-022282	ABF FREIGHT SYSTEM	1501 KINGSTON AVE	**	ROCKY MOUNT	NC	UST
27801	1007723566	110018802054	ABF FREIGHT SYSTEM	1501 KINGSTON AVENUE	**	ROCKY MOUNT	NC	FINDS
27801	1007725548	110018821863	BACK YARD	416 KINGSTON AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001437819	0-020935	BACK YARD	416 KINGSTON AVENUE		ROCKY MOUNT	NC	UST
27801	U003145454	0-020343	A.B.F. MOTOR LINE	737 KINGSTON AVENUE		ROCKY MOUNT	NC	LUST, UST
27801	1007717981	110018746017	A.B.F. MOTOR LINE	737 KINGSTON AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001186343	0-000424	ROCKY MOUNT ASPHALT PLANT	2450 KOOL SPRING RD		ROCKY MOUNT	NC	UST
27801	1007707293	110018638875	ROCKY MOUNT ASPHALT PLANT	2450 KOOL SPRING ROAD		ROCKY MOUNT	NC	FINDS
27801	1007725177	110018818172	WEAVER S CUT RATE GROCERY	1045 LEGGETT ROAD		ROCKY MOUNT	NC	FINDS
27801	U003136209	0-015927	WEAVER'S CUT RATE GROCERY	1045 LEGGETT ROAD		ROCKY MOUNT	NC	IMD, LUST, UST
27801	U004241212		GNS EXPRESS MART	1301 LEGGETT ROAD		ROCKY MOUNT	NC	UST
27801	1020551890		BROWN JOHN PHILLIP	1500 LEGGETT RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003142516	0-000833	JIMMY MEDLIN	1909 LEGGETT RD		ROCKY MOUNT	NC	UST
27801	1007709300	110018658950	JIMMY MEDLIN	1909 LEGGETT ROAD		ROCKY MOUNT	NC	FINDS
27801	U003144689	0-015257	PLUMMER O. DAVIS, JR.	837 LEGGETT RD.		ROCKY MOUNT	NC	UST
27801	1007726477	110018831175	PLUMMER O. DAVIS, JR.	837 LEGGETT ROAD		ROCKY MOUNT	NC	FINDS
27801	S103240169	P0226	CLARK-LANGLEY, INC.	LEGGETT ROAD (S.R. 1243)		ROCKY MOUNT	NC	HIST LF, SWF/LF
27801	S103240145	P0227	BARNHILL CONTRACTING COMPANY	LEGGETT ROAD (S.R. 1243)		TARBORO	NC	HIST LF, SWF/LF
27801	1011545860	110010702141	OAK LEVEL MHP WATER SYS	3152 LINDA WAY		ROCKY MOUNT	NC	ICIS, FINDS
27801	U003160841	0-000789	BEST BRANDS INC	714 SOUTH LODGE ST		WILSON	NC	IMD, LUST, UST
27801	1007717323	110018739383	MARY L. PINKNEY	905 LONG AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001199116	0-020070	MARY L. PINKNEY	905 LONG AVENUE		ROCKY MOUNT	NC	UST
27801	S110052014		BATCHELOR PROPERTY (KATHLEEN)	200 EAST MAIN ST		SHARPSBURG	NC	INST CONTROL, LUST
27801	S110776512		ROCKY MT NE MAIN ST ROW	201 NE MAIN STREET		ROCKY MOUNT	NC	LUST
27801	1011573855	110006711111	CSX TRANSPORTATION	2501 SOUTHWEST MAIN STREET		ROCKY MOUNT	NC	ICIS, FINDS
27801	1025892318		ROCKY MOUNT YARD	2501 SOUTHWEST MAIN STREET	**	ROCKY MOUNT	NC	
27801	S117917134		ROCKY MOUNT YARD	2501 SW MAIN ST		ROCKY MOUNT	NC	NPDES
27801	2008862138			2501 SW MAIN ST	**	ROCKY MOUNT	NC	ERNS
27801	2017004349		251 SOUTHWEST MAIN STREET /	251 SOUTHWEST MAIN STREET /		ROCKY MOUNT	NC	HMIRS
27801	U003137621	0-022255	PEMBERTON INC	277 N.E. MAIN ST		ROCKY MOUNT	NC	UST
27801	1007704094	110018606873	TRAILWAYS TERMINAL	401 SOUTH MAIN STREET		ROCKY MOUNT	NC	FINDS
27801	U001196111	0-015802	TRAILWAYS TERMINAL	401 SOUTH MAIN STREET		ROCKY MOUNT	NC	UST
27801	U001439818	0-032681	CSXT-RAILROAD YARD	EAST MAIN STREET	**	ROCKY MOUNT	NC	UST
27801	U001206495	0-032680	CSXT-YMCA BUILDING	WEST MAIN STREET		ROCKY MOUNT	NC	UST
27801	1022217384		BILLS	101 MARIGOLD ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003144934	0-016761	WILLIAM E PROCTOR	101 MARIGOLD STREET		ROCKY MOUNT	NC	INST CONTROL, LUST, UST
27801	1007708023	110018646189	WILLIAM E PROCTOR	101 MARIGOLD STREET		ROCKY MOUNT	NC	FINDS
27801	1024008440		BILL'S SPUR STATION	101 MARIGOLD STREET		ROCKY MOUNT	NC	US BROWNFIELDS
27801	U001196538	0-016378	SIDNEY LEWIS, JR.	319 MARIGOLD ST.		ROCKY MOUNT	NC	UST
27801	1007702311	110018589035	SIDNEY LEWIS, JR.	319 MARIGOLD ST.		ROCKY MOUNT	NC	FINDS
27801	S117055249		RM WILSON APARTMENTS	336 MARIGOLD ST		ROCKY MOUNT	NC	INST CONTROL, LUST
27801	1007726274	110018829142	MRS. ARMISTEAD GILL	600 MARIGOLD STREET		ROCKY MOUNT	NC	FINDS
27801	U001195829	0-015372	MRS. ARMISTEAD GILL	600 MARIGOLD STREET		ROCKY MOUNT	NC	UST
27801	S116491548		LEWIS RESIDENCE, MARIAN	400 MATTHEWS STREET		ROCKY MOUNT	NC	LUST TRUST, LUST
27801	1007703055	110018596474	BOTTOMS TIRE AND AUTOMOTIVE	137 MAY DRIVE		ROCKY MOUNT	NC	FINDS
27801	U001438044	0-022125	BOTTOMS TIRE & AUTOMOTIVE	137 MAY DRIVE		ROCKY MOUNT	NC	UST
27801	1007697375	110018539615	D. J. ROSE AND SON, INCORPORATED	216 MAYO STREET		ROCKY MOUNT	NC	FINDS
27801	U001438372	0-023162	D. J. ROSE & SON, INC.	216 MAYO STREET		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007718982	110018756041	BULLUCK ELEMENTARY SCHOOL	MCKENDREE CHURCH ROAD	**	ROCKY MOUNT	NC	FINDS
27801	U001196363	0-016120	BARNES GROCERY	MEADOWBROOK ROAD	**	ROCKY MOUNT	NC	UST
27801	1007702673	110018592637	BARNES GROCERY	MEADOWBROOK ROAD	**	ROCKY MOUNT	NC	FINDS
27801	U001196635	0-016521	MEADOWBROOK ENTERPRISES	MEADOWBROOK ROAD	**	ROCKY MOUNT	NC	UST
27801	1011922228	110037427148	EDGECOME COUNTY; 400 MELTON	400 MELTON RD		ROCKY MOUNT	NC	FINDS
27801	1011863214	NCS000001223	EDGECOME COUNTY; 400 MELTON	400 MELTON RD		ROCKY MOUNT	NC	RCRA-NonGen
27801	S113489551		JAMES E. LANCASTER FARM	MYERS RD		ROCKY MOUNT	NC	NPDES
27801	1020839752		MC CLAIN MOTOR CO	648 MYRTLE AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020052592		OAKLEY N VERNON	139 NASH ST		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	U001438208	0-022479	CENTRAL KITCHEN	NASH ST	**	ROCKY MOUNT	NC	UST
27801	U001434427	0-002669	D C TETTERTON & JOYCE TETTERTON	1021 NASHVILLE RD		ROCKY MOUNT	NC	UST
27801	1007710683	110018672783	D C TETTERTON AND JOYCE TETTERT	1021 NASHVILLE ROAD		ROCKY MOUNT	NC	FINDS
27801	U001437715	0-020593	PERCY D. MEDLIN	1148 NASHVILLE RD		ROCKY MOUNT	NC	UST
27801	1007722961	110018796007	PERCY D. MEDLIN	1148 NASHVILLE ROAD		ROCKY MOUNT	NC	FINDS

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27801	1020005762		HOLLINGSWORTH CLEANERS	517 NASHVILLE RD		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	S125089195		HOLLINGSWORTH CLEANERS	517 NASHVILLE RD		ROCKY MOUNT	NC	DRYCLEANERS
27801	1022166008		SYKES GROCERY	NASHVILLE HWY 5 MI	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021238106		HAWKINS TEXACO SERVICE	NASHVILLE RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022133151		STOP-N-SHOP THE	NASHVILLE RD & HALIFAX RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1004551605	110001485811	ADAMS PRODUCTS COMPANY	HWY NC 97 E		ROCKY MOUNT	NC	FINDS
27801	S113489553		UPPER COASTAL PLAIN RESEARCH STAT	2811 NOBLES MILL RD		ROCKY MOUNT	NC	NPDES
27801	S113489550		JOHNSON LIVESTOCK	3886 NOBLES MILL POND RD		ROCKY MOUNT	NC	NPDES
27801	S108966435		WEST EDGEcombe SCHOOL TANK 1	6301 NOBLES MILL POND ROAD		ROCKY MOUNT	NC	IMD, LUST
27801	S113489544		KENT JOHNSON HOG FARM	NOBLES MILL RD		ROCKY MOUNT	NC	NPDES
27801	U003146024	0-024311	UPPER COASTAL PLAIN RESEARCH	NOBLES MILLPOND ROAD	**	ROCKY MOUNT	NC	UST
27801	1007699205	110018557907	UPPER COASTAL PLAIN RESEARCH	NOBLES MILLPOND ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1016654188	110001501312	WILFAB CORPORATION RKY MOUNT PLA	915 NORFOLK ST		ROCKY MOUNT	NC	FINDS
27801	1000227646	0-012940	WILFAB METAL CORPORATION	915 NORFOLK STREET		ROCKY MOUNT	NC	LUST, UST
27801	1007699047	110018556347	STATE WHOLESALERS SUPPLY	301B NORTH	**	ROCKY MOUNT	NC	FINDS
27801	U001437621	0-020344	STATE WHOLESALERS SUPPLY	301B NORTH	**	ROCKY MOUNT	NC	UST
27801	1021916998		JENKINS SERVICE CTR & AT PA	P O BOX 2048	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1012120286	110039000345	J P TAYLOR CO INC	P O BOX 6142	**	ROCKY MOUNT	NC	FINDS
27801	1021417733		OAK LEVEL GROCERY	OAK LEVEL ROAD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021096464		STOP-N-SHOP THE	OFF HWY #64	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022153568		EDGEcombe MOBILE SERVICE STN	1100 OLD WILSON RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022115875		HOLLOMANS SUPER MARKET	120 OLD MILL RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020776100		HOLLOMANS SUPER MARKET	501 OLD MILL RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003137643	0-022374	HOLLOMAN'S 5	501 OLD MILL ROAD		ROCKY MOUNT	NC	UST
27801	1007696101	110018526852	HOLLOMAN S #5	501 OLD MILL ROAD		ROCKY MOUNT	NC	FINDS
27801	S113491714		COMER OIL CO-WILLIAMS & LAMM	5296 OLD WILSON RD		ROCKY MOUNT	NC	NPDES
27801	S102328367	16153	WILLIAMS & LAMM ELECTRIC COMP	5299 OLD WILSON ROAD		ROCKY MOUNT	NC	IMD, LUST
27801	U001438373	0-023163	D. J. ROSE & SON, INC.(CONCRETE	OLD MILL ROAD	**	ROCKY MOUNT	NC	UST
27801	1021300670		BULLARDS GROCERY	OLD NASHVILLE HWY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020907009		BULLARDS GROCERY	OLD NASHVILLE HWY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021589691		GAYS RAY	OLD WILSON RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007699125	110018557097	SAMMY S TAKE OUT	OLD WILSON ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1021438227		GAYS RAY	OLD WILSON ROAD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003563456	0-116003	SAMMY'S TAKE OUT	OLD WILSON ROAD	**	ROCKY MOUNT	NC	UST
27801	U001195737	0-015231	PETWAY TRASH SERVICE	415 PARK AVE		ROCKY MOUNT	NC	UST
27801	1020660086		SMITTYS EXXON	750 PARK AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007726517	110018831576	PETWAY TRASH SERVICE	415 PARKS AVENUE		ROCKY MOUNT	NC	FINDS
27801	1016066939	110018639954	PARSONS WOODWORKING INCORPORAT	3109 PARSONS PARKS DRIVE		ROCKY MOUNT	NC	FINDS
27801	S125089190		CROOM CLEANERS	225 PAUL ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	U002217293	0-034267	FORMER CROOM DRY CLEANERS	225 PAUL STREET		ROCKY MOUNT	NC	UST
27801	1007705647	110018622418	FORMER CROOM DRY CLEANERS	225 PAUL STREET		ROCKY MOUNT	NC	FINDS
27801	U001437551	0-020098	STONY CREEK KNITTING MILLS, INC.	535 PAUL STREET		ROCKY MOUNT	NC	UST
27801	1007714738	110018713445	GENERAL TEXTILE PRINT AND PROCES	518 SOUTH PEARL STREET		ROCKY MOUNT	NC	FINDS
27801	1007711245	110018678411	THELMA B. BRYANT	400 PENNSYLVANIA AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001187384	0-002069	THELMA B. BRYANT	400 PENNSYLVANIA AVENUE		ROCKY MOUNT	NC	UST
27801	U001196537	0-016373	M/M ERNEST M. HUNTER	736 PENNSYLVANIA AVENUE		ROCKY MOUNT	NC	UST
27801	1007718825	110018754481	M/M ERNEST M. HUNTER	736 PENNSYLVANIA AVENUE		ROCKY MOUNT	NC	FINDS
27801	U000817194	0-002787	JAMES ALBERT LANCASTER	210 PINE VIEW STREET		ROCKY MOUNT	NC	UST
27801	1007702154	110018587457	JAMES ALBERT LANCASTER	210 PINE VIEW STREET		ROCKY MOUNT	NC	FINDS
27801	U003134082	0-001095	MAE STANCIL	707 N. PINE ST		ROCKY MOUNT	NC	UST
27801	1007711789	110018683888	MAE STANCIL	707 NORTH PINE STREET		ROCKY MOUNT	NC	FINDS
27801	U003138148	0-033592	COOPERS CONVENIENT MART	711 N PINE ST		ROCKY MOUNT	NC	UST
27801	1007710107	110018667021	COOPERS CONVENIENT MART	713 NORTH PINE STREET		ROCKY MOUNT	NC	FINDS
27801	1000285589	NCD981025323	BURLINGTON INDUSTRIES	750 N PINE ST		ROCKY MOUNT	NC	RCRA-CESQG
27801	1014623837		ROCKY MOUNT WAREHOUSE	750 NORTH PINE STREET		ROCKY MOUNT	NC	PCB TRANSFORMER
27801	1011498616	110010702221	MODERN TRAILER PARK WATER SYS	1653 PINECREST RD		ROCKY MOUNT	NC	ICIS, FINDS
27801	U001195652	0-015112	M. J. GROCERY	PINETOPS HIGHWAY	**	ROCKY MOUNT	NC	UST

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27801	1007726652	110018832931	M. J. GROCERY	PINETOPS HIGHWAY	**	ROCKY MOUNT	NC	FINDS
27801	1022045427		MOORES CASH GROCERY & SERVICE	PINETOPS RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1024419007	110070337280	129754 - BUTTERFIELDS BUTTER, LLC	1201 PITT ST.		ROCKY MOUNT	NC	FINDS
27801	1024415440	110070332793	128616 - BUTTERFIELDS BUTTER, LLC	1201 PITT STREET		ROCKY MOUNT	NC	FINDS
27801	1024405350	110070320649	BUTTERFIELDS BUTTER, LLC	1201 PITT STREET		ROCKY MOUNT	NC	FINDS
27801	1016652046	110004019295	DAWSON EL CO	1313 PITT ST		ROCKY MOUNT	NC	FINDS
27801	1004744695	NCD056400054	DAWSON EL CO	1313 PITT ST		ROCKY MOUNT	NC	RCRA-NonGen
27801	U001196636	0-016523	E.L. DAWSON CO.	1317 PITT STREET		ROCKY MOUNT	NC	IMD, LUST, UST
27801	A100186975	33004	LEE OIL CO. INC.	740 PLANTERS ST.		ROCKY MOUNT	NC	AST
27801	U003562928	0-022440	BISHOP INDUSTRIES INC	820 PLANTERS STREET		ROCKY MOUNT	NC	UST
27801	1007722521	110018791592	BISHOP INDUSTRIES	820 PLANTERS STREET		ROCKY MOUNT	NC	FINDS
27801	U001196452	0-016246	BRAME SPECIALTY COMPANY INC.	821 PLANTERS STREET		ROCKY MOUNT	NC	LUST, UST
27801	1007702640	110018592316	BRAME SPECIALTY COMPANY INCORPOR	821 PLANTERS STREET		ROCKY MOUNT	NC	FINDS
27801	1020208304		JACKSON LONNIE E	612 POWELL DRIVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020068738		QSB INC	100 QSB BLVD	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	2004716145			100 QVC BLVD		ROCKEY MOUNT	NC	ERNS
27801	S110728819		QVC SITE	100 QVC BLVD		ROCKY MOUNT	NC	
27801	S112338192		QVC SITE	100 QVC BLVD		ROCKY MOUNT	NC	
27801	S117919438		QVC ROCKY MOUNT	100 QVC BLVD		ROCKY MOUNT	NC	NPDES
27801	1016656419	110012146579	QVC INC	100 QVC BLVD.		ROCKY MOUNT	NC	FINDS
27801	1004747232	NCR000137166	QVC ROCKY MOUNT, INC	100 QVC BOULEVARD		ROCKY MOUNT	NC	RCRAInfo-LQG
27801	U001199884	0-021503	ROCKY MOUNT TD-2 MICROWAVE	S. R. 1536	**	ROCKY MOUNT	NC	UST
27801	1007694789	110018513688	ROCKY MOUNT TD-2 MICROWAVE	SOUTH R. 1536	**	ROCKY MOUNT	NC	FINDS
27801	1007717978	110018745982	MILES JOYNER	R.F.D.	**	ROCKY MOUNT	NC	FINDS
27801	U001437619	0-020342	MILES JOYNER	R.F.D.	**	ROCKY MOUNT	NC	UST
27801	1007717985	110018746044	O.R. PRIDGEN	R.F.D. 1, BOX 367	**	ROCKY MOUNT	NC	FINDS
27801	U003137230	0-020347	O.R. PRIDGEN	R.F.D. 1, BOX 367	**	ROCKY MOUNT	NC	UST
27801	1004550231	NCD986172625	SHARPSBURG ELEC DEPT	101 E RAILROAD ST		SHARPSBURG	NC	PADS
27801	1022246501		SOWERS ENTERPRISES INC	RAL RD HWY 301 N	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1000533889	0-033552	HAIL & COTTON WAREHOUSE	1000 RALEIGH ROAD		ROCKY MOUNT	NC	LUST, UST
27801	S127470411		FORMER CONOCO STORE #33047	11120 EAST RALEIGH BLVD	**	ROCKY MOUNT	NC	LUST
27801	U003136290	0-016166	HYDRO SPRAY CAR WASH	1115 NORTH RALEIGH STREET		ROCKY MOUNT	NC	LUST TRUST, IMD, LUST, UST
27801	1007719621	110018762490	HYDRO SPRAY CAR WASH	1115 NORTH RALEIGH STREET		ROCKY MOUNT	NC	FINDS
27801	U003146065	0-024633	SPEEDWAY #8264	1122 NORTH RALEIGH STREET		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007699615	110018562063	TRADE MART #38	1122 NORTH RALEIGH STREET		ROCKY MOUNT	NC	FINDS
27801	U001438207	0-022478	CAR SHOP FOOD AND DAIRY 15	1138 RALEIGH RD		ROCKY MOUNT	NC	UST
27801	1007700214	110018568049	CAR SHOP FOOD AND DAIRY #15	1138 RALEIGH ROAD		ROCKY MOUNT	NC	FINDS
27801	1007698380	110018549677	RALEIGH ROAD TIGA #2	1300 RALEIGH ROAD		ROCKY MOUNT	NC	FINDS
27801	U003137303	0-020797	RALEIGH ROAD TIGA 2	1300 RALEIGH ROAD		ROCKY MOUNT	NC	UST
27801	1007701789	110018583781	EP-MART #2	1300 RALEIGH ST.		ROCKY MOUNT	NC	FINDS
27801	1007695514	110018520983	RALEIGH ROAD TIGA	1301 RALEIGH ROAD		ROCKY MOUNT	NC	FINDS
27801	U003137619	0-022253	RALEIGH ROAD TIGA	1301 RALEIGH ROAD		ROCKY MOUNT	NC	UST
27801	1007698624	110018552118	FRESH WAY #782	1616 RALEIGH STREET		ROCKY MOUNT	NC	FINDS
27801	1021061558		RUSSELLS EXXON	163 S RALEIGH STREET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007724266	110018809075	JIFFY MART	1801 NORTH RALEIGH STREET		ROCKY MOUNT	NC	FINDS
27801	U003202386	0-016471	JIFFY MART	1801 NORTH RALEIGH STREET	A, NNE, 1/8 - 1/4	ROCKY MOUNT	NC	LUST TRUST, INST CONTROL, LUST, UST
27801	U001438060	0-022153	JOURNIGAN'S FOOD STORE 2	2033 RALEIGH ROAD EXT		ROCKY MOUNT	NC	LUST, UST
27801	1007703092	110018596839	JOURNIGAN S FOOD STORE #2	2033 RALEIGH ROAD EXTENSION		ROCKY MOUNT	NC	FINDS
27801	1000869170	NC0000092296	T-BODIES	225 RALEIGH RD		ROCKY MOUNT	NC	RCRA-CESQG
27801	1016628204	110004012256	T-BODIES	225 RALEIGH RD		ROCKY MOUNT	NC	FINDS
27801	1007724300	110018809404	FUEL DOC #3	2341 RALEIGH STREET/HWY 64 EAST		ROCKY MOUNT	NC	FINDS
27801	1011922696	110037425854	LEONS AUTO RECYCLERS	2530 NORTH RALEIGH ST		ROCKY MOUNT	NC	FINDS
27801	1011863159	NCS000000756	LEONS AUTO RECYCLERS	2530 NORTH RALEIGH ST		ROCKY MOUNT	NC	RCRA-NonGen
27801	1007698883	110018554713	DOUBLE COLA BOTTLING CO., INCORPOR	2550 RALEIGH ROAD		ROCKY MOUNT	NC	FINDS
27801	U003145460	0-020367	DOUBLE COLA BOTTLING CO., INC.	2550 RALEIGH ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1007697596	110018541853	LSE AUTO CENTER	2761 NORTH RALEIGH STREET		ROCKY MOUNT	NC	FINDS
27801	U003137797	0-023379	LSE AUTO CENTER	2761 NORTH RALEIGH STREET	C, ENE, 1/4 - 1/2	ROCKY MOUNT	NC	IMD, LUST, UST
27801	1011922262	110037425177	B & P AUTO SALES	2824 RALEIGH ST		ROCKY MOUNT	NC	FINDS
27801	1011490117	NCS000000706	B & P AUTO SALES	2824 RALEIGH ST		ROCKY MOUNT	NC	RCRA-NonGen
27801	1020991984		RALEIGH RAOD TIGA	301 RALEIGH RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021533803		REDS PLACE	3617 N RALEIGH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001187550	0-002326	WHITEHURST GROCERY	3709 N RALEIGH ST		ROCKY MOUNT	NC	UST
27801	1007711130	110018677252	WHITEHURST GROCERY	3709 NORTH RALEIGH STREET		ROCKY MOUNT	NC	FINDS

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27801	1007724719	110018813596	J L MINI MART AND GRILL	3901 RALEIGH ROAD		ROCKY MOUNT	NC	FINDS
27801	U003136270	0-016100	J L MINI MART & GRILL	3901 RALEIGH ROAD		ROCKY MOUNT	NC	UST
27801	1020150802		MARSHBURN AMOCO STATION	440 RALEIGH RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001434052	0-000448	VIVERETTE EXXON	501 N RALEIGH ST		ROCKY MOUNT	NC	UST
27801	1020491729		RALEIGH STREET EXXON	501 NORTH RALEIGH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007709432	110018660297	VIVERETTE EXXON	501 NORTH RALEIGH STREET		ROCKY MOUNT	NC	FINDS
27801	1007725147	110018817878	FUEL DOC 5	540 RALEIGH ROAD		ROCKY MOUNT	NC	FINDS
27801	U003137642	0-022371	FUEL DOC 5	540 RALEIGH ROAD		ROCKY MOUNT	NC	UST
27801	1021544970		BARNES TEXACO SERVICE	560 N RALEIGH STREET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020551887		BOBBITTS GULF SERVICE	566 N RALEIGH ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	S125087109		IMPERIAL CLEANERS INC	571 E RALEIGH BLVD		ROCKY MOUNT	NC	DRYCLEANERS
27801	1000215110	NCD981858699	IMPERIAL CLEANERS INC	571 N RALEIGH ST		ROCKY MOUNT	NC	RCRA-CESQG
27801	S123565602		IMPERIAL CLEANERS	571 N RALEIGH ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	1018882418		IMPERIAL CLEANERS INCORPORATED	571 N RALEIGH ST		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1016636984	110002358118	IMPERIAL CLEANERS INC	571 N RALEIGH ST		ROCKY MOUNT	NC	FINDS
27801	1007724632	110018812720	RALEIGH ST TIGA	620 NORTH RALEIGH STREET		ROCKY MOUNT	NC	FINDS
27801	U003144847	0-016208	RALEIGH ST TIGA	620 NORTH RALEIGH STREET		ROCKY MOUNT	NC	UST
27801	1020008792		IMPERIAL CLEANERS INCORPORATED	635 E RALEIGH BLVD		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	S125089197		CLEAN CLEAN DRY CLEANERS	700 RALEIGH ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	1020237024		C & W GULF SERVICE	738 RALEIGH RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020666540		JENKINS PHILLIPS 66 SERVICE	900 RALEIGH RD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003142430	0-000197	JENKINS SERV CTR & AUTO PARTS CO	905 RALEIGH ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1020265889		JENKINS SERVICE CENTER	905 RALEIGH ROAD		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003145749	0-022458	BEVERAGE SHACK	RALEIGH RD		ROCKY MOUNT	NC	UST
27801	1020262346		MANNING SERVICE STATION	RALEIGH RD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022131226		MANNING SERVICE STATION	RALEIGH RD EXTN	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1022123524		MANNING SERVICE STATION	RALEIGH RD EXTN	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007701780	110018583718	BEVERAGE SHACK	RALEIGH ROAD	**	ROCKY MOUNT	NC	FINDS
27801	1007696031	110018526148	LOCKE ENTERPRISES	RALEIGH ROAD & FAIRVIEW ROA	**	ROCKY MOUNT	NC	FINDS
27801	U001437666	0-020424	JACKSON MOVING STORAGE CO INC	#2 RICHARD DRIVE	**	ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007698809	110018553974	JACKSON MOVING STORAGE CO INCORP	#2 RICHARD DRIVE	**	ROCKY MOUNT	NC	FINDS
27801	1000430271	NCD981868854	BENVENUE CLEANERS	106-B WEST RIDGE ST	**	ROCKY MOUNT	NC	RCRA-NonGen
27801	1016654149	110004028267	BENVENUE CLEANERS	106-B WEST RIDGE ST	**	ROCKY MOUNT	NC	FINDS
27801	1020371887		STALLINGS TRANSPORT CORP	315 W RIDGE ST	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1026455133	110070814892	RM COMMERCIAL, LLC	450 WEST RIDGE STREET	**	ROCKY MOUNT	NC	FINDS
27801	U001438262	0-022638	EXPRESSWAY 19	W RIDGE ST	**	ROCKY MOUNT	NC	UST
27801	U001437805	0-020902	SUNSET PARK (PARK TRAIN RIDE)	RIVER DRIVE	**	ROCKY MOUNT	NC	UST
27801	1007725520	110018821603	SUNSET PARK (PARK TRAIN RIDE)	RIVER DRIVE	**	ROCKY MOUNT	NC	FINDS
27801	U003142668	0-001766	HEILIG MEYERS CO	109 RIVERSIDE DRIVE	**	ROCKY MOUNT	NC	LUST TRUST, IMD, SHWS, LUST, UST
27801	1007717975	110018745928	EASTERN RENT-A-CAR	ROCKY MOUNT-WILSON AIRPORT	**	ROCKY MOUNT	NC	FINDS
27801	U001437618	0-020341	EASTERN RENT-A-CAR	ROCKY MOUNT-WILSON AIRPORT	**	ROCKY MOUNT	NC	UST
27801	1014901102	110043687310	ROMIE LANE DRUM	266 ROMIE LANE	**	ROCKY MOUNT	NC	FINDS
27801	1014914920	NCN000410713	ROMIE LANE DRUM	266 ROMIE LANE	**	ROCKY MOUNT	NC	CERCLIS
27801	2011980885		ROMIE LANE DRUM	266 ROMIE LANE	**	ROCKY MOUNT	NC	ERNS
27801	1020802789		SUNOCO OIL	1925 ROSE AV	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020060637		PEERLESS CLEANERS & LAUNDRY*	206 ROSE ST	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1012211562	NCR000148726	NCDSCA DC330002(THORNE'S DRY CLE/	502 ROSE ST	**	ROCKY MOUNT	NC	RCRA-NonGen
27801	S120705313		THORNE'S DRY CLEANERS	502 ROSE ST	**	ROCKY MOUNT	NC	DRYCLEANERS
27801	1015945463	110046239600	NCDSCA DC330002(THORNE'S DRY CLE/	502 ROSE ST, STE 100	**	ROCKY MOUNT	NC	FINDS
27801	S125089193		GLAM O RAMA CLEANERS	504 ROSE ST	**	ROCKY MOUNT	NC	DRYCLEANERS
27801	1018446636		GLAM-O-RAMA CLEANERS	504 ROSE STREET	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	S110629362		MEDORA FARM	344 ROUSE RD	**	ROCKY MOUNT	NC	NPDES
27801	S112338044		BRAKE FARM	344 ROUSE ROAD	**	ROCKY MOUNT	NC	
27801	S110629357		BRAKE FARMS	440 ROUSE RD	**	ROCKY MOUNT	NC	
27801	S112338038		BRAKE FARMS	440 ROUSE RD	**	ROCKY MOUNT	NC	
27801	1020611254		LANGLEY BROTHERS	SANDY CROSS	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1012118059	110039000390	ROSSVILLE VELOURS	850 SCHOEPP DRIVE	**	ROCKY MOUNT	NC	FINDS

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27801	1007724911	110018815512	JOHN W. LEWIS	213 SHADY CIRCLE DR.		ROCKY MOUNT	NC	FINDS
27801	U001438353	0-023129	JOHN W. LEWIS	213 SHADY CIRCLE DR.		ROCKY MOUNT	NC	UST
27801	1007708292	110018648837	PEACOCK MEAT CO.. INCORPORATED	SHERROD STREET		ROCKY MOUNT	NC	FINDS
27801	U001186755	0-001126	PEACOCK MEAT CO., INC.	SHERROD STREET	**	ROCKY MOUNT	NC	UST
27801	U001201875	0-024616	HARVEY WIGGINS, SR.	1505 SPRINGBROOK DRIVE		ROCKY MOUNT	NC	UST
27801	1007699555	110018561457	HARVEY WIGGINS, SR.	1505 SPRINGBROOK DRIVE		ROCKY MOUNT	NC	FINDS
27801	U001194547	0-012983	D E COOLY	456 SPRINGFIELD RD.		ROCKY MOUNT	NC	UST
27801	1007717758	110018743751	D E COOLY	456 SPRINGFIELD ROAD		ROCKY MOUNT	NC	FINDS
27801	U003136202	0-015905	FIRE STATION #5	900 SPRINGFIELD ROAD		ROCKY MOUNT	NC	LUST, UST
27801	1021782360		SLAM DUNK ENTERPRISES INC	823 STALLINGSWAY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1012105500	110038978023	EDGEcombe ENERGY FACILITY	STATE ROAD 1404	**	BATTLEBORO	NC	FINDS
27801	1007709947	110018665425	NASH CO SCHOOL	STATE ROAD 1601	**	ROCKY MOUNT	NC	FINDS
27801	1007709276	110018658727	H L SKINNER STORE	STATE ROAD 1745	**	ROCKY MOUNT	NC	FINDS
27801	1007726914	110018835554	KMART #4372 / 6124	1916 STONE-ROSE DRIVE		ROCKY MOUNT	NC	FINDS
27801	U003137319	0-020855	KMART 4372 / 6124	1916 STONE-ROSE DRIVE		ROCKY MOUNT	NC	UST
27801	1007707941	110018645368	MOHASCO UPHOLS FURNITURE	157 STRATFORD DRIVE		ROCKY MOUNT	NC	FINDS
27801	U001196640	0-016529	DAUGHTRIDGE OIL CO., INC.	1200 EAST STREET		ROCKY MOUNT	NC	UST
27801	1007700270	110018568600	THE PANTRY #3081 DBA ZIP MART	3537 SUNSET AVENUE	**	ROCKY MOUNT	NC	FINDS
27801	1007698665	110018552528	DAN GLOVER	1017 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001437783	0-020841	DAN GLOVER	1017 SUNSET AVENUE		ROCKY MOUNT	NC	UST
27801	S125089184		PURVIS CLEANERS	122 SUNSET AVE		ROCKY MOUNT	NC	DRYCLEANERS
27801	1020068590		PURVIS CLEANERS & LAUNDRY	122-128 N/S SUNSET	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1020068589		PURVIS CLEANERS & LAUNDRY	122-128 N/S SUNSET AVE	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1007709182	110018657782	LAKESIDE BAPTIST CHURCH	1501 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001434279	0-001645	LAKESIDE BAPTIST CHURCH	1501 SUNSET AVENUE		ROCKY MOUNT	NC	UST
27801	1021215258		CAROLINA SERVICE STATION	1730 SUNSET AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007727529	110018841734	JAY L. HILL T/A JIFFY LUBE	1804 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001434484	0-003091	JAY L. HILL T/A JIFFY LUBE	1804 SUNSET AVENUE		ROCKY MOUNT	NC	UST
27801	1021555788		LANGLEYS CONVENIENT MART INC	2315 SUNSET AVENUE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001438345	0-023116	MONTGOMERY WARD 1136	2320 SUNSET AVE.		ROCKY MOUNT	NC	DRYCLEANERS, LUST, UST
27801	1020900134		TARRANTOWN EXXON SERVICE	2408 SUNSET AVE EXT		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1004744424	NC0000941906	CLEAN CLEAN DRY CLEANERS	2408 SUNSET AVENUE		ROCKY MOUNT	NC	DRYCLEANERS, INST CONTROL, RCRA-CESQG, SHWS, LUST
27801	1020891086		ENGLEWOOD FLYING A SERVICE STN	2412 SUNSET HWY 64		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1020724081		AUTO PARTS SUPPLY OF NC*	2510 SUNSET AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007718007	110018746302	SUNSET BP	2510 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U003145456	0-020356	TRIPP'S AUTOMOTIVE SERVICE	2510 SUNSET AVENUE		ROCKY MOUNT	NC	LUST, UST
27801	1020925905		ENGLEWOOD 66 SERVICE STATION	2529 SUNSET		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003137617	0-022249	ENGLEWOOD 66 STATION	2529 SUNSET AVE.		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007702710	110018593039	ENGLEWOOD 66 STATION	2529 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001437801	0-020895	FIRE STATION 3	2621 SUNSET AVENUE		ROCKY MOUNT	NC	UST
27801	1016671930	110004017581	EAGLE TRANSPORT CORP	3204 SUNSET AVE		ROCKY MOUNT	NC	FINDS
27801	1004744614	NCD024659906	EAGLE TRANSPORT CORP	3204 SUNSET AVE		ROCKY MOUNT	NC	RCRA-NonGen
27801	1007724531	110018811712	MRS. DONALD H. JONES	3217 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U003142977	0-003811	MRS. DONALD H. JONES	3217 SUNSET AVENUE		ROCKY MOUNT	NC	UST
27801	1020963907		WELLONGATE CONVENIENT MART	3422 SUNSET AVE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007703875	110018604679	PRICE GROCERY	3422 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001434557	0-003518	PRICE GROCERY	3422 SUNSET AVENUE		ROCKY MOUNT	NC	UST
27801	1020257001		WEST END TEXACO SERVICE	3502 SUNSET AVENUE		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001438004	0-021863	SPEEDWAY #8667	3550 SUNSET AVENUE		ROCKY MOUNT	NC	LUST TRUST, IMD, LUST, UST
27801	1007695016	110018515962	WINCO #501	3550 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	1007725069	110018817100	THE PANTRY #3096 DBA ZIP MART	3601 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001438101	0-022203	BI RITE MARKET 6	4100 SUNSET AVENUE		ROCKY MOUNT	NC	INST CONTROL, LUST, UST
27801	1007718138	110018747604	L AND L FOOD STORE #11	4101 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	U001437655	0-020392	BI RITE MARKET # 3	4101 SUNSET AVENUE		ROCKY MOUNT	NC	LUST TRUST, INST CONTROL, LUST, UST
27801	U001196598	0-016455	SUNSET GROCERY	700 SUNSET AVE		ROCKY MOUNT	NC	UST
27801	1007724297	110018809388	SUNSET GROCERY	700 SUNSET AVENUE		ROCKY MOUNT	NC	FINDS
27801	1007722798	110018794376	RCMT-NASHVILLE RD CEN OFFICE	SUNSET AVENUE EXTENSION	**	ROCKY MOUNT	NC	FINDS
27801	1004746534	NCR0000006695	CSX TRANSPORTATION INC	105 SUTTON RD		ROCKY MOUNT	NC	RCRA-CESQG

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27801	1016663060	110004052337	CSX TRANSPORTATION INC	105 SUTTON RD		ROCKY MOUNT	NC	FINDS
27801	U001194504	0-012929	SEABORAD SYSTEM RR	SUTTON ROAD	**	ROCKY MOUNT	NC	UST
27801	1007698675	110018552626	SEABORAD SYSTEM RAILROAD	SUTTON ROAD	**	ROCKY MOUNT	NC	FINDS
27801	U001194506	0-012931	RAIL CROPPING PLANT	SUTTON ROAD	**	ROCKY MOUNT	NC	UST
27801	1020416334		RHODES WILLIAM I	901 TALBOT DR		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003137290	0-020752	ROADWAY EXPRESS, INC.	1801 TANNER ROAD		ROCKY MOUNT	NC	UST
27801	1007725371	110018820114	HEILIG MEYERS, INCORPORATED	2100 TANNER ROAD		ROCKY MOUNT	NC	FINDS
27801	S116491529		ROOMSTORE 2013	2280 TANNER DR,		ROCKY MOUNT	NC	LUST
27801	U003144788	0-015910	ROOMSTORE FURNITURE	2280 TANNER RD		ROCKY MOUNT	NC	LUST, UST
27801	1024425417	110070345403	136430 - ACME UNITED CORPORATION	2280 TANNER ROAD		ROCKY MOUNT	NC	FINDS
27801	U001194510	0-012936	ROCKY MOUNT ASPHALT PLANT	TANNER ROAD	**	ROCKY MOUNT	NC	UST
27801	1021448287		FAIRVIEW SHELL STATION	1329 TARBORO ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001196435	0-016222	ZIP MART 7	1329 TARBORO STREET		ROCKY MOUNT	NC	UST
27801	1007719014	110018756390	ZIP MART #7	1329 TARBORO STREET		ROCKY MOUNT	NC	LUST TRUST, FINDS
27801	S125089575		SUNSHINE LAUNDRY AND CLEANERS	200 TARBORO ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	1017770928	NCR000165241	NCDSCA DC330004 SUNSHINE LAUNDRY	200 TARBORO ST STE 100		ROCKY MOUNT	NC	RCRA-NonGen
27801	1017740356	110063682732	NCDSCA DC330004 SUNSHINE LAUNDRY	200 TARBORO ST STE 100		ROCKY MOUNT	NC	FINDS
27801	U002040122	0-034095	EDGEcombe COMMUNITY COLLEGE	225 TARBORO STREET		ROCKY MOUNT	NC	LUST, UST
27801	1016610671	110002358163	QUALITY LAUNDRY	238 TARBORO STREET		ROCKY MOUNT	NC	FINDS
27801	S118362106		QUALITY LAUNDRY, FORMER	238-242 TARBORO STREET		ROCKY MOUNT	NC	LUST
27801	1017407230		QUALITY LAUNDRY	238-242 TARBORO STREET		ROCKY MOUNT	NC	US BROWNFIELDS
27801	1018158105	NCR000165985	NCDSCA DC330006 (QUALITY LDY & CLN	242 TARBORO ST		ROCKY MOUNT	NC	RCRAInfo-SQG
27801	S120705316		QUALITY CLEANERS LAUNDRY	242 TARBORO ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	1018123602	110064668998	NCDSCA DC330006 (QUALITY LDY & CLN	242 TARBORO ST		ROCKY MOUNT	NC	FINDS
27801	1018149818		POWELL PROPERTIES	256 268 TARBORO STREET		ROCKY MOUNT	NC	US BROWNFIELDS
27801	1023387977	110067033310	POWELL PROPERTIES	256 268 TARBORO STREET		ROCKY MOUNT	NC	FINDS
27801	1021447295		GRIFFIN ROSSIE D	300 TARBORO ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007717898	110018745143	CENTRAL AMOCO	300 TARBORO STREET		ROCKY MOUNT	NC	FINDS
27801	U003145411	0-020009	CENTRAL AMOCO	300 TARBORO STREET		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1021280379		WALKERS ALIGNMENT & BRAKE SHOP	301 TARBORO ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U002040161	0-034137	EXXON	301 TARBORO STREET		ROCKY MOUNT	NC	LUST, UST
27801	U001186196	0-000206	R & R TARBORO ST UNION 76	317 TARBORO ST		ROCKY MOUNT	NC	UST
27801	1022022973		BRAZELTON AUTO AC REPAIRS	317 TARBORO ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1007709757	110018663542	R AND R TARBORO ST UNION 76	317 TARBORO STREET		ROCKY MOUNT	NC	FINDS
27801	1020468052		REDS PLACE	TARBORO HWY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1021747132		GRIFFIN C R GROCERY	TARBORO HWY	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1016617209	110004061531	CLEAN CLEAN DRY CLEAN	105 TARRYTOWN MALL		ROCKY MOUNT	NC	FINDS
27801	1004747288	NCS000000052	CLEAN CLEAN DRY CLEAN	105 TARRYTOWN MALL		ROCKY MOUNT	NC	RCRA-NonGen
27801	S125089201		CLEAN CLEAN	TARRYTOWN MALL STE 105	**	ROCKY MOUNT	NC	DRYCLEANERS
27801	1018593687		ROCKY MT LAUNDRY	105 TERRY TOWN MALL	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	U003137639	0-022364	MAOLA MILK & ICE CREAM CO.	1148 WEST THOMAS STREET		ROCKY MOUNT	NC	UST
27801	S113193262		THORPE UST SITE	201 E THOMAS ST		ROCKY MOUNT	NC	INST CONTROL, LUST
27801	1020141899		CENTRAL SERVICE STATION	206 W THOMAS		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003137694	0-022634	CENTRAL AMOCO	206 W. THOMAS ST		ROCKY MOUNT	NC	UST
27801	S112338166		DOUGLAS BLOCK REDEVELOPMENT	207 E THOMAS ST		ROCKY MOUNT	NC	
27801	S110492987		FORMER THORPE BLDG	207 E. THOMAS ST		ROCKY MOUNT	NC	INST CONTROL, LUST
27801	U003137423	0-021272	GOODYEAR TIRE CENTER	232 W THOMAS ST, P O BOX 788		ROCKY MOUNT	NC	UST
27801	S106349550	86997	GOODYEAR #9033 (FORMER)	232 WEST THOMAS STREET		ROCKY MOUNT	NC	IMD
27801	1020321201		THOMAS STREET SHELL STATION	301 W THOMAS ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U003134076	0-001072	CIRCLE K 2723090	425 WEST THOMAS STREET		ROCKY MOUNT	NC	INST CONTROL, LUST, UST
27801	1007708184	110018647785	THE PANTRY #3090 DBA ZIP MART	425 WEST THOMAS STREET		ROCKY MOUNT	NC	FINDS
27801	1022243882		PETWAY SERVICE STATION	600 E THOMAS ST		ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1014393828	NCR000148924	NCDSCA DC330003 (PRESTIGE CLEANER	620 E THOMAS ST		ROCKY MOUNT	NC	RCRAInfo-SQG
27801	S120705314		PRESTIGE CLEANERS	620 E THOMAS ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	1020054590		PRESTIGE CLEANERS OF ROCKY MT	620 E THOMAS ST		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1007710093	110018666905	PRESTIGE CLEANERS OF ROCKY MT	620 EAST THOMAS STREET		ROCKY MOUNT	NC	FINDS
27801	1020659728		CENTRAL SERVICE STATION	W THOMAS ST	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001437800	0-020894	TRANSFER STATION	THORP ROAD		ROCKY MOUNT	NC	UST
27801	1007703984	110018605712	TRANSFER STATION	THORP ROAD	**	ROCKY MOUNT	NC	FINDS

EDR ZIP Code Scan Report

ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
27801	1026643749		TEXTILE PRINTS CORP.	1021 THORPE ROAD		ROCKY MOUNT	NC	PRP
27801	U003146512	0-028417	ROCKY MOUNT SENIOR HIGH SCHOOL	308 S TILLERY STREET		ROCKY MOUNT	NC	LUST TRUST, LUST, UST
27801	1007698063	110018546509	ROCKY MOUNT SENIOR HIGH SCHO	308 SOUTH TILLERY STREET		ROCKY MOUNT	NC	FINDS
27801	1017382689	110062691010	CITY OF ROCKY MOUNT - TAR RIVER WW	3031 TREATMENT PLANT ROAD		ROCKY MOUNT	NC	FINDS
27801	1007724456	110018810964	MILDRED E. HINES	1616 EAST VA. STREET		ROCKY MOUNT	NC	FINDS
27801	U003144861	0-016308	MILDRED E. HINES	1616 EAST VA. STREET		ROCKY MOUNT	NC	UST
27801	U003145583	0-021254	MORRISON-KNUDSEN CO	1400 VANCE ST		ROCKY MOUNT	NC	UST
27801	1016619425	110004022423	POWER SYSTEMS	1400 VANCE ST		ROCKY MOUNT	NC	FINDS
27801	1000362817	NCD980602619	POWER SYSTEMS	1400 VANCE ST		ROCKY MOUNT	NC	RCRA-NonGen
27801	1007725483	110018821248	MORRISON-KNUDSEN CO	1400 VANCE STREET		ROCKY MOUNT	NC	FINDS
27801	1016619436	110001477330	TRINITY INDS INC PLANT 04	1549 VANCE ST		ROCKY MOUNT	NC	FINDS
27801	U003295481	0-012941	TRINITY INDUSTRIES, INC.	1549 VANCE ST		ROCKY MOUNT	NC	INST CONTROL, LUST, UST
27801	1000316441	NCD040028011	TRINITY CONTAINERS LLC	1549 VANCE ST		ROCKY MOUNT	NC	IMD, RCRA-NonGen
27801	S101525381	4007	RIVENBARK RESIDENCE	1831 VANCE ST.		ROCKY MOUNT	NC	IMD, SHWS
27801	2005756314			2525 VANCE STREET	**	ROCKY MOUNT	NC	ERNS
27801	S113489549		W.C. VARNELL JR. FARM	383 VARNELL LN		ROCKY MOUNT	NC	NPDES
27801	1020553673		GEORGE & JONES SERVICE STATION	3121 S W ERN BLVD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	U001206409	0-032540	ROCKY MOUNT ARMORY	600 WALNUT STREET		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1016665326	110004057975	ENGINE SYSTEMS INC	1220 WASHINGTON ST		ROCKY MOUNT	NC	FINDS
27801	1001221130	NCR000009431	ENGINE SYSTEMS INC	1220 WASHINGTON ST		ROCKY MOUNT	NC	RCRA-NonGen
27801	1023196225	110061462028	ROCKY MOUNT, NC CENTRAL OFFICE	143 NORTH WASHINGTON STREET		ROCKY MOUNT	NC	FINDS
27801	U001188013	0-003013	ROCKY MOUNT-WASHINGTON ST	143 NORTH WASHINGTON STREET		ROCKY MOUNT	NC	UST
27801	S125089188		CLEAN CLEAN DRY CLEANERS	219 WASHINGTON ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	S125089189		CLEAN CLEAN	223 S WASHINGTON ST		ROCKY MOUNT	NC	DRYCLEANERS
27801	U003008442	0-034453	DILLON SUPPLY COMPANY	348 SOUTH WASHINGTON ST		ROCKY MOUNT	NC	LUST, UST
27801	1007707399	110018639927	DILLON SUPPLY COMPANY	348 SOUTH WASHINGTON STREET		ROCKY MOUNT	NC	FINDS
27801	1004746771	NCR000006841	SHEHADEH ANTIQUES	401 S WASHINGTON STREET		ROCKY MOUNT	NC	RCRA-CESQG
27801	1016633082	110004056253	SHEHADEH ANTIQUES	401 S WASHINGTON STREET		ROCKY MOUNT	NC	FINDS
27801	U000817208	0-015113	IN-LINE INC	600 S WASHINGTON ST		ROCKY MOUNT	NC	UST
27801	1007726654	110018832940	IN-LINE INCORPORATED	600 SOUTH WASHINGTON STREET		ROCKY MOUNT	NC	FINDS
27801	S125089200		ROCKY MOUNT LAUNDRY & DRY CLEANE	S WASHINGTON ST	**	ROCKY MOUNT	NC	DRYCLEANERS
27801	A100186991	33020	SEABOARD COASTLINE RR COROCKY MC	S WASHINGTON ST.	**	ROCKY MOUNT	NC	AST
27801	U0001438038	0-022055	EMERSON SHOPS - STORE HOUSE	WASHINGTON STREET	**	ROCKY MOUNT	NC	UST
27801	1000831354	NCD982147472	CAROLINA FREIGHT CARRIERS CORP	1431 WESELYAN BLVD		ROCKY MOUNT	NC	LUST TRUST, INST CONTROL, RCRA-NonGen, SHWS, LUST
27801	1016626022	110004035525	CAROLINA FREIGHT CARRIERS CORP	1431 WESELYAN BLVD		ROCKY MOUNT	NC	FINDS
27801	U003137706	0-022727	BELK ENTERPRISES INC	1100 NORTH WESLEYAN BLVD.		ROCKY MOUNT	NC	IMD, LUST, UST
27801	1007696641	110018532284	BELK ENTERPRISES INCORPORATED	1100 NORTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	U001433989	0-000092	DAVID M FARRIS J PAUL FARRIS	1340 S WESLEYAN BLVD		ROCKY MOUNT	NC	UST
27801	1007705966	110018625610	DAVID M FARRIS J PAUL FARRIS	1340 SOUTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	U003137739	0-023102	CAROLINA FREIGHT CARRIERS CORP	1431 WESLEYAN BLVD. N		ROCKY MOUNT	NC	UST
27801	U004122965		SPEEDWAY #6981	1493 N WESLEYAN BLVD		ROCKY MOUNT	NC	UST
27801	U003137647	0-022389	MEDLIN MOTORS	1800 NORTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	UST
27801	1007696132	110018527183	MEDLIN MOTORS	1800 NORTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	U003137660	0-022472	PITTMAN'S USED PARTS	2221 S. WESLEYAN BLVD		ROCKY MOUNT	NC	UST
27801	1007696168	110018527502	PITTMAN S USED PARTS	2221 SOUTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	U003145537	0-020947	TAR HEEL CONV MART	2320 NORTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	LUST, UST
27801	S117917750		CRETE SOLUTIONS LLC - ROCKY MOUNT	2375 N WESLEYAN BLVD		ROCKY MOUNT	NC	NPDES
27801	1007704079	110018606720	RUAN LEASING CO	2725 NORTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	1016630378	110004058260	NOBLE OIL SERVICES ROCKY-MOUNT	2810 S WESLEYAN		ROCKY MOUNT	NC	FINDS
27801	1001232806	NCR000009779	NOBLE OIL SERVICES ROCKY-MOUNT	2810 S WESLEYAN		ROCKY MOUNT	NC	RCRA-NonGen
27801	1016665302	110004019516	BILL ROWE OLDSMOBILE-NISSAN	851 N WESLEYAN BLVD		ROCKY MOUNT	NC	FINDS
27801	1000199473	NCD061027603	BILL ROWE OLDSMOBILE-NISSAN	851 N WESLEYAN BLVD		ROCKY MOUNT	NC	RCRA-NonGen
27801	1007706856	110018634502	WEBB FIBERGLASS SPT.. INCORPORATEI	921 SOUTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	U001434496	0-003144	WEBB FIBERGLASS SPT., INC.	921 SOUTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	UST
27801	U003145833	0-023001	HOWELL BUICK INC.	940 N. WESLEYAN BLVD.		ROCKY MOUNT	NC	UST
27801	U003202500	0-031454	FUEL DOC 8	963 N. WESLEYAN BLVD.		ROCKY MOUNT	NC	UST
27801	1007707302	110018638964	FUEL DOC #8	963 NORTH WESLEYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	1007714806	110018714122	MODERN TRAILER PARK	2300 SO WESLYAN BOULEVARD		ROCKY MOUNT	NC	FINDS
27801	1007699563	110018561554	JC GARDNER ESTATE/PLANTERS BA	1331 WESTERN AVENUE		ROCKY MOUNT	NC	FINDS
27801	U003145535	0-020936	JC GARDNER ESTATE/PLANTERS BANK	1331 WESTERN AVENUE		ROCKY MOUNT	NC	UST
27801	1021803756		GEORGE & JONES SERVICE STATION	3121 S WESTERN BLVD	**	ROCKY MOUNT	NC	EDR Historical Auto Stations
27801	1004549594	110001480166	NEW SOUTHERN OF ROCKY MOUNT INCC	600 WILKERSON DRIVE	**	ROCKY MOUNT	NC	FINDS
27801	U001434273	0-001611	WILLIFORD ELEMENTARY SCHOOL	801 WILLIFORD STREET		ROCKY MOUNT	NC	UST
27801	1007709111	110018657069	WILLIFORD ELEMENTARY SCHOOL	801 WILLIFORD STREET		ROCKY MOUNT	NC	FINDS
27801	U001196846	0-016790	AARON STATION	1724 WILSON ROAD		ROCKY MOUNT	NC	UST
27801	1007724043	110018806826	AARON STATION	1724 WILSON ROAD		ROCKY MOUNT	NC	FINDS
27801	U000323121	0-020090	JEAN C. AYSUCUE	1908 WINDSOR DRIVE		ROCKY MOUNT	NC	UST

EDR ZIP Code Scan Report

ZIP	EDR-ID	Facility ID	Name	Address	Map/Dir/Dist	City	State	Databases
27801	1007717386	110018740022	JEAN C. AYSCUE	1908 WINDSOR DRIVE		ROCKY MOUNT	NC	FINDS
27801	1018888351		SUPERIOR DRY	117 N WINSTEAD AVE		ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1020099802		SUPERIOR DRY CLEANERS	120 WINSTEAD AVE	**	ROCKY MOUNT	NC	EDR Historical Cleaners
27801	1020099840		SUPERIOR DRY CLRS LDRY OF NASH	139 WITS END LN		ROCKY MOUNT	NC	EDR Historical Cleaners

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: N/A
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 10/01/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 01/10/2022
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: N/A
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 10/01/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 01/10/2022
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991
Date Data Arrived at EDR: 02/02/1994
Date Made Active in Reports: 03/30/1994
Number of Days to Update: 56

Source: EPA
Telephone: 202-564-4267
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 07/29/2021
Date Data Arrived at EDR: 08/04/2021
Date Made Active in Reports: 08/31/2021
Number of Days to Update: 27

Source: EPA
Telephone: N/A
Last EDR Contact: 10/01/2021
Next Scheduled EDR Contact: 01/10/2022
Data Release Frequency: Quarterly

Federal CERCLIS list

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 05/25/2021
Date Data Arrived at EDR: 06/24/2021
Date Made Active in Reports: 09/20/2021
Number of Days to Update: 88

Source: Environmental Protection Agency
Telephone: 703-603-8704
Last EDR Contact: 10/01/2021
Next Scheduled EDR Contact: 01/10/2022
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 07/29/2021
Date Data Arrived at EDR: 08/04/2021
Date Made Active in Reports: 08/31/2021
Number of Days to Update: 27

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 10/01/2021
Next Scheduled EDR Contact: 01/24/2022
Data Release Frequency: Quarterly

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: 800-424-9346
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 10/01/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 01/24/2022
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 03/22/2021	Source: EPA
Date Data Arrived at EDR: 03/23/2021	Telephone: 800-424-9346
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 09/15/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 01/03/2022
	Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 09/15/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 01/03/2022
	Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 09/15/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 01/03/2022
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 09/15/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 01/03/2022
	Data Release Frequency: Quarterly

RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 09/15/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 01/03/2022
	Data Release Frequency: Quarterly

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/10/2021	Source: Department of the Navy
Date Data Arrived at EDR: 05/13/2021	Telephone: 843-820-7326
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 08/05/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/23/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Varies

US INST CONTROLS: Institutional Controls Sites List

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/23/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 06/14/2021

Date Data Arrived at EDR: 06/17/2021

Date Made Active in Reports: 08/17/2021

Number of Days to Update: 61

Source: National Response Center, United States Coast Guard

Telephone: 202-267-2180

Last EDR Contact: 09/21/2021

Next Scheduled EDR Contact: 01/03/2022

Data Release Frequency: Quarterly

State- and tribal - equivalent NPL

HSDS: Hazardous Substance Disposal Site

Locations of uncontrolled and unregulated hazardous waste sites. The file includes sites on the National Priority List as well as those on the state priority list.

Date of Government Version: 08/09/2011

Date Data Arrived at EDR: 11/08/2011

Date Made Active in Reports: 12/05/2011

Number of Days to Update: 27

Source: North Carolina Center for Geographic Information and Analysis

Telephone: 919-754-6580

Last EDR Contact: 07/13/2021

Next Scheduled EDR Contact: 11/01/2021

Data Release Frequency: No Update Planned

State- and tribal - equivalent CERCLIS

SHWS: Inactive Hazardous Sites Inventory

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 05/12/2021

Date Data Arrived at EDR: 06/10/2021

Date Made Active in Reports: 09/02/2021

Number of Days to Update: 84

Source: Department of Environment, Health and Natural Resources

Telephone: 919-508-8400

Last EDR Contact: 09/09/2021

Next Scheduled EDR Contact: 12/20/2021

Data Release Frequency: Quarterly

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: List of Solid Waste Facilities

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 05/06/2021

Date Data Arrived at EDR: 06/22/2021

Date Made Active in Reports: 09/20/2021

Number of Days to Update: 90

Source: Department of Environment and Natural Resources

Telephone: 919-733-0692

Last EDR Contact: 09/24/2021

Next Scheduled EDR Contact: 01/03/2022

Data Release Frequency: Varies

OLI: Old Landfill Inventory

Old landfill inventory location information. (Does not include no further action sites and other agency lead sites).

Date of Government Version: 09/11/2020

Date Data Arrived at EDR: 10/09/2020

Date Made Active in Reports: 12/30/2020

Number of Days to Update: 82

Source: Department of Environment & Natural Resources

Telephone: 919-733-4996

Last EDR Contact: 07/09/2021

Next Scheduled EDR Contact: 10/18/2021

Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEBRIS: Solid Waste Active Disaster Debris Sites Listing

NCDEQ Division of Waste Management Solid Waste Section Temporary Disaster Debris Staging Site (TDDSS) Locations which are available to be activated in a disaster or emergency.. Disaster Debris Sites can only be used for temporary disaster debris storage if the site's responsible party activates the site for use by notifying the NCDEQ DWM Solid Waste Section staff during an emergency

Date of Government Version: 01/06/2021	Source: Department of Environmental Quality
Date Data Arrived at EDR: 03/16/2021	Telephone: 919-707-8247
Date Made Active in Reports: 06/02/2021	Last EDR Contact: 09/14/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 12/27/2021
	Data Release Frequency: Varies

LCID: Land-Clearing and Inert Debris (LCID) Landfill Notifications

A list all of the Land-Clearing and Inert Debris (LCID) Landfill Notification facilities (under 2 acres in size) in North Carolina.

Date of Government Version: 05/11/2021	Source: Department of Environmental Quality
Date Data Arrived at EDR: 07/02/2021	Telephone: 919-707-8248
Date Made Active in Reports: 09/28/2021	Last EDR Contact: 07/02/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Varies

State and tribal leaking storage tank lists

LUST: Regional UST Database

This database contains information obtained from the Regional Offices. It provides a more detailed explanation of current and historic activity for individual sites, as well as what was previously found in the Incident Management Database. Sites in this database with Incident Numbers are considered LUSTs.

Date of Government Version: 04/30/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 05/03/2021	Telephone: 919-707-8200
Date Made Active in Reports: 07/21/2021	Last EDR Contact: 08/03/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

LAST: Leaking Aboveground Storage Tanks

A listing of leaking aboveground storage tank site locations.

Date of Government Version: 04/30/2021	Source: Department of Environment & Natural Resources
Date Data Arrived at EDR: 05/03/2021	Telephone: 877-623-6748
Date Made Active in Reports: 07/20/2021	Last EDR Contact: 08/03/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land

Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 04/06/2021	Source: EPA, Region 5
Date Data Arrived at EDR: 06/11/2021	Telephone: 312-886-7439
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 05/28/2021	Source: EPA Region 4
Date Data Arrived at EDR: 06/22/2021	Telephone: 404-562-8677
Date Made Active in Reports: 09/20/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 90	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 04/27/2021	Source: EPA Region 10
Date Data Arrived at EDR: 06/11/2021	Telephone: 206-553-2857
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 05/27/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/11/2021	Telephone: 415-972-3372
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 05/27/2021	Source: EPA Region 8
Date Data Arrived at EDR: 06/11/2021	Telephone: 303-312-6271
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 06/01/2021	Source: EPA Region 7
Date Data Arrived at EDR: 06/11/2021	Telephone: 913-551-7003
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 04/28/2021	Source: EPA Region 1
Date Data Arrived at EDR: 06/11/2021	Telephone: 617-918-1313
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 05/17/2021	Source: EPA Region 6
Date Data Arrived at EDR: 06/11/2021	Telephone: 214-665-6597
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

LUST TRUST: State Trust Fund Database

This database contains information about claims against the State Trust Funds for reimbursements for expenses incurred while remediating Leaking USTs.

Date of Government Version: 07/02/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 07/02/2021	Telephone: 919-733-1315
Date Made Active in Reports: 09/27/2021	Last EDR Contact: 10/05/2021
Number of Days to Update: 87	Next Scheduled EDR Contact: 01/17/2022
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

State and tribal registered storage tank lists

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/29/2021	Source: FEMA
Date Data Arrived at EDR: 02/17/2021	Telephone: 202-646-5797
Date Made Active in Reports: 03/22/2021	Last EDR Contact: 09/30/2021
Number of Days to Update: 33	Next Scheduled EDR Contact: 01/17/2022
	Data Release Frequency: Varies

UST: Petroleum Underground Storage Tank Database

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 04/30/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 05/03/2021	Telephone: 919-733-1308
Date Made Active in Reports: 07/20/2021	Last EDR Contact: 08/03/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

AST: AST Database

Facilities with aboveground storage tanks that have a capacity greater than 21,000 gallons.

Date of Government Version: 05/18/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 06/09/2021	Telephone: 919-715-6183
Date Made Active in Reports: 08/30/2021	Last EDR Contact: 09/09/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/27/2021
	Data Release Frequency: Semi-Annually

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 04/06/2021	Source: EPA Region 5
Date Data Arrived at EDR: 06/11/2021	Telephone: 312-886-6136
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 04/27/2021	Source: EPA Region 10
Date Data Arrived at EDR: 06/11/2021	Telephone: 206-553-2857
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 05/17/2021	Source: EPA Region 6
Date Data Arrived at EDR: 06/11/2021	Telephone: 214-665-7591
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 06/01/2021	Source: EPA Region 7
Date Data Arrived at EDR: 06/11/2021	Telephone: 913-551-7003
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 05/27/2021	Source: EPA Region 8
Date Data Arrived at EDR: 06/11/2021	Telephone: 303-312-6137
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 05/27/2021	Source: EPA Region 9
Date Data Arrived at EDR: 06/11/2021	Telephone: 415-972-3368
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 04/28/2021	Source: EPA, Region 1
Date Data Arrived at EDR: 06/11/2021	Telephone: 617-918-1313
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 05/28/2021	Source: EPA Region 4
Date Data Arrived at EDR: 06/22/2021	Telephone: 404-562-9424
Date Made Active in Reports: 09/20/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 90	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

State and tribal institutional control / engineering control registries

INST CONTROL: No Further Action Sites With Land Use Restrictions Monitoring

A land use restricted site is a property where there are limits or requirements on future use of the property due to varying levels of cleanup possible, practical, or necessary at the site.

Date of Government Version: 09/04/2020	Source: Department of Environmental Quality
Date Data Arrived at EDR: 09/09/2020	Telephone: 919-508-8400
Date Made Active in Reports: 12/03/2020	Last EDR Contact: 09/10/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 12/20/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

State and tribal voluntary cleanup sites

VCP: Responsible Party Voluntary Action Sites
Responsible Party Voluntary Action site locations.

Date of Government Version: 05/12/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 06/07/2021	Telephone: 919-508-8400
Date Made Active in Reports: 08/30/2021	Last EDR Contact: 09/09/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 12/20/2021
	Data Release Frequency: Quarterly

INDIAN VCP R7: Voluntary Cleanup Priority Listing
A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 07/08/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: Varies

INDIAN VCP R1: Voluntary Cleanup Priority Listing
A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 09/29/2015	Telephone: 617-918-1102
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 09/15/2021
Number of Days to Update: 142	Next Scheduled EDR Contact: 01/03/2022
	Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS: Brownfields Projects Inventory
A brownfield site is an abandoned, idled, or underused property where the threat of environmental contamination has hindered its redevelopment. All of the sites in the inventory are working toward a brownfield agreement for cleanup and liability control.

Date of Government Version: 06/01/2021	Source: Department of Environment and Natural Resources
Date Data Arrived at EDR: 06/24/2021	Telephone: 919-733-4996
Date Made Active in Reports: 09/17/2021	Last EDR Contact: 09/28/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 01/10/2022
	Data Release Frequency: Quarterly

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites
Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/10/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/10/2021	Telephone: 202-566-2777
Date Made Active in Reports: 08/17/2021	Last EDR Contact: 09/14/2021
Number of Days to Update: 68	Next Scheduled EDR Contact: 12/27/2021
	Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY: Recycling Center Listing

A listing of recycling center locations.

Date of Government Version: 01/28/2021
Date Data Arrived at EDR: 01/29/2021
Date Made Active in Reports: 04/23/2021
Number of Days to Update: 84

Source: Department of Environment & Natural Resources
Telephone: 919-707-8137
Last EDR Contact: 07/21/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

HIST LF: Solid Waste Facility Listing

A listing of solid waste facilities.

Date of Government Version: 11/06/2006
Date Data Arrived at EDR: 02/13/2007
Date Made Active in Reports: 03/02/2007
Number of Days to Update: 17

Source: Department of Environment & Natural Resources
Telephone: 919-733-0692
Last EDR Contact: 01/19/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 07/13/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: No Update Planned

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014
Date Data Arrived at EDR: 08/06/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service
Telephone: 301-443-1452
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: No Update Planned

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Quarterly

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 07/29/2021
Date Data Arrived at EDR: 08/04/2021
Date Made Active in Reports: 08/31/2021
Number of Days to Update: 27

Source: Environmental Protection Agency
Telephone: 202-564-6023
Last EDR Contact: 10/01/2021
Next Scheduled EDR Contact: 01/10/2022
Data Release Frequency: Semi-Annually

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 09/12/2021
Date Data Arrived at EDR: 09/13/2021
Date Made Active in Reports: 09/28/2021
Number of Days to Update: 15

Source: U.S. Department of Transportation
Telephone: 202-366-4555
Last EDR Contact: 09/13/2021
Next Scheduled EDR Contact: 01/03/2022
Data Release Frequency: Quarterly

SPILLS: Spills Incident Listing

A listing spills, hazardous material releases, sanitary sewer overflows, wastewater treatment plant bypasses and upsets, citizen complaints, and any other environmental emergency calls reported to the agency.

Date of Government Version: 06/07/2021
Date Data Arrived at EDR: 06/08/2021
Date Made Active in Reports: 08/30/2021
Number of Days to Update: 83

Source: Department of Environment & Natural Resources
Telephone: 919-807-6308
Last EDR Contact: 10/01/2021
Next Scheduled EDR Contact: 12/20/2021
Data Release Frequency: Quarterly

IMD: Incident Management Database

Groundwater and/or soil contamination incidents

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/30/2021
Date Data Arrived at EDR: 08/03/2021
Date Made Active in Reports: 08/06/2021
Number of Days to Update: 3

Source: Department of Environment and Natural Resources
Telephone: 877-623-6748
Last EDR Contact: 08/03/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: No Update Planned

SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 09/27/2012
Date Data Arrived at EDR: 01/03/2013
Date Made Active in Reports: 03/06/2013
Number of Days to Update: 62

Source: FirstSearch
Telephone: N/A
Last EDR Contact: 01/03/2013
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

SPILLS 80: SPILLS80 data from FirstSearch

Spills 80 includes those spill and release records available from FirstSearch databases prior to 1990. Typically, they may include chemical, oil and/or hazardous substance spills recorded before 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 80.

Date of Government Version: 06/14/2001
Date Data Arrived at EDR: 01/03/2013
Date Made Active in Reports: 03/06/2013
Number of Days to Update: 62

Source: FirstSearch
Telephone: N/A
Last EDR Contact: 01/03/2013
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/23/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 57

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 09/15/2021
Next Scheduled EDR Contact: 01/03/2022
Data Release Frequency: Quarterly

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 05/04/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 85

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 07/13/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 04/02/2018	Source: U.S. Geological Survey
Date Data Arrived at EDR: 04/11/2018	Telephone: 888-275-8747
Date Made Active in Reports: 11/06/2019	Last EDR Contact: 10/05/2021
Number of Days to Update: 574	Next Scheduled EDR Contact: 01/17/2022
	Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/03/2017	Telephone: 615-532-8599
Date Made Active in Reports: 04/07/2017	Last EDR Contact: 08/06/2021
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 09/13/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/15/2021	Telephone: 202-566-1917
Date Made Active in Reports: 09/28/2021	Last EDR Contact: 09/15/2021
Number of Days to Update: 13	Next Scheduled EDR Contact: 01/03/2022
	Data Release Frequency: Quarterly

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 07/26/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/08/2018	Telephone: 703-308-4044
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 08/06/2021
Number of Days to Update: 73	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 06/17/2020	Telephone: 202-260-5521
Date Made Active in Reports: 09/10/2020	Last EDR Contact: 09/17/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 12/27/2021
	Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2018	Source: EPA
Date Data Arrived at EDR: 08/14/2020	Telephone: 202-566-0250
Date Made Active in Reports: 11/04/2020	Last EDR Contact: 08/17/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/29/2021
	Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 04/19/2021	Source: EPA
Date Data Arrived at EDR: 04/20/2021	Telephone: 202-564-4203
Date Made Active in Reports: 07/16/2021	Last EDR Contact: 07/19/2021
Number of Days to Update: 87	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Annually

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 07/29/2021	Source: EPA
Date Data Arrived at EDR: 08/04/2021	Telephone: 703-416-0223
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 10/01/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 12/13/2021
	Data Release Frequency: Annually

RMP: Risk Management Plans

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 05/07/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/13/2021	Telephone: 202-564-8600
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 07/14/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 12/30/2020	Source: EPA
Date Data Arrived at EDR: 01/14/2021	Telephone: 202-564-6023
Date Made Active in Reports: 03/05/2021	Last EDR Contact: 10/01/2021
Number of Days to Update: 50	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/19/2020	Source: EPA
Date Data Arrived at EDR: 01/08/2021	Telephone: 202-566-0500
Date Made Active in Reports: 03/22/2021	Last EDR Contact: 07/09/2021
Number of Days to Update: 73	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 09/30/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/17/2022
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 03/08/2021	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 03/11/2021	Telephone: 301-415-7169
Date Made Active in Reports: 05/11/2021	Last EDR Contact: 07/14/2021
Number of Days to Update: 61	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2019	Source: Department of Energy
Date Data Arrived at EDR: 12/01/2020	Telephone: 202-586-8719
Date Made Active in Reports: 02/09/2021	Last EDR Contact: 09/03/2021
Number of Days to Update: 70	Next Scheduled EDR Contact: 12/13/2021
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/05/2019	Telephone: N/A
Date Made Active in Reports: 11/11/2019	Last EDR Contact: 08/31/2021
Number of Days to Update: 251	Next Scheduled EDR Contact: 12/13/2021
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/06/2019	Telephone: 202-566-0517
Date Made Active in Reports: 02/10/2020	Last EDR Contact: 08/06/2021
Number of Days to Update: 96	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2019
Date Data Arrived at EDR: 07/01/2019
Date Made Active in Reports: 09/23/2019
Number of Days to Update: 84

Source: Environmental Protection Agency
Telephone: 202-343-9775
Last EDR Contact: 09/27/2021
Next Scheduled EDR Contact: 01/10/2022
Data Release Frequency: Quarterly

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2007
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020
Date Data Arrived at EDR: 01/28/2020
Date Made Active in Reports: 04/17/2020
Number of Days to Update: 80

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 07/23/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Quarterly

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 06/30/2021
Date Data Arrived at EDR: 07/14/2021
Date Made Active in Reports: 07/16/2021
Number of Days to Update: 2

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 09/30/2021
Next Scheduled EDR Contact: 01/17/2022
Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2017
Date Data Arrived at EDR: 06/22/2020
Date Made Active in Reports: 11/20/2020
Number of Days to Update: 151

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 09/15/2021
Next Scheduled EDR Contact: 01/03/2022
Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014	Source: USGS
Date Data Arrived at EDR: 07/14/2015	Telephone: 202-208-3710
Date Made Active in Reports: 01/10/2017	Last EDR Contact: 10/05/2021
Number of Days to Update: 546	Next Scheduled EDR Contact: 01/17/2022
	Data Release Frequency: Semi-Annually

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 08/08/2017	Source: Department of Energy
Date Data Arrived at EDR: 09/11/2018	Telephone: 202-586-3559
Date Made Active in Reports: 09/14/2018	Last EDR Contact: 07/23/2021
Number of Days to Update: 3	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 08/30/2019	Source: Department of Energy
Date Data Arrived at EDR: 11/15/2019	Telephone: 505-845-0011
Date Made Active in Reports: 01/28/2020	Last EDR Contact: 08/12/2021
Number of Days to Update: 74	Next Scheduled EDR Contact: 11/29/2021
	Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 07/29/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/04/2021	Telephone: 703-603-8787
Date Made Active in Reports: 08/31/2021	Last EDR Contact: 10/01/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 01/10/2022
	Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001	Source: American Journal of Public Health
Date Data Arrived at EDR: 10/27/2010	Telephone: 703-305-6451
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/02/2009
Number of Days to Update: 36	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

US AIRS MINOR: Air Facility System Data A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 05/03/2021
Date Data Arrived at EDR: 05/25/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 78

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 08/24/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Semi-Annually

MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 06/30/2021
Date Data Arrived at EDR: 07/01/2021
Date Made Active in Reports: 09/28/2021
Number of Days to Update: 89

Source: DOL, Mine Safety & Health Admi
Telephone: 202-693-9424
Last EDR Contact: 09/09/2021
Next Scheduled EDR Contact: 12/13/2021
Data Release Frequency: Quarterly

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 05/06/2020
Date Data Arrived at EDR: 05/27/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 78

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011
Date Data Arrived at EDR: 06/08/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 97

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/15/2021
Date Data Arrived at EDR: 06/16/2021
Date Made Active in Reports: 08/17/2021
Number of Days to Update: 62

Source: Department of Interior
Telephone: 202-208-2609
Last EDR Contact: 09/14/2021
Next Scheduled EDR Contact: 12/20/2021
Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 05/05/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/17/2021
Number of Days to Update: 91

Source: EPA
Telephone: (404) 562-9900
Last EDR Contact: 08/31/2021
Next Scheduled EDR Contact: 12/13/2021
Data Release Frequency: Quarterly

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/06/2021
Date Data Arrived at EDR: 05/21/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 82

Source: Environmental Protection Agency
Telephone: 202-564-0527
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 06/26/2021
Date Data Arrived at EDR: 07/01/2021
Date Made Active in Reports: 09/28/2021
Number of Days to Update: 89

Source: Environmental Protection Agency
Telephone: 202-564-2280
Last EDR Contact: 10/05/2021
Next Scheduled EDR Contact: 01/17/2022
Data Release Frequency: Quarterly

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 07/02/2020
Date Made Active in Reports: 09/17/2020
Number of Days to Update: 77

Source: Department of Defense
Telephone: 703-704-1564
Last EDR Contact: 10/07/2021
Next Scheduled EDR Contact: 01/24/2022
Data Release Frequency: Varies

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 05/14/2021
Date Data Arrived at EDR: 05/14/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 81

Source: EPA
Telephone: 800-385-6164
Last EDR Contact: 08/13/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Quarterly

AIRS: Air Quality Permit Listing

A listing of facilities with air quality permits.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/07/2021
Date Data Arrived at EDR: 06/07/2021
Date Made Active in Reports: 08/27/2021
Number of Days to Update: 81

Source: Department of Environmental Quality
Telephone: 919-707-8726
Last EDR Contact: 09/08/2021
Next Scheduled EDR Contact: 12/20/2021
Data Release Frequency: Varies

ASBESTOS: ASBESTOS

Asbestos notification sites

Date of Government Version: 04/30/2021
Date Data Arrived at EDR: 05/17/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 78

Source: Department of Health & Human Services
Telephone: 919-707-5973
Last EDR Contact: 07/14/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: Varies

COAL ASH: Coal Ash Disposal Sites

A listing of coal combustion products distribution permits issued by the Division for the treatment, storage, transportation, use and disposal of coal combustion products.

Date of Government Version: 05/06/2021
Date Data Arrived at EDR: 06/22/2021
Date Made Active in Reports: 09/22/2021
Number of Days to Update: 92

Source: Department of Environment & Natural Resources
Telephone: 919-807-6359
Last EDR Contact: 09/24/2021
Next Scheduled EDR Contact: 01/03/2022
Data Release Frequency: Varies

DRYCLEANERS: Drycleaning Sites

Potential and known drycleaning sites, active and abandoned, that the Drycleaning Solvent Cleanup Program has knowledge of and entered into this database.

Date of Government Version: 03/31/2021
Date Data Arrived at EDR: 06/03/2021
Date Made Active in Reports: 08/26/2021
Number of Days to Update: 84

Source: Department of Environment & Natural Resources
Telephone: 919-508-8400
Last EDR Contact: 09/14/2021
Next Scheduled EDR Contact: 12/27/2021
Data Release Frequency: Varies

Financial Assurance 1: Financial Assurance Information Listing

A listing of financial assurance information for underground storage tank facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 04/30/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 07/20/2021
Number of Days to Update: 78

Source: Department of Environment & Natural Resources
Telephone: 919-733-1322
Last EDR Contact: 08/03/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Quarterly

Financial Assurance 2: Financial Assurance Information Listing

Information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 10/02/2012
Date Data Arrived at EDR: 10/03/2012
Date Made Active in Reports: 10/26/2012
Number of Days to Update: 23

Source: Department of Environment & Natural Resources
Telephone: 919-508-8496
Last EDR Contact: 09/15/2021
Next Scheduled EDR Contact: 01/03/2022
Data Release Frequency: Varies

Financial Assurance 3: Financial Assurance Information

Hazardous waste financial assurance information.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/02/2021
Date Data Arrived at EDR: 06/03/2021
Date Made Active in Reports: 08/25/2021
Number of Days to Update: 83

Source: Department of Environment & Natural Resources
Telephone: 919-707-8222
Last EDR Contact: 08/31/2021
Next Scheduled EDR Contact: 12/19/2021
Data Release Frequency: Varies

NPDES: NPDES Facility Location Listing

General information regarding NPDES(National Pollutant Discharge Elimination System) permits.

Date of Government Version: 04/02/2021
Date Data Arrived at EDR: 04/27/2021
Date Made Active in Reports: 07/15/2021
Number of Days to Update: 79

Source: Department of Environment & Natural Resources
Telephone: 919-733-7015
Last EDR Contact: 07/26/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

UIC: Underground Injection Wells Listing

A listing of uncerground injection wells locations.

Date of Government Version: 10/26/2020
Date Data Arrived at EDR: 11/30/2020
Date Made Active in Reports: 12/07/2020
Number of Days to Update: 7

Source: Department of Environment & Natural Resources
Telephone: 919-807-6412
Last EDR Contact: 09/03/2021
Next Scheduled EDR Contact: 12/13/2021
Data Release Frequency: Quarterly

AOP: Animal Operation Permits Listing

This listing includes animal operations that are required to be permitted by the state.

Date of Government Version: 04/01/2020
Date Data Arrived at EDR: 05/26/2020
Date Made Active in Reports: 05/27/2020
Number of Days to Update: 1

Source: Department of Environmental Quality
Telephone: 919-707-9129
Last EDR Contact: 09/10/2021
Next Scheduled EDR Contact: 12/20/2021
Data Release Frequency: Varies

SEPT HAULERS: Permitted Septage Haulers Listing

This list of all active and permitted Septage Land Application Site (SLAS) and Septage Detention and Treatment Facility (SDTF) sites in North Carolina. The purpose of this map is to provide the public and government entities a visual overview of the businesses that manage septage and septage facilities throughout the state.

Date of Government Version: 03/25/2021
Date Data Arrived at EDR: 04/06/2021
Date Made Active in Reports: 06/24/2021
Number of Days to Update: 79

Source: Department of Environmental Quality
Telephone: 919-707-8248
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

CCB: Coal Ash Structural Fills (CCB) Listing

These are not permitted Coal Ash landfills A list all of the now closed Coal Ash Structural Fills (CCB) in North Carolina, in point data form. The purpose is to provide the public and other government entities a visual overview of coal ash structural fills throughout the state and increase public awareness of their current locations.

Date of Government Version: 05/10/2021
Date Data Arrived at EDR: 07/02/2021
Date Made Active in Reports: 09/27/2021
Number of Days to Update: 87

Source: Department of Environmental Quality
Telephone: 919-707-8248
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

MINES MRDS: Mineral Resources Data System

Mineral Resources Data System

Date of Government Version: 04/06/2018
Date Data Arrived at EDR: 10/21/2019
Date Made Active in Reports: 10/24/2019
Number of Days to Update: 3

Source: USGS
Telephone: 703-648-6533
Last EDR Contact: 08/26/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PCSRP: Petroleum-Contaminated Soil Remediation Permits

To treat petroleum-contaminated soil in order to protect North Carolina's environment and the health of the citizens of North Carolina.

Date of Government Version: 05/25/2021
Date Data Arrived at EDR: 07/02/2021
Date Made Active in Reports: 09/27/2021
Number of Days to Update: 87

Source: Department of Environmental Quality
Telephone: 919-707-8248
Last EDR Contact: 10/05/2021
Next Scheduled EDR Contact: 01/17/2022
Data Release Frequency: Varies

PCS ENF: Enforcement data

No description is available for this data

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 02/05/2015
Date Made Active in Reports: 03/06/2015
Number of Days to Update: 29

Source: EPA
Telephone: 202-564-2497
Last EDR Contact: 09/30/2021
Next Scheduled EDR Contact: 01/17/2022
Data Release Frequency: Varies

PCS INACTIVE: Listing of Inactive PCS Permits

An inactive permit is a facility that has shut down or is no longer discharging.

Date of Government Version: 11/05/2014
Date Data Arrived at EDR: 01/06/2015
Date Made Active in Reports: 05/06/2015
Number of Days to Update: 120

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/30/2021
Next Scheduled EDR Contact: 01/17/2022
Data Release Frequency: Semi-Annually

PCS: Permit Compliance System

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011
Date Data Arrived at EDR: 08/05/2011
Date Made Active in Reports: 09/29/2011
Number of Days to Update: 55

Source: EPA, Office of Water
Telephone: 202-564-2496
Last EDR Contact: 09/30/2021
Next Scheduled EDR Contact: 01/17/2022
Data Release Frequency: Semi-Annually

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environment, Health and Natural Resources in North Carolina.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 12/24/2013
Number of Days to Update: 176

Source: Department of Environment, Health and Natural Resources
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environment, Health and Natural Resources in North Carolina.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 01/13/2014
Number of Days to Update: 196

Source: Department of Environment, Health and Natural Resources
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environment, Health and Natural Resources in North Carolina.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 12/20/2013
Number of Days to Update: 172

Source: Department of Environment, Health and Natural Resources
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 03/24/2021	Source: Department of Energy & Environmental Protection
Date Data Arrived at EDR: 05/11/2021	Telephone: 860-424-3375
Date Made Active in Reports: 07/28/2021	Last EDR Contact: 08/10/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2018	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/10/2019	Telephone: N/A
Date Made Active in Reports: 05/16/2019	Last EDR Contact: 10/05/2021
Number of Days to Update: 36	Next Scheduled EDR Contact: 01/17/2022
	Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 04/29/2020	Telephone: 518-402-8651
Date Made Active in Reports: 07/10/2020	Last EDR Contact: 07/29/2021
Number of Days to Update: 72	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: Quarterly

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 06/30/2018	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/19/2019	Telephone: 717-783-8990
Date Made Active in Reports: 09/10/2019	Last EDR Contact: 10/07/2021
Number of Days to Update: 53	Next Scheduled EDR Contact: 01/24/2022
	Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2019	Source: Department of Environmental Management
Date Data Arrived at EDR: 02/11/2021	Telephone: 401-222-2797
Date Made Active in Reports: 02/24/2021	Last EDR Contact: 08/11/2021
Number of Days to Update: 13	Next Scheduled EDR Contact: 11/29/2021
	Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018	Source: Department of Natural Resources
Date Data Arrived at EDR: 06/19/2019	Telephone: N/A
Date Made Active in Reports: 09/03/2019	Last EDR Contact: 09/01/2021
Number of Days to Update: 76	Next Scheduled EDR Contact: 12/20/2021
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Electric Power Transmission Line Data

Source: Endeavor Business Media

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Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Child Care Facility List

Source: Department of Health & Human Services

Telephone: 919-662-4499

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory

Source: US Fish & Wildlife Service

Telephone: 703-358-2171

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Current USGS 7.5 Minute Topographic Map
Source: U.S. Geological Survey

STREET AND ADDRESS INFORMATION

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GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

EAST HAVEN APARTMENTS
DREAVER STEET
ROCKY MOUNT, NC 27801

TARGET PROPERTY COORDINATES

Latitude (North): 35.943166 - 35° 56' 35.40"
Longitude (West): 77.767588 - 77° 46' 3.32"
Universal Tranverse Mercator: Zone 18
UTM X (Meters): 250348.7
UTM Y (Meters): 3980985.2
Elevation: 98 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map: 5944974 ROCKY MOUNT, NC
Version Date: 2013

East Map: 5944948 HARTSEASE, NC
Version Date: 2013

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

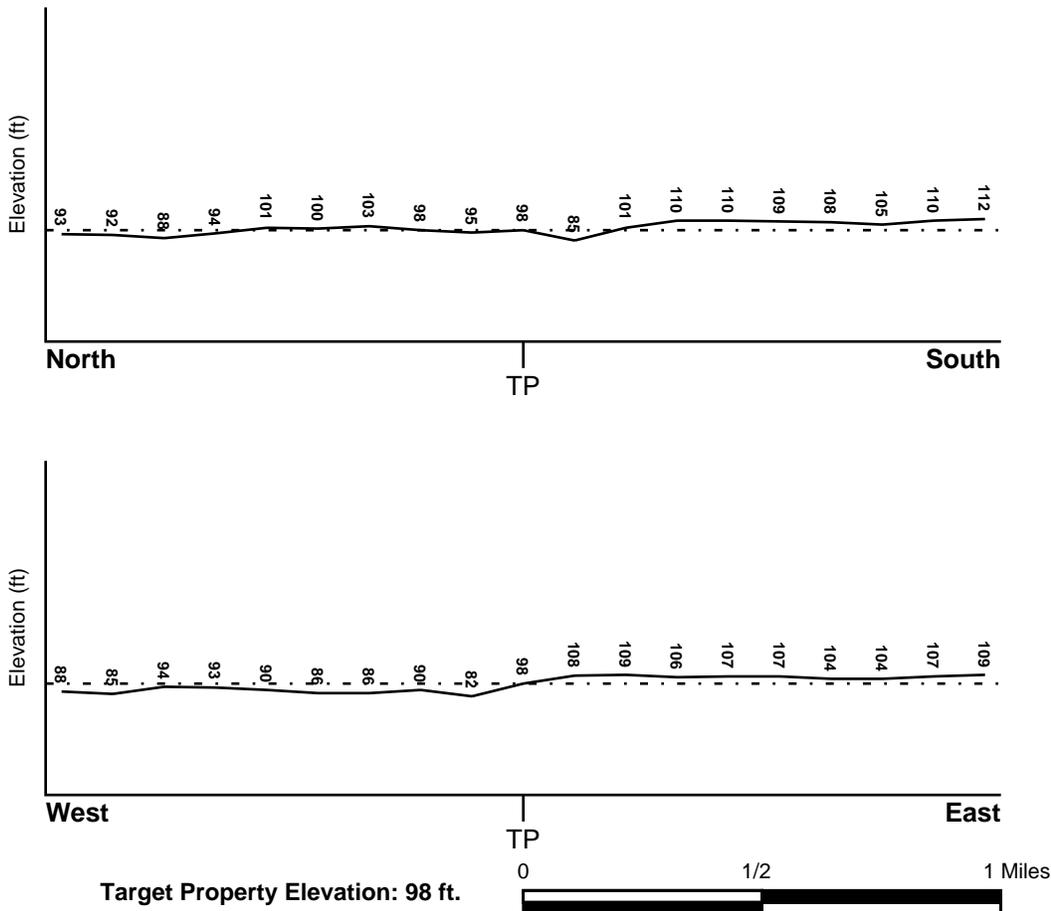
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General West

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
3720386000K	FEMA FIRM Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
3720385000K	FEMA FIRM Flood data
3720387000K	FEMA FIRM Flood data
3720375900K	FEMA FIRM Flood data
3720376900K	FEMA FIRM Flood data
3700920009C	FEMA Q3 Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
ROCKY MOUNT	YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

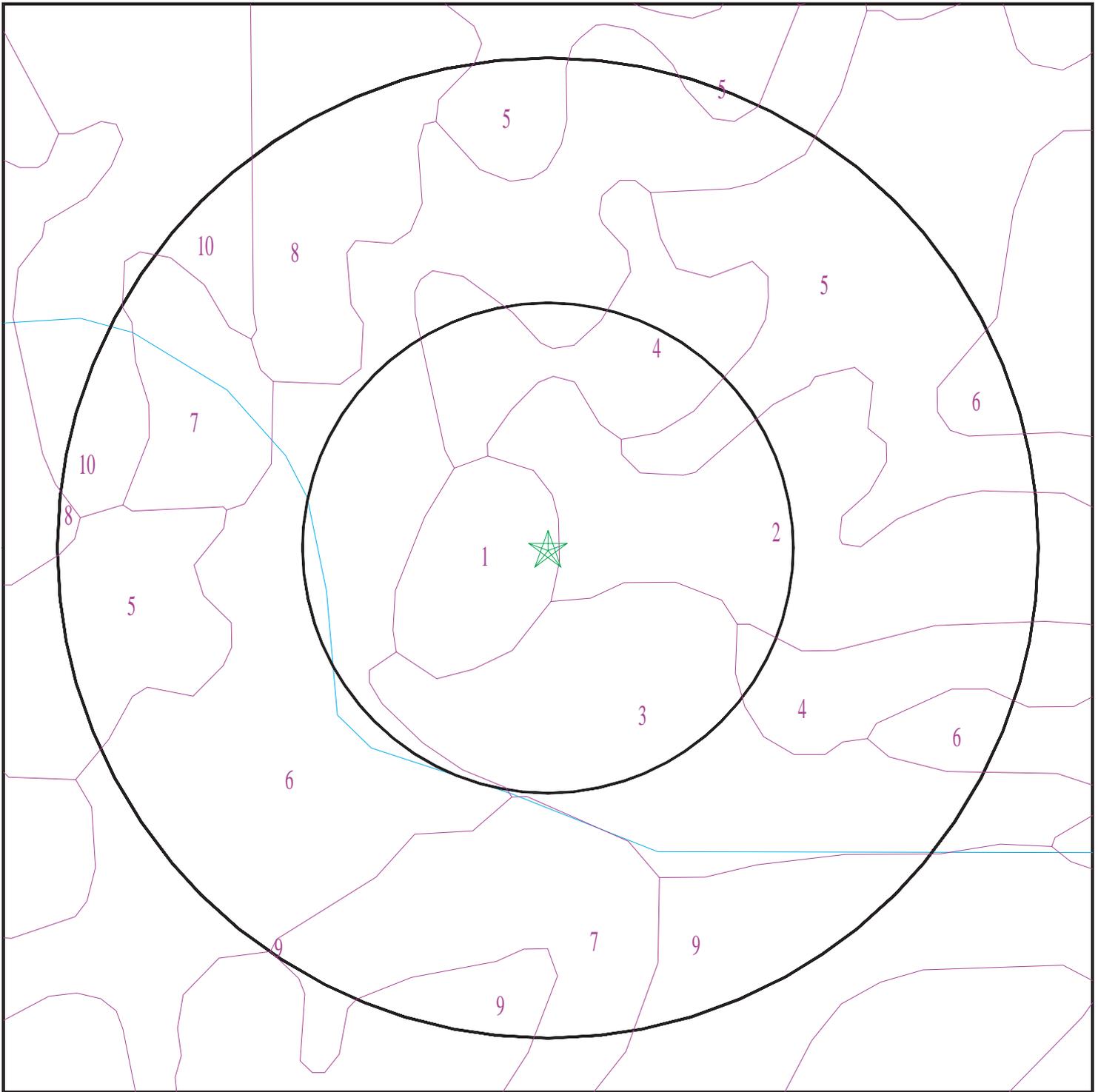
Era: Cenozoic
System: Tertiary
Series: Miocene
Code: Tm (decoded above as Era, System & Series)

GEOLOGIC AGE IDENTIFICATION

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

SSURGO SOIL MAP - 6697074.2s



- ★ Target Property
- ∩ SSURGO Soil
- ∩ Water



SITE NAME: East Haven Apartments
ADDRESS: Dreaver Steet
Rocky Mount NC 27801
LAT/LONG: 35.943166 / 77.767588

CLIENT: S&ME, Inc.
CONTACT: Chris Daves
INQUIRY #: 6697074.2s
DATE: October 08, 2021 3:17 pm

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

Soil Map ID: 1

Soil Component Name: Wagram

Soil Surface Texture: loamy fine sand

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Well drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	7 inches	24 inches	loamy fine sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 42	Max: 6 Min: 4.5
2	24 inches	83 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 42	Max: 6 Min: 4.5
3	0 inches	7 inches	loamy sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 141 Min: 42	Max: 6 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Map ID: 2

Soil Component Name: Marlboro

Soil Surface Texture: sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6 Min: 4.5
2	9 inches	70 inches		Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6 Min: 4.5
3	70 inches	74 inches		Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 6 Min: 4.5

Soil Map ID: 3

Soil Component Name: Bibb

Soil Surface Texture: loamy sand

Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.

Soil Drainage Class: Poorly drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: All hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 23 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	loamy sand	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 42 Min: 14	Max: 5.5 Min: 3.6
2	5 inches	59 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 42 Min: 14	Max: 5.5 Min: 3.6
3	59 inches	79 inches	loamy sand	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 42 Min: 14	Max: 5.5 Min: 3.6

Soil Map ID: 4

Soil Component Name: Lynchburg

Soil Surface Texture: fine sandy loam

Hydrologic Group: Class C - Slow infiltration rates. Soils with layers impeding downward movement of water, or soils with moderately fine or fine textures.

Soil Drainage Class: Somewhat poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 15 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	fine sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 1.4	Max: 5.5 Min: 3.6
2	9 inches	14 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 1.4	Max: 5.5 Min: 3.6
3	14 inches	64 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 1.4	Max: 5.5 Min: 3.6
4	64 inches	79 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 1.4	Max: 5.5 Min: 3.6

Soil Map ID: 5

Soil Component Name: Goldsboro

Soil Surface Texture: fine sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Moderately well drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 76 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	fine sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5
2	7 inches	12 inches	loamy sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5
3	12 inches	40 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5
4	40 inches	79 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5

Soil Map ID: 6

Soil Component Name: Rains

Soil Surface Texture: fine sandy loam

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly drained

Hydric Status: All hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	fine sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
2	7 inches	11 inches	fine sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
3	11 inches	20 inches	sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
4	20 inches	61 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
5	61 inches	85 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6

Soil Map ID: 7

Soil Component Name: Goldsboro

Soil Surface Texture: loamy fine sand

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Moderately well drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 76 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	loamy fine sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5
2	9 inches	12 inches	fine sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5
3	12 inches	72 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5
4	72 inches	79 inches	clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 5.5 Min: 3.5

Soil Map ID: 8

Soil Component Name: Coxville

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.

Soil Drainage Class: Poorly drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: All hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 15 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	72 inches	79 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
2	0 inches	9 inches	loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
3	11 inches	72 inches	sandy clay	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
4	9 inches	11 inches	fine sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.6

Soil Map ID: 9

Soil Component Name: Norfolk

Soil Surface Texture: loamy sand

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 122 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	loamy sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.5
2	9 inches	14 inches	loamy sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.5
3	14 inches	70 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.5
4	70 inches	100 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), silt.	Max: 14 Min: 4	Max: 5.5 Min: 3.5

Soil Map ID: 10

Soil Component Name: Grantham

Soil Surface Texture: loam

Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.

Soil Drainage Class: Poorly drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 15 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 4 Min: 1.4	Max: 5.5 Min: 3.5
2	5 inches	11 inches	very fine sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 4 Min: 1.4	Max: 5.5 Min: 3.5
3	11 inches	77 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 4 Min: 1.4	Max: 5.5 Min: 3.5
4	77 inches	109 inches	stratified clay loam to loam to sand	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 4 Min: 1.4	Max: 5.5 Min: 3.5

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

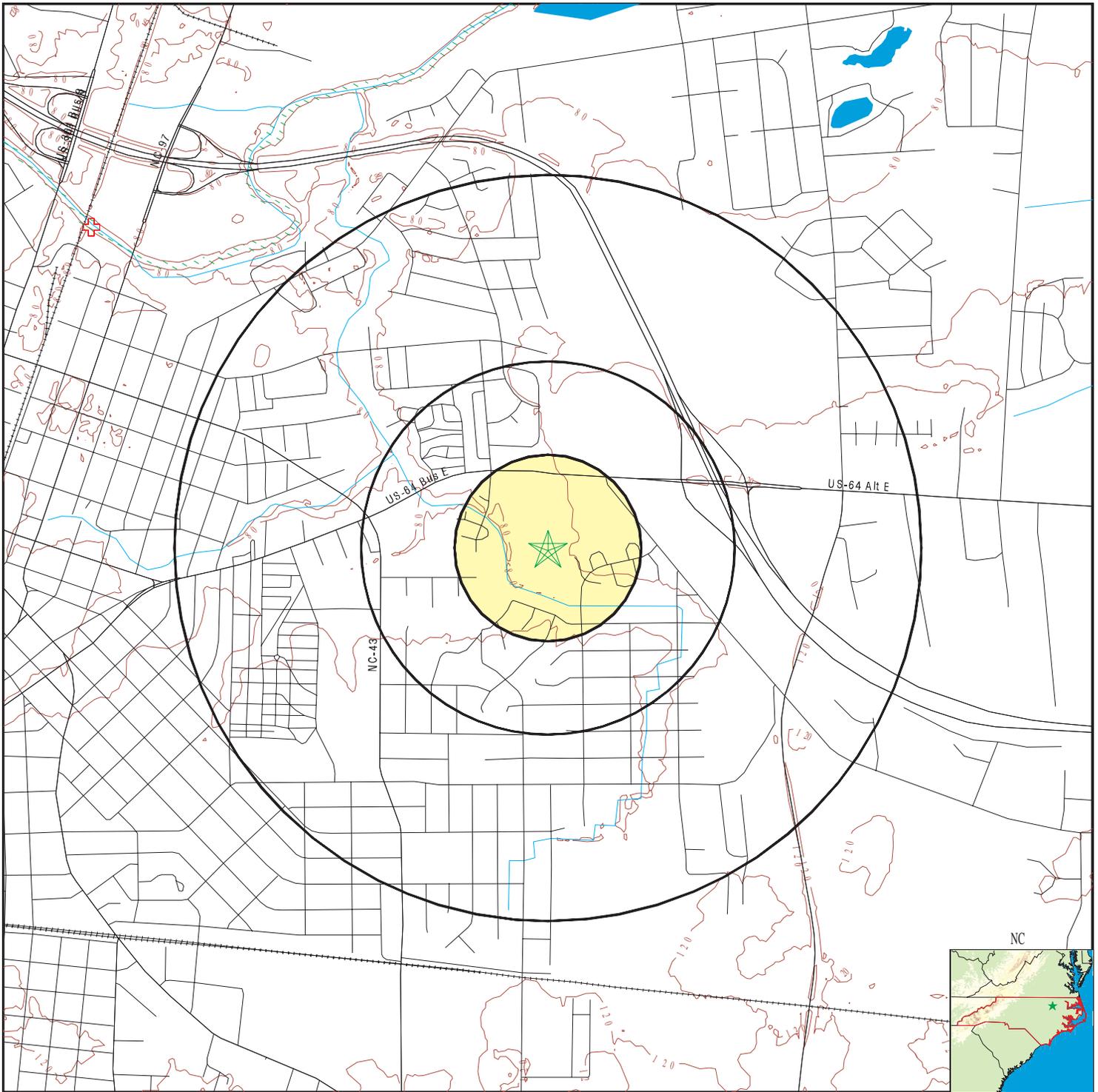
Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

OTHER STATE DATABASE INFORMATION

PHYSICAL SETTING SOURCE MAP - 6697074.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons
- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Wildlife Areas
- Natural Areas
- Rare & Endangered Species

SITE NAME: East Haven Apartments
 ADDRESS: Dreaver Steet
 Rocky Mount NC 27801
 LAT/LONG: 35.943166 / 77.767588

CLIENT: S&ME, Inc.
 CONTACT: Chris Daves
 INQUIRY #: 6697074.2s
 DATE: October 08, 2021 3:17 pm

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance

Database EDR ID Number

				NC_NHEO	NC50015010
Eclass:	I	Precision1:	S		
Eostat:	E	Gisid:	382092		
Edr id:	NC50015010				

				NC_NHEO	NC50019528
Eclass:	I	Precision1:	S		
Eostat:	E	Gisid:	13229		
Edr id:	NC50019528				

				NC_NHEO	NC50022568
Eclass:	A	Precision1:	S		
Eostat:	E	Gisid:	352081		
Edr id:	NC50022568				

				NC_SNHA	NC10003336
Acres:	2082.38	Sitename:	LOWER TAR RIVER AQUATIC HABITAT		
Quality type:	Not Reported	Sig:	B		
Site id:	3336	Edr id:	NC10003336		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

Federal EPA Radon Zone for EDGECOMBE County: 3

- Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level \geq 2 pCi/L and \leq 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for Zip Code: 27801

Number of sites tested: 2

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	0.050 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	Not Reported	Not Reported	Not Reported	Not Reported

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory

Source: US Fish & Wildlife Service

Telephone: 703-358-2171

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

North Carolina Public Water Supply Wells

Source: Department of Environmental Health

Telephone: 919-715-3243

OTHER STATE DATABASE INFORMATION

North Carolina Wildlife Resources/Game Lands

Source: Center for Geographic Information and Analysis

Telephone: 919-733-2090

All publicly owned game lands managed by the North Carolina Wildlife Resources Commission and as listed in Hunting and Fishing Maps.

NC Natural Heritage Sites: Natural Heritage Element Occurrence Sites

Source: Natural Heritage Occurrence Sites Center for Geographic Information and Analysis

Telephone: 919-733-2090

A point coverage identifying locations of rare and endangered species, occurrences of exemplary or unique natural ecosystems (terrestrial or aquatic), and special animal habitats (e.g., colonial waterbird nesting sites).

NC Natural Areas: Significant Natural Heritage Areas

Source: Center for Geographic Information and Analysis

Telephone: 919-733-2090

A polygon coverage identifying sites (terrestrial or aquatic) that have particular biodiversity significance.

A site's significance may be due to the presence of rare species, rare or high quality natural communities, or other important ecological features.

RADON

State Database: NC Radon

Source: Department of Environment & Natural Resources

Telephone: 919-733-4984

Radon Statistical and Non Statistical Data

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

STREET AND ADDRESS INFORMATION

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Appendix IV – Interview Documentation

PHASE I ENVIRONMENTAL SITE ASSESSMENT – Owner Questionnaire

SITE: East Haven Apartments HUD Project

S&ME Project No. 218540

1. What are current and past uses of the site?

No
2. Are you aware of past or present Underground Storage Tanks or Aboveground Storage Tanks on the site?

No
3. Are you aware of any environmental clean-up liens against the site that are filed or recorded under federal, tribal, state, or local laws?

No
4. Are you aware of any Activity and Use Limitations (AUL's) such as engineering controls, land use restrictions, or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, state, or local laws?

No
5. As the User of this ESA, do you have any specialized knowledge or experience related to the site or nearby properties?

No
6. Does the purchase price being paid for this site reasonably reflect the fair market value of the site? If not, is the lower purchase price attributable to known or suspected contamination?

Yes
7. Are you aware of information about the site that would be helpful in identifying conditions indicative of contaminant releases, such as: a) past use of the site; b) presence of specific chemicals (past or present); c) spills or chemical releases at the site; or d) environmental cleanups that have taken place at the site?

No
8. As the User of this Phase I ESA and based on your knowledge and experience of the site, are there any obvious indicators that point to the presence or likely presence of contamination on the site?

Printed Name

Frank Powell

Signature

[Handwritten Signature]

Date

12/29/21

Will Trotter

From: Karen Murray <karen.murray@rockymountnc.gov>
Sent: Friday, October 22, 2021 10:24 AM
To: Will Trotter
Subject: Request for records - 1040 Dreaver St

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Mr. Trotter,

After some research, I find that this is a vacant property therefore, we do not have any records for vacant property. If we can be of further assistance please let us know.

Regards,

Karen S. Murray
Administrative Secretary
City of Rocky Mount Fire Department
404 S Church Street
Rocky Mount, NC 27804

(252) 972-1376

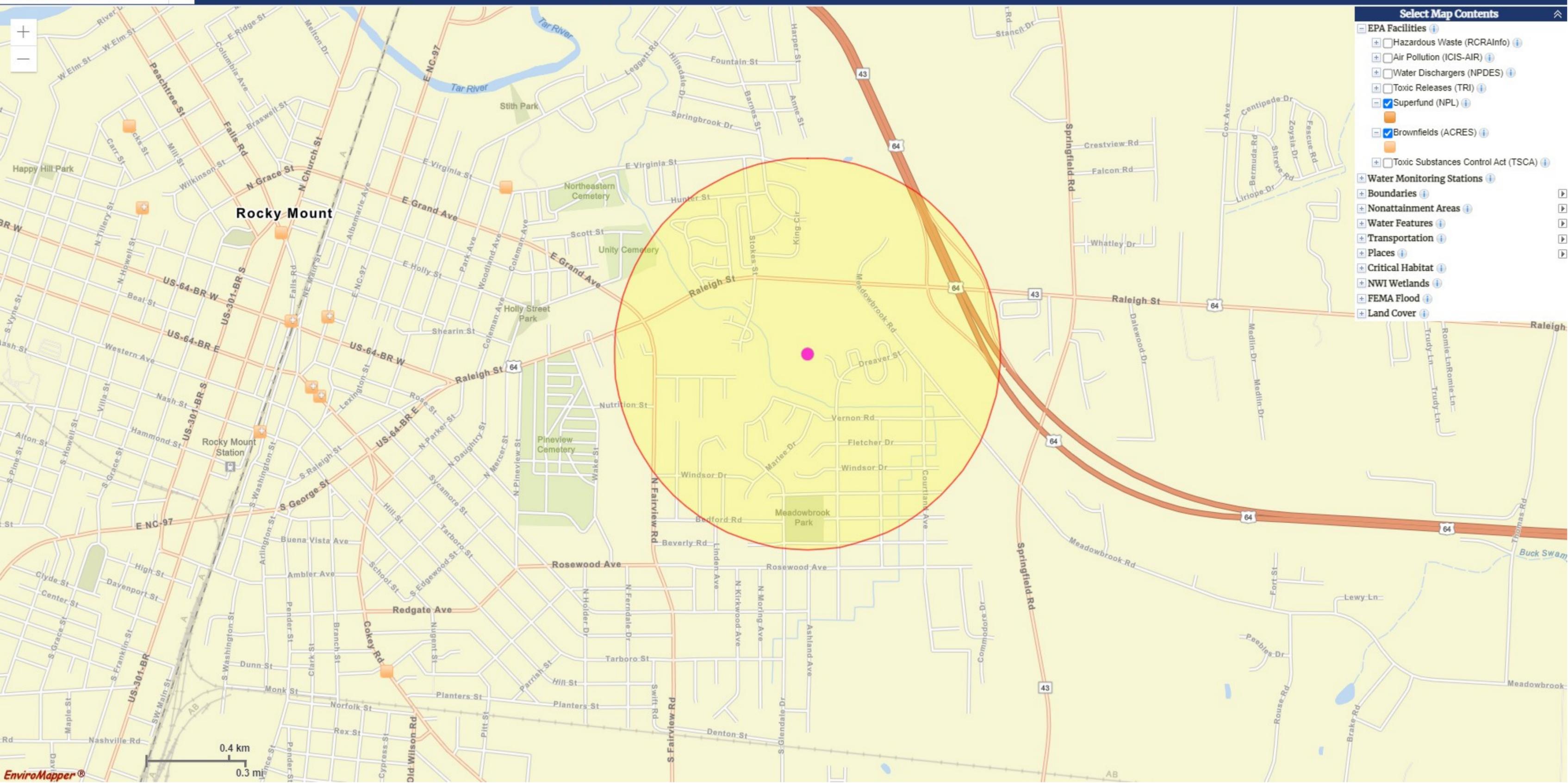
Appendix V – Regulatory Records

Screening: Records Search

Standard Environmental Record Sources	Approximate Minimum Search Distance (mi)
Federal NPL Site List	1
Federal RCRA CORRACTS Facilities List	1
Federal Delisted NPL Site List	0.5
Federal CERCLIS List	0.5
Federal CERCLIS NFRAP Site List	0.5
Federal RCRA Non-CORRACTS TSD Facilities List	0.5
Federal RCRA Generators List	Property/Adjoining Prop.
Federal Institutional Control/Engineering Control Registries	Property Only
Federal Emergency Response Notification System (ERNS) List	Property Only
State- and Tribal-Equivalent NPL	1
State- and Tribal-Equivalent CERCLIS	0.5
State and Tribal Landfill and/or Solid Waste Disposal Site Lists	0.5
State and Tribal Leaking Storage Tank Lists	0.5
State and Tribal Voluntary Cleanup Sites	0.5
State and Tribal Brownfield Sites	0.5
State and Tribal Registered Storage Tank Lists	Property/Adjoining Prop.
State and Tribal Institutional & Engineering Control Registries	Property Only

dreaver road, rocky mount

- Basemap
- Imagery
- Draw
- Erase
- Save Session
- Tools
- More Data



- ### Select Map Contents
- EPA Facilities
 - Hazardous Waste (RCRAInfo)
 - Air Pollution (ICIS-AIR)
 - Water Dischargers (NPDES)
 - Toxic Releases (TRI)
 - Superfund (NPL)
 - Brownfields (ACRES)
 - Toxic Substances Control Act (TSCA)
 - Water Monitoring Stations
 - Boundaries
 - Nonattainment Areas
 - Water Features
 - Transportation
 - Places
 - Critical Habitat
 - NWI Wetlands
 - FEMA Flood
 - Land Cover

0.4 km

0.3 mi



STATE OF NORTH CAROLINA
DEPARTMENT OF ADMINISTRATION

Roy Cooper
GOVERNOR

Pamela B. Cashwell
Secretary

December 21, 2021

Andrea Gievers
East Haven Apartments
c/o NC Department of Public Safety
Office of Recovery and Resiliency
Durham, NC 27709-

Re: SCH File # 22-E-4600-0114 Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

Dear Andrea Gievers:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act. Attached to this letter for your consideration are comments made by the agencies in the review of this document.

If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

Should you have any questions, please do not hesitate to call.

Sincerely,

CRYSTAL BEST
State Environmental Review Clearinghouse

Attachments

Mailing Address:
NC DEPARTMENT OF ADMINISTRATION
1301 MAIL SERVICE CENTER
RALEIGH, NC 27699-1301

Telephone: (919)807-2425
Fax: (919)733-9571
COURIER: #51-01-00
Email: state.clearinghouse@doa.nc.gov
Website: www.ncadmin.nc.gov

Location:
116 WEST JONES STREET
RALEIGH, NORTH CAROLINA



NORTH CAROLINA
Environmental Quality

ROY COOPER
Governor

ELIZABETH S. BISER
Secretary

To: Crystal Best
State Clearinghouse
NC Department of Administration

From: Lyn Hardison
Division of Environmental Assistance and Customer Service
Washington Regional Office

RE: 22-0114
Scoping - Proposed project is for the construction of East Haven Apartments which will include the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.
Edgecombe County

Date: December 20, 2021

The Department of Environment Quality has reviewed the proposal for the referenced project. Based on the information provided, four (4) contamination site were identified within one mile of the project site. In addition, several of our agencies have identified permits that may be required and offered some valuable guidance. The comments are attached for the applicant's review.

The Department will continue to be available to assist the applicant with any question or concerns.

Thank you for the opportunity to respond.

Attachments



North Carolina Department of Environmental Quality

217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601

919.707.8600

ROY COOPER
Governor
ELIZABETH S. BISER
Secretary
MICHAEL SCOTT
Director



Date: December 16, 2021

To: Michael Scott, Director
Division of Waste Management

Through: Janet Macdonald
Inactive Hazardous Sites Branch – Special Projects Unit

From: Bonnie S. Ware
Inactive Hazardous Sites Branch

Subject: NEPA Project # 22-0114, East Haven Apartments/- HUD CDBG-DR, Edgecombe County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the East Haven Apartments/- HUD CDBG-DR project. Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

Four (4) Superfund Section sites were identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



North Carolina Department of Environmental Quality | Division of Waste Management
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646
919.707.8200

Superfund Section Sites Only : 22-0114 Edgecombe County

Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	2	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	1	N/A	N/A
Pre-Regulatory Landfill Sites	1	N/A	N/A
Brownfields Program Sites	0	N/A	N/A

Certified DSCA Sites

#	Site_ID	Site_Name	Count
1	DC330002	Thorne's Dry Cleaners	1
2	DC330003	Prestige Cleaners	1

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NONCD0002522	JIFFY MART	1

Pre-Regulatory Landfill Sites

#	EPAID	SITENAME	Count
1	NONCD0000299	Old Rocky Mount LF	1

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director



NORTH CAROLINA
Environmental Quality

MEMORANDUM

TO: Michael Scott, Division Director through Sharon Brinkley

FROM: Drew Hammonds, Eastern District Supervisor - Solid Waste Section

DATE: December 17, 2021

SUBJECT: Review: SW 22-0114 – Edgecombe County (Scoping – East Haven Apartments – Proposed project is for the construction of East Haven Apartments)

The Division of Waste Management, Solid Waste Section (Section) has reviewed the documents submitted for the subject project in Edgecombe County, NC. Based on the information provided in these documents, the Section at this time does not see an adverse impact on the surrounding communities and likewise knows of no situations in the communities, which would affect this project.

As always for any planned or proposed projects, it is recommended that during any land clearing, demolition, and construction, East Haven Apartments and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. **Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that East Haven Apartments require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.**

Permitted solid waste management facilities are listed on the Division of Waste Management, Solid Waste Section portal site at: <https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/solid-waste-management-annual-reports/solid-waste-permitted-facility-list>

Questions regarding solid waste management for this project should be directed to Mr. John College, Environmental Senior Specialist, Solid Waste Section, at (919) 268-1524.

cc: John College, Environmental Senior Specialist



North Carolina Department of Environmental Quality | Division of Waste Management
Fayetteville Regional Office | 225 Green Street, Suite 714 | Fayetteville, North Carolina 28301
910.433.3300

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Raleigh
 Project Number: 22-0114 Due Date: 12/16/2021
 County: Edgecombe

After review of this project it has been determined that the DEQ permit(s) and/or approvals indicated may need to be obtained in order for this project to comply with North Carolina Law. Questions regarding these permits should be addressed to the Regional Office indicated on the reverse of the form. All applications, information and guidelines relative to these plans and permits are available from the same Regional Office.

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Permit to construct & operate wastewater treatment facilities, non-standard sewer system extensions & sewer systems that do not discharge into state surface waters.	Application 90 days before begins construction or award of construction contracts. On-site inspection may be required. Post-application technical conference usual.	30 days (90 days)
<input type="checkbox"/>	Permit to construct & operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system	Fast-Track Permitting program consists of the submittal of an application and an engineer's certification that the project meets all applicable State rules and Division Minimum Design Criteria.	30 days (N/A)
<input type="checkbox"/>	NPDES - permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters.	Application 180 days before begins activity. On-site inspection. Pre-application conference usual. Additionally, obtain permit to construct wastewater treatment facility-granted after NPDES. Reply time, 30 days after receipt of plans or issue of NPDES permit-whichever is later.	90-120 days (N/A)
<input type="checkbox"/>	Water Use Permit	Pre-application technical conference usually necessary.	30 days (N/A)
<input type="checkbox"/>	Well Construction Permit	Complete application must be received and permit issued prior to the installation of a groundwater monitoring well located on property not owned by the applicant, and for a large capacity (>100,000 gallons per day) water supply well.	7 days (15 days)
<input type="checkbox"/>	Dredge and Fill Permit	Application copy must be served on each adjacent riparian property owner. On-site inspection. Pre-application conference usual. Filling may require Easement to Fill from N.C. Department of Administration and Federal Dredge and Fill Permit.	55 days (90 days)
<input type="checkbox"/>	Permit to construct & operate Air Pollution Abatement facilities and/or Emission Sources as per 15 A NCAC (2Q.0100 thru 2Q.0300)	Application must be submitted and permit received prior to construction and operation of the source. If a permit is required in an area without local zoning, then there are additional requirements and timelines (2Q.0113).	90 days
<input checked="" type="checkbox"/>	Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900	N/A	60 days (90 days)
<input checked="" type="checkbox"/>	Demolition or renovations of structures containing asbestos material must be in compliance with 15 A NCAC 20.1110 (a) (1) which requires notification and removal prior to demolition. Contact Asbestos Control Group 919-707-5950	Please Note - The Health Hazards Control Unit (HHCU) of the N.C. Department of Health and Human Services, must be notified of plans to demolish a building, including residences for commercial or industrial expansion, even if no asbestos is present in the building.	60 days (90 days)
<input checked="" type="checkbox"/>	The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. A fee of \$65 for the first acre or any part of an acre. An express review option is available with additional fees.		20 days (30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with NCDOT's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		(30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with _____ Local Government's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		Based on Local Program
<input type="checkbox"/>	Compliance with 15A NCAC 2H .0126 - NPDES Stormwater Program which regulates three types of activities: Industrial, Municipal Separate Storm Sewer System & Construction activities that disturb ≥1 acre.		30-60 days (90 days)
<input type="checkbox"/>	Compliance with 15A NCAC 2H 1000 -State Stormwater Permitting Programs regulate site development and post-construction stormwater runoff control. Areas subject to these permit programs include all 20 coastal counties, and various other counties and watersheds throughout the state.		45 days (90 days)

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Raleigh
 Project Number: 22-0114 Due Date: 12/16/2021
 County: Edgecombe

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Mining Permit	On-site inspection usual. Surety bond filed with DEQ Bond amount varies with type mine and number of acres of affected land. Affected area greater than one acre must be permitted. The appropriate bond must be received before the permit can be issued.	30 days (60 days)
<input type="checkbox"/>	Dam Safety Permit	If permit required, application 60 days before begin construction. Applicant must hire N.C. qualified engineer to: prepare plans, inspect construction, and certify construction is according to DEQ approved plans. May also require a permit under mosquito control program. And a 404 permit from Corps of Engineers. An inspection of site is necessary to verify Hazard Classification. A minimum fee of \$200.00 must accompany the application. An additional processing fee based on a percentage or the total project cost will be required upon completion.	30 days (60 days)
<input type="checkbox"/>	Oil Refining Facilities	N/A	90-120 days (N/A)
<input type="checkbox"/>	Permit to drill exploratory oil or gas well	File surety bond of \$5,000 with DEQ running to State of NC conditional that any well opened by drill operator shall, upon abandonment, be plugged according to DEQ rules and regulations.	10 days N/A
<input type="checkbox"/>	Geophysical Exploration Permit	Application filed with DEQ at least 10 days prior to issue of permit. Application by letter. No standard application form.	10 days N/A
<input type="checkbox"/>	State Lakes Construction Permit	Application fee based on structure size is charged. Must include descriptions & drawings of structure & proof of ownership of riparian property	15-20 days N/A
<input checked="" type="checkbox"/>	401 Water Quality Certification	Compliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.	60 days (130 days)
<input checked="" type="checkbox"/>	Compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required. Buffer requirements: http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program		
<input type="checkbox"/>	Nutrient Offset: Loading requirements for nitrogen and phosphorus in the Neuse and Tar-Pamlico River basins, and in the Jordan and Falls Lake watersheds, as part of the nutrient-management strategies in these areas. DWR nutrient offset information: http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information		
<input type="checkbox"/>	CAMA Permit for MAJOR development	\$250.00 - \$475.00 fee must accompany application	75 days (150 days)
<input type="checkbox"/>	CAMA Permit for MINOR development	\$100.00 fee must accompany application	22 days (25 days)
<input type="checkbox"/>	Abandonment of any wells, if required must be in accordance with Title 15A. Subchapter 2C.0100.		
<input type="checkbox"/>	Notification of the proper regional office is requested if "orphan" underground storage tanks (USTS) are discovered during any excavation operation.		
<input checked="" type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq., Plans and specifications should be submitted to 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. All public water supply systems must comply with state and federal drinking water monitoring requirements. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input checked="" type="checkbox"/>	If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section at 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of the _____ water system must be approved through the _____ delegated plan approval authority. Please contact them at _____ for further information.		

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Raleigh
 Project Number: 22-0114 Due Date: 12/16/2021
 County: Edgecombe

Other Comments (attach additional pages as necessary, being certain to comment authority)

Division	Initials	No comment	Comments	Date Review
DAQ	MRFL	<input type="checkbox"/>	See checked boxes above.	11/23/2021
DWR-WQROS (Aquifer & Surface)	JSB &	<input type="checkbox"/>	See checked boxes above. &	11/30/2021
DWR-PWS	SG	<input type="checkbox"/>	See checked boxes above.	12/13/2021
DEMLR (LQ & SW)	CDA	<input type="checkbox"/>		12/15/2021
DWM – UST	SNH	<input type="checkbox"/>	See attached comments	12/8/2021
Other Comments		<input type="checkbox"/>		/ /

REGIONAL OFFICES

Questions regarding these permits should be addressed to the Regional Office marked below.

- | | | |
|--|---|---|
| <input type="checkbox"/> Asheville Regional Office
2090 U.S. 70 Highway
Swannanoa, NC 28778-8211
Phone: 828-296-4500
Fax: 828-299-7043 | <input type="checkbox"/> Fayetteville Regional Office
225 Green Street, Suite 714,
Fayetteville, NC 28301-5043
Phone: 910-433-3300
Fax: 910-486-0707 | <input type="checkbox"/> Mooresville Regional Office
610 East Center Avenue, Suite 301,
Mooresville, NC 28115
Phone: 704-663-1699
Fax: 704-663-6040 |
| <input checked="" type="checkbox"/> Raleigh Regional Office
3800 Barrett Drive,
Raleigh, NC 27609
Phone: 919-791-4200
Fax: 919-571-4718 | <input type="checkbox"/> Washington Regional Office
943 Washington Square Mall,
Washington, NC 27889
Phone: 252-946-6481
Fax: 252-975-3716 | <input type="checkbox"/> Wilmington Regional Office
127 Cardinal Drive Ext.,
Wilmington, NC 28405
Phone: 910-796-7215
Fax: 910-350-2004 |
| | <input type="checkbox"/> Winston-Salem Regional Office
450 Hanes Mill Road, Suite 300,
Winston-Salem, NC 27105
Phone: 336-776-9800
Fax: 336-776-9797 | |

ROY COOPER
Governor
ELIZABETH S. BISER
Secretary
MICHAEL SCOTT
Director



TO: Lyn Hardison, Environmental Coordinator

FROM: Sylvia Newsom-Hunneke, Regional UST Supervisor

COPY: Scott Bullock, Corrective Action Branch Head

COPY: Sharon Brinkley, Administrative Secretary

DATE: December 8, 2021

RE: Environmental Review – Project Number 22-0114– Proposed project is for the construction of East Haven Apartments – 64 units within two buildings, a playground, clubhouse, parking and detention pond in Rocky Mount, Edgecombe County.

I searched the Petroleum Underground Storage Tank (UST) and Non-UST Databases and review of those databases did not indicate any petroleum releases within the proposed project area. I reviewed the above proposal and determined that this project should not have any adverse impact upon groundwater. The following comments are pertinent to my review:

1. The Washington Regional Office (WaRO) UST Section recommends removal of any abandoned or out-of-use petroleum USTs or petroleum above ground storage tanks (ASTs) within the project area. The UST Section should be contacted regarding use of any proposed or on-site petroleum USTs or ASTs. We may be reached at (252) 946-6481.
2. Any petroleum USTs or ASTs must be installed and maintained in accordance with applicable local, state, and federal regulations. For additional information on petroleum ASTs, it is advisable that the North Carolina Department of Insurance at (919) 661-5880 ext. 239, USEPA (404) 562-8761, local fire department, and Local Building Inspectors be contacted.
3. Any petroleum spills must be contained, and the area of impact must be properly restored. Petroleum spills of significant quantity must be reported to the North Carolina Department of Environmental Quality – Division of Waste Management Underground Storage Tank Section in the Washington Regional Office at (252) 946-6481
4. Any soils excavated during demolition or construction that show evidence of petroleum contamination, such as stained soil, odors, or free product must be reported immediately to the local Fire Marshall to determine whether explosive or inhalation hazards exist. Also, notify the UST Section of the Washington Regional Office at (252) 946-6481. Petroleum contaminated soils must be handled in accordance with all applicable regulations.
5. Any questions or concerns regarding spills from petroleum USTs, ASTs, or vehicles should be directed to the UST Section at (252) 946-6481.



Department of Environmental Quality Project Review Form

Project Number: 22-0114

County: Edgecombe

Date Received: 11-19-2021

Due Date: 12-16-2021

Project Description: *Scoping - Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input checked="" type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM <u>WaRO UST</u>	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife <u>Maria</u>
<input type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: 12/14/21	In-House Reviewer/Agency: Melodi Deaver, Hazardous Waste Section
--------------------------	-------------------	---

Response (check all applicable)

No objection to project as proposed.
 No Comment

Insufficient information to complete review
 Other (specify or attach comments)

If you have any questions, please contact:
Lyn Hardison at lyn.hardison@ncdenr.gov or (252) 948-3842
943 Washington Square Mall Washington NC 27889
Courier No. 16-04-01

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

LYN HARDISON
CLEARINGHOUSE COORDINATOR
DEPT OF ENVIRONMENTAL QUALITY

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: LYN HARDISON

Date: 12/20/2021

Note: UST Incidents are displayed according to their risk classification. Only "High Risk" incidents are visible at the default map scale. All other risk classifications become visible at a larger scale (zoomed in). Please report inaccurate UST Incident locations to the appropriate UST Regional office or to [Jeremy Poplawski](#) and provide the correct information in your correspondence.

DEQ UST Incidents Map with Web AppBuilder for ArcGIS

Find address or UST Incide

(1 of 2)

RUST: JIFFY MART

Incident Number	33763
UST Number	RA-6597
Incident Name	JIFFY MART
Facility ID	00-0-0000016471
Address	1801 North Raleigh Street
City/Town	Rocky Mount
County	EDGECE
Zip Code	27801
Incident Manager's Initials	HMM
Regional Office Code	WAS
Date Incident Occurred	12/4/2009, 7:00 PM

[Zoom to](#)

0.2mi

-77.765 35.951 Degrees

POWERED BY **esri**

North Carolina DOT, Esri, HERE, Garmin, Geo...



4300 Sapphire Court, Suite 100
Greenville, North Carolina 27834
Telephone: (252) 758-3310
Facsimile: (252) 758-8835
www.gma-nc.com

Groundwater Management Associates, Inc.

January 8, 2010

Mr. Gene Jackson
NCDENR, DWM, UST Section
Raleigh Regional Office
1628 Service Center
Raleigh, North Carolina 27699

Re: Initial Abatement Measures Report
Jiffy Mart, 1801 North Raleigh Street, Rocky Mount, Edgecombe County
UST Incident Number: 33763 Facility Number: 0-016471

Dear Mr. Bullock:

Enclosed is one copy of an Initial Abatement Measures Report prepared by Groundwater Management Associates, Inc. on behalf of Lois Brantley, owner of Jiffy Mart, Inc., for the above referenced site. If you have any questions or comments about the enclosed report, please do not hesitate to contact me at (252) 758-3310.

Sincerely,
GMA

Sharon A. VanDeVelde
Staff Hydrogeologist

Enclosure: Initial Abatement Measures Report

cc: Lois Brantley, owner

Z:/GMA/125601-JiffyMart/90daylet2.doc



**INITIAL ABATEMENT ACTION
REPORT**

**JIFFY MART
1801 NORTH RALEIGH STREET
ROCKY MOUNT, EDGECOMBE COUNTY**

**FACILITY ID NUMBER: 0-016471
UST INCIDENT #: 33763**

GMA Project Number: 125601

**Latitude (approx.) = N 35.945667°
Longitude (approx.) = W 77.764339°**

PREPARED FOR:

**Lois Brantley
Jiffy Mart, Inc.
213 Dover Road
Rocky Mount, North Carolina 27804
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PREPARED BY:

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January 8, 2010



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INITIAL ABATEMENT ACTION REPORT

A. SITE INFORMATION

1. SITE IDENTIFICATION

Date of Report: January 8, 2010

Facility I.D. 0-016471

UST Incident Number (if known): 33763

Site Name: Jiffy Mart

Site Location: 1801 North Raleigh Street

Nearest City/Town: Rocky Mount

ZIP: 27801

County: Edgecombe

Latitude: N 35.945667°

Longitude: W 77.764339°

Data Point: UST Basin

2. CONTACT INFORMATION

UST Owner: Jiffy Mart, Inc. (c/o Lois Brantley)

Address: 213 Dover Road, Rocky Mount, North Carolina, 27804

Phone: (252) 937-4775

UST Operator: Jiffy Mart, Inc. (c/o Lois Brantley)

Address: 213 Dover Road, Rocky Mount, North Carolina, 27804

Phone: (252) 937-4775

Property Owner: Jiffy Mart, Inc. (c/o Lois Brantley)

Address: 213 Dover Road, Rocky Mount, North Carolina, 27804

Phone: (252) 937-4775

Property Occupant: Vacant

Address: 1801 North Raleigh Street, Rocky Mount, North Carolina, 27801

Consultant/Contractor: Groundwater Management Associates, Inc. (GMA)

Address: 4300 Sapphire Court, Suite 100, Greenville, North Carolina 27834

Phone: (252) 758-3310

Analytical Laboratory: Prism Laboratories, Inc.

State Certification #: 402

Address: 449 Springbrook Road, P.O. Box 240543, Charlotte, North Carolina 28224-0543

Telephone: (800) 529-6364

3. RELEASE INFORMATION

Date Discovered: On October 13 through October 19, 2009, three 8000-gallon gasoline, one 8000-gallon kerosene, and one 8000-gallon diesel underground storage tanks (USTs) were removed at the Jiffy Mart located at 1801 North Raleigh Street in Rocky Mount, Edgecombe County (Figures 1 and 2). Tank closure procedures were completed by Atlantic Petroleum Equipment Services (APES), and supervised by Groundwater Management Associates, Inc. (GMA).

Groundwater was encountered at approximately 11 feet below land surface (BLS) in the UST excavations on October 13 through 19, 2009. Analytical results confirm the presence of gasoline-range total petroleum hydrocarbons (TPH) above the Reportable Concentration for soil (10 mg/kg) in soil samples collected around the USTs (CS12, CS13, and CS14, Table 1), beneath the product lines (LS6), and beneath the dispensers (DS1, DS2, and DS3). Analytical results confirm the presence of diesel-range TPH above the Reportable Concentration for soil (10 mg/kg) in soil samples collected around the USTs (CS1, CS2, and CS14), beneath the product lines (LS6), and beneath the dispensers (DS3 and DS4, Table 2, GMA, 2009).

Estimated Quantity of Release: The quantity of the release is unknown.

Cause of Release: The release appears to have been caused by deterioration of the USTs, dispensers, and the product lines.

Source of Release (e.g., Piping/UST): The source of the release appears to be from the dispensers, product lines, and the USTs (Figure 2).

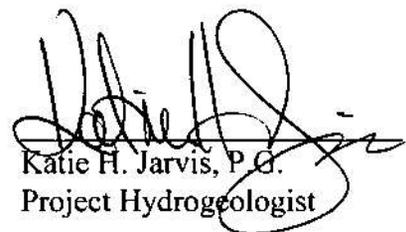
Sizes and contents of UST system(s) from which the release occurred: The Jiffy Mart property previously maintained three 8000-gallon gasoline, one 8000-gallon kerosene, and one 8000-gallon diesel. The date of last use of UST1 through UST5 is September of 2009. All USTs were removed on October 13-14, 2009, 2009 (GMA, 2009).

4. REPORT CERTIFICATION

I, Katie H. Jarvis, a Licensed Geologist for Groundwater Management Associates, Inc. (GMA), do certify that the information contained in this report is correct and accurate to the best of my knowledge. GMA is a professional corporation licensed to practice geology (C-121) and engineering (C-0854) in the state of North Carolina.


Sharon A. VanDeVelde, G.I.T.
Staff Hydrogeologist




Katie H. Jarvis, P.G.
Project Hydrogeologist

B. SITE HISTORY AND CHARACTERIZATION

1. UST Owner/Operator Information

UST ID Number(s)	UST1 – UST5	Facility ID Number	0-016471
Name of Owner/Operator		Dates of Operation	
Jiffy Mart, Inc. (c/o Mrs. Lois Brantley)		unknown until September of 2009	
Street/Address			
213 Dover Road			
City	State	ZIP	Telephone
Rocky Mount	North Carolina	27804	(252) 937-4775

2. UST Information

UST ID Number	Current/Last Contents	Previous Contents	Capacity (gallons)	Construction Details	Tank Dimensions
UST1	gasoline	none	8000	Steel	8' x 21'4"
UST2	gasoline	none	8000	Steel	8' x 21'4"
UST3	gasoline	none	8000	Steel	8' x 21'4"
UST4	kerosene	none	8000	Steel	8' x 21'4"
UST5	diesel	none	8000	Steel	8' x 21'4"
Description of Associated Piping and Pumps		Date Tank Installed	Status of UST	Was release associated with the UST System	
FRP (UST1-UST4)		unknown	Removed October 13-14, 2009	Yes, tanks, product lines, and dispensers	
STIP-3 (UST5)					

3. NON-UST INFORMATION

List, Describe, and Indicate Locations of AST(s) and Associated Piping: There have been no known or reported aboveground storage tanks (ASTs) present at the Jiffy Mart site.

List, Describe, and Indicate Location and Date of Spills at the Facility: There have been no known or reported previous petroleum releases at this site (Figures 1 and 2).

4. COMPREHENSIVE DESCRIPTION OF THE RELEASE

There have been no known or reported previous petroleum releases at this site (Figures 1 and 2). The presence of petroleum contamination in the subsurface resulting from a release from the USTs, product lines, and dispensers was confirmed during tank closure procedures performed by APES, and supervised by GMA on behalf of the responsible party on October 13 through October 19, 2009 (GMA, 2009).

5. SITE CHARACTERISTICS

The Jiffy Mart site is currently inactive and vacant. Properties in the immediate surrounding area are undeveloped, under construction, or residential (Figure 1, GMA, 2009).

The site (Figure 1) is located in the Coastal Plain physiographic province according to the Geologic Map of North Carolina (NCGS, 1985). Site stratigraphy near the source area was determined during the installation of monitoring wells MW1, MW2, and MW3 (Figure 2). Copies of the Well Construction Records for the monitoring wells are included in the 20-Day Report dated December 4, 2009 (GMA, 2009). Table 3 includes detailed well construction information. Descriptions of the sediments encountered at the monitoring well boreholes are summarized below.

Depth (Feet BLS)	General Description
0.0 – 3.5	grey, organic, sandy SILT
3.5 – 7.0	mottled tan and orange, silty, sandy CLAY
7.0 – 11.5	mottled orange, red, and white, clayey, silty SAND
11.5 – 20+	light tan, clayey, silty SAND

The static water levels in monitoring wells MW1, MW2, and MW3 were approximately 7.49 feet, 7.23 feet, and 6.75 feet BLS, respectively, on November 30, 2009 (Table 3). The predominant direction of horizontal shallow groundwater flow at the site on November 30, 2009, was to the southwest with a horizontal hydraulic gradient of approximately 0.0074 feet/foot (Figure 3). The vertical component of groundwater flow was not investigated during this study. Confirming the hydraulic regime of the groundwater system would require the installation of additional deep monitoring wells.

6. SUMMARY OF ASSESSMENT ACTIVITIES

A Notice of Intent Form (UST-3, Appendix A) was filed with the UST Section of the North Carolina Division of Waste Management (NCDWM) in Raleigh, North Carolina, on September 30, 2009, by GMA on behalf of Lois Brantley. The local Fire Marshall was notified by APES of the impending tank closure. APES handled all permitting and coordination with the Edgecombe County Fire Marshall. A representative from the Fire Department was present during part of the UST removal process (GMA, 2009).

Tank closure procedures were completed on October 12 through October 19, 2009. Groundwater was encountered approximately 11 feet BLS in the UST excavations. Closure soil samples were collected from around the USTs, beneath product lines, and beneath dispensers to investigate if a release had occurred. Analytical results from the closure soil samples are summarized in Tables 1 and 2 (GMA, 2009).

On November 16, 2009, GMA supervised the installation of three (20 foot) monitoring wells (MW1, MW2, and MW3, Figure 3) to assess depth to groundwater and possible groundwater contamination near the former USTs, product lines and dispensers. Groundwater samples (MW1, MW2, and MW3) were collected from the monitoring wells on November 30, 2009. Well construction information is summarized in Table 3. All well installation activities conformed to 15A NCAC 2C standards, and copies of the well construction records were provided to the property owner and to NCDENR (GMA, 2009). A copy of the Technical Methods and Standard Procedures are included in Appendix A.

A Site Investigation Report (UST-2) Form was filed with the UST Section of the North Carolina Division of Waste Management (NCDWM) in Raleigh, North Carolina, on November 13, 2009, by GMA on behalf of Lois Brantley (GMA, 2009). Assessment activities complied with the North Carolina Division of Waste Management Tank Closure Guidelines applicable at the time of this report (DWM, 2009, GMA, 2009).

C. UST CLOSURE

1. PREPARATIONS FOR CLOSURE

A Notice of Intent Form (UST-3) was filed with the UST Section of the North Carolina Division of Waste Management (NCDWM) in Raleigh, North Carolina, on September 30, 2009, by GMA on behalf of Lois Brantley. The local Fire Marshall was notified by APES of the impending tank closure. APES handled all permitting and coordination with the Edgecombe County Fire Marshall. A representative from the Fire Department was present during part of the UST removal process (GMA, 2009).

2. CLOSURE PROCEDURES

Fluids were removed from the tanks prior to removal and excavation. A copy of the fluid disposal certificate is included in Appendix B.

Approximately 562 tons of contaminated soil was excavated during tank removal procedures. Contaminated soil excavated around the USTs, product lines, and dispensers was temporarily stockpiled, and loaded onto trucks for immediate transport to Soilworks, Inc. in Zebulon, North Carolina. Groundwater was encountered approximately 11 feet BLS in UST excavations on October 13th through 19th, 2009. Soil samples CS1 through CS4, CS14 through CS22, LS6

through LS8, DS3, DS4, and SP were submitted to a North Carolina Certified Laboratory, Prism Laboratories, Inc., (Prism) for laboratory analysis. Soil samples CS1 through CS22, DS1 through DS4, LS1 through LS8, and SP were submitted to a North Carolina Certified Laboratory, Prism Laboratories, Inc., (Prism) for laboratory analysis. Soil samples CS1 through CS22 were collected from around the USTs, soil samples DS1 through DS4 were collected from beneath each of the dispensers, and soil samples LS1 through LS8 were collected from beneath the product lines (Figure 2).

Sidewall soil samples NW, EWA, EWB, EWC, SWA, SWB, WWA, WWB, WWC, and DS1BS were collected upon the completion of excavation of the soil beneath and around UST1 through UST4, some product lines, and under dispensers. Soil sample DS4 was collected beneath the diesel dispenser, soil sample LS5 was collected beneath a product line (Figure 2).

3. REMOVAL OF REGULATED SUBSTANCE FROM UST

Fluids were removed from the tanks prior to removal and excavation. A copy of the fluid disposal certificate is provided in Appendix B.

4. INITIAL RESPONSE ACTIONS

A 24-Hour Release Form was submitted to the UST Section of the NCDWM in Raleigh, North Carolina on October 15, 2009, following the completion of tank closure procedures at the Jiffy Mart site. Also, a Site Investigation Report for Permanent Closure (UST-2) Form was submitted to the UST Section of the NCDWM in Raleigh, North Carolina on November 13, 2009 (GMA, 2009). A 20-Day Report documenting tank closure and assessment activities to date was submitted to the UST Section of the NCDWM in Raleigh, North Carolina on December 4, 2009 (GMA, 2009).

5. SITE INVESTIGATION

Field Screening and Observations: Soil samples collected above the suspected water table along the perimeter of the USTs, beneath the former dispensers, and beneath product lines were field-screened for the presence of petroleum-related vapors using a photoionization detector (PID). The PID soil-vapor measurements are summarized in Tables 1, 2, and 4. Field screening methods and standard procedures are described in the 20-Day Report dated December 4, 2009 (GMA, 2009).

Soil Sampling Locations and Sampling Procedures: Soil sample collection methods and laboratory analytical methods complied with NCDWM guidelines in effect at the time of tank closure (NCDWM, 2009). Soil samples were collected above the suspected water table along the perimeter of the USTs, beneath the former dispensers, and beneath the product lines (Figure 2).

Soil samples CS1 through CS4, CS14 through CS22, LS6 through LS8, DS3, DS4, and SP were submitted to a North Carolina Certified Laboratory, Prism, for analysis of diesel-range TPH by test method SW846-8015B using sample preparation method 3550. Soil samples CS1 through CS22, LS1 through LS8, DS1 through DS4, and SP were submitted to a North Carolina Certified Laboratory, Prism, for analysis of gasoline-range TPH by test method SW846-8015B using sample preparation method 5030 (Tables 1 and 2).

Sidewall soil samples NW, EWA, EWB, EWC, SWA, SWB, WWA, WWB, WWC, and DS1BS were collected upon the completion of excavation of the soil beneath and around UST1 through UST4, some product lines, and under dispensers. Soil sample DS4 was collected beneath the diesel dispenser, soil sample LS5 was collected beneath a product line (Table 4).

Groundwater or Surface Water Sampling Procedures: On November 16, 2009, GMA supervised the installation of three (20 foot) monitoring wells (MW1, MW2, and MW3, Figure 3). Monitoring well MW1 was installed adjacent to UST5 and the associated product line. Monitoring well MW2 was installed adjacent to the northwest corner of dispenser DS1. Monitoring well MW3 was installed within the UST excavation, directly between dispensers DS2 and DS3. Groundwater samples (MW1, MW2, and MW3) were collected from the monitoring wells on November 30, 2009. Groundwater samples MW1, MW2, and MW3 were submitted to Prism for analysis by EPA Methods 6200B and 625, MADEP Methods EPH and VPH, and lead by 3030C (Table 5).

Quality Control Measures: Laboratory-related quality control for the soils samples is described at the end of the laboratory reports provided in the 20-Day Report dated December 4, 2009. Laboratory-related quality control for the groundwater samples is described at the end of the laboratory reports provided in Appendix C. Samples were not collected for purposes of quality control.

D. FREE PRODUCT INVESTIGATION AND RECOVERY REPORT

Free product was not encountered during tank closure procedures performed on October 13th through 19th, 2009, or during groundwater sampling procedures performed on November 30, 2009.

E. GROUNDWATER INVESTIGATION

On November 16, 2009, GMA installed three permanent monitoring wells at the Jiffy Mart site. Monitoring wells MW1, MW2, and MW3 were installed adjacent to UST5 and the associated product line, adjacent to the northwest corner of dispenser DS1, and directly between dispensers DS2 and dS3, respectively (Figure 2). GMA collected groundwater samples from each monitoring well on November 30, 2009, and submitted the samples for analysis by EPA Methods 6200B and 625, MADEP Methods EPH and VPH, and lead by 3030C. Analytical results of

groundwater sample MW1 confirmed the presence of four petroleum-related contaminants, with the concentrations of benzene and methyl t-butyl ether (MTBE) exceeding the 15A NCAC 2L Standards (2L Standards). Analytical results of groundwater sample MW2 confirmed the presence of four petroleum-related contaminants, with a concentration of carbon tetrachloride exceeding the 2L Standards. Analytical results of groundwater sample MW3 confirmed the presence of 17 petroleum-related contaminants, with the concentrations of benzene, total xylenes, naphthalene, 1,2,4-trimethylbenzene, MTBE, and C9-C22 aromatics exceeding the 2L Standards (Table 5).

Groundwater samples MW1, MW2, and MW3 contained concentrations of acetone and chloroform below the 2L Standards. Acetone is not a petroleum-related contaminants and its presence is attributed to laboratory cross-contamination or formation during sample preservation (Hewitt, 1999). Chloroform is not a petroleum-related contaminants and has been used in the past as an extraction solvent for fats, oils, greases, and other products; as a dry cleaning spot remover; in fire extinguishers; as a fumigant; and as an anesthetic (EPA, 2010).

Well Construction information is listed in Table 3. Well construction and groundwater sampling procedures are described in Appendix A. A copy of the laboratory report and chain-of-custody form for the groundwater samples is included in Appendix C.

F. INITIAL RESPONSE AND ABATEMENT ACTIONS

1. INITIAL RESPONSE ACTIONS PERFORMED WITHIN 24 HOURS

A 24-Hour Release Form was submitted to the UST Section of the NCDWM in Raleigh, North Carolina on October 15, 2009, following the completion of tank closure procedures at Jiffy Martsite. Also, a Site Investigation Report for Permanent Closure (UST-2) Form was submitted to the NCDWM, UST Section Central Office on November 13, 2009 (GMA, 2009).

2. INITIAL ABATEMENT ACTIVITIES

A 20-Day Report documenting tank closure and assessment activities to date was submitted to the UST Section of the NCDWM in Raleigh, North Carolina on December 4, 2009 (GMA, 2009).

G. EXCAVATION OF CONTAMINATED SOIL

1. SOURCE AND EXTENT OF CONTAMINATED SOIL

The release appears to have been caused by the deterioration of the USTs, dispensers, and associated piping. There have been no known or reported previous petroleum releases at this site. Analytical results of soil samples collected from soil surrounding the tanks, beneath the dispenser islands, and beneath associated piping confirm a release from the UST system.

2. EXCAVATION PROCESS

The former tanks were located along the west side of the Jiffy Mart (Figure 2). The tanks were removed on October 13th through 19th, 2009. A backhoe was used to remove the USTs and to excavate contaminated soil beneath the tanks, dispenser islands, and product lines. Approximately 562 tons of petroleum-contaminated soil was excavated from the site. The extent of the excavation was determined by the odor of the soil and PID measurements (Figure 2). Copies of the non-hazardous waste manifests and weight tickets are included in the 20-Day Report dated December 4, 2009 (GMA, 2009).

3. SOIL SAMPLING

Sidewall soil samples NW, EWA, EWB, EWC, SWA, SWB, WWA, WWB, WWC, and DS1BS were collected upon the completion of excavation of the soil beneath and around UST1 through UST4, some product lines, and under dispensers. Soil sample DS4 was collected beneath the diesel dispenser, soil sample LS5 was collected beneath a product line (Figure 2). Soil samples DS4, WWB, SWA, SWB, EWC, and WWC were submitted to Prism for analysis by EPA Methods 8260 and 8270 and MADEP Methods EPH and VPH. Soil samples LS5, WWA, EWA, EWB, NW, and DS1BS were submitted to Prism for analysis by EPA Methods 8260 and MADEP Method VPH.

4. SOIL INVESTIGATION

Tank closure procedures were completed at the Jiffy Mart site on October 13th through 19th, 2009. Groundwater was encountered of approximately 11 feet BLS in the UST excavations. Soil samples CS1 through CS4, CS14 through CS22, LS6 through LS8, DS3, DS4, and SP were submitted to a North Carolina Certified Laboratory, Prism, for analysis of diesel-range TPH by test method SW846-8015B using sample preparation method 3550. Soil samples CS1 through CS22, LS1 through LS8, DS1 through DS4, and SP were submitted to a North Carolina Certified Laboratory, Prism, for analysis of gasoline-range TPH by test method SW846-8015B using sample preparation method 5030.

Soil samples CS1 through CS22 were collected from around the USTs, soil samples DS1 through DS4 were collected from beneath each of the dispensers, and soil samples LS1 through LS8 were collected from beneath the product lines (Figure 2). Analytical results confirm the presence of diesel-range TPH exceeding the Reportable Concentration for soil (10mg/kg) in soil samples CS1, CS2, CS14, LS6, DS3, DS4, and SP. Analytical results confirm the presence of gasoline-range TPH exceeding the Reportable Concentration for soil (10mg/kg) in soil samples CS1, CS12, CS13, CS14, LS6, DS1, DS2, DS3, and SP (Tables 1 and 2, GMA, 2009).



Sidewall soil samples NW, EWA, EWB, EWC, SWA, SWB, WWA, WWB, WWC, and DS1BS were collected upon the completion of excavation of the soil beneath and around UST1 through UST4, some product lines, and under dispensers. Soil sample DS4 was collected beneath the diesel dispenser, soil sample LS5 was collected beneath a product line. Soil samples DS4, WWB, SWA, SWB, EWC, and WWC were submitted to Prism for analysis by EPA Methods 8260 and 8270 and MADEP Methods EPH and VPH. Soil samples LS5, WWA, EWA, EWB, NW, and DS1BS were submitted to Prism for analysis by EPA Methods 8260 and MADEP Method VPH. Analytical results of soil sample WWC confirmed the presence of seven petroleum-related contaminants, with the concentration of MADEP C9-C22 aromatics exceeding the Soil-to-Groundwater maximum soil contaminant concentrations (MSCC). Soil samples LS5, WWA, EWA, and EWB contained detectable concentrations of petroleum-related contaminants below the Soil-to-Groundwater MSCC. No petroleum-related compounds were detected in sidewall samples DS4, WWB, SWA, SWB, NW, DS1BS, and EWC above laboratory detection limits (Table 4, GMA, 2009).

Soil samples LS5, DS4, WWA, WWB, SWA, EWA, EWB, NW, DS1BS, and WWC contained concentrations of acetone, but the concentrations did not exceed the Soil-to-Groundwater MSCC. Acetone is not a petroleum-related contaminant and its presence is attributed to laboratory cross-contamination or formation during sample preservation (Hewitt, 1999).

The collection locations of all soil samples are depicted in Figure 2. Soil sample collection depths, photoionization detector (PID) measurements, and analytical results from the soil samples are summarized in Tables 1, 2, and 4. A copy of the laboratory report and chain-of-custody form for the soil samples are included in the 20-Day Report dated December 4, 2009 (GMA, 2009).

5. DISPOSAL OF CONTAMINATED SOIL

Approximately 562 tons of contaminated soil was excavated during tank removal procedures. Contaminated soil excavated around the USTs, product lines, and dispensers was temporarily stockpiled, and loaded onto trucks for immediate transport to Soilworks, Inc. in Zebulon, North Carolina (GMA, 2009).

H. CONCLUSIONS

Tank closure procedures were completed at the Jiffy Mart site on October 13th through 19th, 2009. Groundwater was encountered of approximately 11 feet BLS in the UST excavations on October 13th through 19th, 2009. Field evidence and analytical results for soil samples indicate that localized soil contamination was present beneath the USTs, dispenser islands, and product lines.

Soil samples CS1 through CS22 were collected from around the USTs, soil samples DS1 through DS4 were collected from beneath each of the dispensers, and soil samples LS1 through LS8 were collected from beneath the product lines. Analytical results confirm the presence of diesel-range TPH exceeding the Reportable Concentration for soil (10mg/kg) in soil samples CS1, CS2, CS14, LS6, DS3, DS4, and SP. Analytical results confirm the presence of gasoline-range TPH exceeding the Reportable Concentration for soil (10mg/kg) in soil samples CS1, CS12, CS13, CS14, LS6, DS1, DS2, DS3, and SP.

Sidewall soil samples NW, EWA, EWB, EWC, SWA, SWB, WWA, WWB, WWC, and DS1BS were collected upon the completion of excavation of the soil beneath and around UST1 through UST4, some product lines, and under dispensers. Soil sample DS4 was collected beneath the diesel dispenser, soil sample LS5 was collected beneath a product line. Soil sample WWC contained a concentration of MADEP C9-C22 aromatics exceeding the Soil-to-Groundwater MSCC. Soil samples LS5, WWA, EWA, and EWB contained detectable concentrations of petroleum-related contaminants below the Soil-to-Groundwater MSCC. No petroleum-related compounds were detected in sidewall samples DS4, WWB, SWA, SWB, NW, DS1BS, and EWC above laboratory detection limits.

On November 16, 2009, GMA supervised the installation of three monitoring wells. Monitoring wells MW1, MW2, and MW3 were installed adjacent to UST5 and the associated product line, adjacent to the northwest corner of dispenser DS1, and directly between dispensers DS2 and DS3, respectively. Groundwater samples were collected from the monitoring wells on November 30, 2009. The static water levels in monitoring wells MW1, MW2, and MW3 were approximately 7.49 feet, 7.23 feet, and 6.75 feet BLS, respectively, on November 30, 2009. Groundwater sample MW1 contained concentrations of benzene and MTBE exceeding 2L Standards. Groundwater sample MW2 contained a concentration of carbon tetrachloride exceeding the 2L Standards. Groundwater sample MW3 contained concentrations of benzene, total xylenes, naphthalene, 1,2,4-trimethylbenzene, MTBE, and C9-C22 aromatics exceeding the 2L Standards.

The predominant direction of horizontal shallow groundwater flow at the site on November 30, 2009, was to the southwest with a horizontal hydraulic gradient of approximately 0.0074 feet/foot.

I. REFERENCES CITED

Environmental Protection Agency (EPA), Chloroform, Retrieved January 7, 2009,
<http://www.epa.gov/ttn/atw/hlthef/chlorofo.html>.

Groundwater Management Associates, Inc., 2009, 20-Day Report, Jiffy Mart, Rocky Mount, Edgecombe County, 6 pages plus attachments.

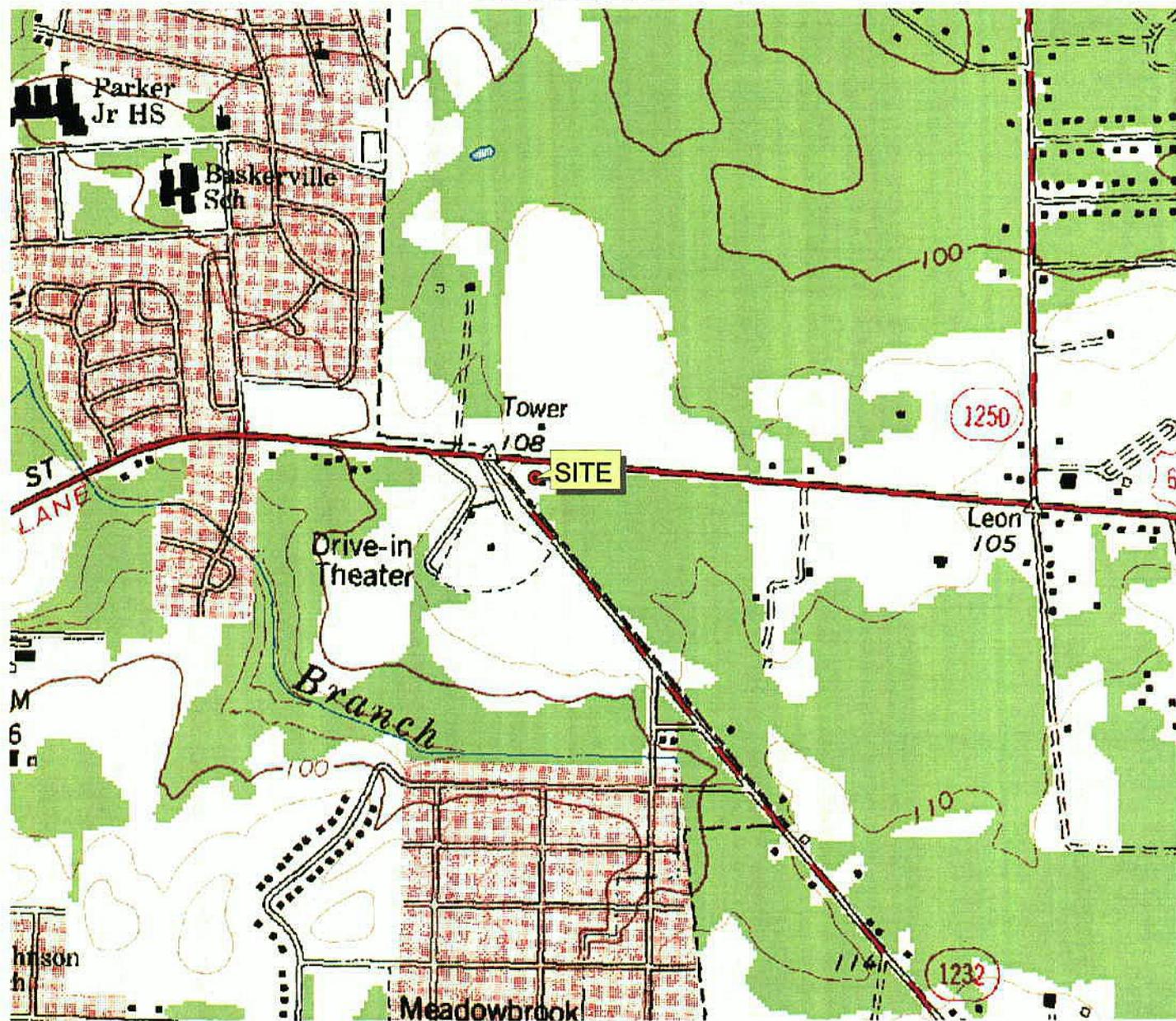


Hewitt, Alan D., 1999, Special Report: Storage and Preservation of Soil Samples for Volatile Compound Analysis, U.S. Army Corps of Engineers Cold Regions Research and Engineering Laboratory, 20 pages.

North Carolina Division of Waste Management, 2009, Underground Storage Tank Section Guidelines for Site Checks, Tank Closure, and Initial Response and Abatement: NCDENR-DWM, Raleigh, North Carolina, 27 Pages plus attachments.

North Carolina Geological Survey, 1985, Geologic Map of North Carolina: North Carolina Department of Environment and Natural Resources, Raleigh, North Carolina, 1 Sheet, 1:500,000 Scale.

SITE LOCATION



1000 0 1000 2000 Feet

ROCKY MOUNT QUADRANGLE
 NORTH CAROLINA - EDGEcombe COUNTY
 7.5 MINUTE SERIES (TOPOGRAPHIC)
 CONTOUR INTERVAL=10 FEET
 MAP DATED 1977



● SITE

JIFFY MART
 ROCKY MOUNT, EDGEcombe COUNTY, NC

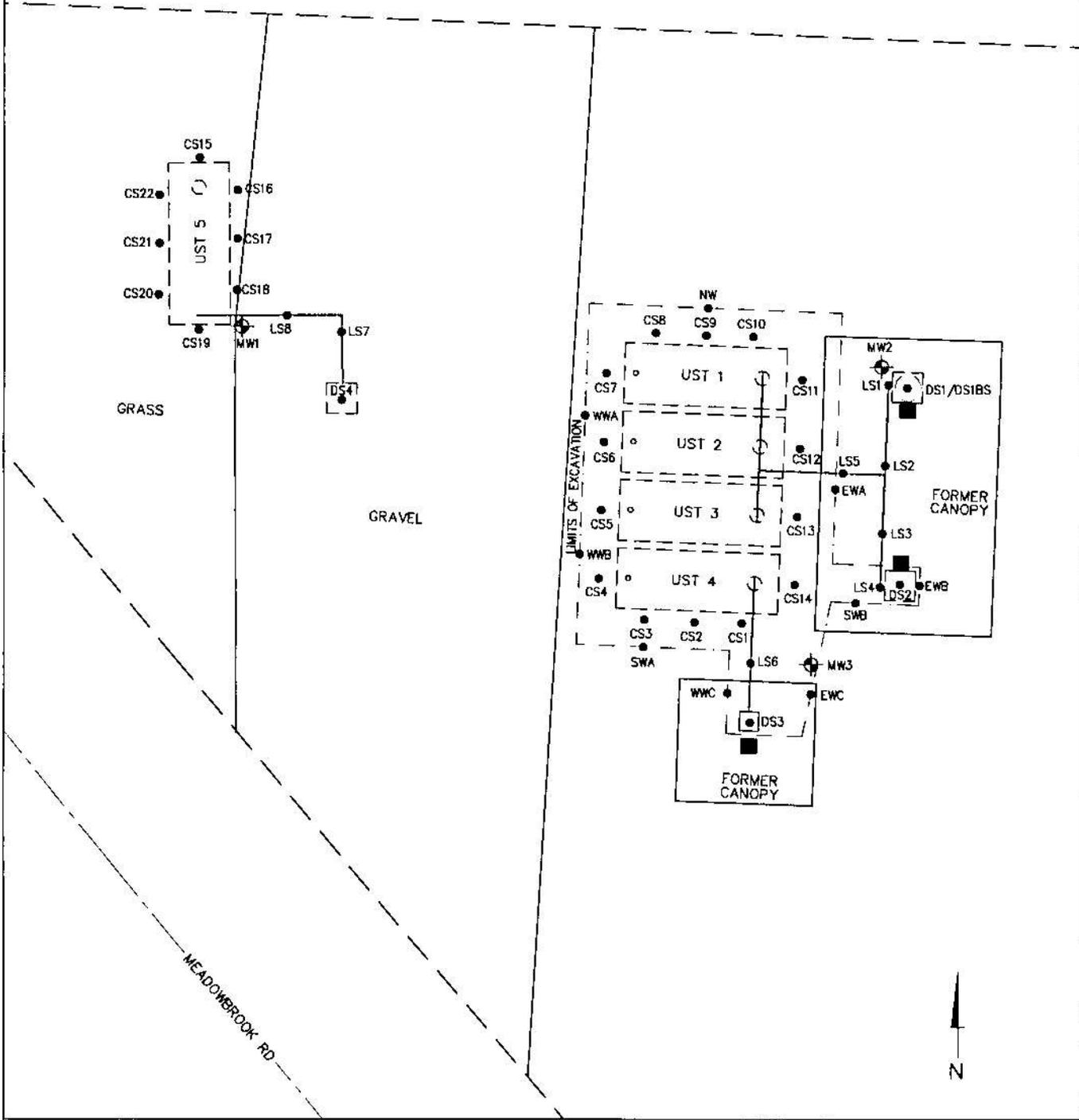
FIGURE 1



GROUNDWATER MANAGEMENT ASSOCIATES, INC.
 4300 SAPPHIRE COURT, SUITE 100
 GREENVILLE, NORTH CAROLINA 27834

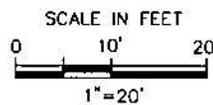
DATE 10/12/2009
 PROJECT 125601

N RALEIGH ST



LEGEND

- PROPERTY LINE
- - - - - DOT RIGHT-OF-WAY
- CENTER LINE
- FORMER PRODUCT LINE
- FORMER DISPENSER
- METAL POST W/FOOTER
- SOIL SAMPLE
- ⊕ MONITORING WELL



File: DRAWINGS/125601
MW-SS10-09

MONITORING WELLS AND SOIL SAMPLE LOCATIONS

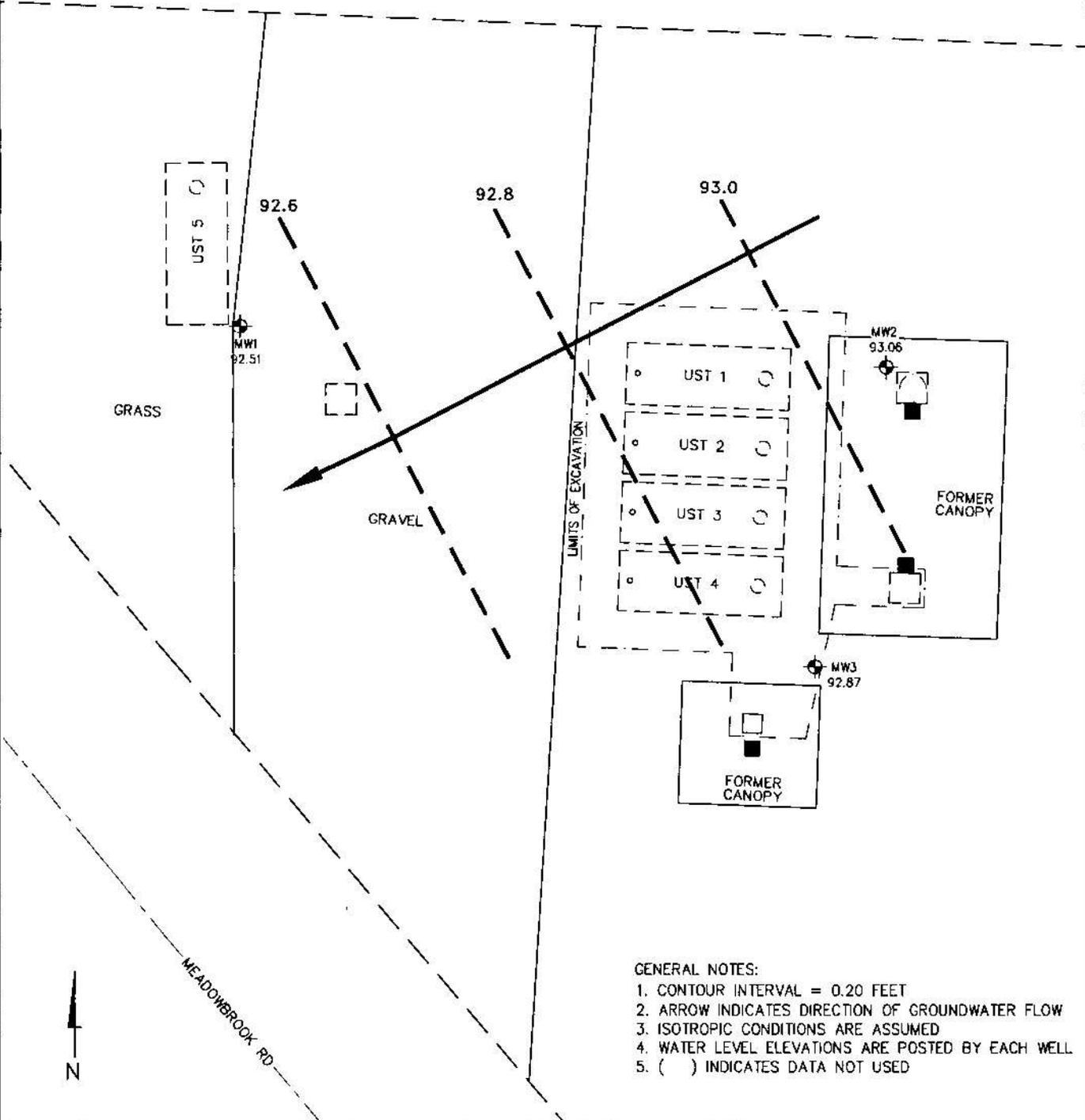
Date: 11/19/2009

Project No. 125601

JIFFY MART, ROCKY MOUNT, EDGECOMBE CO., NC

Figure 2

N RALEIGH ST

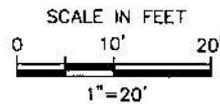


GENERAL NOTES:

1. CONTOUR INTERVAL = 0.20 FEET
2. ARROW INDICATES DIRECTION OF GROUNDWATER FLOW
3. ISOTROPIC CONDITIONS ARE ASSUMED
4. WATER LEVEL ELEVATIONS ARE POSTED BY EACH WELL
5. () INDICATES DATA NOT USED

LEGEND

- PROPERTY LINE
- - - DOT RIGHT-OF-WAY
- CENTER LINE
- FORMER DISPENSER
- METAL POST W/FOOTER
- ⊕ MONITORING WELL



File: DRAWINGS/125601
EQUIP11-09

EQUIPOTENTIAL MAP, 11/30/2009

Date: 1/7/2010

Project No. 125601

JIFFY MART, ROCKY MOUNT, EDGECOMBE CO., NC

Figure 3

Table 1. Summary of Closure and Stockpile Soil Samples TPH Analytical Results

Jiffy Mart Rocky Mount, Edgecombe County, NC UST Incident #: 33763 Facility ID #: 0-016471

Analytical Method					
Sample ID	Date Collected	Depth (feet BLS)	PID Measurement	Diesel-Range TPH	Gasoline-Range TPH
CS1	10/14/2009	6.0	243	170	15
CS2	10/13/2009	6.0	25	35	<6.1
CS3	10/13/2009	6.0	90	<8.4	<6.0
CS4	10/13/2009	6.0	2.5	<8.2	<5.9
CS5	10/13/2009	6.0	50	N/A	<6.0
CS6	10/13/2009	6.0	6.1	N/A	<6.1
CS7	10/13/2009	6.0	88	N/A	<5.8
CS8	10/14/2009	6.0	17	N/A	<6.0
CS9	10/14/2009	6.0	25	N/A	<6.1
CS10	10/14/2009	6.0	49	N/A	<6.4
CS11	10/14/2009	6.0	10	N/A	<6.5
CS12	10/14/2009	6.0	582	N/A	73
CS13	10/14/2009	6.0	2695	N/A	670
CS14	10/14/2009	6.0	192	290	120
CS15	10/14/2009	6.0-6.5	2.1	<8.3	<6.0
CS16	10/14/2009	6.0-6.5	3.0	<8.2	<5.9
CS17	10/14/2009	6.0-6.5	3.2	<8.7	<6.3
CS18	10/14/2009	6.0-6.5	2.1	<8.5	<6.1
CS19	10/14/2009	6.0-6.5	2.2	<9.1	<6.5
CS20	10/14/2009	6.0-6.5	2.0	<8.4	<6.0
CS21	10/14/2009	6.0-6.5	2.1	<8.3	<5.9
CS22	10/14/2009	6.0-6.5	2.9	9.1	<5.6
SP	10/19/2009	N/A	575	1400	80
Reportable Concentration (mg/kg)			N/A	10	10

Analytical concentrations shown are expressed in milligrams per kilogram (mg/kg)

Photoionization detector (PID) measurements expressed as parts per million volume (ppmv)

Detected concentrations are in **bold** TPH = total petroleum hydrocarbons

Shaded concentrations exceed TPH Reportable Concentrations

N/A = not applicable

BLS = below land surface

Table 2. Summary of Line and Dispenser Soil Samples TPH Analytical Results

Jiffy Mart Rocky Mount, Edgecombe County, NC UST Incident #: 33763 Facility ID #: 0-016471

Analytical Method					
Sample ID	Date Collected	Depth (feet BLS)	PID Measurement	Diesel-Range TPH	Gasoline-Range TPH
LS1	10/19/2009	3.0	4.1	N/A	<6.9
LS2	10/19/2009	3.0	4.0	N/A	<6.3
LS3	10/19/2009	3.0	3.0	N/A	<6.1
LS4	10/19/2009	3.0	1.5	N/A	<5.9
LS5	10/19/2009	3.0	6.5	N/A	<6.2
LS6	10/19/2009	3.0	726	630	65
LS7	10/19/2009	3.0	4.4	<8.3	<5.9
LS8	10/19/2009	3.0	4.9	<9.7	<6.9
DS1	10/19/2009	3.0	726	N/A	38
DS2	10/19/2009	3.0	134	N/A	50
DS3	10/19/2009	3.0	678	2200	240
DS4	10/19/2009	3.0	6.1	11	<5.9
Reportable Concentration (mg/kg)			N/A	10	10

Analytical concentrations shown are expressed in milligrams per kilogram (mg/kg)

Photoionization detector (PID) measurements expressed as parts per million volume (ppmv)

Detected concentrations are in **bold** TPH = total petroleum hydrocarbons

Shaded concentrations exceed TPH Reportable Concentrations

N/A = not applicable

BLS = below land surface

Table 3. Construction Date, Depth, Screened Interval, and Water Level Measurement for Monitoring Wells

Jiffy Mart Rocky Mount, Edgecombe County, NC UST Incident #: 33763 Facility ID #: 0-016471

Well ID	Date Installed	Date Water Level Measured	Well casing Depth (ft. BLS)	Screened Interval (ft. BLS)	Bottom of Well (ft. BLS)	Top of Casing Elevation	Depth to Water from Top of Casing (ft.)	Water Level Elevation (ft.)	Free Product Thickness (ft.)
MW1	11/16/2009	11/30/2009	0-5.0	5.0-20	20	100.00	7.49	92.51	none
MW2	11/16/2009	11/30/2009	0-5.0	5.0-20	20	100.29	7.23	93.06	none
MW3	11/16/2009	11/30/2009	0-5.0	5.0-20	20	99.62	6.75	92.87	none

BLS = Below Land Surface

Table 4. Summary of Soil Sample Risk-Based Analytical Results

Jiffy Mart Rocky Mount, Edgecombe County, NC UST Incident #: 33763 Facility ID #: 0-016471

Analytical Method				EPA Methods 8260/8270						
Sample ID	Date Collected	Depth (feet BLS)	PID measurement	1,2,4-trimethylbenzene	1,2,3-trichlorobenzene	methylene chloride	acetone	sec-butylbenzene	MTBE	MEK
LS5	10/19/2009	3.0	6.5	<0.0045	<0.0045	<0.0045	0.015 J	<0.0045	<0.0091	0.0032 J
DS4	10/19/2009	3.0	6.1	<0.0068	<0.0068	<0.0068	0.016 J	<0.0068	<0.014	<0.14
WWA	10/19/2009	7.5-8.0	18	<0.0060	<0.0060	<0.0060	0.037 J	<0.0060	0.06	0.0080 J
WWB	10/19/2009	7.5-8.0	3.7	<0.0060	<0.0060	<0.0060	0.0064 J	<0.0060	<0.012	<0.12
SWA	10/19/2009	7.5-8.0	34	<0.0055	<0.0055	<0.0055	0.0054 J	<0.0055	<0.011	<0.11
SWB	10/19/2009	7.0-7.5	124	<0.0050	<0.0050	<0.0050	<0.050	<0.0050	<0.0099	<0.099
EWA	10/19/2009	7.5-8.0	39	0.0028 J	<0.0061	0.01	0.0099 J	<0.0061	<0.012	<0.12
EWB	10/19/2009	7.5-8.0	15	<0.0057	<0.0057	0.01	0.017 J	<0.0057	<0.011	<0.11
NW	10/19/2009	7.5-8.0	35	<0.0061	<0.0061	<0.0061	0.011 J	<0.0061	<0.012	<0.12
DS1BS	10/19/2009	4.5-5.0	6.1	<0.0065	<0.0065	<0.0065	0.0088 J	<0.0065	<0.013	<0.13
EWC	10/19/2009	7.0-7.5	11	<0.0070	<0.0070	<0.0070	<0.070	<0.0070	<0.014	<0.14
WWC	10/19/2009	7.0-7.5	165	<0.0060	0.0038 J	0.0042 J	0.08	0.0028 J	<0.012	0.011 J
Soil-to-GW MSCC (mg/kg)				7.5	NSE	0.02	2.8	3.3	0.92	17
Residential MSCC (mg/kg)				782	NSE	85	1564	626	213	9385

Analytical Method				MADEP Methods VPH/EPH			
Sample ID	Date Collected	Depth (feet BLS)	PID measurement	C5-C8 Aliphatics	*C9-C18 Aliphatics	^C9-C22 Aromatics	C19-C36 Aliphatics
LS5	10/19/2009	3.0	6.5	<6.2	<6.2	<6.2	NS
DS4	10/19/2009	3.0	6.1	<5.9	<18	<18	<12
WWA	10/19/2009	7.5-8.0	18	<6.0	<6.0	<6.0	NS
WWB	10/19/2009	7.5-8.0	3.7	<6.0	<18	<18	<12
SWA	10/19/2009	7.5-8.0	34	<5.7	<17	<17	<11
SWB	10/19/2009	7.0-7.5	124	<6.4	<19	<19	<13
EWA	10/19/2009	7.5-8.0	39	<6.2	<6.2	<6.2	NS
EWB	10/19/2009	7.5-8.0	15	<6.3	<6.3	<6.3	NS
NW	10/19/2009	7.5-8.0	35	<6.2	<6.2	<6.2	NS
DS1BS	10/19/2009	4.5-5.0	6.1	<6.1	<6.1	<6.1	NS
EWC	10/19/2009	7.0-7.5	11	<5.9	<17	<17	<11
WWC	10/19/2009	7.0-7.5	165	<6.1	213	83	<12
Soil-to-GW MSCC (mg/kg)				72	3255	34	immobile
Residential MSCC (mg/kg)				939	9386	469	93,860

All concentrations shown are expressed in milligrams per kilogram (mg/kg), which is equivalent to parts per million volume (ppmv).

J = the analyte was positively identified but the value is estimated below the reporting limit

MSCC = Maximum Soil Contaminant Concentrations

NSE = no standard established

MTBE = methyl t-butyl ether

Bold = Concentrations above Reportable Limits

BLS = below land surface

MEK = methyl ethyl ketone

Shaded = Concentrations exceed Soil-to-Groundwater MSCC

PID = photoionization detector

*C9-C18 = VPH (C9-C-12 Aliphatics) + (EPH C9-C18) Aliphatics) ^C9-C22 = VPH (C9-C10 Aromatics) + (EPH C11-C22 Aromatics)

Table 5. Summary of Monitoring Well Groundwater Analytical Results

Jiffy Mart Rocky Mount, Edgecombe County, NC UST Incident #: 33763 Facility ID #: 0-016471

Analytical Method		EPA Methods 6200B and 625						
Well ID	Date Collected	benzene	toluene	ethylbenzene	total xylenes	naphthalene	1,2,4 trimethylbenzene	1,3,5 trimethylbenzene
MW1	11/30/2009	110	<0.50	<0.50	<1.5	<2.0	<0.50	<0.50
MW2	11/30/2009	<0.50	<0.50	<0.50	0.53 J	<2.0	<0.50	<0.50
MW3	11/30/2009	29	29	180	620	100	430	130
2L Standard (ug/L)		1.0	600	600	500	6.0	400	400
GCL (ug/L)		5000	257,500	84,500	87,500	15,500	28,500	25,000

Analytical Method		EPA Methods 6200B and 625						
Well ID	Date Collected	n-butylbenzene	n-propylbenzene	sec-butylbenzene	isopropylbenzene	p-isopropyltoluene	MTBE	carbon tetrachloride
MW1	11/30/2009	<1.0	<0.50	<0.50	<0.50	<0.50	23	<0.50
MW2	11/30/2009	<1.0	<0.50	<0.50	<0.50	<0.50	4.3	2.0
MW3	11/30/2009	14	45	3.5	20	2.7	60	<0.50
2L Standard (ug/L)		70	70	70	70	NSE	20	0.3
GCL (ug/L)		6,900	30,000	8500	25,000	NSE	200,000	NSE

Analytical Method		EPA Methods 6200B and 625			Method 3030C1	MADEP Methods EPH/VPH			
Well ID	Date Collected	bromo-dichloro-methane	chloroform	acetone	lead	C5-C8 aliphatics	C9-C18 aliphatics	C9-C22 aromatics	C19-C36 aliphatics
MW1	11/30/2009	0.50	8.4	13	0.01	<50	<148	<148	<98
MW2	11/30/2009	<0.50	1.1	7.7	0.0012 J	<50	<148	<148	<98
MW3	11/30/2009	<0.50	0.94	5.6	0.01	210	57	2250	<98
2L Standard (ug/L)		0.6	70	6000	15	420	4200	210	42,000
GCL (ug/L)		NSE	70,000	700,000	15,000	NSE	NSE	NSE	NSE

All concentrations shown are expressed in micrograms per liter (ug/L), which is equivalent to parts per billion (ppb).

J = the analyte was positively identified, but the value is estimated below the reporting limit

2L = groundwater standards as established under 15A NCAC 2L

Bold = Concentrations above Detectable Limits

Shaded = Concentrations above 2L Groundwater standards

GCL = gross contaminant levels

MTBE = methyl t-butyl ether

NSE = no standard established

APPENDIX A

TECHNICAL METHODS AND STANDARD PROCEDURES

TECHNICAL METHODS AND STANDARD PROCEDURES

I. MONITORING WELL INSTALLATION

The construction of monitoring wells MW1 through MW3 conforms to North Carolina well construction standards (15A NCAC 2C). Well materials used include: flush-threaded PVC casing and slot 0.01-inch PVC screen; medium-grained (#2) quartz sand; bentonite pellets; a water-tight, lockable well plug; and a padlock. A drill rig, equipped with hollow stem augers, was used to install monitoring wells MW1 through MW3. A qualified geologist supervised the drilling and well construction. Wells were developed by hand bailing and surging.

II. WATER-LEVEL MEASUREMENTS

Depth to water within the well was measured with an electronic water level indicator that is accurate to within 0.01 feet. Standard practice is to measure the water level soon after the well plug is removed, and then re-measure the water level after an adequate period of time has elapsed and the water level has equilibrated. If consecutive measurements do not correspond to within 0.01 feet, it is standard practice to continue collecting water-level measurements until equilibration has occurred.

III. WELL PURGING AND COLLECTION OF GROUNDWATER SAMPLES

Wells MW1 through MW3 were purged of three well volumes prior to groundwater sampling using uncontaminated, disposable bailers and vinyl rope. Fresh, disposable vinyl gloves were worn during purging and sampling of the well. Because the well recharged quickly, groundwater samples were collected immediately after purging in order to minimize the loss of volatile compounds.

Groundwater samples were collected in bailers and subsequently transferred to the appropriate sample containers. The groundwater samples were added slowly to the containers to minimize the loss of volatile compounds. Standard procedure for an EPA Methods 6200B and 625, lead by 3030C, and MADEP Methods EPH and VPH analysis is to collect groundwater samples per analysis from each well. All sample containers were stored in plastic Ziploc® bags and were immediately placed in a cooler with ice. Samples and a chain-of-custody form were shipped to Prism Laboratories.

APPENDIX B

FLUID AND TANK DISPOSAL CERTIFICATES

Atlantic Petroleum Equipment Co.

A division of *Eastwood Companies, Inc.*

3505 Whichard Road – Greenville, NC 27834

Office – (252) 757-3311 Fax – (252) 757-3699

DECEMBER 4th 2009
~~July 3, 2009~~ SCE

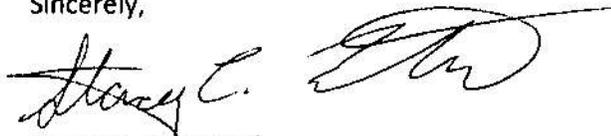
Katie Jarvis
GMA Inc.
4300 Sapphire Ct.
Greenville, N.C.

REF: Jiffy Mart (Facility I.D. #0-016471)
1801 N. Raleigh St.
Rocky Mount, N.C.

Dear Katie,

This letter is to inform that at the afore-mentioned location, on October 8, 2009 the (5) UST's that were to be removed were pumped out by Atlantic Petroleum Equipment Company. Approximately 350 gallons of product was removed from (5) 8000 gallon tanks. The product is stored in a holding tank at our facility to be recycled by Nobile Oil Services. On October 14, 2009 (5) 8000 gallon tanks were taken to our facility to be cut into scrape steel and taken to a recycling facility. Please call me if I can be of any further assistance

Sincerely,



Stacey C. Eastwood
President

SCE

APPENDIX C

**LABORATORY REPORT AND CHAIN-OF-CUSTODY FORM FOR
GROUNDWATER SAMPLES**



PRISM
LABORATORIES, INC.

Case Narrative

Date: 12/17/09
Company: Groundwater Management Assoc.
Contact: Katie Jarvis
Address: 4300 Sapphire Court, Suite 100
Greenville, NC 27834

Client Project ID: 125601 Jiffy Mart
Prism COC Group No: G1209041
Collection Date(s): 11/30/09
Lab Submittal Date(s): 12/01/09

This data package contains the analytical results for the project identified above and includes a Case Narrative, Laboratory Report and Quality Control Data totaling 36 pages. A chain-of-custody is also attached for the samples submitted to Prism for this project.

Data qualifiers are flagged individually on each sample. A key reference for the data qualifiers appears at the end of this case narrative. Quality control statements and/or sample specific remarks are included in the sample comments section of the laboratory report for each sample affected.

Semi Volatile Analysis

Analysis Note for Q46637 LCS Diethylphthalate: LCS recovery outside the control limits. This compound was not detected in samples associated with this batch. No further action was taken.

Analysis Note for Q46637 LCS Dimethylphthalate: LCS recovery outside the control limits. This compound was not detected in samples associated with this batch. No further action was taken.

Analysis Note for Q46637 MS Diethylphthalate: MS recovery outside the control limits.

Analysis Note for Q46637 MS Dimethylphthalate: MS recovery outside the control limits.

Analysis Note for Q46637 MSD Bis(2-ethylhexyl)phthalate: RPD value outside the control limit.

Analysis Note for Q46637 MSD Butylbenzylphthalate: RPD value outside the control limit.

Analysis Note for Q46637 MSD Diethylphthalate: MSD recovery outside the control limits.

Analysis Note for Q46637 MSD Dimethylphthalate: MSD recovery outside the control limits.

Analysis Note for Q46637 MSD Pyrene: RPD value outside the control limit.

Volatile Analysis

Analysis Note for Q46424 MS 2-Hexanone: MS and MSD recoveries outside the control limits. This compound was not detected in samples associated with this batch. LCS had acceptable recovery. No further action was taken.

Metals Analysis

No Anomalies Reported

Wet Lab and Micro Analysis

N/A

Please call if you have any questions relating to this analytical report.

Data Reviewed by: Robbi A. Jones

Project Manager: Angela D. Overcash

Signature:

Robbi A. Jones

Signature:

Angela D. Overcash

Review Date: 12/17/09

Approval Date: 12/17/09

Data Qualifiers Key Reference:

- B: Compound also detected in the method blank.
- #: Result outside of the QC limits.
- DO: Compound diluted out.
- E: Estimated concentration, calibration range exceeded.
- J: The analyte was positively identified but the value is estimated below the reporting limit.
- H: Estimated concentration with a high bias.

Notes: This report should not be reproduced, except in its entirety, without the written consent of Prism Laboratories, Inc. The results in this report relate only to the samples submitted for analysis.



PRISM
LABORATORIES, INC.

Case Narrative

Date: 12/17/09
Company: Groundwater Management Assoc.
Contact: Katie Jarvis
Address: 4300 Sapphire Court, Suite 100
Greenville, NC 27834

Client Project ID: 125601 Jiffy Mart
Prism COC Group No: G1209041
Collection Date(s): 11/30/09
Lab Submittal Date(s): 12/01/09

L: Estimated concentration with a low bias.

M: A matrix effect is present.

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449 Springbrook Road, P.O. Box 240543, Charlotte NC 28224-0403
Phone: 704/529-6364 Toll Free: 800/529-6364 Fax: 704/525-0409



NC Certification No. 402
 SC Certification No. 89012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125801 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW1
 Prism Sample ID: 284875
 COC Group: G1209041
 Time Collected: 11/30/09 12:30
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
<u>Volatile Organic Compounds by GC/MS</u>									
1,1,1,2-Tetrachloroethane	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,1,1-Trichloroethane	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,1,2,2-Tetrachloroethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,1,2-Trichloroethane	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,1-Dichloroethane	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,1-Dichloroethene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,1-Dichloropropene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2,3-Trichlorobenzene	BRL	µg/L	2.0	0.23	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2,3-Trichloropropane	BRL	µg/L	1.0	0.15	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2,4-Trichlorobenzene	BRL	µg/L	1.0	0.28	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2,4-Trimethylbenzene	BRL	µg/L	0.50	0.14	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2-Dibromo-3-chloropropane	BRL	µg/L	2.0	0.37	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2-Dibromoethane (EDB)	BRL	µg/L	0.50	0.11	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2-Dichlorobenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2-Dichloroethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,2-Dichloropropane	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,3,5-Trimethylbenzene	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,3-Dichlorobenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,3-Dichloropropane	BRL	µg/L	0.50	0.060	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
1,4-Dichlorobenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
2,2-Dichloropropane	BRL	µg/L	2.0	0.22	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
2-Chlorotoluene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
2-Hexanone	BRL	µg/L	5.0	0.19	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
4-Chlorotoluene	BRL	µg/L	0.50	0.13	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
4-Methyl-2-pentanone (MIBK)	BRL	µg/L	5.0	0.13	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Acetone	13	µg/L	5.0	0.82	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Benzene	1.0	µg/L	0.50	0.040	1	SM6200 B	12/08/09 9:20	lwtry	Q46424

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NC Certification No. 402
SC Certification No. 99012
NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
Attn: Katie Jarvis
4300 Sapphire Court, Suite 100
Greenville, NC 27834

Project ID: 125601 Jiffy Mart
Sample Matrix: Water

Client Sample ID: MW1
Prism Sample ID: 264875
COC Group: G1209041
Time Collected: 11/30/09 12:30
Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
Bromobenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Bromochloromethane	BRL	µg/L	0.50	0.14	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Bromodichloromethane	0.50	µg/L	0.50	0.080	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Bromoform	BRL	µg/L	2.0	0.040	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Bromomethane	BRL	µg/L	1.0	0.27	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Carbon tetrachloride	BRL	µg/L	0.50	0.11	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Chlorobenzene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Chlorodibromomethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Chloroethane	BRL	µg/L	0.50	0.22	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Chloroform	8.4	µg/L	0.50	0.050	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Chloromethane	BRL	µg/L	0.50	0.30	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
cis-1,2-Dichloroethene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
cis-1,3-Dichloropropene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Dibromomethane	BRL	µg/L	0.50	0.21	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Dichlorodifluoromethane	BRL	µg/L	1.0	0.30	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Ethanol	BRL	µg/L	200	42	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Ethylbenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Hexachlorobutadiene	BRL	µg/L	2.0	0.30	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Isopropyl ether (IPE)	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Isopropylbenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
m,p-Xylenes	BRL	µg/L	1.0	0.13	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Methyl ethyl ketone (MEK)	BRL	µg/L	5.0	0.90	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Methyl t-butyl ether (MTBE)	23	µg/L	0.50	0.11	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Methylene chloride	BRL	µg/L	2.0	0.080	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
n-Butylbenzene	BRL	µg/L	1.0	0.24	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
n-Propylbenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 9:20	lwitry	Q46424
Naphthalene	BRL	µg/L	2.0	0.23	1	SM6200 B	12/08/09 9:20	lwitry	Q46424

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW1
 Prism Sample ID: 264875
 COC Group: G1209041
 Time Collected: 11/30/09 12:30
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
o-Xylene	BRL	µg/L	0.50	0.060	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
p-Isopropyltoluene	BRL	µg/L	0.50	0.14	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
sec-Butylbenzene	BRL	µg/L	0.50	0.12	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Styrene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
tert-Butylbenzene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Tetrachloroethene	BRL	µg/L	0.50	0.12	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Toluene	BRL	µg/L	0.50	0.060	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
trans-1,2-Dichloroethene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
trans-1,3-Dichloropropene	BRL	µg/L	0.50	0.043	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Trichloroethene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Trichlorofluoromethane	BRL	µg/L	0.50	0.31	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Vinyl acetate	BRL	µg/L	2.0	0.10	1	SM6200 B	12/08/09 9:20	lwtry	Q46424
Vinyl chloride	BRL	µg/L	0.50	0.28	1	SM6200 B	12/08/09 9:20	lwtry	Q46424

Surrogate	% Recovery	Control Limits
Toluene-d8	101	70 - 130
Dibromofluoromethane	100	70 - 130
Bromofluorobenzene	109	70 - 130

Semivolatile Organic Compounds by GC/MS

1,2,4-Trichlorobenzene	BRL	µg/L	9.8	1.7	1	625	12/16/09 6:37	cphilbrick	Q46637
1,2-Dichlorobenzene	BRL	µg/L	9.8	1.9	1	625	12/16/09 6:37	cphilbrick	Q46637
1,3-Dichlorobenzene	BRL	µg/L	9.8	2.0	1	625	12/16/09 6:37	cphilbrick	Q46637
1,4-Dichlorobenzene	BRL	µg/L	9.8	1.8	1	625	12/16/09 6:37	cphilbrick	Q46637
2,4-Dinitrotoluene	BRL	µg/L	9.8	3.9	1	625	12/16/09 6:37	cphilbrick	Q46637
2,6-Dinitrotoluene	BRL	µg/L	9.8	2.8	1	625	12/16/09 6:37	cphilbrick	Q46637
2-Chloronaphthalene	BRL	µg/L	9.8	2.9	1	625	12/16/09 6:37	cphilbrick	Q46637
4-Bromophenylphenylether	BRL	µg/L	9.8	1.9	1	625	12/16/09 6:37	cphilbrick	Q46637

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW1
 Prism Sample ID: 264875
 COC Group: G1209041
 Time Collected: 11/30/09 12:30
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
4-Chlorophenylphenylether	BRL	µg/L	9.8	2.8	1	625	12/16/09 6:37	cphilbrick	Q46637
Acenaphthene	BRL	µg/L	9.8	4.1	1	625	12/16/09 6:37	cphilbrick	Q46637
Acenaphthylene	BRL	µg/L	9.8	2.7	1	625	12/16/09 6:37	cphilbrick	Q46637
Anthracene	BRL	µg/L	9.8	1.7	1	625	12/16/09 6:37	cphilbrick	Q46637
Benzo(a)anthracene	BRL	µg/L	9.8	2.1	1	625	12/16/09 6:37	cphilbrick	Q46637
Benzo(a)pyrene	BRL	µg/L	9.8	1.6	1	625	12/16/09 6:37	cphilbrick	Q46637
Benzo(b)fluoranthene	BRL	µg/L	9.8	1.2	1	625	12/16/09 6:37	cphilbrick	Q46637
Benzo(g,h,i)perylene	BRL	µg/L	9.8	2.1	1	625	12/16/09 6:37	cphilbrick	Q46637
Benzo(k)fluoranthene	BRL	µg/L	9.8	2.6	1	625	12/16/09 6:37	cphilbrick	Q46637
Bis(2-chloroethoxy)methane	BRL	µg/L	9.8	2.3	1	625	12/16/09 6:37	cphilbrick	Q46637
Bis(2-chloroethyl)ether	BRL	µg/L	9.8	1.9	1	625	12/16/09 6:37	cphilbrick	Q46637
Bis(2-chloroisopropyl)ether	BRL	µg/L	9.8	2.3	1	625	12/16/09 6:37	cphilbrick	Q46637
Bis(2-ethylhexyl)phthalate	BRL	µg/L	9.8	2.7	1	625	12/16/09 6:37	cphilbrick	Q46637
Butylbenzylphthalate	BRL	µg/L	9.8	1.9	1	625	12/16/09 6:37	cphilbrick	Q46637
Chrysene	BRL	µg/L	9.8	3.0	1	625	12/16/09 6:37	cphilbrick	Q46637
Di-n-butylphthalate	BRL	µg/L	9.8	1.5	1	625	12/16/09 6:37	cphilbrick	Q46637
Di-n-octylphthalate	BRL	µg/L	9.8	2.5	1	625	12/16/09 6:37	cphilbrick	Q46637
Dibenzo(a,h)anthracene	BRL	µg/L	9.8	2.2	1	625	12/16/09 6:37	cphilbrick	Q46637
Diethylphthalate	BRL	µg/L	9.8	2.1	1	625	12/16/09 6:37	cphilbrick	Q46637
Dimethylphthalate	BRL	µg/L	9.8	1.9	1	625	12/16/09 6:37	cphilbrick	Q46637
Fluoranthene	BRL	µg/L	9.8	1.5	1	625	12/16/09 6:37	cphilbrick	Q46637
Fluorene	BRL	µg/L	9.8	4.3	1	625	12/16/09 6:37	cphilbrick	Q46637
Hexachlorobenzene	BRL	µg/L	9.8	2.0	1	625	12/16/09 6:37	cphilbrick	Q46637
Hexachlorobutadiene	BRL	µg/L	9.8	1.7	1	625	12/16/09 6:37	cphilbrick	Q46637
Hexachloroethane	BRL	µg/L	9.8	2.2	1	625	12/16/09 6:37	cphilbrick	Q46637
Indeno(1,2,3-cd)pyrene	BRL	µg/L	9.8	3.8	1	625	12/16/09 6:37	cphilbrick	Q46637
Isophorone	BRL	µg/L	9.8	2.6	1	625	12/16/09 6:37	cphilbrick	Q46637

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW1
 Prism Sample ID: 284875
 COC Group: G1209041
 Time Collected: 11/30/09 12:30
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
N-Nitrosodi-n-propylamine	BRL	µg/L	9.8	2.2	1	625	12/16/09 6:37	cphilbrick	Q46637
Naphthalene	BRL	µg/L	9.8	1.8	1	625	12/16/09 6:37	cphilbrick	Q46637
Nitrobenzene	BRL	µg/L	9.8	2.1	1	625	12/16/09 6:37	cphilbrick	Q46637
Phenanthrene	BRL	µg/L	9.8	1.2	1	625	12/16/09 6:37	cphilbrick	Q46637
Pyrene	BRL	µg/L	9.8	1.8	1	625	12/16/09 6:37	cphilbrick	Q46637
Sample Preparation:			1020 mL /		1 mL	625BN	12/04/09 10:30	cdaly	P28197

Surrogate	% Recovery	Control Limits
Terphenyl-d14	73	10 - 154
Phenol-d5	16	10 - 48
Nitrobenzene-d5	71	22 - 103
2-Fluorophenol	25	10 - 58
2-Fluorobiphenyl	70	29 - 112
2,4,6-Tribromophenol	65	27 - 125

Extractable Petroleum Hydrocarbons by GC-FID

C11-C22 Aromatics	BRL	µg/L	98	33	1	MADEP EPH	12/10/09 11:44	grappaccioli	Q46490
C19-C36 Aliphatics	BRL	µg/L	98	20	1	MADEP EPH	12/10/09 10:52	grappaccioli	Q46490
C9-C18 Aliphatics	BRL	µg/L	98	16	1	MADEP EPH	12/10/09 10:52	grappaccioli	Q46490
Sample Preparation:			1020 mL /		2 mL	EPH	12/08/09 10:00	cdaly	P26223

Surrogate	% Recovery	Control Limits
o-Terphenyl	87	40 - 140
2-Fluorobiphenyl	116	40 - 140
2-Bromonaphthalene	119	40 - 140
1-Chloro-octadecane	105	40 - 140

Metals by ICP

Lead	0.012	mg/L	0.0050	0.0007	1	6010B	12/03/09 15:18	dsullivan	Q46350
Sample Preparation:			50 mL /		50 mL	SM3030 C	12/03/09 7:30	mbarber	P28180

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NC Certification No. 402
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 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW1
 Prism Sample ID: 264875
 COC Group: G1209041
 Time Collected: 11/30/09 12:30
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
<u>Volatile Petroleum Hydrocarbons by GC-PID/FID</u>									
C5-C8 Aliphatics	BRL	µg/L	50	23	1	MADEP VPH	12/11/09 9:50	erussell	Q46518
C9-C10 Aromatics	BRL	µg/L	50	18	1	MADEP VPH	12/11/09 9:50	erussell	Q46518
C9-C12 Aliphatics	BRL	µg/L	50	35	1	MADEP VPH	12/11/09 9:50	erussell	Q46518

Surrogate	% Recovery	Control Limits
2,5-Dibromotoluene-PID	107	70 - 130
2,5-Dibromotoluene-FID	108	70 - 130

Sample Comment(s):

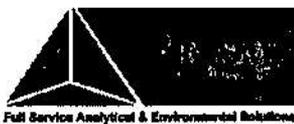
BRL = Below Reporting Limit

J = Estimated value between the Reporting Limit and the MDL

The results in this report relate only to the samples submitted for analysis and meet state certification requirements other than NELAC certification except for those instances indicated in the case narrative and/or test comments.

All results are reported on a wet-weight basis

Angela D. Overcash, V.P. Laboratory Services



NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125801 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW2
 Prism Sample ID: 264876
 COC Group: G1209041
 Time Collected: 11/30/09 12:45
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
<u>Volatiles Organic Compounds by GC/MS</u>									
1,1,1,2-Tetrachloroethane	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,1,1-Trichloroethane	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,1,2,2-Tetrachloroethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,1,2-Trichloroethane	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,1-Dichloroethane	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,1-Dichloroethene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,1-Dichloropropene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2,3-Trichlorobenzene	BRL	µg/L	2.0	0.23	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2,3-Trichloropropane	BRL	µg/L	1.0	0.15	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2,4-Trichlorobenzene	BRL	µg/L	1.0	0.28	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2,4-Trimethylbenzene	BRL	µg/L	0.50	0.14	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2-Dibromo-3-chloropropane	BRL	µg/L	2.0	0.37	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2-Dibromoethane (EDB)	BRL	µg/L	0.50	0.11	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2-Dichlorobenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2-Dichloroethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,2-Dichloropropane	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,3,5-Trimethylbenzene	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,3-Dichlorobenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,3-Dichloropropane	BRL	µg/L	0.50	0.060	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
1,4-Dichlorobenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
2,2-Dichloropropane	BRL	µg/L	2.0	0.22	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
2-Chlorotoluene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
2-Hexanone	BRL	µg/L	5.0	0.19	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
4-Chlorotoluene	BRL	µg/L	0.50	0.13	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
4-Methyl-2-pentanone (MIBK)	BRL	µg/L	5.0	0.13	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Acetone	7.7	µg/L	5.0	0.62	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Benzene	BRL	µg/L	0.50	0.040	1	SM6200 B	12/08/09 10:23	lwtry	Q46424

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Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW2
 Prism Sample ID: 264876
 COC Group: G1209041
 Time Collected: 11/30/09 12:45
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
Bromobenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Bromochloromethane	BRL	µg/L	0.50	0.14	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Bromodichloromethane	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Bromoform	BRL	µg/L	2.0	0.040	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Bromomethane	BRL	µg/L	1.0	0.27	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Carbon tetrachloride	2.0	µg/L	0.50	0.11	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Chlorobenzene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Chlorodibromomethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Chloroethane	BRL	µg/L	0.50	0.22	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Chloroform	1.1	µg/L	0.50	0.050	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Chloromethane	BRL	µg/L	0.50	0.30	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
cis-1,2-Dichloroethene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
cis-1,3-Dichloropropene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Dibromomethane	BRL	µg/L	0.50	0.21	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Dichlorodifluoromethane	BRL	µg/L	1.0	0.30	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Ethanol	BRL	µg/L	200	42	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Ethylbenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Hexachlorobutadiene	BRL	µg/L	2.0	0.30	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Isopropyl ether (IPE)	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Isopropylbenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
m,p-Xylenes	0.53 J	µg/L	1.0	0.13	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Methyl ethyl ketone (MEK)	BRL	µg/L	5.0	0.90	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Methyl t-butyl ether (MTBE)	4.3	µg/L	0.50	0.11	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Methylene chloride	BRL	µg/L	2.0	0.080	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
n-Butylbenzene	BRL	µg/L	1.0	0.24	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
n-Propylbenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 10:23	lwtry	Q46424
Naphthalene	BRL	µg/L	2.0	0.23	1	SM6200 B	12/08/09 10:23	lwtry	Q46424

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW2
 Prism Sample ID: 264876
 COC Group: G1209041
 Time Collected: 11/30/09 12:45
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
o-Xylene	BRL	µg/L	0.50	0.060	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
p-Isopropyltoluene	BRL	µg/L	0.50	0.14	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
sec-Butylbenzene	BRL	µg/L	0.50	0.12	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
Styrene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
tert-Butylbenzene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
Tetrachloroethene	BRL	µg/L	0.50	0.12	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
Toluene	BRL	µg/L	0.50	0.060	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
trans-1,2-Dichloroethene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
trans-1,3-Dichloropropene	BRL	µg/L	0.50	0.043	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
Trichloroethene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
Trichlorofluoromethane	BRL	µg/L	0.50	0.31	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
Vinyl acetate	BRL	µg/L	2.0	0.10	1	SM6200 B	12/08/09 10:23	lwitry	Q46424
Vinyl chloride	BRL	µg/L	0.50	0.28	1	SM6200 B	12/08/09 10:23	lwitry	Q46424

Surrogate	% Recovery	Control Limits
Toluene-d8	102	70 - 130
Dibromofluoromethane	101	70 - 130
Bromofluorobenzene	107	70 - 130

Semivolatile Organic Compounds by GC/MS

1,2,4-Trichlorobenzene	BRL	µg/L	9.8	1.7	1	625	12/16/09 8:18	cpilbrick	Q46637
1,2-Dichlorobenzene	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:18	cpilbrick	Q46637
1,3-Dichlorobenzene	BRL	µg/L	9.8	2.0	1	625	12/16/09 8:18	cpilbrick	Q46637
1,4-Dichlorobenzene	BRL	µg/L	9.8	1.8	1	625	12/16/09 8:18	cpilbrick	Q46637
2,4-Dinitrotoluene	BRL	µg/L	9.8	3.9	1	625	12/16/09 8:18	cpilbrick	Q46637
2,6-Dinitrotoluene	BRL	µg/L	9.8	2.8	1	625	12/16/09 8:18	cpilbrick	Q46637
2-Chloronaphthalene	BRL	µg/L	9.8	2.9	1	625	12/16/09 8:18	cpilbrick	Q46637
4-Bromophenylphenylether	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:18	cpilbrick	Q46637

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW2
 Prism Sample ID: 264876
 COC Group: G1209041
 Time Collected: 11/30/09 12:45
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
4-Chlorophenylphenylether	BRL	µg/L	9.8	2.8	1	625	12/16/09 8:18	cphilbrick	Q46637
Acenaphthene	BRL	µg/L	9.8	4.1	1	625	12/16/09 8:18	cphilbrick	Q46637
Acenaphthylene	BRL	µg/L	9.8	2.7	1	625	12/16/09 8:18	cphilbrick	Q46637
Anthracene	BRL	µg/L	9.8	1.7	1	625	12/16/09 8:18	cphilbrick	Q46637
Benzo(a)anthracene	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:18	cphilbrick	Q46637
Benzo(a)pyrene	BRL	µg/L	9.8	1.8	1	625	12/16/09 8:18	cphilbrick	Q46637
Benzo(b)fluoranthene	BRL	µg/L	9.8	1.2	1	625	12/16/09 8:18	cphilbrick	Q46637
Benzo(g,h,i)perylene	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:18	cphilbrick	Q46637
Benzo(k)fluoranthene	BRL	µg/L	9.8	2.6	1	625	12/16/09 8:18	cphilbrick	Q46637
Bis(2-chloroethoxy)methane	BRL	µg/L	9.8	2.3	1	625	12/16/09 8:18	cphilbrick	Q46637
Bis(2-chloroethyl)ether	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:18	cphilbrick	Q46637
Bis(2-chloroisopropyl)ether	BRL	µg/L	9.8	2.3	1	625	12/16/09 8:18	cphilbrick	Q46637
Bis(2-ethylhexyl)phthalate	BRL	µg/L	9.8	2.7	1	625	12/16/09 8:18	cphilbrick	Q46637
Butylbenzylphthalate	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:18	cphilbrick	Q46637
Chrysene	BRL	µg/L	9.8	3.0	1	625	12/16/09 8:18	cphilbrick	Q46637
Di-n-butylphthalate	BRL	µg/L	9.8	1.5	1	625	12/16/09 8:18	cphilbrick	Q46637
Di-n-octylphthalate	BRL	µg/L	9.8	2.5	1	625	12/16/09 8:18	cphilbrick	Q46637
Dibenzo(a,h)anthracene	BRL	µg/L	9.8	2.2	1	625	12/16/09 8:18	cphilbrick	Q46637
Diethylphthalate	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:18	cphilbrick	Q46637
Dimethylphthalate	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:18	cphilbrick	Q46637
Fluoranthene	BRL	µg/L	9.8	1.5	1	625	12/16/09 8:18	cphilbrick	Q46637
Fluorene	BRL	µg/L	9.8	4.3	1	625	12/16/09 8:18	cphilbrick	Q46637
Hexachlorobenzene	BRL	µg/L	9.8	2.0	1	625	12/16/09 8:18	cphilbrick	Q46637
Hexachlorobutadiene	BRL	µg/L	9.8	1.7	1	625	12/16/09 8:18	cphilbrick	Q46637
Hexachloroethane	BRL	µg/L	9.8	2.2	1	625	12/16/09 8:18	cphilbrick	Q46637
Indeno(1,2,3-cd)pyrene	BRL	µg/L	9.8	3.6	1	625	12/16/09 8:18	cphilbrick	Q46637
Isophorone	BRL	µg/L	9.8	2.6	1	625	12/16/09 8:18	cphilbrick	Q46637

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NC Certification No. 402
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 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW2
 Prism Sample ID: 264876
 COC Group: G1209041
 Time Collected: 11/30/09 12:45
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
N-Nitrosodi-n-propylamine	BRL	µg/L	9.8	2.2	1	625	12/16/09 8:18	cphilbrick	Q46637
Naphthalene	BRL	µg/L	9.8	1.8	1	625	12/16/09 8:18	cphilbrick	Q46637
Nitrobenzene	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:18	cphilbrick	Q46637
Phenanthrene	BRL	µg/L	9.8	1.2	1	625	12/16/09 8:18	cphilbrick	Q46637
Pyrene	BRL	µg/L	9.8	1.8	1	625	12/16/09 8:18	cphilbrick	Q46637
Sample Preparation:				1020 mL /	1 mL	625BN	12/04/09 10:30	cdaly	P26187

Surrogate	% Recovery	Control Limits
Terphenyl-d14	103	10 - 154
Phenol-d5	16	10 - 48
Nitrobenzene-d5	64	22 - 103
2-Fluorophenol	28	10 - 59
2-Fluorobiphenyl	65	29 - 112
2,4,6-Tribromophenol	67	27 - 125

Extractable Petroleum Hydrocarbons by GC-FID

C11-C22 Aromatics	BRL	µg/L	98	33	1	MADEP EPH	12/10/09 13:26	grappaccioli	Q46490
C19-C36 Aliphatics	BRL	µg/L	98	20	1	MADEP EPH	12/10/09 12:35	grappaccioli	Q46490
C9-C18 Aliphatics	BRL	µg/L	98	16	1	MADEP EPH	12/10/09 12:35	grappaccioli	Q46490
Sample Preparation:				1020 mL /	2 mL	EPH	12/08/09 10:00	cdaly	P26223

Surrogate	% Recovery	Control Limits
o-Terphenyl	96	40 - 140
2-Fluorobiphenyl	114	40 - 140
2-Bromonaphthalene	118	40 - 140
1-Chloro-octadecane	46	40 - 140

Metals by ICP

Lead	0.0012 J	mg/L	0.0050	0.0007	1	6010B	12/03/09 15:40	dsullivan	Q46350
Sample Preparation:				50 mL /	50 mL	SM3030 C	12/03/09 7:30	mbarber	P26180

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NC Certification No. 402
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 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW2
 Prism Sample ID: 264878
 COC Group: G1209041
 Time Collected: 11/30/09 12:45
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
<u>Volatile Petroleum Hydrocarbons by GC-PID/FID</u>									
C5-C8 Aliphatics	BRL	µg/L	50	23	1	MADEP VPH	12/11/09 10:25	erussell	Q46518
C9-C10 Aromatics	BRL	µg/L	50	18	1	MADEP VPH	12/11/09 10:25	erussell	Q46518
C9-C12 Aliphatics	BRL	µg/L	50	35	1	MADEP VPH	12/11/09 10:25	erussell	Q46518

Surrogate	% Recovery	Control Limits
2,5-Dibromotoluene-PID	112	70 - 130
2,5-Dibromotoluene-FID	127	70 - 130

Sample Comment(s):

BRL = Below Reporting Limit

J = Estimated value between the Reporting Limit and the MDL

The results in this report relate only to the samples submitted for analysis and meet state certification requirements other than NELAC certification except for those instances indicated in the case narrative and/or test comments.

All results are reported on a wet-weight basis

Angela D. Overcash, V.P. Laboratory Services



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 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW3
 Prism Sample ID: 264877
 COC Group: G1209041
 Time Collected: 11/30/09 13:15
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
<u>Volatile Organic Compounds by GC/MS</u>									
1,1,1,2-Tetrachloroethane	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,1,1-Trichloroethane	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,1,2,2-Tetrachloroethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,1,2-Trichloroethane	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,1-Dichloroethane	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,1-Dichloroethene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,1-Dichloropropene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2,3-Trichlorobenzene	BRL	µg/L	2.0	0.23	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2,3-Trichloropropane	BRL	µg/L	1.0	0.15	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2,4-Trichlorobenzene	BRL	µg/L	1.0	0.28	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2,4-Trimethylbenzene	430	µg/L	5.0	1.4	10	SM6200 B	12/08/09 11:58	lwitry	Q46424
1,2-Dibromo-3-chloropropane	BRL	µg/L	2.0	0.37	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2-Dibromoethane (EDB)	BRL	µg/L	0.50	0.11	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2-Dichlorobenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2-Dichloroethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,2-Dichloropropane	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,3,5-Trimethylbenzene	130	µg/L	5.0	0.80	10	SM6200 B	12/08/09 11:58	lwitry	Q46424
1,3-Dichlorobenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,3-Dichloropropane	BRL	µg/L	0.50	0.060	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
1,4-Dichlorobenzene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
2,2-Dichloropropane	BRL	µg/L	2.0	0.22	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
2-Chlorotoluene	BRL	µg/L	0.50	0.090	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
2-Hexanone	BRL	µg/L	5.0	0.19	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
4-Chlorotoluene	BRL	µg/L	0.50	0.13	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
4-Methyl-2-pentanone (MIBK)	BRL	µg/L	5.0	0.13	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
Acetone	5.6	µg/L	5.0	0.62	1	SM6200 B	12/08/09 11:26	lwitry	Q46424
Benzene	29	µg/L	0.50	0.040	1	SM6200 B	12/08/09 11:26	lwitry	Q46424

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NC Certification No. 402
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NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
Attn: Katie Jarvis
4300 Sapphire Court, Suite 100
Greenville, NC 27834

Project ID: 125601 Jiffy Mart
Sample Matrix: Water

Client Sample ID: MW3
Prism Sample ID: 284877
COC Group: G1209041
Time Collected: 11/30/09 13:15
Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
Bromobenzene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Bromochloromethane	BRL	µg/L	0.50	0.14	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Bromodichloromethane	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Bromofom	BRL	µg/L	2.0	0.040	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Bromomethane	BRL	µg/L	1.0	0.27	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Carbon tetrachloride	BRL	µg/L	0.50	0.11	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Chlorobenzene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Chlorodibromomethane	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Chloroethane	BRL	µg/L	0.50	0.22	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Chloroform	0.94	µg/L	0.50	0.050	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Chloromethane	BRL	µg/L	0.50	0.30	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
cis-1,2-Dichloroethene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
cis-1,3-Dichloropropene	BRL	µg/L	0.50	0.10	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Dibromomethane	BRL	µg/L	0.50	0.21	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Dichlorodifluoromethane	BRL	µg/L	1.0	0.30	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Ethanol	BRL	µg/L	200	42	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Ethylbenzene	180	µg/L	5.0	0.90	10	SM6200 B	12/08/09 11:58	lwtry	Q46424
Hexachlorobutadiene	BRL	µg/L	2.0	0.30	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Isopropyl ether (IPE)	BRL	µg/L	0.50	0.080	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Isopropylbenzene	20	µg/L	0.50	0.10	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
m,p-Xylenes	430	µg/L	10	1.3	10	SM6200 B	12/08/09 11:58	lwtry	Q46424
Methyl ethyl ketone (MEK)	BRL	µg/L	5.0	0.90	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Methyl t-butyl ether (MTBE)	60	µg/L	0.50	0.11	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Methylene chloride	BRL	µg/L	2.0	0.080	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
n-Butylbenzene	14	µg/L	1.0	0.24	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
n-Propylbenzene	45	µg/L	0.50	0.090	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Naphthalene	100	µg/L	2.0	0.23	1	SM6200 B	12/08/09 11:26	lwtry	Q46424

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW3
 Prism Sample ID: 264877
 COC Group: G1209041
 Time Collected: 11/30/09 13:15
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
o-Xylene	190	µg/L	5.0	0.80	10	SM6200 B	12/08/09 11:58	lwtry	Q46424
p-Isopropyltoluene	2.7	µg/L	0.50	0.14	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
sec-Butylbenzene	3.5	µg/L	0.50	0.12	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Styrene	BRL	µg/L	0.50	0.050	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
tert-Butylbenzene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Tetrachloroethene	BRL	µg/L	0.50	0.12	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Toluene	29	µg/L	0.50	0.060	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
trans-1,2-Dichloroethene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
trans-1,3-Dichloropropene	BRL	µg/L	0.50	0.043	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Trichloroethene	BRL	µg/L	0.50	0.070	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Trichlorofluoromethane	BRL	µg/L	0.50	0.31	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Vinyl acetate	BRL	µg/L	2.0	0.10	1	SM6200 B	12/08/09 11:26	lwtry	Q46424
Vinyl chloride	BRL	µg/L	0.50	0.28	1	SM6200 B	12/08/09 11:26	lwtry	Q46424

Surrogate	% Recovery	Control Limits
Toluene-d8	100	70 - 130
Dibromofluoromethane	95	70 - 130
Bromofluorobenzene	99	70 - 130

Semivolatile Organic Compounds by GC/MS

1,2,4-Trichlorobenzene	BRL	µg/L	9.8	1.7	1	625	12/16/09 8:52	cphtlbrck	Q46637
1,2-Dichlorobenzene	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:52	cphtlbrck	Q46637
1,3-Dichlorobenzene	BRL	µg/L	9.8	2.0	1	625	12/16/09 8:52	cphtlbrck	Q46637
1,4-Dichlorobenzene	BRL	µg/L	9.8	1.8	1	625	12/16/09 8:52	cphtlbrck	Q46637
2,4-Dinitrotoluene	BRL	µg/L	9.8	3.9	1	625	12/16/09 8:52	cphtlbrck	Q46637
2,6-Dinitrotoluene	BRL	µg/L	9.8	2.8	1	625	12/16/09 8:52	cphtlbrck	Q46637
2-Chloronaphthalene	BRL	µg/L	9.8	2.9	1	625	12/16/09 8:52	cphtlbrck	Q46637
4-Bromophenylphenylether	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:52	cphtlbrck	Q46637

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

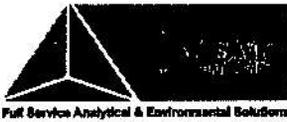
Client Sample ID: MW3
 Prism Sample ID: 264877
 COC Group: G1209041
 Time Collected: 11/30/09 13:15
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
4-Chlorophenylphenylether	BRL	µg/L	9.8	2.8	1	625	12/16/09 8:52	cphilbrick	Q46637
Acenaphthene	BRL	µg/L	9.8	4.1	1	625	12/16/09 8:52	cphilbrick	Q46637
Acenaphthylene	BRL	µg/L	9.8	2.7	1	625	12/16/09 8:52	cphilbrick	Q46637
Anthracene	BRL	µg/L	9.8	1.7	1	625	12/16/09 8:52	cphilbrick	Q46637
Benzo(a)anthracene	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:52	cphilbrick	Q46637
Benzo(a)pyrene	BRL	µg/L	9.8	1.6	1	625	12/16/09 8:52	cphilbrick	Q46637
Benzo(b)fluoranthene	BRL	µg/L	9.8	1.2	1	625	12/16/09 8:52	cphilbrick	Q46637
Benzo(g,h,i)perylene	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:52	cphilbrick	Q46637
Benzo(k)fluoranthene	BRL	µg/L	9.8	2.6	1	625	12/16/09 8:52	cphilbrick	Q46637
Bis(2-chloroethoxy)methane	BRL	µg/L	9.8	2.3	1	625	12/16/09 8:52	cphilbrick	Q46637
Bis(2-chloroethyl)ether	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:52	cphilbrick	Q46637
Bis(2-chloroisopropyl)ether	BRL	µg/L	9.8	2.3	1	625	12/16/09 8:52	cphilbrick	Q46637
Bis(2-ethylhexyl)phthalate	BRL	µg/L	9.8	2.7	1	625	12/16/09 8:52	cphilbrick	Q46637
Butylbenzylphthalate	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:52	cphilbrick	Q46637
Chrysene	BRL	µg/L	9.8	3.0	1	625	12/16/09 8:52	cphilbrick	Q46637
Di-n-butylphthalate	BRL	µg/L	9.8	1.5	1	625	12/16/09 8:52	cphilbrick	Q46637
Di-n-octylphthalate	BRL	µg/L	9.8	2.5	1	625	12/16/09 8:52	cphilbrick	Q46637
Dibenzo(a,h)anthracene	BRL	µg/L	9.8	2.2	1	625	12/16/09 8:52	cphilbrick	Q46637
Diethylphthalate	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:52	cphilbrick	Q46637
Dimethylphthalate	BRL	µg/L	9.8	1.9	1	625	12/16/09 8:52	cphilbrick	Q46637
Fluoranthene	BRL	µg/L	9.8	1.5	1	625	12/16/09 8:52	cphilbrick	Q46637
Fluorene	BRL	µg/L	9.8	4.3	1	625	12/16/09 8:52	cphilbrick	Q46637
Hexachlorobenzene	BRL	µg/L	9.8	2.0	1	625	12/16/09 8:52	cphilbrick	Q46637
Hexachlorobutadiene	BRL	µg/L	9.8	1.7	1	625	12/16/09 8:52	cphilbrick	Q46637
Hexachloroethane	BRL	µg/L	9.8	2.2	1	625	12/16/09 8:52	cphilbrick	Q46637
Indeno(1,2,3-cd)pyrene	BRL	µg/L	9.8	3.6	1	625	12/16/09 8:52	cphilbrick	Q46637
Isophorone	BRL	µg/L	9.8	2.6	1	625	12/16/09 8:52	cphilbrick	Q46637

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW3
 Prism Sample ID: 264877
 COC Group: G1209041
 Time Collected: 11/30/09 13:15
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
N-Nitrosodi-n-propylamine	BRL	µg/L	9.8	2.2	1	625	12/16/09 8:52	cphilbrick	Q46637
Naphthalene	62	µg/L	9.8	1.6	1	625	12/16/09 8:52	cphilbrick	Q46637
Nitrobenzene	BRL	µg/L	9.8	2.1	1	625	12/16/09 8:52	cphilbrick	Q46637
Phenanthrene	BRL	µg/L	9.8	1.2	1	625	12/16/09 8:52	cphilbrick	Q46637
Pyrene	BRL	µg/L	9.8	1.8	1	625	12/16/09 8:52	cphilbrick	Q46637
Sample Preparation:			1020 mL /		1 mL	625BN	12/04/09 10:30	cdaly	P26197

Surrogate	% Recovery	Control Limits
Terphenyl-d14	83	10 - 154
Phenol-d5	20	10 - 48
Nitrobenzene-d5	74	22 - 103
2-Fluorophenol	33	10 - 59
2-Fluorobiphenyl	75	29 - 112
2,4,6-Tribromophenol	77	27 - 125

Extractable Petroleum Hydrocarbons by GC-FID

C11-C22 Aromatics	250	µg/L	98	33	1	MADEP EPH	12/10/09 15:08	grappaccioli	Q46490
C19-C36 Aliphatics	BRL	µg/L	98	20	1	MADEP EPH	12/10/09 14:17	grappaccioli	Q46490
C9-C18 Aliphatics	BRL	µg/L	98	16	1	MADEP EPH	12/10/09 14:17	grappaccioli	Q46490
Sample Preparation:			1020 mL /		2 mL	EPH	12/08/09 10:00	cdaly	P26223

Surrogate	% Recovery	Control Limits
o-Terphenyl	81	40 - 140
2-Fluorobiphenyl	124	40 - 140
2-Bromonaphthalene	130	40 - 140
1-Chloro-octadecane	78	40 - 140

Metals by ICP

Lead	0.0052	mg/L	0.0050	0.0007	1	6010B	12/03/09 15:47	dsullivan	Q46350
Sample Preparation:			50 mL /		50 mL	SM3030 C	12/03/09 7:30	mbarber	P26180

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 NC Drinking Water Cert. No. 37735

Laboratory Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart
 Sample Matrix: Water

Client Sample ID: MW3
 Prism Sample ID: 264877
 COC Group: G1209041
 Time Collected: 11/30/09 13:15
 Time Submitted: 12/01/09 15:20

Parameter	Result	Units	Report Limit	MDL	Dilution Factor	Method	Analysis Date/Time	Analyst	Batch ID
<u>Volatile Petroleum Hydrocarbons by GC-PID/FID</u>									
C5-C8 Aliphatics	210	µg/L	50	23	1	MADEP VPH	12/11/09 13:33	erussell	Q46518
C9-C10 Aromatics	2000	µg/L	50	18	1	MADEP VPH	12/11/09 13:33	erussell	Q46518
C9-C12 Aliphatics	57	µg/L	50	35	1	MADEP VPH	12/11/09 13:33	erussell	Q46518

Surrogate	% Recovery	Control Limits
2,5-Dibromotoluene-PID	117	70 - 130
2,5-Dibromotoluene-FID	105	70 - 130

Sample Comment(s):

BRL = Below Reporting Limit

J = Estimated value between the Reporting Limit and the MDL

The results in this report relate only to the samples submitted for analysis and meet state certification requirements other than NELAC certification except for those instances indicated in the case narrative and/or test comments.

All results are reported on a wet-weight basis

Angela D. Overcash, V.P. Laboratory Services



NC Certification No. 402
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 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Metals by ICP, method 6010B

Method Blank							QC Batch ID		
	Result	RL	Control Limit	Units					
Lead	0.0002	0.005	<0.0025	mg/L			Q48350		
Laboratory Control Sample									
	Result	Spike Amount		Units	Recovery %	Recovery Ranges %	QC Batch ID		
Lead	0.246	0.25		mg/L	98	80-120	Q46350		
Matrix Spike									
Sample ID:	Result	Spike Amount		Units	Recovery %	Recovery Ranges %	QC Batch ID		
264875 Lead	0.254	0.25		mg/L	97	75-125	Q46350		
Matrix Spike Duplicate									
Sample ID:	Result	Spike Amount		Units	Recovery %	Recovery Ranges %	RPD %	RPD Range %	QC Batch ID
264875 Lead	0.2545	0.25		mg/L	97	75-125	0	0 - 20	Q46350



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Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
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 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041
 Date/Time Submitted: 12/1/09 15:20

Volatile Organic Compounds by GC/MS, method SM6200 B

Method Blank	Result	RL	Control Limit	Units	QC Batch ID
1,1,1,2-Tetrachloroethane	ND	0.5	<0.25	µg/L	Q46424
1,1,1-Trichloroethane	ND	0.5	<0.25	µg/L	Q46424
1,1,2,2-Tetrachloroethane	ND	0.5	<0.25	µg/L	Q46424
1,1,2-Trichloroethane	ND	0.5	<0.25	µg/L	Q46424
1,1-Dichloroethane	ND	0.5	<0.25	µg/L	Q46424
1,1-Dichloroethene	ND	0.5	<0.25	µg/L	Q46424
1,1-Dichloropropene	ND	0.5	<0.25	µg/L	Q46424
1,2,3-Trichlorobenzene	ND	2	<1	µg/L	Q46424
1,2,3-Trichloropropane	ND	1	<0.5	µg/L	Q46424
1,2,4-Trichlorobenzene	ND	1	<0.5	µg/L	Q46424
1,2,4-Trimethylbenzene	ND	0.5	<0.25	µg/L	Q46424
1,2-Dibromo-3-chloropropane	ND	2	<1	µg/L	Q46424
1,2-Dibromoethane (EDB)	ND	0.5	<0.25	µg/L	Q46424
1,2-Dichlorobenzene	ND	0.5	<0.25	µg/L	Q46424
1,2-Dichloroethane	ND	0.5	<0.25	µg/L	Q46424
1,2-Dichloropropane	ND	0.5	<0.25	µg/L	Q46424
1,3,5-Trimethylbenzene	ND	0.5	<0.25	µg/L	Q46424
1,3-Dichlorobenzene	ND	0.5	<0.25	µg/L	Q46424
1,3-Dichloropropane	ND	0.5	<0.25	µg/L	Q46424
1,4-Dichlorobenzene	ND	0.5	<0.25	µg/L	Q46424
2,2-Dichloropropane	ND	2	<1	µg/L	Q46424
2-Chlorotoluene	ND	0.5	<0.25	µg/L	Q46424
2-Hexanone	ND	5	<2.5	µg/L	Q46424
4-Chlorotoluene	ND	0.5	<0.25	µg/L	Q46424
4-Methyl-2-pentanone (MIBK)	ND	5	<2.5	µg/L	Q46424
Acetone	ND	5	<2.5	µg/L	Q46424
Benzene	ND	0.5	<0.25	µg/L	Q46424
Bromobenzene	ND	0.5	<0.25	µg/L	Q46424
Bromochloromethane	ND	0.5	<0.25	µg/L	Q46424
Bromodichloromethane	ND	0.5	<0.25	µg/L	Q46424
Bromoform	ND	2	<1	µg/L	Q46424
Bromomethane	ND	1	<0.5	µg/L	Q46424
Carbon tetrachloride	ND	0.5	<0.25	µg/L	Q46424
Chlorobenzene	ND	0.5	<0.25	µg/L	Q46424

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cart. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Method Blank

	Result	RL	Control Limit	Units	QC Batch ID
Chlorodibromomethane	ND	0.5	<0.25	µg/L	Q46424
Chloroethane	ND	0.5	<0.25	µg/L	Q46424
Chloroform	ND	0.5	<0.25	µg/L	Q46424
Chloromethane	ND	0.5	<0.25	µg/L	Q46424
cis-1,2-Dichloroethene	ND	0.5	<0.25	µg/L	Q46424
cis-1,3-Dichloropropene	ND	0.5	<0.25	µg/L	Q46424
Dibromomethane	ND	0.5	<0.25	µg/L	Q46424
Dichlorodifluoromethane	ND	1	<0.5	µg/L	Q46424
Ethanol	ND	200	<100	µg/L	Q46424
Ethylbenzene	ND	0.5	<0.25	µg/L	Q46424
Hexachlorobutadiene	ND	2	<1	µg/L	Q46424
Isopropyl ether (IPE)	ND	0.5	<0.25	µg/L	Q46424
Isopropylbenzene	ND	0.5	<0.25	µg/L	Q46424
m,p-Xylenes	ND	1	<0.5	µg/L	Q46424
Methyl ethyl ketone (MEK)	ND	5	<2.5	µg/L	Q46424
Methyl t-butyl ether (MTBE)	ND	0.5	<0.25	µg/L	Q46424
Methylene chloride	ND	2	<1	µg/L	Q46424
n-Butylbenzene	ND	1	<0.5	µg/L	Q46424
n-Propylbenzene	ND	0.5	<0.25	µg/L	Q46424
Naphthalene	ND	2	<1	µg/L	Q46424
o-Xylene	ND	0.5	<0.25	µg/L	Q46424
p-Isopropyltoluene	ND	0.5	<0.25	µg/L	Q46424
sec-Butylbenzene	ND	0.5	<0.25	µg/L	Q46424
Styrene	ND	0.5	<0.25	µg/L	Q46424
tert-Butylbenzene	ND	0.5	<0.25	µg/L	Q46424
Tetrachloroethene	ND	0.5	<0.25	µg/L	Q46424
Toluene	ND	0.5	<0.25	µg/L	Q46424
trans-1,2-Dichloroethene	ND	0.5	<0.25	µg/L	Q46424
trans-1,3-Dichloropropene	ND	0.5	<0.25	µg/L	Q46424
Trichloroethene	ND	0.5	<0.25	µg/L	Q46424
Trichlorofluoromethane	ND	0.5	<0.25	µg/L	Q46424
Vinyl acetate	ND	2	<1	µg/L	Q46424
Vinyl chloride	ND	0.5	<0.25	µg/L	Q46424

Laboratory Control Sample

	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
1,1,1,2-Tetrachloroethane	20.34	20	µg/L	102	70-130	Q46424

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Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Laboratory Control Sample	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
1,1,1-Trichloroethane	19.56	20	µg/L	98	70-130	Q46424
1,1,2,2-Tetrachloroethane	18.6	20	µg/L	93	70-130	Q46424
1,1,2-Trichloroethane	20.41	20	µg/L	102	70-130	Q46424
1,1-Dichloroethane	19.03	20	µg/L	95	70-130	Q46424
1,1-Dichloroethene	20.07	20	µg/L	100	70-130	Q46424
1,1-Dichloropropene	21.56	20	µg/L	108	70-130	Q46424
1,2,3-Trichlorobenzene	17.91	20	µg/L	90	70-130	Q46424
1,2,3-Trichloropropane	18.81	20	µg/L	94	70-130	Q46424
1,2,4-Trichlorobenzene	16.6	20	µg/L	83	70-130	Q46424
1,2,4-Trimethylbenzene	23.21	20	µg/L	116	70-130	Q46424
1,2-Dibromo-3-chloropropane	16.76	20	µg/L	84	70-130	Q46424
1,2-Dibromoethane (EDB)	20.36	20	µg/L	102	70-130	Q46424
1,2-Dichlorobenzene	20.4	20	µg/L	102	70-130	Q46424
1,2-Dichloroethane	20.56	20	µg/L	103	70-130	Q46424
1,2-Dichloropropane	20.26	20	µg/L	101	70-130	Q46424
1,3,5-Trimethylbenzene	22.83	20	µg/L	114	70-130	Q46424
1,3-Dichlorobenzene	20.61	20	µg/L	103	70-130	Q46424
1,3-Dichloropropane	20.64	20	µg/L	103	70-130	Q46424
1,4-Dichlorobenzene	18.02	20	µg/L	90	70-130	Q46424
2,2-Dichloropropane	20.75	20	µg/L	104	70-130	Q46424
2-Chlorotoluene	21.16	20	µg/L	106	70-130	Q46424
2-Hexanone	12.54	20	µg/L	63	60-140	Q46424
4-Chlorotoluene	22.48	20	µg/L	112	70-130	Q46424
4-Methyl-2-pentanone (MIBK)	17.32	20	µg/L	87	60-140	Q46424
Acetone	14.18	20	µg/L	71	40-160	Q46424
Benzene	22.69	20	µg/L	113	70-130	Q46424
Bromobenzene	20.37	20	µg/L	102	70-130	Q46424
Bromochloromethane	20.01	20	µg/L	100	70-130	Q46424
Bromodichloromethane	20.7	20	µg/L	104	70-130	Q46424
Bromoform	19.14	20	µg/L	96	70-130	Q46424
Bromomethane	22.3	20	µg/L	112	60-140	Q46424
Carbon tetrachloride	20.91	20	µg/L	106	70-130	Q46424
Chlorobenzene	20.45	20	µg/L	102	70-130	Q46424
Chlorodibromomethane	21.25	20	µg/L	106	70-130	Q46424
Chloroethane	18.93	20	µg/L	95	60-140	Q46424
Chloroform	21.88	20	µg/L	109	70-130	Q46424

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041
 Date/Time Submitted: 12/1/09 15:20

Laboratory Control Sample	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
Chloromethane	22.24	20	µg/L	111	60-140	Q46424
cis-1,2-Dichloroethene	19.31	20	µg/L	97	70-130	Q46424
cis-1,3-Dichloropropene	20.3	20	µg/L	102	70-130	Q46424
Dibromomethane	20.25	20	µg/L	101	70-130	Q46424
Dichlorodifluoromethane	23.3	20	µg/L	117	60-140	Q46424
Ethanol	243.54	200	µg/L	122	60-140	Q46424
Ethylbenzene	23.38	20	µg/L	117	70-130	Q46424
Hexachlorobutadiene	23.02	20	µg/L	115	70-130	Q46424
Isopropyl ether (IPE)	19.59	20	µg/L	98	70-130	Q46424
Isopropylbenzene	22.79	20	µg/L	114	70-130	Q46424
m,p-Xylenes	47.45	40	µg/L	119	70-130	Q46424
Methyl ethyl ketone (MEK)	15.99	20	µg/L	80	60-140	Q46424
Methyl t-butyl ether (MTBE)	19.82	20	µg/L	99	70-130	Q46424
Methylene chloride	19.79	20	µg/L	99	70-130	Q46424
n-Butylbenzene	22.34	20	µg/L	112	70-130	Q46424
n-Propylbenzene	23.82	20	µg/L	119	70-130	Q46424
Naphthalene	17.32	20	µg/L	87	70-130	Q46424
o-Xylene	22.1	20	µg/L	111	70-130	Q46424
p-Isopropyltoluene	22.44	20	µg/L	112	70-130	Q46424
sec-Butylbenzene	22.16	20	µg/L	111	70-130	Q46424
Styrene	22.35	20	µg/L	112	70-130	Q46424
tert-Butylbenzene	21.38	20	µg/L	107	70-130	Q46424
Tetrachloroethene	20.57	20	µg/L	103	70-130	Q46424
Toluene	21.16	20	µg/L	106	70-130	Q46424
trans-1,2-Dichloroethene	19.1	20	µg/L	96	70-130	Q46424
trans-1,3-Dichloropropene	19.64	20	µg/L	98	70-130	Q46424
Trichloroethene	23.19	20	µg/L	116	70-130	Q46424
Trichlorofluoromethane	20.66	20	µg/L	103	60-140	Q46424
Vinyl acetate	18.4	20	µg/L	92	60-140	Q46424
Vinyl chloride	19.42	20	µg/L	97	60-140	Q46424

Matrix Spike	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
Sample ID: 264901 1,1,1,2-Tetrachloroethane	199.8	200	µg/L	100	70-130	Q46424
1,1,1-Trichloroethane	193.5	200	µg/L	97	70-130	Q46424
1,1,2,2-Tetrachloroethane	186.9	200	µg/L	93	70-130	Q46424
1,1,2-Trichloroethane	205.9	200	µg/L	103	70-130	Q46424

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125801 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Matrix Spike		Result	Spike Amount	Units	Recovery %	Recovery Range %	QC Batch ID
Sample ID:							
264901	1,1-Dichloroethane	191.2	200	µg/L	98	70-130	Q46424
	1,1-Dichloroethene	201.2	200	µg/L	101	70-130	Q46424
	1,1-Dichloropropene	218.3	200	µg/L	109	70-130	Q46424
	1,2,3-Trichlorobenzene	190	200	µg/L	95	70-130	Q46424
	1,2,3-Trichloropropane	187	200	µg/L	94	70-130	Q46424
	1,2,4-Trichlorobenzene	169.2	200	µg/L	85	70-130	Q46424
	1,2,4-Trimethylbenzene	222.6	200	µg/L	111	70-130	Q46424
	1,2-Dibromo-3-chloropropane	164.4	200	µg/L	82	70-130	Q46424
	1,2-Dibromoethane (EDB)	201.6	200	µg/L	101	70-130	Q46424
	1,2-Dichlorobenzene	199.1	200	µg/L	100	70-130	Q46424
	1,2-Dichloroethane	203.3	200	µg/L	102	70-130	Q46424
	1,2-Dichloropropane	202.8	200	µg/L	101	70-130	Q46424
	1,3,5-Trimethylbenzene	219	200	µg/L	110	70-130	Q46424
	1,3-Dichlorobenzene	196.1	200	µg/L	98	70-130	Q46424
	1,3-Dichloropropane	202.8	200	µg/L	101	70-130	Q46424
	1,4-Dichlorobenzene	176.8	200	µg/L	88	70-130	Q46424
	2,2-Dichloropropane	204.4	200	µg/L	102	70-130	Q46424
	2-Chlorotoluene	202.7	200	µg/L	101	70-130	Q46424
	2-Hexanone	114.4	200	µg/L	57 #	60-140	Q46424
	4-Chlorotoluene	218	200	µg/L	109	70-130	Q46424
	4-Methyl-2-pentanone (MIBK)	176.2	200	µg/L	88	60-140	Q46424
	Acetone	86.3	200	µg/L	43	40-160	Q46424
	Benzene	226.9	200	µg/L	113	70-130	Q46424
	Bromobenzene	198.1	200	µg/L	99	70-130	Q46424
	Bromochloromethane	203.4	200	µg/L	102	70-130	Q46424
	Bromodichloromethane	206.6	200	µg/L	103	70-130	Q46424
	Bromoform	193.6	200	µg/L	97	70-130	Q46424
	Bromomethane	217.9	200	µg/L	109	60-140	Q46424
	Carbon tetrachloride	208.2	200	µg/L	104	70-130	Q46424
	Chlorobenzene	199.5	200	µg/L	100	70-130	Q46424
	Chlorodibromomethane	207.9	200	µg/L	104	70-130	Q46424
	Chloroethane	192	200	µg/L	96	60-140	Q46424
	Chloroform	224.5	200	µg/L	106	70-130	Q46424
	Chloromethane	224.6	200	µg/L	112	60-140	Q46424
	cis-1,2-Dichloroethene	195.1	200	µg/L	98	70-130	Q46424
	cis-1,3-Dichloropropene	184.4	200	µg/L	92	70-130	Q46424

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NC Certification No. 402
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 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Matrix Spike						
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
264901 Dibromomethane	201	200	µg/L	101	70-130	Q46424
Dichlorodifluoromethane	233.4	200	µg/L	117	60-140	Q46424
Ethanol	2459.9	2000	µg/L	123	60-140	Q46424
Ethylbenzene	227.1	200	µg/L	114	70-130	Q46424
Hexachlorobutadiene	217.5	200	µg/L	109	70-130	Q46424
Isopropyl ether (IPE)	197	200	µg/L	99	70-130	Q46424
Isopropylbenzene	218.2	200	µg/L	109	70-130	Q46424
m,p-Xylenes	458.7	400	µg/L	115	70-130	Q46424
Methyl ethyl ketone (MEK)	141.4	200	µg/L	71	60-140	Q46424
Methyl t-butyl ether (MTBE)	202.7	200	µg/L	101	70-130	Q46424
Methylene chloride	198.6	200	µg/L	99	70-130	Q46424
n-Butylbenzene	217.4	200	µg/L	109	70-130	Q46424
n-Propylbenzene	228.9	200	µg/L	113	70-130	Q46424
Naphthalene	183.4	200	µg/L	92	70-130	Q46424
o-Xylene	218.1	200	µg/L	109	70-130	Q46424
p-Isopropyltoluene	218.7	200	µg/L	109	70-130	Q46424
sec-Butylbenzene	216.5	200	µg/L	108	70-130	Q46424
Styrene	218.9	200	µg/L	109	70-130	Q46424
tert-Butylbenzene	209.1	200	µg/L	105	70-130	Q46424
Tetrachloroethene	194.6	200	µg/L	97	70-130	Q46424
Toluene	208.3	200	µg/L	104	70-130	Q46424
trans-1,2-Dichloroethene	189.4	200	µg/L	95	70-130	Q46424
trans-1,3-Dichloropropene	197	200	µg/L	99	70-130	Q46424
Trichloroethene	221.2	200	µg/L	111	70-130	Q46424
Trichlorofluoromethane	203.9	200	µg/L	102	60-140	Q46424
Vinyl acetate	225.1	200	µg/L	113	60-140	Q46424
Vinyl chloride	193.8	200	µg/L	97	60-140	Q46424

Matrix Spike Duplicate								
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	RPD %	RPD Range %	QC Batch ID
264901 1,1,1,2-Tetrachloroethane	192.4	200	µg/L	96	70-130	4	0 - 20	Q46424
1,1,1-Trichloroethane	181.4	200	µg/L	91	70-130	6	0 - 20	Q46424
1,1,2,2-Tetrachloroethane	178.9	200	µg/L	89	70-130	4	0 - 20	Q46424
1,1,2-Trichloroethane	192.3	200	µg/L	96	70-130	7	0 - 20	Q46424
1,1-Dichloroethane	180	200	µg/L	90	70-130	6	0 - 20	Q46424
1,1-Dichloroethene	185.3	200	µg/L	93	70-130	8	0 - 20	Q46424
1,1-Dichloropropene	204.1	200	µg/L	102	70-130	7	0 - 20	Q46424

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NC Certification No. 402
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 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Matrix Spike Duplicate		Result	Spike Amount	Units	Recovery %	Recovery Range %	RPD %	RPD Range %	QC Batch ID
Sample ID:									
264901	1,2,3-Trichlorobenzene	169.1	200	µg/L	85	70-130	12	0 - 20	Q46424
	1,2,3-Trichloropropane	177.1	200	µg/L	89	70-130	5	0 - 20	Q46424
	1,2,4-Trichlorobenzene	160	200	µg/L	80	70-130	6	0 - 20	Q46424
	1,2,4-Trimethylbenzene	216.2	200	µg/L	108	70-130	3	0 - 20	Q46424
	1,2-Dibromo-3-chloropropane	155.7	200	µg/L	78	70-130	5	0 - 20	Q46424
	1,2-Dibromoethane (EDB)	186.4	200	µg/L	93	70-130	8	0 - 20	Q46424
	1,2-Dichlorobenzene	190.6	200	µg/L	95	70-130	4	0 - 20	Q46424
	1,2-Dichloroethane	194	200	µg/L	97	70-130	5	0 - 20	Q46424
	1,2-Dichloropropane	188.7	200	µg/L	94	70-130	7	0 - 20	Q46424
	1,3,5-Trimethylbenzene	212.3	200	µg/L	108	70-130	3	0 - 20	Q46424
	1,3-Dichlorobenzene	191.5	200	µg/L	96	70-130	2	0 - 20	Q46424
	1,3-Dichloropropane	194	200	µg/L	97	70-130	4	0 - 20	Q46424
	1,4-Dichlorobenzene	167.7	200	µg/L	84	70-130	5	0 - 20	Q46424
	2,2-Dichloropropane	189.4	200	µg/L	95	70-130	8	0 - 20	Q46424
	2-Chlorotoluene	194.2	200	µg/L	97	70-130	4	0 - 20	Q46424
	2-Hexanone	104.8	200	µg/L	52 #	80-140	9	0 - 20	Q46424
	4-Chlorotoluene	210.1	200	µg/L	105	70-130	4	0 - 20	Q46424
	4-Methyl-2-pentanone (MIBK)	163.4	200	µg/L	82	60-140	8	0 - 20	Q46424
	Acetone	80	200	µg/L	40	40-160	8	0 - 20	Q46424
	Benzene	213.8	200	µg/L	107	70-130	6	0 - 20	Q46424
	Bromobenzene	190.1	200	µg/L	95	70-130	4	0 - 20	Q46424
	Bromochloromethane	188.8	200	µg/L	94	70-130	7	0 - 20	Q46424
	Bromodichloromethane	194.1	200	µg/L	96	70-130	6	0 - 20	Q46424
	Bromoform	183.4	200	µg/L	92	70-130	5	0 - 20	Q46424
	Bromomethane	198.9	200	µg/L	99	60-140	9	0 - 20	Q46424
	Carbon tetrachloride	194	200	µg/L	97	70-130	7	0 - 20	Q46424
	Chlorobenzene	190.6	200	µg/L	95	70-130	5	0 - 20	Q46424
	Chlorodibromomethane	197.9	200	µg/L	99	70-130	5	0 - 20	Q46424
	Chloroethane	175.5	200	µg/L	88	60-140	9	0 - 20	Q46424
	Chloroform	211.4	200	µg/L	100	70-130	6	0 - 20	Q46424
	Chloromethane	209.4	200	µg/L	105	60-140	7	0 - 20	Q46424
	cis-1,2-Dichloroethane	183.4	200	µg/L	92	70-130	6	0 - 20	Q46424
	cis-1,3-Dichloropropene	176.5	200	µg/L	88	70-130	4	0 - 20	Q46424
	Dibromomethane	190.3	200	µg/L	95	70-130	5	0 - 20	Q46424
	Dichlorodifluoromethane	214.9	200	µg/L	107	60-140	8	0 - 20	Q46424
	Ethanol	2167.9	2000	µg/L	108	60-140	13	0 - 20	Q46424

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 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Matrix Spike Duplicate

Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	RPD %	RPD Range %	QC Batch ID
264901 Ethylbenzene	216.7	200	µg/L	108	70-130	5	0 - 20	Q46424
Hexachlorobutadiene	215.6	200	µg/L	108	70-130	1	0 - 20	Q46424
Isopropyl ether (IPE)	184.5	200	µg/L	92	70-130	7	0 - 20	Q46424
Isopropylbenzene	206.8	200	µg/L	103	70-130	5	0 - 20	Q46424
m,p-Xylenes	442.6	400	µg/L	111	70-130	4	0 - 20	Q46424
Methyl ethyl ketone (MEK)	133.9	200	µg/L	67	60-140	5	0 - 20	Q46424
Methyl t-butyl ether (MTBE)	192.3	200	µg/L	96	70-130	5	0 - 20	Q46424
Methylene chloride	187.8	200	µg/L	94	70-130	6	0 - 20	Q46424
n-Butylbenzene	206.1	200	µg/L	103	70-130	5	0 - 20	Q46424
n-Propylbenzene	218	200	µg/L	109	70-130	4	0 - 20	Q46424
Naphthalene	163.1	200	µg/L	82	70-130	12	0 - 20	Q46424
o-Xylene	206.2	200	µg/L	103	70-130	6	0 - 20	Q46424
p-Isopropyltoluene	206.8	200	µg/L	103	70-130	6	0 - 20	Q46424
sec-Butylbenzene	206.1	200	µg/L	103	70-130	5	0 - 20	Q46424
Styrene	209.3	200	µg/L	105	70-130	4	0 - 20	Q46424
tert-Butylbenzene	198.4	200	µg/L	99	70-130	5	0 - 20	Q46424
Tetrachloroethene	183.8	200	µg/L	92	70-130	6	0 - 20	Q46424
Toluene	197.3	200	µg/L	99	70-130	5	0 - 20	Q46424
trans-1,2-Dichloroethene	179.3	200	µg/L	90	70-130	5	0 - 20	Q46424
trans-1,3-Dichloropropene	186.6	200	µg/L	93	70-130	5	0 - 20	Q46424
Trichloroethene	210.3	200	µg/L	105	70-130	5	0 - 20	Q46424
Trichlorofluoromethane	190.7	200	µg/L	95	60-140	7	0 - 20	Q46424
Vinyl acetate	211.3	200	µg/L	106	60-140	6	0 - 20	Q46424
Vinyl chloride	181	200	µg/L	91	60-140	7	0 - 20	Q46424

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Extractable Petroleum Hydrocarbons by GC-FID, method MADEP EPH

Method Blank						QC Batch ID
	Result	RL	Control Limit	Units		
C11-C22 Aromatics	ND	100	<50	µg/L		Q46490
C19-C36 Aliphatics	ND	100	<50	µg/L		Q46490
C9-C18 Aliphatics	ND	100	<50	µg/L		Q46490

Laboratory Control Sample							QC Batch ID
	Result	Spike Amount	Units	Recovery %	Recovery Ranges %		
C11-C22 Aromatics	1508	1700	µg/L	89	40-140		Q46490
C19-C36 Aliphatics	639.8	800	µg/L	80	40-140		Q46490
C9-C18 Aliphatics	323	600	µg/L	54	40-140		Q46490

Matrix Spike							QC Batch ID
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %		
265278 C11-C22 Aromatics	1537.4	1700	µg/L	90	40-140		Q46490
C19-C36 Aliphatics	646.2	800	µg/L	81	40-140		Q46490
C9-C18 Aliphatics	360	600	µg/L	60	40-140		Q46490

Matrix Spike Duplicate									QC Batch ID
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	RPD %	RPD Range %		
265278 C11-C22 Aromatics	1374.4	1700	µg/L	81	40-140	11	0 - 50		Q46490
C19-C36 Aliphatics	451.2	800	µg/L	56	40-140	36	0 - 50		Q46490
C9-C18 Aliphatics	248.2	600	µg/L	41	40-140	37	0 - 50		Q46490



NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041
 Date/Time Submitted: 12/1/09 15:20

Volatile Petroleum Hydrocarbons by GC-PID/FID, method MADEP VPH

Method Blank						QC Batch ID
	Result	RL	Control Limit	Units		
C5-C8 Aliphatics	ND	50	<25	µg/L		Q46518
C9-C10 Aromatics	ND	50	<25	µg/L		Q46518
C9-C12 Aliphatics	ND	50	<25	µg/L		Q46518

Laboratory Control Sample							QC Batch ID
	Result	Spike Amount	Units	Recovery %	Recovery Ranges %		
C5-C8 Aliphatics	340.249	300	µg/L	113	70-130		Q46518
C9-C10 Aromatics	120.846	100	µg/L	121	70-130		Q46518
C9-C12 Aliphatics	357.069	400	µg/L	89	70-130		Q46518

Matrix Spike							QC Batch ID
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %		
265279 C5-C8 Aliphatics	3366.94	3000	µg/L	112	70-130		Q46518
C9-C10 Aromatics	1158.26	1000	µg/L	116	70-130		Q46518
C9-C12 Aliphatics	4213.16	4000	µg/L	105	70-130		Q46518

Matrix Spike Duplicate								
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	RPD %	RPD Range %	QC Batch ID
265279 C5-C8 Aliphatics	3057.42	3000	µg/L	102	70-130	10	0 - 25	Q46518
C9-C10 Aromatics	1116.80	1000	µg/L	112	70-130	4	0 - 25	Q46518
C9-C12 Aliphatics	4215.82	4000	µg/L	105	70-130	0	0 - 25	Q46518



NC Certification No. 402
SC Certification No. 99012
NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
Attn: Katie Jarvis
4300 Sapphire Court, Suite 100
Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Semivolatile Organic Compounds by GC/MS, method 625

Method Blank	Result	RL	Control Limit	Units	QC Batch ID
1,2,4-Trichlorobenzene	ND	10	<5	µg/L	Q46637
1,2-Dichlorobenzene	ND	10	<5	µg/L	Q46637
1,3-Dichlorobenzene	ND	10	<5	µg/L	Q46637
1,4-Dichlorobenzene	ND	10	<5	µg/L	Q46637
2,4-Dinitrotoluene	ND	10	<5	µg/L	Q46637
2,6-Dinitrotoluene	ND	10	<5	µg/L	Q46637
2-Chloronaphthalene	ND	10	<5	µg/L	Q46637
4-Bromophenylphenylether	ND	10	<5	µg/L	Q46637
4-Chlorophenylphenylether	ND	10	<5	µg/L	Q46637
Acenaphthene	ND	10	<5	µg/L	Q46637
Acenaphthylene	ND	10	<5	µg/L	Q46637
Anthracene	ND	10	<5	µg/L	Q46637
Benzo(a)anthracene	ND	10	<5	µg/L	Q46637
Benzo(a)pyrene	ND	10	<5	µg/L	Q46637
Benzo(b)fluoranthene	ND	10	<5	µg/L	Q46637
Benzo(g,h,i)perylene	ND	10	<5	µg/L	Q46637
Benzo(k)fluoranthene	ND	10	<5	µg/L	Q46637
Bis(2-chloroethoxy)methane	ND	10	<5	µg/L	Q46637
Bis(2-chloroethyl)ether	ND	10	<5	µg/L	Q46637
Bis(2-chloroisopropyl)ether	ND	10	<5	µg/L	Q46637
Bis(2-ethylhexyl)phthalate	ND	10	<5	µg/L	Q46637
Butylbenzylphthalate	ND	10	<5	µg/L	Q46637
Chrysene	ND	10	<5	µg/L	Q46637
Di-n-butylphthalate	ND	10	<5	µg/L	Q46637
Di-n-octylphthalate	ND	10	<5	µg/L	Q46637
Dibenzo(a,h)anthracene	ND	10	<5	µg/L	Q46637
Diethylphthalate	ND	10	<5	µg/L	Q46637
Dimethylphthalate	ND	10	<5	µg/L	Q46637
Fluoranthene	ND	10	<5	µg/L	Q46637
Fluorene	ND	10	<5	µg/L	Q46637
Hexachlorobenzene	ND	10	<5	µg/L	Q46637
Hexachlorobutadiene	ND	10	<5	µg/L	Q46637
Hexachloroethane	ND	10	<5	µg/L	Q46637
Indeno(1,2,3-cd)pyrene	ND	10	<5	µg/L	Q46637

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NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041
 Date/Time Submitted: 12/1/09 15:20

Method Blank	Result	RL	Control Limit	Units	QC Batch ID
Isophorone	ND	10	<5	µg/L	Q46637
N-Nitrosodi-n-propylamine	ND	10	<5	µg/L	Q46637
Naphthalene	ND	10	<5	µg/L	Q46637
Nitrobenzene	ND	10	<5	µg/L	Q46637
Phenanthrene	ND	10	<5	µg/L	Q46637
Pyrene	ND	10	<5	µg/L	Q46637

Laboratory Control Sample	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
1,2,4-Trichlorobenzene	71.64	100	µg/L	72	44-142	Q46637
1,2-Dichlorobenzene	65.46	100	µg/L	65	32-129	Q46637
1,3-Dichlorobenzene	63.77	100	µg/L	64	20-124	Q46637
1,4-Dichlorobenzene	63.57	100	µg/L	64	20-124	Q46637
2,4-Dinitrotoluene	102.35	100	µg/L	102	39-139	Q46637
2,6-Dinitrotoluene	97.75	100	µg/L	98	50-158	Q46637
2-Chloronaphthalene	79.91	100	µg/L	80	60-118	Q46637
4-Bromophenylphenylether	104.3	100	µg/L	104	53-127	Q46637
4-Chlorophenylphenylether	102.68	100	µg/L	103	25-158	Q46637
Acenaphthene	84.69	100	µg/L	85	47-145	Q46637
Acenaphthylene	83.01	100	µg/L	83	33-145	Q46637
Anthracene	92.57	100	µg/L	93	27-133	Q46637
Benzo(a)anthracene	82.47	100	µg/L	82	33-143	Q46637
Benzo(a)pyrene	83.65	100	µg/L	84	17-163	Q46637
Benzo(b)fluoranthene	113.48	100	µg/L	113	24-159	Q46637
Benzo(g,h,i)perylene	102	100	µg/L	102	10-219	Q46637
Benzo(k)fluoranthene	52.29	100	µg/L	52	11-162	Q46637
Bis(2-chloroethoxy)methane	76.4	100	µg/L	76	33-184	Q46637
Bis(2-chloroethyl)ether	69.77	100	µg/L	70	12-158	Q46637
Bis(2-chloroisopropyl)ether	83.43	100	µg/L	83	36-166	Q46637
Bis(2-ethylhexyl)phthalate	110.77	100	µg/L	111	10-158	Q46637
Butylbenzylphthalate	95.3	100	µg/L	95	10-152	Q46637
Chrysene	92.06	100	µg/L	92	17-168	Q46637
Di-n-butylphthalate	97.13	100	µg/L	97	10-118	Q46637
Di-n-octylphthalate	97.45	100	µg/L	97	10-146	Q46637
Dibenzo(a,h)anthracene	109.88	100	µg/L	110	10-227	Q46637
Diethylphthalate	124.43	100	µg/L	124 #	10-114	Q46637
Dimethylphthalate	116.07	100	µg/L	116 #	10-112	Q46637

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NC Certification No. 402
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 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041
 Date/Time Submitted: 12/1/09 15:20

Laboratory Control Sample	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
Fluoranthene	61.84	100	µg/L	62	26-137	Q46637
Fluorene	95.36	100	µg/L	95	59-121	Q46637
Hexachlorobenzene	100.8	100	µg/L	101	10-152	Q46637
Hexachlorobutadiene	72.34	100	µg/L	72	24-116	Q46637
Hexachloroethane	65.44	100	µg/L	65	40-113	Q46637
Indeno(1,2,3-cd)pyrene	97.17	100	µg/L	97	10-171	Q46637
Isophorone	78.36	100	µg/L	78	21-196	Q46637
N-Nitrosodi-n-propylamine	78.88	100	µg/L	79	10-230	Q46637
Naphthalene	75.31	100	µg/L	75	21-133	Q46637
Nitrobenzene	76.77	100	µg/L	77	35-180	Q46637
Phenanthrene	91.24	100	µg/L	91	54-120	Q46637
Pyrene	75.95	100	µg/L	76	52-115	Q46637

Matrix Spike	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	QC Batch ID
264875 1,2,4-Trichlorobenzene	72.5098	98.039	µg/L	74	44-142	Q46637
1,2-Dichlorobenzene	65.0588	98.039	µg/L	66	32-129	Q46637
1,3-Dichlorobenzene	63.7058	98.039	µg/L	65	20-124	Q46637
1,4-Dichlorobenzene	62.1078	98.039	µg/L	63	20-124	Q46637
2,4-Dinitrotoluene	100.568	98.039	µg/L	103	39-139	Q46637
2,6-Dinitrotoluene	95.9117	98.039	µg/L	98	50-158	Q46637
2-Chloronaphthalene	80.2647	98.039	µg/L	82	60-118	Q46637
4-Bromophenylphenylether	102.303	98.039	µg/L	104	53-127	Q46637
4-Chlorophenylphenylether	100.676	98.039	µg/L	103	25-158	Q46637
Acenaphthene	85.9117	98.039	µg/L	88	47-145	Q46637
Acenaphthylene	85.3627	98.039	µg/L	87	33-145	Q46637
Anthracene	91.1764	98.039	µg/L	93	27-133	Q46637
Benzo(a)anthracene	80.1372	98.039	µg/L	82	33-143	Q46637
Benzo(a)pyrene	80.9215	98.039	µg/L	83	17-163	Q46637
Benzo(b)fluoranthene	100.284	98.039	µg/L	102	24-159	Q46637
Benzo(g,h,i)perylene	99.1470	98.039	µg/L	101	10-219	Q46637
Benzo(k)fluoranthene	58.0490	98.039	µg/L	59	11-162	Q46637
Bis(2-chloroethoxy)methane	76.3333	98.039	µg/L	78	33-184	Q46637
Bis(2-chloroethyl)ether	68.0294	98.039	µg/L	69	12-158	Q46637
Bis(2-chloroisopropyl)ether	82.0490	98.039	µg/L	84	36-166	Q46637
Bis(2-ethylhexyl)phthalate	110.058	98.039	µg/L	112	10-158	Q46637
Butylbenzylphthalate	108.833	98.039	µg/L	111	10-152	Q46637

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Full Service Analytical & Environmental Solutions

NC Certification No. 402
 SC Certification No. 99012
 NC Drinking Water Cert. No. 37735

Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041

Date/Time Submitted: 12/1/09 15:20

Matrix Spike							QC Batch ID
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %		
264875 Chrysene	91.7254	98.039	µg/L	94	17-168		Q46637
Di-n-butylphthalate	89.1274	98.039	µg/L	91	10-118		Q46637
Di-n-octylphthalate	89.3921	98.039	µg/L	91	10-146		Q46637
Dibenzo(a,h)anthracene	107.421	98.039	µg/L	110	10-227		Q46637
Diethylphthalate	121.617	98.039	µg/L	124 #	10-114		Q46637
Dimethylphthalate	115.549	98.039	µg/L	118 #	10-112		Q46637
Fluoranthene	58.0294	98.039	µg/L	59	26-137		Q46637
Fluorene	95.6372	98.039	µg/L	98	59-121		Q46637
Hexachlorobenzene	99.7058	98.039	µg/L	102	10-152		Q46637
Hexachlorobutadiene	72.5098	98.039	µg/L	74	24-116		Q46637
Hexachloroethane	65.2941	98.039	µg/L	67	40-113		Q46637
Indeno(1,2,3-cd)pyrene	100.843	98.039	µg/L	103	10-171		Q46637
Isophorone	78.7745	98.039	µg/L	80	21-196		Q46637
N-Nitrosodi-n-propylamine	78.4019	98.039	µg/L	80	10-230		Q46637
Naphthalene	76.0882	98.039	µg/L	78	21-133		Q46637
Nitrobenzene	77.1666	98.039	µg/L	79	35-180		Q46637
Phenanthrene	88.9117	98.039	µg/L	91	54-120		Q46637
Pyrene	81.5392	98.039	µg/L	83	52-115		Q46637

Matrix Spike Duplicate								
Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Ranges %	RPD %	RPO Range %	QC Batch ID
264875 1,2,4-Trichlorobenzene	59.7745	98.039	µg/L	61	44-142	19	0 - 38	Q46637
1,2-Dichlorobenzene	51.5784	98.039	µg/L	53	32-129	23	0 - 38	Q46637
1,3-Dichlorobenzene	49.4313	98.039	µg/L	50	20-124	25	0 - 41	Q46637
1,4-Dichlorobenzene	49.8627	98.039	µg/L	51	20-124	22	0 - 36	Q46637
2,4-Dinitrotoluene	99.4509	98.039	µg/L	101	39-139	1	0 - 29	Q46637
2,6-Dinitrotoluene	94.9509	98.039	µg/L	97	50-158	1	0 - 15	Q46637
2-Chloronaphthalene	75.4019	98.039	µg/L	77	60-118	6	0 - 21	Q46637
4-Bromophenylphenylether	97.0784	98.039	µg/L	99	53-127	5	0 - 18	Q46637
4-Chlorophenylphenylether	99.3333	98.039	µg/L	101	25-158	1	0 - 19	Q46637
Acenaphthene	83.1862	98.039	µg/L	85	47-145	3	0 - 20	Q46637
Acenaphthylene	78.8431	98.039	µg/L	80	33-145	8	0 - 24	Q46637
Anthracene	88.5784	98.039	µg/L	90	27-133	3	0 - 30	Q46637
Benzo(a)anthracene	77.9313	98.039	µg/L	79	33-143	3	0 - 26	Q46637
Benzo(a)pyrene	79.2745	98.039	µg/L	81	17-163	2	0 - 25	Q46637
Benzo(b)fluoranthene	96.1470	98.039	µg/L	98	24-159	4	0 - 29	Q46637
Benzo(g,h,i)perylene	100.764	98.039	µg/L	103	10-219	2	0 - 27	Q46637

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Level II QC Report

12/17/09

Groundwater Management Assoc.
 Attn: Katie Jarvis
 4300 Sapphire Court, Suite 100
 Greenville, NC 27834

Project ID: 125601 Jiffy Mart

COC Group Number: G1209041
 Date/Time Submitted: 12/1/09 15:20

Matrix Spike Duplicate

Sample ID:	Result	Spike Amount	Units	Recovery %	Recovery Range %	RPD %	RPD Range %	QC Batch ID
264875 Benzo(k)fluoranthene	56.3137	98.039	µg/L	57	11-162	3	0 - 11	Q46637
Bis(2-chloroethoxy)methane	74.9803	98.039	µg/L	76	33-184	2	0 - 31	Q46637
Bis(2-chloroethyl)ether	69.0686	98.039	µg/L	70	12-158	2	0 - 36	Q46637
Bis(2-chloroisopropyl)ether	79.7362	98.039	µg/L	81	36-166	3	0 - 40	Q46637
Bis(2-ethylhexyl)phthalate	85.8235	98.039	µg/L	88	10-158	25	# 0 - 17	Q46637
Butylbenzylphthalate	85.9411	98.039	µg/L	88	10-152	24	# 0 - 15	Q46637
Chrysene	87.6372	98.039	µg/L	89	17-168	5	0 - 25	Q46637
Di-n-butylphthalate	90.7647	98.039	µg/L	93	10-118	2	0 - 27	Q46637
Di-n-octylphthalate	85	98.039	µg/L	87	10-146	5	0 - 17	Q46637
Dibenzo(a,h)anthracene	104.803	98.039	µg/L	107	10-227	2	0 - 28	Q46637
Diethylphthalate	118.821	98.039	µg/L	121	# 10-114	2	0 - 16	Q46637
Dimethylphthalate	112.862	98.039	µg/L	115	# 10-112	2	0 - 15	Q46637
Fluoranthene	58.9313	98.039	µg/L	60	26-137	2	0 - 24	Q46637
Fluorene	93.2843	98.039	µg/L	95	59-121	2	0 - 15	Q46637
Hexachlorobenzene	93.6568	98.039	µg/L	96	10-152	8	0 - 18	Q46637
Hexachlorobutadiene	54.7843	98.039	µg/L	56	24-116	28	0 - 34	Q46637
Hexachloroethane	49.7647	98.039	µg/L	51	40-113	27	0 - 38	Q46637
Indeno(1,2,3-cd)pyrene	94.7843	98.039	µg/L	97	10-171	6	0 - 29	Q46637
Isophorone	76.5098	98.039	µg/L	78	21-196	3	0 - 32	Q46637
N-Nitrosodi-n-propylamine	76.4019	98.039	µg/L	78	10-230	3	0 - 36	Q46637
Naphthalene	65.5392	98.039	µg/L	67	21-133	15	0 - 42	Q46637
Nitrobenzene	75.5784	98.039	µg/L	77	35-180	2	0 - 25	Q46637
Phenanthrene	84.9509	98.039	µg/L	87	54-120	5	0 - 29	Q46637
Pyrene	61	98.039	µg/L	62	52-115	29	# 0 - 15	Q46637

#-See Case Narrative



Full Service Analytical & Environmental Solutions

449 Springbrook Road • P.O. Box 240543 • Charlotte, NC 28224-0543
Phone: 704/829-6364 • Fax: 704/825-0408

Client Company Name: GMA Inc

Report To/Contact Name: Katie Jarvis

Reporting Address: Greenville NC 27834
4300 Sapphire Ct Suite 100

Phone: 252 758 3310 Fax (Yes) (No)

Email (Yes) (No) Email Address: Katie@gma-nc.com

EDD Type: PDF Excel Other

Site Location Name: 125601

Site Location Physical Address:

CHAIN OF CUSTODY RECORD

PAGE 1 OF 1 QUOTE # TO ENSURE PROPER BILLING: 125601

Project Name: 125601 Jiffy Mart

Short Hold Analysis: (Yes) (No) UST Project: (Yes) (No)

*Please ATTACH any project specific reporting (QC LEVEL I III IIII IV) provisions and/or QC Requirements

Invoice To: GMA Inc

Address: Apex NC

Purchase Order No./Billing Reference 125601

Requested Due Date 1 Day 2 Days 3 Days 4 Days 5 Days

Working Days 6-9 Days Standard 10 days Rush Work Must Be Pre-Approved

Samples received after 15:00 will be processed next business day.

Turnaround time is based on business days, excluding weekends and holidays.

(SEE REVERSE FOR TERMS & CONDITIONS REGARDING SERVICES RENDERED BY PRISM LABORATORIES, INC. TO CLIENT)

LAB USE ONLY			
	YES	NO	N/A
PROPERLY LABELLED CONTAINERS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PROPERLY SEALED/STAPLED/CAPED	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONTAINERS UNLIDDED MULTIPLE TIMES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CHECKED BY REAL ANALYST	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
VOLATILES IN A VIAL WITHOUT HEADSPACE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SHIPPED CONTAINERS UNLIDDED	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

TO BE FILLED IN BY CLIENT/SAMPLING PERSONNEL

Certification: NELAC USACE FL NC

SC OTHER N/A

Water Chlorinated: YES NO

Sample Iced Upon Collection: YES NO

CLIENT SAMPLE DESCRIPTION	DATE COLLECTED	TIME COLLECTED MILITARY HOURS	MATRIX (SOIL, WATER OR SLUDGE)	SAMPLE CONTAINER			PRESERVATIVES	ANALYSES REQUESTED					REMARKS	PRISM LAB ID NO.
				TYPE SEE BELOW	NO.	SIZE		6200B	VPH	EPH	625 DLW	3030C (Pb)		
MW 1	11-30-09	12:30	W	↑↑↑↑↑	3322	1	↑↑↑↑↑	X	X	X	X	X		264875
MW 2	11-30-09	12:45	W	↑↑↑↑↑	3322	1	↑↑↑↑↑	X	X	X	X	X		264876
MW 3	11-30-09	13:15	W	↑↑↑↑↑	3322	1	↑↑↑↑↑	X	X	X	X	X	This job #125601 has two medium coolers; 1-large 1-medium	264877

Sampler's Signature: Harold L. Fronts Sampled By (Print Name): Harold L. Fronts Affiliation: GMA Inc

PRESS DOWN FIRMLY - 3 COPIES

Upon relinquishing, this Chain of Custody is your authorization for Prism to proceed with the analyses as requested above. Any changes must be submitted in writing to the Prism Project Manager. There will be charges for any changes after analyses have been initialized.

Relinquished By: (Signature) <u>Harold L. Fronts</u>	Received By: (Signature) <u>Alex Cassito</u>	Date: <u>12-01-09</u>	Military Hours: <u>0945</u>
Relinquished By: (Signature) <u>Alex Cassito</u>	Received By: (Signature) <u>[Signature]</u>	Date: <u>12/01/09</u>	Military Hours: <u>1345</u>
Relinquished By: (Signature) <u>[Signature]</u>	Received For Prism Laboratories By: <u>[Signature]</u>	Date: <u>12-09</u>	Military Hours: <u>15:20</u>
Method of Shipment: <input type="checkbox"/> Fed Ex <input type="checkbox"/> UPS <input type="checkbox"/> Hand-delivered <input checked="" type="checkbox"/> Prism Field Service <input type="checkbox"/> Other		COC Group No. <u>G1209041</u>	

Additional Comments:

PRISM USE ONLY	
Site Arrival Time	
Site Departure Time	
Field Test Fee	
Mileage	

NPDES: <input type="checkbox"/> NC <input type="checkbox"/> SC	UST: <input type="checkbox"/> NC <input type="checkbox"/> SC	GROUNDWATER: <input type="checkbox"/> NC <input type="checkbox"/> SC	DRINKING WATER: <input type="checkbox"/> NC <input type="checkbox"/> SC	SOLID WASTE: <input type="checkbox"/> NC <input type="checkbox"/> SC	RCRA: <input type="checkbox"/> NC <input type="checkbox"/> SC	CERCLA: <input type="checkbox"/> NC <input type="checkbox"/> SC	LANDFILL: <input type="checkbox"/> NC <input type="checkbox"/> SC	OTHER: <input type="checkbox"/> NC <input type="checkbox"/> SC
--	--	--	---	--	---	---	---	--

*CONTAINER TYPE CODES: A = Amber C = Clear G = Glass P = Plastic; TL = Teflon-Lined Cap VOA = Volatile Organics Analysis (Zero Head Space)

SEE REVERSE FOR TERMS & CONDITIONS

ORIGINAL

EPH (Aliphatics/Aromatics) Laboratory Reporting Form

Client Name: Groundwater Management Assoc. Laboratory Name: Prism Laboratories, Inc.
 Project Name: Jiffy Mart NC Certification # (Lab): 402
 Site Location: _____ Sample Matrix: Water

Sample Information and Analytical Results					
Method for Ranges: MADEP EPH					
EPH Surrogate Standards: Aliphatic - 1-Chloro-octadecane / Aromatic - o-Terphenyl					
EPH Fractionation Surrogates: #1 - 2-Bromonaphthalene / #2 - Fluorobiphenyl					
Sample Identification:		264875	264876	264877	
Date Collected:		11/30/2009	11/30/2009	11/30/2009	
Date Received:		12/1/2009	12/1/2009	12/1/2009	
Date Extracted:		12/8/2009	12/8/2009	12/8/2009	
Date Analyzed:		12/10/2009	12/10/2009	12/10/2009	
% Dry Solids:		NA	NA	NA	
Dilution Factor:		1	1	1	
Hydrocarbon Ranges in ug/L:		Sample Results	Sample Results	Sample Results	
C9-C18 Aliphatics		<98	<98	<98	
C19-C36 Aliphatics		<98	<98	<98	
C11-C22 Aromatics		<98	<98	250	
Blank:	C9-C18 Aliphatics	<100	<100	<100	
	C19-C36 Aliphatics	<100	<100	<100	
	C11-C22 Aromatics	<100	<100	<100	
RL:	C9-C18 Aliphatics	98	98	98	
	C19-C36 Aliphatics	98	98	98	
	C11-C22 Aromatics	98	98	98	
MDL:	C9-C18 Aliphatics	16	16	16	
	C19-C36 Aliphatics	20	20	20	
	C11-C22 Aromatics	33	33	33	
Surrogate Acceptance Range:	Blank	40-140 %	40-140 %	40-140 %	
Aliphatic Surrogate % Rec.:	103	105	46	78	
Aromatic Surrogate % Rec.:	84	87	96	81	
Fractionation Surrogate Accep. Range:	Blank	40-140 %	40-140 %	40-140 %	
Frac. Surrogate #1 % Rec.:	104	119	118	130	
Frac. Surrogate #2 % Rec.:	98	116	114	124	

MDL = Method Detection Limit RL = Reporting Limit Blank = Laboratory Method Blank

Were all performance/acceptance standards for required QA/QC procedures achieved?

YES No - Details Attached

Was blank correction applied as a significant modification of the method?

Yes **NO**

Were any significant modifications to the EPH method made?

NO Yes - Details Attached

Comments:

VPH (Aliphatics/Aromatics) Laboratory Reporting Form

Client Name: Groundwater Management Assoc. Laboratory Name: Prism Laboratories, Inc.
 Project Name: Jiffy Mart NC Certification # (Lab): 402
 Site Location: _____ Sample Matrix: Water

Sample Information and Analytical Results						
Method for Ranges: MADEP VPH						
VPH Surrogate Standards: Aliphatic - 2,5-Dibromotoluene / Aromatic - 2,5-Dibromotoluene						
Sample Identification:		264875	264876	264877		
Collection Option (for soil*):		NA	NA	NA		
Date Collected:		11/30/2009	11/30/2009	11/30/2009		
Date Received:		12/1/2009	12/1/2009	12/1/2009		
Date Extracted:		NA	NA	NA		
Date Analyzed:		12/11/2009	12/11/2009	12/11/2009		
% Dry Solids:		NA	NA	NA		
Dilution Factor:		1	1	1		
Hydrocarbon Ranges in ug/L:		Sample Results	Sample Results	Sample Results		
C5-C8 Aliphatics		<50	<50	210		
C9-C12 Aliphatics		<50	<50	57		
C9-C10 Aromatics		<50	<50	2000		
Blank:	C5-C8 Aliphatics	<50	<50	<50		
	C9-C12 Aliphatics	<50	<50	<50		
	C9-C10 Aromatics	<50	<50	<50		
RL:	C5-C8 Aliphatics	50	50	50		
	C9-C12 Aliphatics	50	50	50		
	C9-C10 Aromatics	50	50	50		
MDL:	C5-C8 Aliphatics	23	23	23		
	C9-C12 Aliphatics	35	35	35		
	C9-C10 Aromatics	18	18	18		
Surrogate Acceptance Range:		Blank	70-130 %	70-130 %	70-130 %	
Aliphatic Surrogate % Rec. - FID:		81	108	127	105	
Aromatic Surrogate % Rec. - PID:		97	107	112	117	

- * Option 1 = Established fill line on vial
- * Option 2 = Sampling device (indicate brand, e.g., EnCore TM)
- * Option 3 = Field weight of soil

MDL = Method Detection Limit RL = Reporting Limit Blank = Laboratory Method Blank or Trip Blank
 (whichever is higher - Indicate type)

Were all performance/acceptance standards for required QA/QC procedures achieved?

YES

No - Details Attached

Were any significant modifications to the VPH method made?

NO

Yes - Details Attached

Comments: VPH trip blank was not submitted to the laboratory.

DENR

Correspondence

UST #: RA-6597

MAILED

DEC 30 2010



North Carolina Department of Environment and Natural Resources

Beverly Eaves Perdue, Governor

Division of Waste Management
UST Section

Dee Freeman, Secretary
Dexter R. Matthews, Director

December 30, 2010

Ms. Lois Brantley
213 Dover Road
Rocky Mount, NC 27801

Re: Notice of No Further Action
5A NCAC 2L .0407(d)
Risk-based Assessment and Corrective Action
for Petroleum Underground Storage Tanks

Jiffy Mart
1801 North Raleigh Street, Rocky Mount
Edgecombe County
Incident Number: 33763
Risk Classification: Low
Ranking: L 114 D

Dear Ms. Brantley:

The Phase I Limited Site Assessment Addendum received by the UST Section, Raleigh Regional Office on June 16, 2010 and the Notice of Residual Petroleum received on December 7, 2010 have been reviewed. The review indicates that petroleum groundwater contamination meets the cleanup requirements for a low-risk site but exceeds the groundwater quality standards established in Title 15A NCAC 2L .0202.

The UST Section determines that no further action is warranted for this incident. This determination shall apply unless the UST Section later finds that the discharge or release poses an unacceptable risk or a potentially unacceptable risk to human health or the environment. Pursuant to Title 15A NCAC 2L .0407(a) you have a continuing obligation to notify the Department of any changes that might affect the risk or land use classifications that have been assigned.

Be advised that as petroleum groundwater contamination exceeds the groundwater quality standards established in Title 15A NCAC 2L .0202, groundwater within the area of petroleum contamination or within the area where petroleum groundwater contamination is expected to migrate is not suitable for use as a groundwater supply.

As petroleum groundwater contamination exceeds the groundwater quality standard established in Title 15A NCAC 2L .0202, pursuant to NCGS 143B-279.9 and 143B-279.11, you must file the approved Notice of Residual Petroleum (attached) with the Register of Deeds in the county in which the release is located and submit a certified copy to the UST Section within 30 days of receipt of this letter. This No Further Action determination will not become valid until the UST Section receives a certified copy of the Notice of Residual Petroleum which is filed with the Register of Deeds.

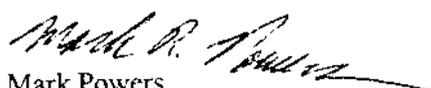
~~CONFIDENTIAL~~

As petroleum groundwater contamination exceeds the groundwater quality standards established in Title 15A NCAC 2L .0202, ~~public notice~~ in accordance with 15A NCAC 2L .0409(b) also is required. Thus, within 30 days of receipt of this letter, a copy of the letter must be provided by certified mail, or by posting in a prominent place, if certified mail is impractical, to the local health director, the chief administrative officer of each political jurisdiction in which the contamination occurs, all property owners and occupants within or contiguous to the area containing contamination, and all property owners and occupants within or contiguous to the area where the contamination is expected to migrate. Within 60 days of receiving this no further action letter, this office must be provided with proof of receipt of the copy of the letter or of refusal by the addressee to accept delivery of the copy of the letter or with a description of the manner in which the letter was posted. This No Further Action determination will not become valid until public notice requirements are completed. Interested parties may examine the Phase I Limited Site Assessment Addendum Report by contacting this regional office and may submit comments on the site to the regional office at the address or telephone number listed below.

This No Further Action determination applies only to the subject incident; for any other incidents at the subject site, the responsible party must continue to address contamination as required.

If you have any questions regarding this notice, please contact me at the address or telephone number listed below.

Sincerely,



Mark Powers
Supervisor
Raleigh Regional Office

Attachments: Notice of Residual Petroleum

cc: Sharon A. VanDeVelde, Groundwater Management Associates, 4300 Sapphire Court, Suite 100,
Greenville, North Carolina 27834
Karen Lachapelle, Edgecombe County Health Department, 2909 Main Street, Tarboro, NC 27886

UST Regional Offices

Raleigh (RRO) – 1628 Mail Service Center, Raleigh, NC 27699 (919) 791-4200

FTP: NFA low-NRP NOR0210.dot

12/90.

Mail to: Sharon VanDeVelde, GMA, 4300 Sapphire Court, Suite 100, Greenville, North Carolina 27834

NOTICE OF RESIDUAL PETROLEUM

Jiffy Mart, Edgecombe County, North Carolina

The property that is the subject of this Notice (hereinafter referred to as the "Site") contains residual petroleum and is an Underground Storage Tank (UST) incident under North Carolina's Statutes and Regulations, which consist of N.C.G.S. 143-215.94 and regulations adopted thereunder. This Notice is part of a remedial action for the Site that has been approved by the Secretary (or his/her delegate) of the North Carolina Department of Environment and Natural Resources (or its successor in function), as authorized by N.C.G.S. Section 143B-279.9 and 143B-279.11. The North Carolina Department of Environment and Natural Resources shall hereinafter be referred to as "DENR".

NOTICE

Petroleum product was released and/or discharged at the Site. **Petroleum constituents remain on the site, but are not a danger to public health and the environment, provided that the restrictions described herein, and any other measures required by DENR pursuant to N.C.G.S. Sections 143B-279.9 and 143B-279.11, are strictly complied with.** This "Notice of Residual Petroleum" is composed of a description of the property, the location of the residual petroleum and the land use restrictions on the Site. The Notice has been approved and notarized by DENR pursuant to N.C.G.S. Sections 143B-279.9 and 143B-279.11 and has/shall be recorded at the Edgecombe County Register of Deeds' office Book 745, Page 669.

Any map or plat required by DENR has been/shall be recorded at the Edgecombe County Register of Deeds' office Book 745, Page 669, and has been/shall be incorporated into the Notice by this reference.

Source Property

Jiffy Mart, Inc. (c/o Lois T. Brantley) of Rocky Mount is the owner in fee simple of all or a portion of the Site, which is located in the County of Edgecombe, State of North Carolina, and is known and legally described as:

1. BEGINNING at the intersection of the southern line of the right of way of US Highway 64 with the eastern line of the right of way of the Meadow Brook Dairy Road; thence S. 34° 48' E. parallel with and 15 feet from the center line of Meadow Brook Dairy Road, 250 feet; thence N. 55° 12' E 109.2 feet; thence N. 8° E. 109.2 feet to the southern line of the right of way of US Highway 64; thence N. 82° W. along said southern line of said right of way, parallel with and 27 feet from the center line of the present paved portion of US Highway 64, 250 feet to the beginning; together with all right, title, interest and property in and to those portions of the right of way of US Highway 64 and Meadow Brook Dairy Road lying between the center lines of said roads and the lines of said lot.

2. BEGINNING at a point in the eastern line of the right of way of Meadow Brook Dairy Road 250 feet from its intersection with the southern line of the right of way of US Highway 64; thence S. 34° 48' E. parallel with and 15 feet from the center line of Meadow Brook Dairy Road, 75 feet; thence N. 55° 12' E. 141.9 feet; thence N. 58° 24' W. 81.8 feet; thence S. 55° 12' W. 109.2 feet to the beginning; together with all of the right, title, interest and property in and to that portion of the right of way of Meadow Brook Dairy Road lying between the center line of said road and the side lines of said property.

3. BEGINNING at a point in the southern line of the right of way of US Highway 64, 250 feet from its intersection with the eastern line of the right of way of Meadow Brook Dairy Road; thence S. 82° E. along said southern line of said right of way, parallel with and 27 feet from the center line of the present paved portion of US Highway 64, 75 feet; thence S. 8° W. 141.9 feet; thence N. 58° 24' W. 81.8 feet; thence N. 8° E. 109.2 feet to the beginning; together with all of the right, title, interest and property in and to that portion of the right of way of US Highway 64 lying between the center line of the original paved portion thereof and the side lines of said lot.

This property was conveyed to Grantors by deed dated April 1, 1965, recorded in Book 704, page 493, Edgecombe County Registry.

PERPETUAL LAND USE RESTRICTIONS

Groundwater: Groundwater from the site is prohibited from use as a water supply. Water supply wells of any kind shall not be installed or operated on the site.

ENFORCEMENT

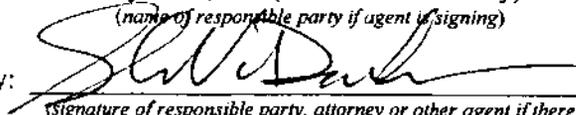
The above land use restriction(s) shall be enforced by any owner, operator, or other party responsible for the Site. The above land use restriction(s) may also be enforced by DENR through any of the remedies provided by law or by means of a civil action, and may also be enforced by any unit of local government having jurisdiction over any part of the Site. Any attempt to cancel this Notice without the approval of DENR (or its successor in function) shall be subject to enforcement by DENR to the full extent of the law. Failure by any party required or authorized to enforce any of the above restriction(s) shall in no event be deemed a waiver of the right to do so thereafter as to the same violation or as to one occurring prior or subsequent thereto.

IN WITNESS WHEREOF, Sharon A. VanDeVelde has caused this Notice to be executed pursuant to N.C.G.S. Sections 143B-279.9 and 143B-279.11, this 3rd day of December, 2010.

Jiffy Mart, Inc. (c/o Lois T. Brantley)

(name of responsible party if agent is signing)

By:



(Signature of responsible party, attorney or other agent if there is one)

Project Hydrogeologist

(Title of agent for responsible party if there is one)

Signatory's name typed or printed: Sharon A. VanDeVelde

NORTH CAROLINA

Pitt COUNTY

I, GLORIA JEAN REED, a Notary Public for said County and State, do hereby certify

that SHARON VANDEVELDE personally came before me this day and

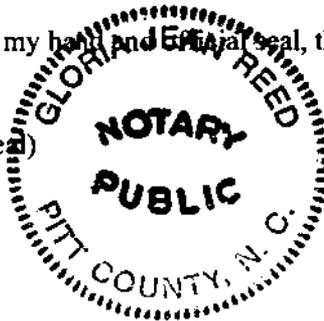
acknowledged that she is a Hydrogeologist of BMA and acknowledged, on behalf of

JEFF MATT, INC. (C/O LOIS T. BRANTLEY), the grantor the

due execution of the foregoing instrument.

WITNESS my hand and official seal, this the 3 day of December, 20 11.

(Official Seal)



Gloria Jean Reed
Notary Public (signature)

My commission expires 10/29, 20 11."

Approved for the purposes of N.C.G.S. 143B-279.11

Mark R. Powers
(signature of Regional Supervisor)

MARK R. POWERS, Regional Supervisor
(printed name of Regional Supervisor)

RALEIGH Regional Office
UST Section
Division of Waste Management
Department of Environment and Natural Resources

NORTH CAROLINA

Wake COUNTY

I certify that the following person(s) personally appeared before me this day, each acknowledging to me

that he or she signed the foregoing document: Mark R. Powers (full printed name of Regional Supervisor)

Date: 12/15/10

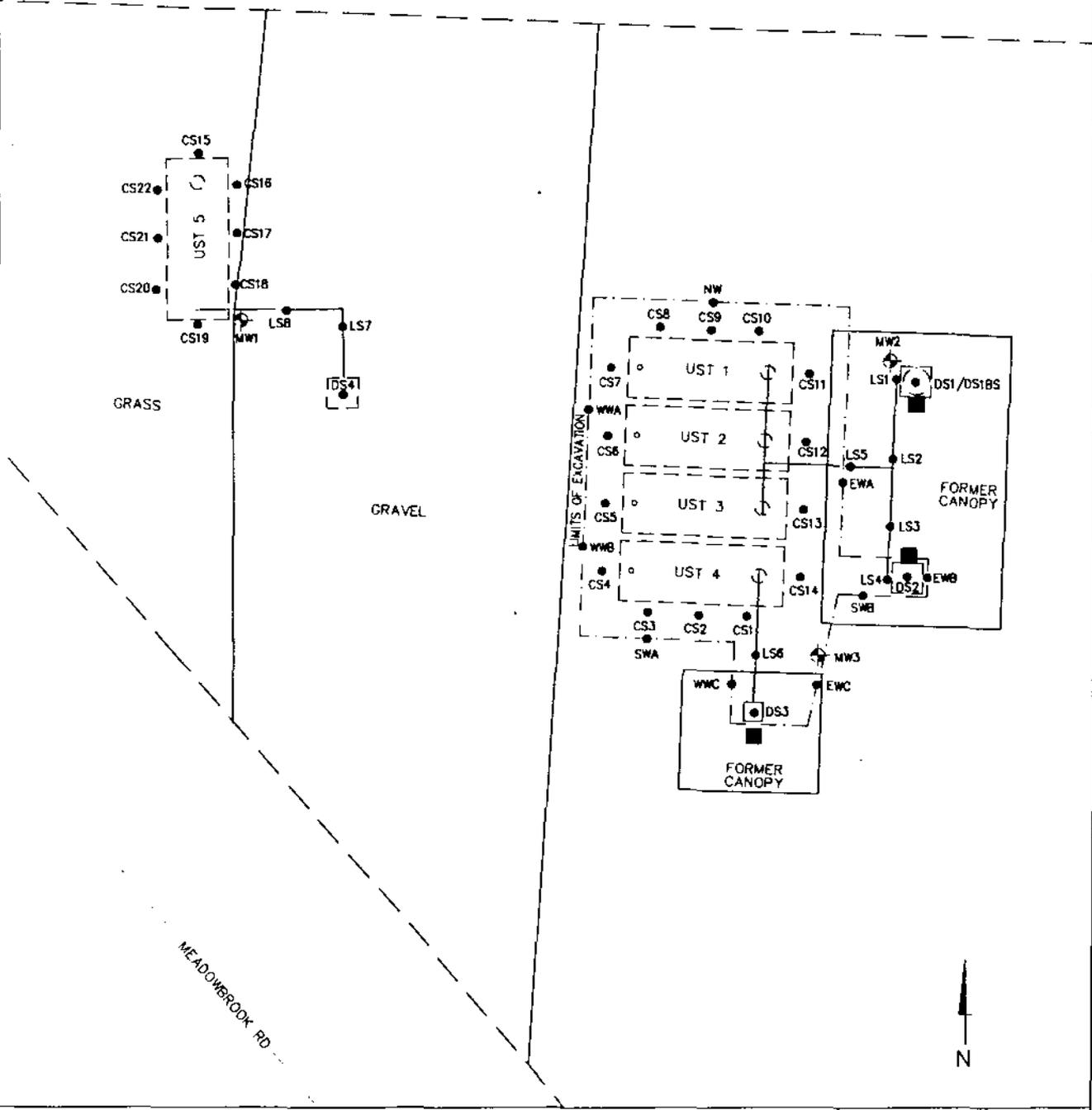
James M. Moore
James M. Moore
Notary Public

My commission expires:
2/16/2013



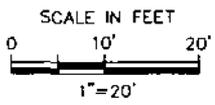
THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.

N RALEIGH ST



LEGEND

- - - - - PROPERTY LINE
- . - . - DOT RIGHT-OF-WAY
- - - - - CENTER LINE
- - - - - FORMER PRODUCT LINE
- FORMER DISPENSER
- METAL POST W/FOOTER
- SOIL SAMPLE
- ⊕ MONITORING WELL



File: DRAWINGS/125601
MW-SS10-09

MONITORING WELLS AND SOIL SAMPLE LOCATIONS

Date: 11/19/2009
Figure 1

Project No. 125601

JIFFY MART, ROCKY MOUNT, EDGEcombe CO., NC



North Carolina Department of Environment and Natural Resources

Beverly Eaves Perdue, Governor

Division of Waste Management
UST Section

Dee Freeman, Secretary
Dexter R. Matthews, Director

**DIVISION OF WASTE MANAGEMENT
UNDERGROUND STORAGE TANK SECTION**

July 23, 2010

MEMORANDUM

TO: *John Walch, Environmental Supervisor - Inactive Hazardous Sites Branch*

FROM: Harry Messenger, Raleigh Regional Office Environmental Senior Technician

SUBJECT: Jiffy Mart
1801 North Raleigh Street, Rocky Mount
Edgecombe County
DWM UST Incident # 33763

The above referenced incident is a former commercial gasoline-diesel-kerosene station/convenience store located at 1801 North Raleigh Street in Rocky Mount, Edgecombe County. From October 13 -19, 2009 five UST systems were removed, all 8000 gallons, three (3) gasoline, one (1) diesel, and one (1) kerosene, and the surrounding contaminated soil excavated and removed. Three permanent groundwater monitoring wells were installed, all of which had petroleum hydrocarbons exceeding 2L standards, but below GCLs, from the sampling of November 30, 2009. One well, MW-2 at the northwest corner of Dispenser DS - 1 (please see attached map, "Figure 4"), had, in addition to the petroleum hydrocarbon exceedences, a 2L exceedence of carbon tetrachloride (2 ppb, 2L is 0.3 ppb).

Groundwater samples from monitoring wells MW-1, MW-2, and MW-3 included acetone and chloroform below the 2L standards. With the possibility that the acetone, chloroform, and carbon tetrachloride may all be lab contaminants, the UST Section, Raleigh Regional Office asked (April 27, 2010) for the resampling of MW-2 as an Addendum to the L.S.A. Phase 1, to confirm the presence of carbon tetrachloride.

The analytical results from the re-sampling of MW-2 on May 4, 2010, showed a much greater concentration of carbon tetrachloride, at 35 ppb, plus above 2L concentrations of both PCE (tetrachloroethylene; 3.3 ppb, 2L is 0.7 ppb) and chloroform (140 ppb, 2L is 70 ppb), and detected bromoform and bromodichloromethane (please see attached "Table 4").

The consultants (Groundwater Management Associates, Greenville, NC) have described the site as underlain by Coastal Plain sediments of the Yorktown Formation. Groundwater was encountered at about 11 ft below land surface in the UST excavations of October 13 -19. The depth to water in MW -2 on November 30, 2009, the

date of the first sampling, was 7.23 ft, and 7.47 ft, both below land surface, on the second sampling of May 4, 2010.

Although municipal water is in use throughout a 1500 ft radius, two inactive water - supply wells are 280 ft and 350 ft east of the source area (please see attached "Table 1"). The UST Section, Raleigh Regional Office, for petroleum hydrocarbon contamination considerations, has classified this incident as a low-ranked site, and asked the responsible party to place a deed restriction (Notice Of Residual Petroleum) on any future use of the groundwater, prior to the probable closing of the site from further required action in the assessment and remediation of petroleum contamination.

The MW - 2 suite of halogenated solvents - carbon tetrachloride, tetra or perchloroethylene (PCE), chloroform, bromoform, and bromodichloromethane are believed to be unrelated to the petroleum fuel/convenience store operation, and considered hazardous waste. As such, we are forwarding the file for your review. If you have any questions or need additional information, please contact me at (919) - 791- 4229.

Attachments

N RALEIGH ST

UST 5

92.6

92.8

93.0

MW1
92.51

GRASS

GRAVEL

LIMITS OF EXCAVATION

UST 1

UST 2

UST 3

UST 4

MW2
93.06

FORMER CANOPY

MW3
92.87

FORMER CANOPY

MEADOWBROOK RD



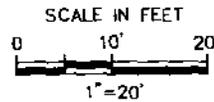
GENERAL NOTES:

1. CONTOUR INTERVAL = 0.20 FEET
2. ARROW INDICATES DIRECTION OF GROUNDWATER FLOW
3. ISOTROPIC CONDITIONS ARE ASSUMED
4. WATER LEVEL ELEVATIONS ARE POSTED BY EACH WELL
5. () INDICATES DATA NOT USED

LEGEND

- - - - - PROPERTY LINE
- . - . - DOT RIGHT-OF-WAY
- - - - - CENTER LINE

- FORMER DISPENSER
- METAL POST W/FOOTER
- ⊕ MONITORING WELL



File: DRAWINGS/125601
EQUIP11-09

EQUIPOTENTIAL MAP, 11/30/2009

Date: 1/7/2010

Project No. 125601

JIFFY MART, ROCKY MOUNT, EDGEcombe CO., NC

Figure 4

Table 4. Summary of Monitoring Well Groundwater Analytical Results

Jiffy Mart Rocky Mount, Edgecombe County, NC UST Incident #: 33763 Facility ID #: 0-016471

Analytical Method		EPA Methods 6200B and 625								
Well ID	Date Collected	benzene	toluene	ethylbenzene	total xylenes	naphthalene	1,2,4-trimethylbenzene	1,3,5-trimethylbenzene	dibromochloromethane	styrene
MW1	11/30/2009	1.0	<0.50	<0.50	<1.5	<2.0	<0.50	<0.50	<0.14	<0.5
MW2	11/30/2009	<0.50	<0.50	<0.50	0.53 J	<2.0	<0.50	<0.50	<0.08	<0.5
	5/4/2010	75	170	89	430	120	380	94	3.1	0.9
MW3	11/30/2009	29	29	180	620	100	430	130	<0.08	<0.5
2010 2L Standard (ug/L)		1.0	600	600	500	6.0	400	400	0.4	70
GCL (ug/L)		5000	260,000	84,500	85,500	6,000	28,500	25,000	4,000	70,000

Analytical Method		EPA Methods 6200B and 625								
Well ID	Date Collected	n-butylbenzene	n-propylbenzene	sec-butylbenzene	isopropylbenzene	p-isopropyltoluene	MTBE	carbon tetrachloride	tetrachloroethylene (PCE)	bromoform
MW1	11/30/2009	<1.0	<0.50	<0.50	<0.50	<0.50	23	<0.50	<0.5	<0.04
MW2	11/30/2009	<1.0	<0.50	<0.50	<0.50	<0.50	4.3	2.0	<0.12	<0.04
	5/4/2010	9.4	40	5.2	12	3.2	3.7	35	3.3	3.4
MW3	11/30/2009	14	45	3.5	20	2.7	60	<0.50	<0.12	<0.04
2010 2L Standard (ug/L)		70	70	70	70	NSE	20	0.3	0.7	4.0
GCL (ug/L)		6,900	30,000	8500	25,000	NSE	200,000	NSE	700	4,000

Analytical Method		EPA Methods 6200B and 625			Method 3030C	MADEP Methods EPH/VPH			
Well ID	Date Collected	bromodichloromethane	chloroform	acetone	lead	C5-C8 aliphatics	C9-C18 aliphatics	C9-C12 aromatics	C19-C36 aliphatics
MW1	11/30/2009	0.50	8.4	13	12	<50	<148	<148	<98
MW2	11/30/2009	<0.50	1.1	7.7	1.2 J	<50	<148	<148	<98
	5/4/2010	3.3	140	<1.0	NS	NS	NS	NS	NS
MW3	11/30/2009	<0.50	0.94	5.6	5.2	210	57	2250	<98
2010 2L Standard (ug/L)		NSE	70	6000	15	420	4200	210	42,000
GCL (ug/L)		NSE	70,000	6,000,000	15,000	NSE	NSE	NSE	NSE

All concentrations shown are expressed in micrograms per liter (ug/L), which is equivalent to parts per billion (ppb).

J = the analyte was positively identified, but the value is estimated below the reporting limit

2L = groundwater standards as established under 15A NCAC 2I.

Bold = Concentrations above Detectable Limits

Shaded = Concentrations above 2L Groundwater standards

GCL = gross contaminant levels

MTBE = methyl t-butyl ether

NSE = no standard established

NS = No sample collected for this analytical method

Table 1. List of Adjacent Property Owners

Jiffy Mart Rocky Mount, Edgecombe County, NC UST Incident #: 33763 Facility ID #: 0-016471

PIN	Property Owner Name	Physical Address	Mailing Address	Well Status	Distance and Direction from the Site[^]
3860-51-7396	Jiffy Mart, Inc. (c/oLois Brantley)	1801 North Raleigh Street	213 Dover Road Rocky Mount, NC 27804	none	SITE
3860-51-9386	Winton & Gail Johnson	1831 North Raleigh Street	1831 North Raleigh Street Rocky Mount, NC 27801	inactive	280' E
3860-61-0396	Jonas & Carolyn Williams	1841 North Raleigh Street	1841 North Raleigh Street Rocky Mount, NC 27801	inactive	350' E
3860-61-3010	City of Lights of Rocky Mount	Meadowbrook Road	704 Arlington Street Rocky Mount, NC 27801	none	160' SE
3860-50-4979	JM Dickens Development, LLC	North Raleigh Street	801 Hill Street Rocky Mount, NC 27801	none	130' SW
3860-52-9140	Rocky Mount Edgecombe Community	North Raleigh Street	P.O. Box 1477 Rocky Mount, NC 27802	none	150' N
3860-41-3319	Showers of Blessing Christian Center	1651 North Raleigh Street	P.O. Box 2916 Rocky Mount, NC 27802	unknown status	1470' W
^ The distance is measured from the well or closest corner of the property.					

**MAILED**

JUL 22 2010

North Carolina Department of Environment and Natural Resources

Beverly Eaves Perdue, Governor

Division of Waste Management
UST SectionDee Freeman, Secretary
Dexter R. Matthews, Director

July 22, 2010

Attn: Ms. Lois Brantley
Jiffy Mart, Inc.
213 Dover Road
Rocky Mount, NC 27804Re: Notice of Regulatory Requirements
NCGS 143B-279.9 and 143B-279.11
Notice of Residual PetroleumJiffy Mart
1801 North Raleigh Street, Rocky Mount
Edgecombe County
Incident Number: 33763
Risk Classification: Low
Ranking: L 114 D

Dear Ms.Brantley:

North Carolina General Statute (NCGS) 143B279.9 and 143B-279.11 require a Notice of Residual Petroleum (Notice) to be filed with the Register of Deeds in Edgecombe County, where the release is located, when a release from an underground storage tank has not been remediated to below "unrestricted use standards". The Notice is required either prior to conveyance of a contaminated property or prior to receiving a Notice of No Further Action. "Unrestricted use standards" for groundwater are the groundwater quality standards and interim standards contained in Title 15A NCAC 2L .0202, and "unrestricted use standards" for soil are the residential maximum soil contaminant concentrations (MSCCs) established in Title 15A NCAC 2L .0411.

The Notice must be prepared in accordance with the attached instructions and format. It must contain a legal description of the property containing the source of contamination and legal descriptions of any other properties which you own (or control) which are contaminated by the release. The Notice must also include appropriate land use restrictions for these properties. In addition, the Notice must identify all other properties (adjacent, adjoining, downgradient, etc.) on which contamination is known to exist at the time the Notice is prepared.

The Notice must be sent to this regional office of the UST Section within 30 days of the date of this letter for approval and notarization. The approved and notarized Notice must then be filed by you with the Register of Deeds, and a certified copy of the filed Notice must be submitted to this office within 30 days of its return to you.

Effective October 1, 2004, the Department requires that all work following the submittal of the Limited Site Assessment Report (Title 15A NCAC 2L .0405) be preapproved if State Trust Fund reimbursement is anticipated. To comply with this requirement, a completed Preapproval/Claim Authorization Form, encompassing the required remedial activities, must be received in this office within 14 days of the date of this letter. Upon completion of the preapproved activities, you should submit your

claim promptly. Reimbursement funds are budgeted based on completed preapprovals, but lengthy delays in reimbursement can occur if claims are not submitted immediately following work completion.

Failure to comply with this letter is a violation of North Carolina law and may result in the assessment of civil penalties and/or the use of other enforcement mechanisms available to the state. If you have any questions regarding this letter, please contact Harry Messenger at the address or telephone number listed below.

Sincerely,



Mark Powers
Regional Supervisor
Raleigh Regional Office

Attachment: Instructions for Preparing Notice of Residual Petroleum

cc: UST Section, RRO

Katie Jarvis, Groundwater Management Associates, Inc., 4300 Sapphire Ct, Ste 100, Greenville, NC
27834

Karen Lachapelle, Edgecombe County Health Department, 2909 Main St, Tarboro, NC 27886

Raleigh (RRO) – 1628 Mail Service Center, Raleigh, NC 27699 (919) 791-4200

FTP: NRP request NOR0210.dot



North Carolina Department of Environment and Natural Resources

Beverly Eaves Perdue, Governor

Division of Waste Management
UST Section

Dee Freeman, Secretary
Dexter R. Matthews, Director

**DIVISION OF WASTE MANAGEMENT
UNDERGROUND STORAGE TANK SECTION**

July 23, 2010

MEMORANDUM

TO: *Charlotte Jesneck, Environmental Supervisor - Inactive Hazardous Sites Branch*

FROM: Harry Messenger, Raleigh Regional Office Environmental Senior Technician

SUBJECT: Jiffy Mart
1801 North Raleigh Street, Rocky Mount
Edgecombe County
DWM UST Incident # 33763

The above referenced incident is a former commercial gasoline-diesel-kerosene station/convenience store located at 1801 North Raleigh Street in Rocky Mount, Edgecombe County. From October 13 -19, 2009 five UST systems were removed, all 8000 gallons, three (3) gasoline, one (1) diesel, and one (1) kerosene, and the surrounding contaminated soil excavated and removed. Three permanent groundwater monitoring wells were installed, all of which had petroleum hydrocarbons exceeding 2L standards, but below GCLs, from the sampling of November 30, 2009. One well, MW-2 at the northwest corner of Dispenser DS – 1 (please see attached map, "Figure 4"), had, in addition to the petroleum hydrocarbon exceedances, a 2L exceedance of carbon tetrachloride (2 ppb, 2L is 0.3 ppb).

Groundwater samples from monitoring wells MW-1, MW-2, and MW-3 included acetone and chloroform below the 2L standards. The UST Section, Raleigh Regional Office asked (April 27, 2010) for the resampling of MW-2 as an Addendum to the L.S.A. Phase 1, to confirm the presence of carbon tetrachloride and acetone.

The analytical results from the re-sampling of MW-2 on May 4, 2010, showed a much greater concentration of carbon tetrachloride, at 35 ppb, plus PCE (tetrachloroethylene; 3.3 ppb, 2L is 0.7 ppb) and chloroform (140 ppb, 2L is 70 ppb). See attached "Table 4."

Although municipal water is in use throughout a 1500 ft radius, two inactive water - supply wells are 280 ft and 350 ft east of the source area (please see attached "Table 1"). The UST Section, Raleigh Regional Office, has classified this incident as a low-risk site, and asked the responsible party to place a deed restriction (Notice of Residual Petroleum) on any future use of the groundwater, prior to the closing of the UST incident.

The MW – 2 chlorinated solvents – carbon tetrachloride, and tetra or perchloroethylene (PCE, are believed to be unrelated to the petroleum fuel/convenience store operation, and considered hazardous waste. As such, we are forwarding the file for your review. If you have any questions or need additional information, please contact me at (919) – 791- 4229.

Attachments

Messenger, Harold

From: Messenger, Harold
Sent: Wednesday, June 23, 2010 9:39 AM
To: 'Katie Jarvis'
Subject: RE: Jiffy Mart, 1801 North Raleigh Street, Rocky Mount, Edgecombe County, Inc. # 33763

Katie, I still have to look at everything again, and talk with Mark Powers, but even if with can close it with an NRP with the UST Section, it is probable that we will then send the file to the Inactive Hazardous Waste Branch of DWM, because of the carbon tetrachloride and PCE. Whether or not your client is the RP for the solvents, they are still there. Whether or not IHWSB looks for the source aggressively or not, I Don't know.

Harry Messenger

From: Katie Jarvis [mailto:katie@gma-nc.com]
Sent: Wednesday, June 23, 2010 8:13 AM
To: Messenger, Harold
Subject: RE: Jiffy Mart, 1801 North Raleigh Street, Rocky Mount, Edgecombe County, Inc. # 33763

Thanks for the update Harry. I will let the Brantley's know about you discussing the results with Mark. You did mention before moving forward with a NORP for the petroleum contamination. If you are still thinking of doing that, can we possibly get that paperwork moving forward? The only reason I ask is because the Brantley's still have a contract on the property and property closing coming up soon. I cannot remember the date, but IK could check again with Mr. Brantley. Thanks again! Stay cool,

Sincerely,
Katie

From: Messenger, Harold [mailto:harold.messenger@ncdenr.gov]
Sent: Tuesday, June 22, 2010 5:20 PM
To: katie@gma-nc.com
Subject: Jiffy Mart, 1801 North Raleigh Street, Rocky Mount, Edgecombe County, Inc. # 33763

Katie, just to let you know, we received the LSA Phase I Addendum on June 16, 2010. I don't know what to do about the carbon tetrachloride. We were hoping that it may have been lab contamination. I would like to talk this over with Mark Powers, my Supervisor, who is on Navy duty and will return on July 6.

Yours,

Harry Messenger
UST Section, RRO
(919)-791-4229

MAILED
FEB 9 - 2010



North Carolina Department of Environment and Natural Resources

Beverly Eaves Perdue, Governor

Division of Waste Management
UST Section

Dee Freeman, Secretary
Dexter R. Matthews, Director

February 9, 2010

C/o Ms. Lois Brantley
Jiffy Mart, Inc.
213 Dover Road
Rocky Mount, North Carolina 27804

Re: Notice of Regulatory Requirements
15A NCAC 2L .0405
Risk-based Assessment and Corrective Action
for Petroleum Underground Storage Tanks

Jiffy Mart
1801 North Raleigh Street, Rocky Mount
Edgecombe County
Incident number: 33763
Risk Classification:
Ranking:

Dear Ms. Brantley:

The Initial Abatement Action Report received by the UST Section, Raleigh Regional Office on January 11, 2010 has been reviewed. The report indicates that groundwater contamination exceeds the standards or interim standards established in Title 15A NCAC 2L .0202. Therefore, the UST Section hereby confirms that you must comply with assessment and reporting requirements of Title 15A NCAC 2L .0405, within the timeframes specified in the attached rule.

The requirements of Title 15A NCAC 2L .0405 include the preparation and submittal of a Limited Site Assessment (LSA) Report, in accordance with the rule and the most recent version of the *Guidelines for Assessment and Corrective Action for UST Releases*, within 120 days of discovery of the release.

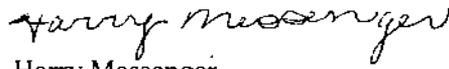
Because a release or discharge has been confirmed, a Licensed Geologist or a Professional Engineer, certified by the State of North Carolina, is required to prepare and certify all reports submitted to the Department in accordance with Title 15A NCAC 2L .0103(e) and 2L .0111(b).

Please note that before you sell, transfer, or request a "No Further Action" determination for a property that has not been remediated to below "unrestricted use" standards, you must file a Notice of Residual Petroleum ("Notice") with the Register of Deeds in the county where the property is located (NCGS 143B-279.9 and 143B-279.11).

Failure to comply with the State's rules in the manner and time specified may result in the assessment of civil penalties and/or the use of other enforcement mechanisms.

If you have any questions regarding trust fund eligibility or reimbursement from the Commercial or Noncommercial Leaking Petroleum Underground Storage Tank Cleanup Funds, please contact the UST Section Trust Fund Branch at (919) 733-8486. If you have any questions regarding the actions that must be taken or the rules mentioned in this letter, please contact Harry Messenger at the address or telephone number listed below.

Sincerely,



Harry Messenger
Environmental Senior Technician
Raleigh Regional Office

Enclosures: Title 15A NCAC 2L .0405
A Brief History of North Carolina Session Laws, Rules, and General Statutes...

cc: UST Section files, Raleigh Regional Office
Karen Lachapelle, Edgecombe County Health Department, 2909 Main Street, Tarboro, NC 27886
Katie Jarvis, Groundwater Management Associates, 4300 Sapphire Court, Suite 100, Greenville, NC 27834

UST Regional Offices

Asheville (ARO) – 2090 US Highway 70, Swannanoa, NC 28778 **(828) 296-4500**

Fayetteville (FAY) – 225 Green Street, Suite 714, Systel Building, Fayetteville, NC 28301 **(910) 433-3300**

Mooresville (MOR) – 610 East Center Avenue, Suite 301, Mooresville, NC 28115 **(704) 663-1699**

Raleigh (RRO) – 1628 Mail Service Center, Raleigh, NC 27699 **(919) 791-4200**

Washington (WAS) – 943 Washington Square Mall, Washington, NC 27889 **(252) 946-6481**

Wilmington (WIL) – 127 Cardinal Drive Extension, Wilmington, NC 28405 **(910) 796-7215**

Winston-Salem (WS) – 585 Waughtown Street, Winston-Salem, NC 27107 **(336) 771-5000**

Guilford County Environmental Health, 1203 Maple Street, Greensboro, NC 27405. **(336) 641-3771**

FTP: LSA request NOR0209.dot



MAILED

DEC 14 2009

North Carolina Department of Environment and Natural Resources

Beverly Eaves Perdue, Governor

Division of Waste Management
UST Section

Dee Freeman, Secretary
Dexter R. Matthews, Director

December 14, 2009

Ms. Lois Brantley
213 Dover Road
Rocky Mount, North Carolina 27804

Re: Notice of Regulatory Requirements
15A NCAC 2L .0404 and 2L .0405
Risk-based Assessment and Corrective Action
for Petroleum Underground Storage Tanks

Jiffy Mart
1801 North Raleigh Street, Rocky Mount
Edgecombe County
Incident Number: 33763
Risk Classification:
Ranking:

Dear Ms. Brantley:

Information received by this office on December 4, 2009 confirms a release or discharge from a petroleum underground storage tank (UST) system at the above-referenced location. Records indicate that you are the owner or operator of this UST system. Therefore, as a responsible party, you must comply with the initial response and abatement action requirements of Title 15A NCAC 2L .0404 and, if applicable, the assessment and reporting requirements of Title 15A NCAC 2L .0405, within the timeframes specified in the attached rules. (Be aware that if the latter rule is applicable, you must comply with its requirements even if you do not receive formal notification from the UST Section.)

Initial abatement action requirements include the preparation and submittal of an Initial Abatement Action (IAA) Report, in accordance with Title 15A NCAC 2L .0404 and the most recent version of the *Guidelines for Site Checks, Tank Closure, and Initial Response and Abatement for UST Releases*, within 90 days of discovery of the release.

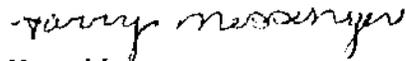
Because a release or discharge has been confirmed, a Licensed Geologist or a Professional Engineer, certified by the State of North Carolina, is required to prepare and certify all reports submitted to the Department in accordance with Title 15A NCAC 2L .0103(e) and 2L .0111(b).

Please note that before you sell, transfer, or request a "No Further Action" determination for a property that has not been remediated to below "unrestricted use" standards, you must file a Notice of Residual Petroleum ("Notice") with the Register of Deeds in the county where the property is located (NCGS 143B-279.9 and 143B-279.11).

Failure to comply with the State's rules in the manner and time specified may result in the assessment of civil penalties and/or the use of other enforcement mechanisms.

If you have any questions regarding trust fund eligibility or reimbursement from the Commercial or Noncommercial Leaking Petroleum Underground Storage Tank Cleanup Funds, please contact the UST Section Trust Fund Branch at (919) 733-8486. If you have any questions regarding the actions that must be taken or the rules mentioned in this letter, please contact me at the address or telephone number listed below.

Sincerely,



Harry Messenger
Environmental Senior Technician
Raleigh Regional Office

Enclosures: Title 15A NCAC 2L .0404 and 2L .0405
A Brief History of North Carolina Session Laws, Rules, and General Statutes...

cc: UST Section, RRO files
Ms. Lynda Smith, Halifax County Health Department, PO Box 10, Halifax, NC 27839
Katie H, Jarvis, P.G., Groundwater Management Associates, Inc., 4300 Sapphire Court, Suite 100, Greenville, NC 27834

UST Regional Offices

Asheville (ARO) – 2090 US Highway 70, Swannanoa, NC 28778 (828) 296-4500

Fayetteville (FAY) – 225 Green Street, Suite 714, Systel Building, Fayetteville, NC 28301 (910) 433-3300

Mooresville (MOR) – 610 East Center Avenue, Suite 301, Mooresville, NC 28115 (704) 663-1699

Raleigh (RRO) – 1628 Mail Service Center, Raleigh, NC 27699 (919) 791-4200

Washington (WAS) – 943 Washington Square Mall, Washington, NC 27889 (252) 946-6481

Wilmington (WIL) – 127 Cardinal Drive Extension, Wilmington, NC 28405 (910) 796-7215

Winston-Salem (WS) – 585 Waughtown Street, Winston-Salem, NC 27107 (336) 771-5000

Guilford County Environmental Health, 1203 Maple Street, Greensboro, NC 27405, (336) 641-3771

FTP: IAA request NOR0209.dot

**NORTH CAROLINA
UNDERGROUND STORAGE TANK SECTION
RISK, RANK AND ABATEMENT RATING FORM**

Incident Name: <u>JIFFY MART</u>	Region: <u>RALEIGH</u>	SCORE	<div style="border: 1px solid black; padding: 5px; font-size: 1.2em;">L 114D</div>
Incident Number: <u>33763</u>	County: <u>EDGECOMBE</u>		
Date: <u>7/26/2010</u>	Ranking Performed by: <u>HMM</u>		

Note: a new ranking form must be completed whenever site conditions may have changed

SECTION I. Risk Classification (Check all that apply)

1. High Risk

- A. An existing water supply well, including one used for non-drinking purposes, has been contaminated by the release; _____
- B. A water supply well used for drinking water is located within 1,000 feet of the source area of a confirmed release; _____
- C. A water supply well not used for drinking water is located within 250 feet of the source area of a confirmed release; _____
- D. The groundwater within 500 feet of the source area of a confirmed release has the potential for future use in that there is no source of water supply other than the groundwater; _____
- E. There exists a serious threat of explosion due to the accumulation of vapors in a confined space, as a result of the release; or _____
- F. There exists an imminent danger to public health, public safety or the environment, as a result of the release. _____

2. Intermediate Risk

- A. Surface water is located within 500 feet of the source area of a confirmed release and the maximum groundwater contaminant concentration exceeds the applicable surface water quality standard and criteria found in 15A NCAC 2B .0200 by a factor of 10; _____
- B. In the Coastal Plain Physiographic Province (as designated on a map entitled Geologic Map of North Carolina published by the Department in 1985), the source area of a confirmed release is located where there is recharge to an unconfined or semi-confined deeper aquifer which the Department determines is being used or may be used as a source of drinking water; _____
- C. The source area of a confirmed release is located within a designated wellhead protection area, as defined in 42 USC 300h-7(e); _____
- D. The levels of groundwater contamination for any contaminant (except ethylene dibromide, benzene and the aliphatic and aromatic carbon fraction classes) exceed 50 percent of the solubility of the contaminant at 25 degrees Celsius or 1,000 times the groundwater quality standard or interim standard established in 15A NCAC 2L .0202, whichever is lower (these levels have been termed "gross contamination levels"); or _____
- E. The levels of groundwater contamination for ethylene dibromide or benzene exceed 1,000 times the federal drinking water standard set out in 40 CFR 141 (these levels have also been termed "gross contamination levels"). _____

3. Low Risk

- A. A low risk classification means that the risk posed by a release does not meet any of the high or intermediate risk criteria or, based on site-specific information received by the Department, the release does not pose a significant risk. _____

SECTION I. Risk Classification

L

LOW

SECTION II. Release Ranking (Assign points as applicable)

1. EMERGENCY HAZARD ASSESSMENT

POINTS

An emergency situation exists whenever the Department determines that the release poses an imminent danger to public health, public safety, or the environment.

EMERGENCY

Complete entire form and assign letter E to final rating in Section III, Once Emergency is abated a new rating must be performed

2. EXPOSURE ASSESSMENT

Groundwater

A. Impacted Water Supplies

Public Supply Wells (each well can only be counted once)

1. Public or institutional water supply well containing substances in concentrations exceeding 15A NCAC 2L groundwater quality standards; award 600 points per well

Private Supply Wells (each well can only be counted once)

2. Private domestic drinking water supply well containing substances in concentrations exceeding 15A NCAC 2L groundwater quality standards; award 200 points per well

3. Private well, not used for drinking, containing contamination in detectable concentrations; award 75 points per well

Public or Private Wells Below 2L .0202 Standards (each well can only be counted once)

4. Public or private drinking water supply contains substances that are below the 15A NCAC 2L groundwater quality standards; award 100 points per well

B. Threat to Uncontaminated Drinking Water Supplies

Public Supply Wells (each well can only be counted once)

1. Public or institutional water supply well within 500 ft of plume edge, plume edge is within radius of influence of public well, or threat currently unknown; award 40 points per well

2. Public or institutional water supply well between 500 and 1000 ft of plume edge or threat is reasonably known; award 10 points per well

Private Supply Wells (each well can only be counted once)

3. Private water supply, including non-drinking well, located within 250 feet of plume edge, wells threatened or the threat is currently unknown; award 20 points per well

4. Private water supply, not including non-drinking well, located between 251 and 500 feet of the plume edge, wells threatened or the threat is currently unknown; award 10 points per well

5. Private water supply, not including non-drinking well, located between 501 and 1000 feet of plume edge or wells located within 1000 feet but threat to wells is reasonably known or alternate water source is available; award 5 points per well

6. Private non-drinking well, located between 251 and 1000 feet of plume edge; award 2 points per well

_____ 4

Surface Water

1. Violation of Class HQW,ORW,WS-I, WS-II or SA surface water quality standards as a result of groundwater discharge; award 10 points

2. Free product or sheen discovered on surface waters as a result of groundwater discharge; award 5 points

Soil

A. Land Use Choose required soil clean-up level then apply points only if soil contamination exceeds requirement

No Risk Data Soil to GW Residential Industrial/Commercial

- 1. Maximum soil contaminant concentration exceeds "Soil to Groundwater" but below "Residential" exposure concentration; award 5 points total
- OR**
- 2. Maximum soil contaminant concentration exceeds "Residential" but is below the "Industrial/Commercial" exposure concentration; award 10 points total
- OR**
- 3. Maximum soil contaminant concentration exceeds the "Industrial/Commercial" exposure concentration or no risk-based data available; award 15 points total

5

Air

A. Vapor Phase Exposure

- 1. Contaminant vapors detected in inhabitable building(s), but levels are below 20% of the lower explosive limit and health concern levels; award 20 points total
- 2. Contaminant vapors detected in other confined areas (uninhabitable buildings, sewer lines, utility vaults, etc.) but levels are below 20% of the lower explosive limit; award 5 points total

3. HYDROGEOLOGY AND LITHOLOGY

A. Bedrock - contamination is located in, on or within five feet of bedrock; award 20 points

B. Vertical Contaminant Migration -Literature or well logs indicate that no confining layer is present above bedrock or within twenty feet of land surface; award 10 points

10

C. Horizontal Contaminant Migration -Data or observations indicate that no discharge points or aquifer discontinuities exist between the discharge, release or known extent of contamination and the nearest down gradient drinking water supply; award 5 points total

5

4. ENVIRONMENTAL VULNERABILITY ASSESSMENT

Contamination Concentrations

A. Existing Groundwater Quality -The worst case monitor or supply well, assign only one

- 1. At less than 10 times the 2L groundwater standards; award 5 points
- OR**
- 2. Between 10 and 100 times the 2L groundwater standards; award 20 points
- OR**
- 3. Greater than 100 times the 2L groundwater standards; award 40 points
- OR**
- 4. Free Product; award 80 points

20

Contaminant Types

A. Predominant Contamination Type

- 1. Low boiling point petroleum products (gasoline, aviation fuel); award 20 points
- 2. High boiling point petroleum products (fuel oil, kerosene, diesel fuel or similar products); award 0 points

20

SECTION II. Release Ranking

64

SECTION III. Source Abatement Assignment (Award Points and Assign Letter)

A. Abated or Unabated Contaminant Source

1. Emergency Situation, Assign Letter E (from Section II.1.)
OR
2. UST remains in active use and continues to discharge into the environment; Award 100 points and assign Letter A
OR
3. UST release has been abated. However, contaminated soil continues to release product or contaminants into the environment; Award 50 points and assign Letter D
OR
4. UST release has been abated. Contaminated soil has been removed or remediated; Award 0 points and assign Letter R

50 D

50 D

SECTION III. Source Abatement Assignment

SECTION IV. Risk, Rank and Abatement Score

Total: Risk, Rank and Abatement Score

L114D

(Insert risk letter from Section I, total all points from Section II and III, and insert abatement letter from Section III)

(e.g H750D)

Upon completion transfer final score to box on page 1.



UST Incidents Map

with Web AppBuilder for ArcGIS



Find address or UST Incide



(1 of 2)

RUST: FRESHWAY #782

Incident Number	3801
UST Number	RA-603
Incident Name	FRESHWAY #782
Facility ID	00-0-0000027273
Address	1616 RALEIGH ST.
City/Town	ROCKY MOUNT
County	EDGECE
Zip Code	27801-3665
Incident Manager's Initials	RKD
Regional Office Code	WAS
Date Incident Occurred	8/1/1988, 8:00 PM

[Zoom to](#)



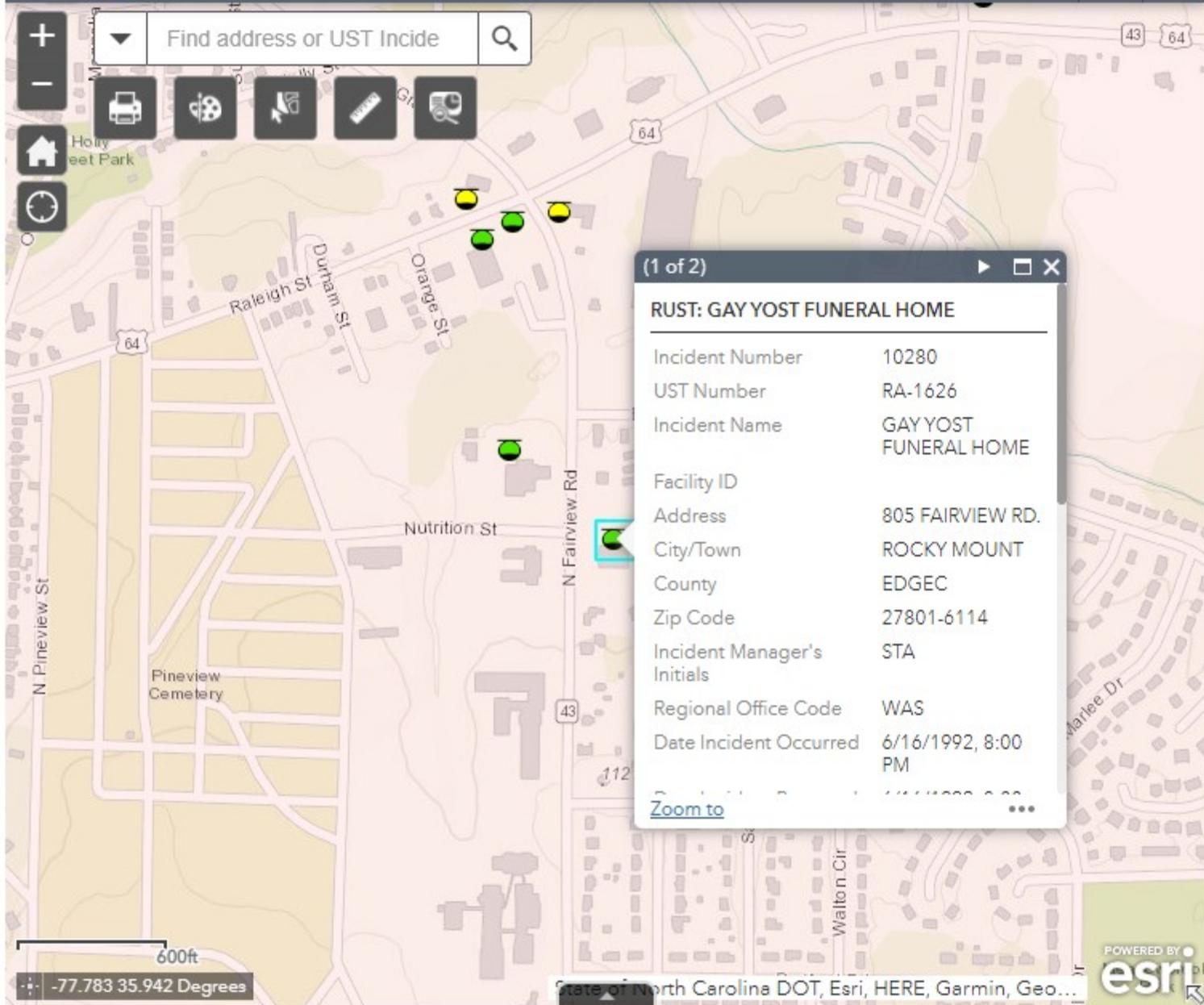
0.2mi
-77.784 35.950 Degrees

State of North Carolina DOT, Esri, HERE, Garmin, Geo...





Find address or UST Incide



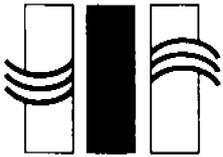
(1 of 2)

RUST: GAY YOST FUNERAL HOME

Incident Number	10280
UST Number	RA-1626
Incident Name	GAY YOST FUNERAL HOME
Facility ID	
Address	805 FAIRVIEW RD.
City/Town	ROCKY MOUNT
County	EDGE
Zip Code	27801-6114
Incident Manager's Initials	STA
Regional Office Code	WAS
Date Incident Occurred	6/16/1992, 8:00 PM

[Zoom to](#)

600ft
-77.783 35.942 Degrees



Environmental Aspecs, Inc.

Environmental Consulting, Testing & Inspection Services
Asbestos • Hazardous Waste • Industrial Hygiene

RECEIVED

AUG 27 1992

July 7, 1992

DEHNR-RAL RO

Mr. Carl W. Joyner
Centura Bank
PO Box 1220
Rocky Mount, North Carolina 27802

Re: Gay-Yost Funeral Home
Permanent Closure of Two USTs
Rocky Mount, North Carolina
EAI Job No. 80-923-1033

Dear Mr. Joyner:

Environmental Aspecs, Inc. (EAI) has completed the permanent closure report for two underground heating oil storage tanks (USTs) located on the Gay-Yost Funeral Home property at 805 Fairview Road in Rocky Mount, North Carolina. The two tanks were each 1000-gallons in capacity and each contained heating fuel (No. 2) for the funeral home. The tank closure activities were performed in accordance with North Carolina Administrative Code (NCAC) Subchapter 2N Sections .0802 through .0805 enforced by the North Carolina Department of Environmental Management (NCDEM). The tanks were buried beneath grass and dirt cover between the rear of the funeral home building and an asphalt driveway.

Authorization to remove the two tanks was given in the contract between EAI and Mr. Carl Joyner of Centura Bank as agent for the R. R. Gay heirs dated May 29, 1992. A permit was obtained from the City of Rocky Mount and the Rocky Mount Fire Department was notified of the removal of the tanks.

TANK REMOVAL

Excavation for the two heating oil tanks was initiated on June 15, 1992. The first 1000-gallon UST tank was unearthed and soils removed from one side of the tank to a depth of approximately 5 feet. Perched water was encountered in the excavation at a depth of approximately 3.5 feet. The backfill material consisted of sand which was brown in color. No staining or odors were observed in this material. This tank was removed from the excavation and examined. Only minor surface pitting of this steel tank was found. No sources of leaks were identified on the vessel.

6112 St. Giles Street, Suite 200, Raleigh, North Carolina 27612 • (919) 782-0090

Regional Offices: Florida • North Carolina • Pennsylvania

The second tank was unearthed in the same manner as the first, however the backfill around this tank was stained and odorous. It was reported that this tank was installed in 1960, it developed a leak in 1972 and was abandoned in place with approximately 200 gallons of material. The fill and vent pipes were unscrewed and removed and the holes plugged with soil. The tank was found to be full of water as it was unearthed. The walls of the tank were severely corroded and water poured through holes caused by pitting as the clay backfill was removed. The water contained evidence of contamination as it was both odorous and had an oily sheen. This water was pumped from the tank and the excavation into a holding tank that was disposed of by Ready Construction. A total of 1160 gallons of material were pumped from the tank and excavation. The tank was removed from the excavation and examined. Numerous holes in the tank walls were observed.

Both tanks were loaded onto a dump truck and transported to Ready Cons facility where they are cut open, cleaned then cut up for scrap. A copy of Disposal was supplied to EAI by Ready Construction.

*What happened
to 1160 gal of cont.
H₂O?*

SAMPLE SCREENING

EAI supervised the removal of the tanks and monitored the excavations for contaminated materials. All soils removed from the tank excavations were screened with an organic vapor analyzer (OVA) which detects the presence of organic vapors to .2 ppm (parts per million). Soils from the first tank excavation were not visibly stained or odorous and OVA field screening indicated less than 10 ppm from each sidewall and the floor of the excavation. Two samples, each from 7 feet in depth below the ends of the tank, were collected for laboratory testing. Soils excavated from the second tank were stained and odorous. These materials were stockpiled on an impermeable membrane on the subject site. OVA screening indicated the presence of up to 600 ppm of organic vapors. All of the backfill materials from this tank were removed and stockpiled. The sidewalls of the excavation were relatively impermeable silts and clays with some sand. The tank was resting on a concrete slab approximately 5' by 13' in dimension. Excavation of the sidewalls ceased when OVA scans were below 10 ppm. Approximately forty cubic yards of contaminated materials were removed from the excavation and stockpiled on site. The floor of the excavation was cleaned out and soil samples collected from very stiff silty clay approximately 1.5 feet below the concrete slab. This material was light gray in color and contained no stains or petroleum odors.

SAMPLING AND ANALYSIS

Soil samples were collected in accordance with EPA sampling guidelines utilizing stainless steel utensils and laboratory clean glass jars with Teflon lined lids. The containers were properly labeled and placed in a thermally insulated container with ice for transportation to the laboratory. Chain-of-Custody was maintained on the samples through submission to a licensed laboratory for analysis. Sample Numbers 1033-S1 and 1033-S2 were collected from below Tank 1 and Sample Numbers 1033-S3 and 1033-S4 were from below Tank 2. All four samples were analyzed for total petroleum hydrocarbons (TPH) by EPA Test Method 3550. The results of these tests indicated concentrations below the detection limit of the analytical equipment. Sample locations and site features are presented on the Site Plan attached to this report. Copies of site photographs, laboratory analysis and Chain-of-Custody records are also present in the Appendices.

CONCLUSIONS

Based on the UST closure activities and laboratory analyses, no further actions regarding subsurface materials investigations in the UST areas are necessary at this time. The contaminated soils excavated and stockpiled on the subject site will require additional services to remove them from the property. Options available for the treatment of these soils include on-site soil farming which due to the high clay content may exceed 6 months in remediation time and would require approximately an area 80 x 80 feet to spread onto plastic. The other options would entail transporting the material off-site to a permitted soil farm or a permitted brick factory for permanent disposal.

Sincerely,

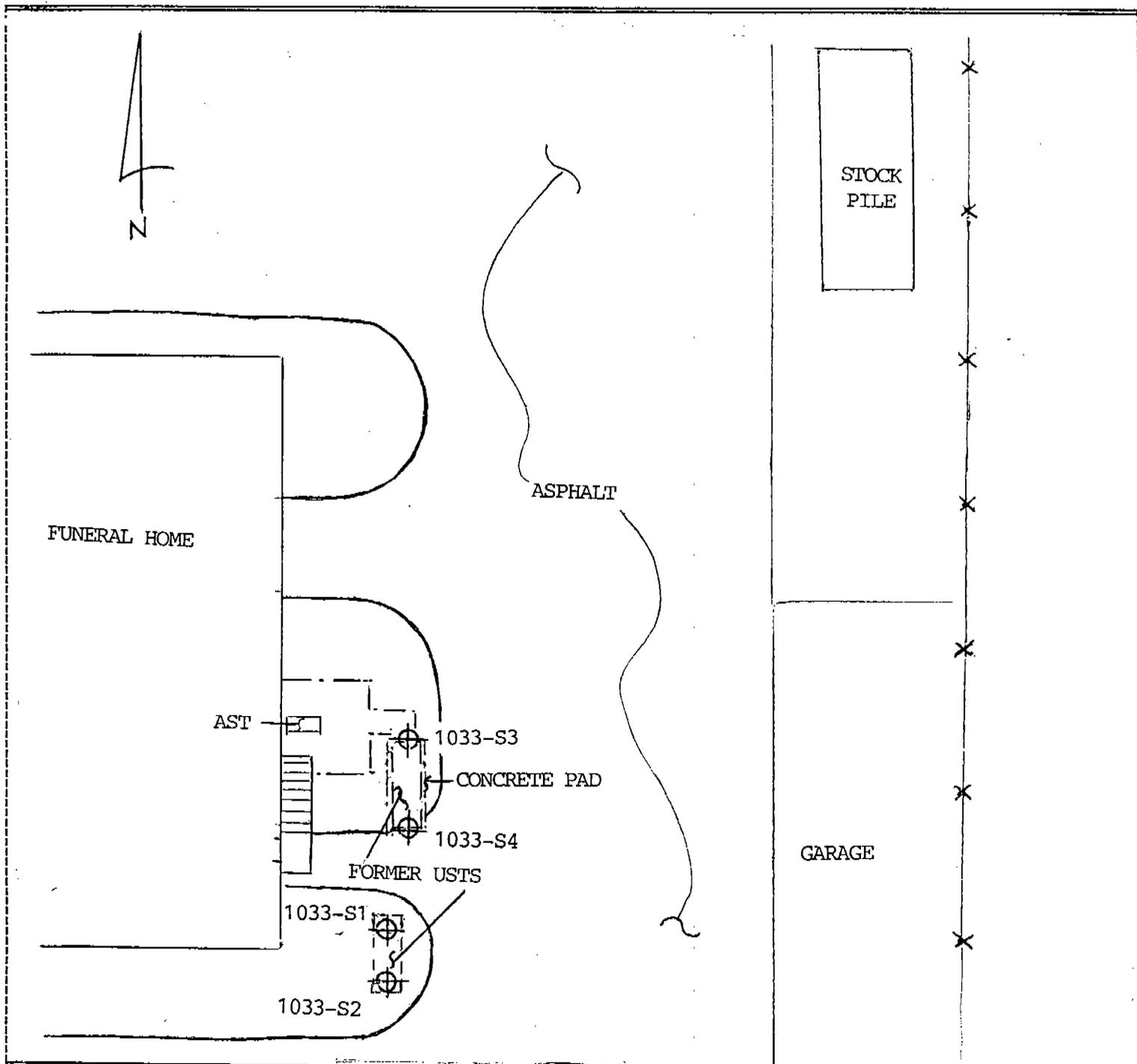
ENVIRONMENTAL ASPECS INC.



David B. Wells
Geologist

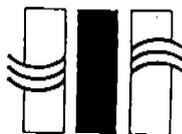


William M. Newman
Division Manager



Drawing Label:

GAY-YOST FUNERAL HOME
SITE PLAN

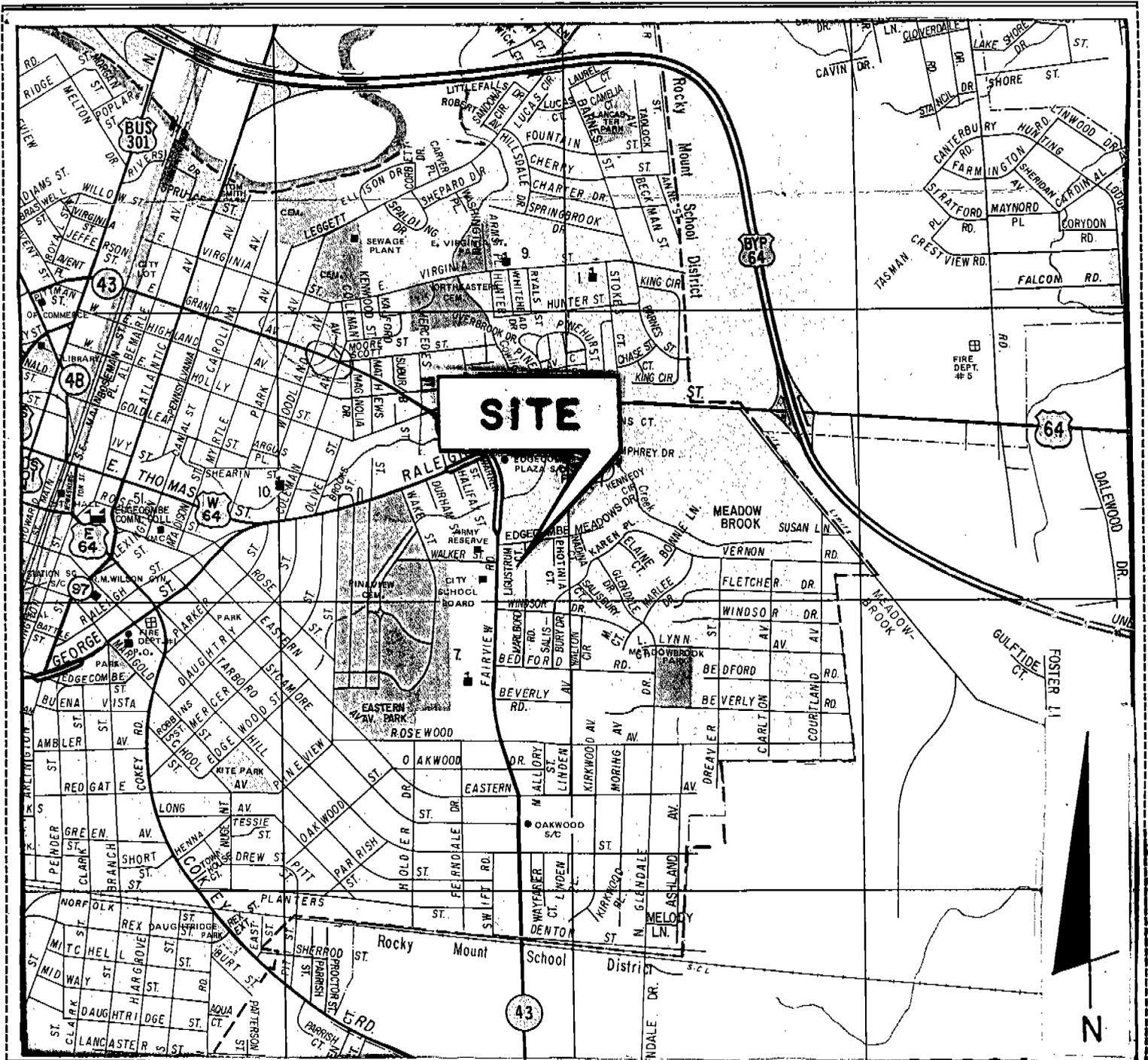


Environmental Aspecs, Inc.

Environmental Consulting, Testing & Inspection Services
Asbestos • Hazardous Waste • Industrial Hygiene

6112 St. Giles Street, Suite 200; Raleigh, NC 27612
Phone (919) 782-0090 Fax (919) 782-0119

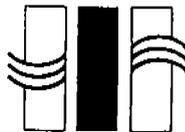
Scale:	Drawn by:	Checked by:	Date:	Project No:	Drawing No:
NA	EAI	DBW	6-26-92	1033	NA



Drawing Label:

GAY-YOST FUNERAL HOME

LOCATION MAP

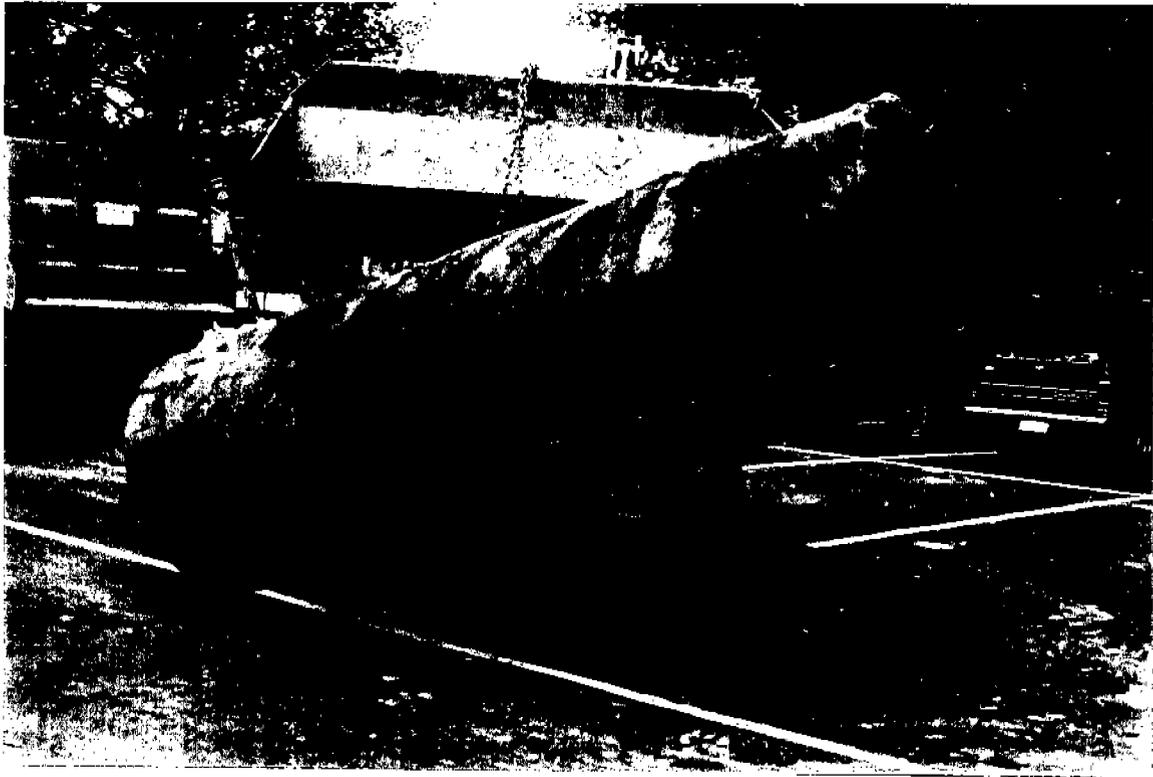


**Environmental
Aspecs, Inc.**

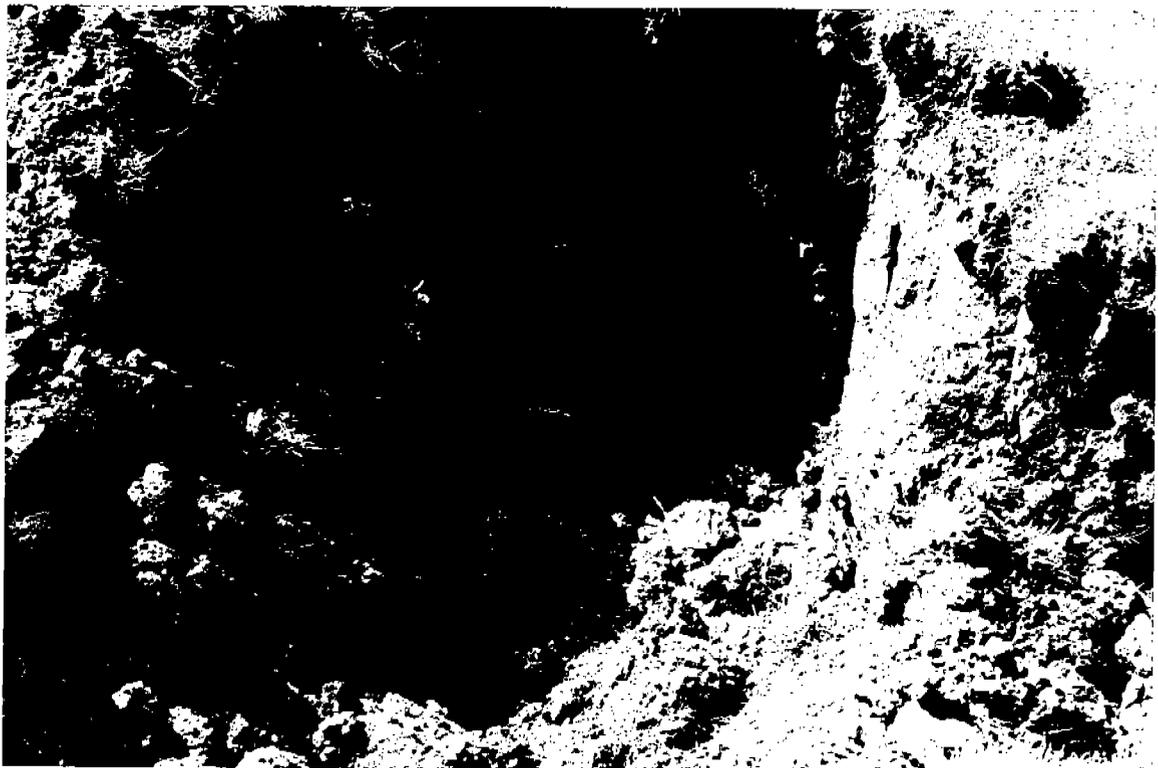
Environmental Consulting, Testing & Inspection Services
Asbestos • Hazardous Waste • Industrial Hygiene

6112 St. Giles Street, Suite 200; Raleigh, NC 27612
Phone (919) 782-0090 Fax (919) 782-0119

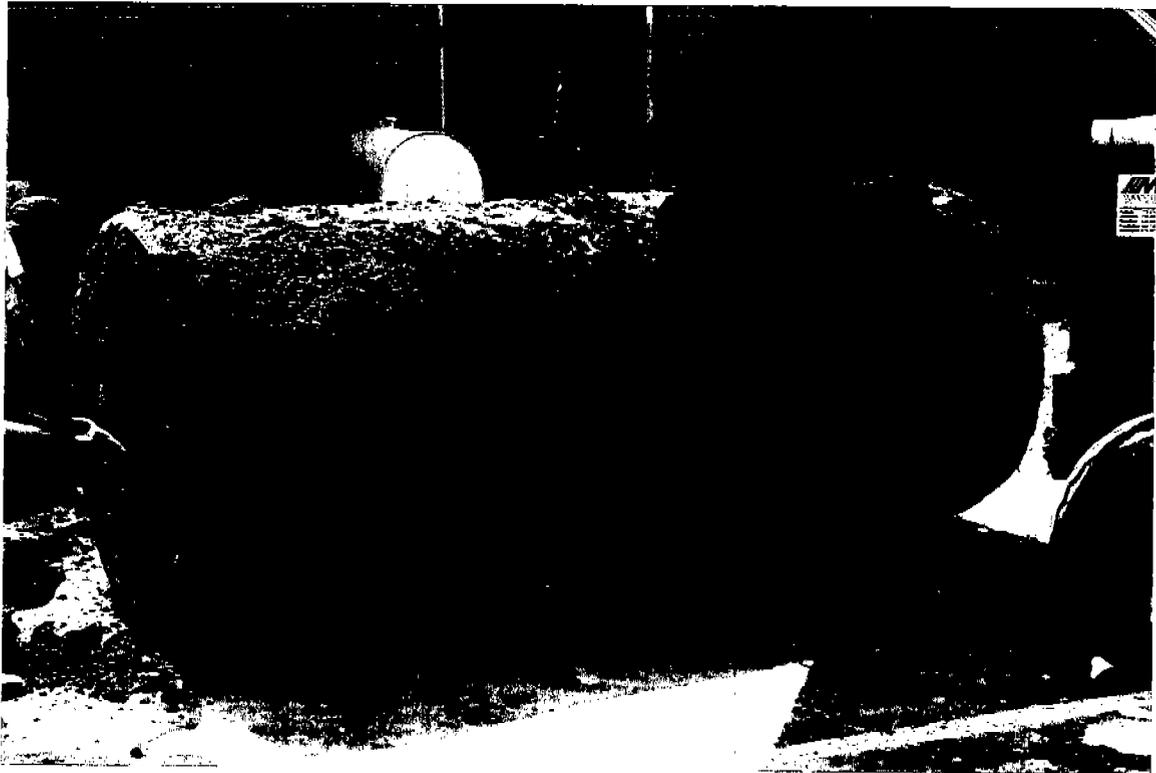
Scale:	Drawn by:	Checked by:	Date:	Project No:	Drawing No:
NA	NA	DBW	6-26-92	1033	NA



1. Tank 1 as removed from excavation.



2. Tank 2 with liquid pouring from corroded walls into excavation.



3. Tank 2 as removed from excavation.



4. View of contaminated soils stockpiled on site.

DIVISION OF ENVIRONMENTAL MANAGEMENT
Ground Water Section
December 22, 1992

MEMORANDUM

TO: George Matthis
THROUGH: Jay Zimmerman
FROM:  Nile Testerman 7/10/92
SUBJECT: NonCommercial Trust Fund
Gay Yost Funeral Home
Rocky Mount, Edgecombe County

Attached is a noncommercial trust fund reimbursement package for work completed from June 15, 1992. A 1000-gallon heating oil tank was removed on that day. The tank was last used in 1972 and was owned by Gay Yost Funeral Home, which is now owned by three people and a trust. Power of attorney documents were requested on December 14, 1992 from Centura Bank in a telephone conversation between Mr. Carl Joyner of Centura Bank and Mr. Nile Testerman. Centura Bank responded by submitting documentation that Centura Bank is acting as the agent for the heirs. Enclosed is an agreement between the owners and Centura Bank. Also enclosed is a contract between Centura Bank and Environmental Aspects as the request is for dual reimbursement.

The work appears to be reasonable and necessary. If there are any questions, please call Mr. Nile Testerman at 571-4700.



Map navigation controls including zoom in (+), zoom out (-), home, and a search bar with the text "Find address or UST Incide". Below the search bar are icons for print, full screen, and other map functions.

(1 of 2) [Close] [Previous] [Next]

RUST: U S ARMY RESERVE-ROCKY MOUNT

Incident Number	15925
UST Number	RA-2452
Incident Name	U S ARMY RESERVE-ROCKY MOUNT
Facility ID	
Address	804 FAIRVIEW ROAD
City/Town	ROCKY MOUNT
County	EDGECLIFF
Zip Code	27801-6115
Incident Manager's Initials	STA
Regional Office Code	WAS
Date Incident Occurred	8/20/1990, 8:00 PM

[Zoom to](#) [More]

600ft
-77.783 35.943 Degrees



Department of Environment and Natural Resources
Raleigh Regional Office

Michael F. Easley, Governor
William G. Ross Jr., Secretary



**DIVISION OF WASTE MANAGEMENT
UST SECTION**

June 11, 2001

**Department of the Army
Headquarters, 120th U. S Army Reserve Command
Fort Jackson, SC 29207-6070**

**RE: Notice of No Further Action
15A NCAC 2L .0115(h)
RISK-BASED ASSESSMENT AND
CORRECTIVE ACTION FOR PETROLEUM
UNDERGROUND STORAGE TANKS**

**US Army Reserve Center
804 Fairview Road
Rocky Mount, NC
Incident #: 15925**

Dear Sir/Madam:

On April 6, 1993 the Division of Waste Management (DWM) Raleigh Regional Office, received a Environmental investigation Report for the above-referenced site. A review of the report indicates that One 3,000 gallon # 2 fuel oil UST was removed on August 1990. The remaining unsaturated soil in the sidewalls and at the base of the UST system excavation does not contain contaminant levels which exceed either the residential or soil-to-groundwater maximum soil contaminant concentrations established in 15A NCAC 2L .0115(m) or the soil cleanup levels established by the Department in the *Groundwater Section Guidelines for the Investigation and Remediation of Soil and Groundwater* (March 1997).

Based on information provided to date, the DWM classifies the risk posed by the discharge or release as low risk and determines that no further action is required for this incident. This determination shall apply unless the DWM later determines that the discharge or release poses an unacceptable risk or a potentially unacceptable risk to human health or the environment.

This no further action determination only applies to **Under Ground Storage Tanks** of the **above-referenced incident** and that for any other incidents, the responsible party is expected to continue to address the contamination as required by the applicable rules and in accordance with any previously issued notices.

Pursuant to 15A NCAC 2L .0115(e), you have a continuing obligation to notify the DWM of any changes that you know of or should know of, that might affect the level of risk assigned to the discharge or release.

If you have any questions, please contact Zahid Baloch at 919-571-4700.

Sincerely,



Robert K. Davies, L.G.
UST Section Regional Supervisor

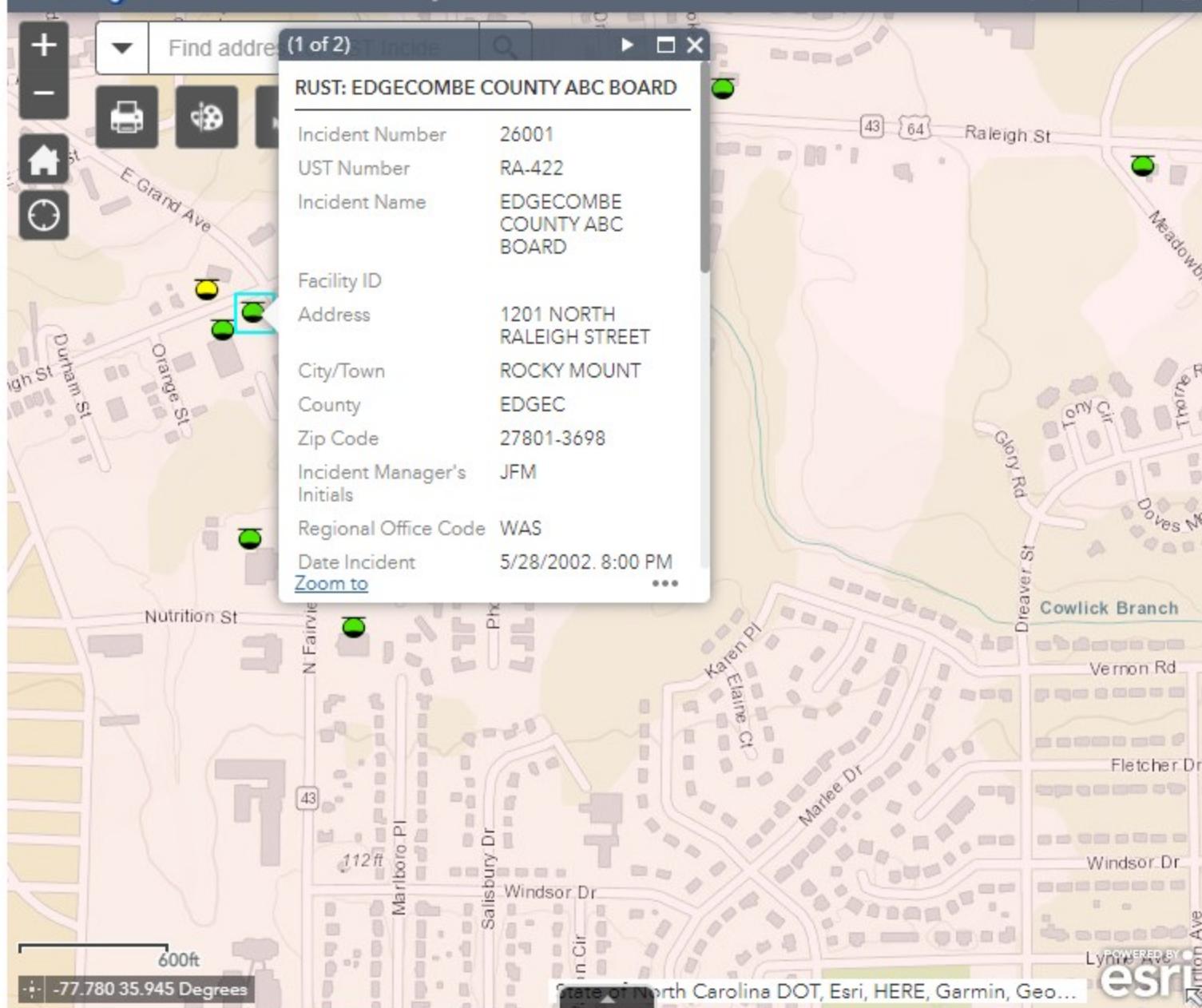
cc: Incident Management Files
Faye Sweat - Central Office

Find address (1 of 2)

RUST: EDGECOMBE COUNTY ABC BOARD

Incident Number	26001
UST Number	RA-422
Incident Name	EDGECOMBE COUNTY ABC BOARD
Facility ID	
Address	1201 NORTH RALEIGH STREET
City/Town	ROCKY MOUNT
County	EDGE
Zip Code	27801-3698
Incident Manager's Initials	JFM
Regional Office Code	WAS
Date Incident	5/28/2002. 8:00 PM

[Zoom to](#)



600ft
-77.780 35.945 Degrees

North Carolina
Department of Environment and Natural Resources
Raleigh Regional Office

Michael F. Easley, Governor
William G. Ross Jr., Secretary
Dexter R. Matthews, Director



DIVISION OF WASTE MANAGEMENT
UST SECTION
September 9, 2002

Ms. Linda Rogers
Edgecombe County ABC Board
P.O. Box 398
Tarboro, NC 27886

RE: Notice of No Further Action
15A NCAC 2L .0115(h)
RISK-BASED ASSESSMENT AND CORRECTIVE ACTION FOR
PETROLEUM UNDERGROUND STORAGE TANKS

Edgecombe County ABC Board - Property
Facility # N/A
1201 North Raleigh Street
Rocky Mount, NC
Edgecombe County
Incident # Pending # 26001

Dear Ms. Rogers:

On March 21, 2002, the UST Section received an Underground Storage Tank (UST) **Phase II Environmental Audit Report** for the above-referenced site. A review of the report shows that soil contamination does not exceed the residential or soil-to-groundwater maximum soil contaminant concentrations established in 15A NCAC 2L .0115(m), whichever are lower.

Based on information provided to date, the DWM classifies the risk posed by the discharge or release as low risk and determines that no further action is required for this incident. This determination shall apply unless the DWM later determines that the discharge or release poses an unacceptable risk or a potentially unacceptable risk to human health or the environment.

Please be advised that you must close any monitoring wells or injection wells used to investigate or remediate this incident in accordance with 15A NCAC 2C .0113 and .0214, respectively. For guidance on closure of infiltration galleries, please contact The Division of Water Quality, Groundwater Section.

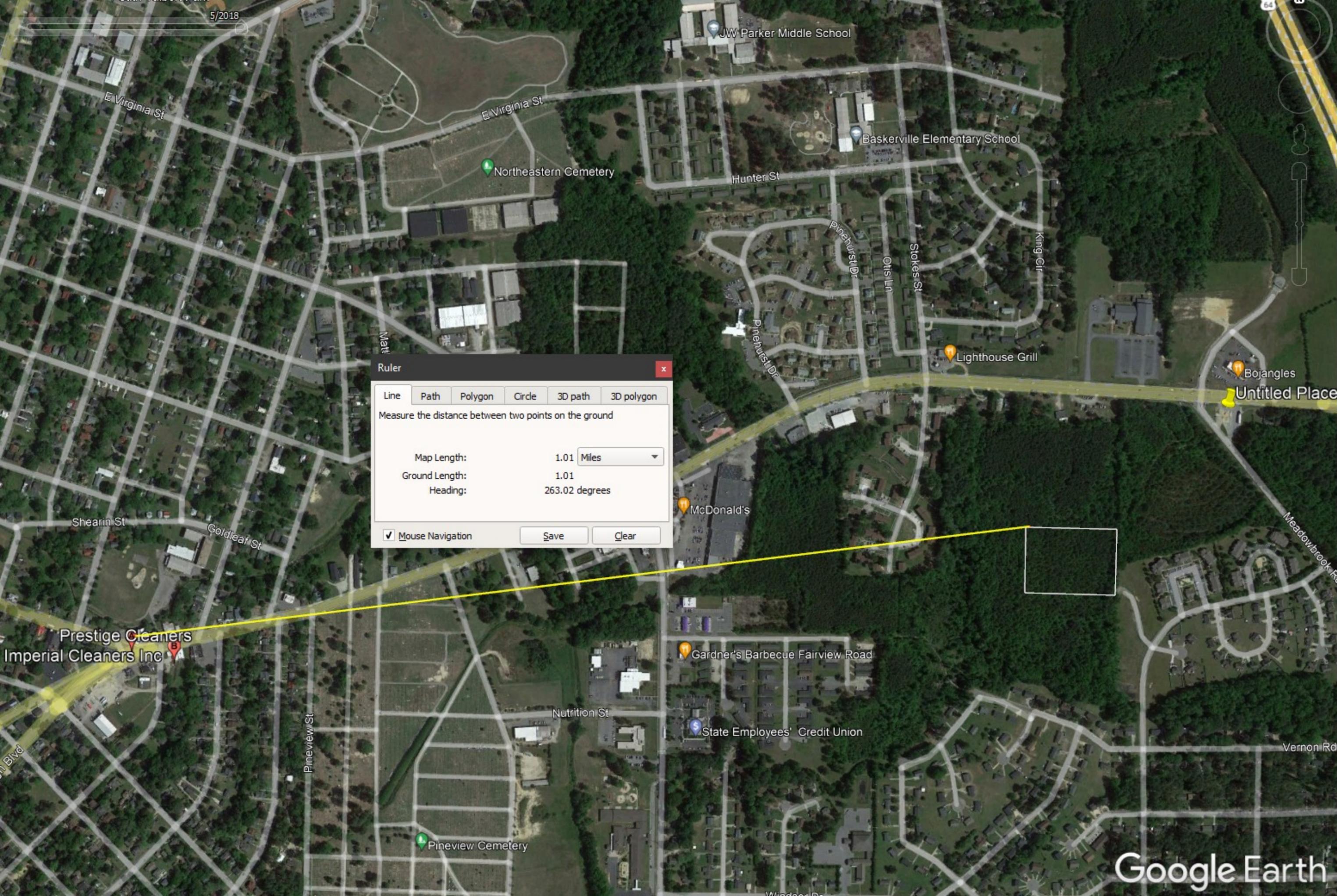
Pursuant to 15A NCAC 2L .0115(e), you have a continuing obligation to notify the DWM of any changes that you know of or should know of, that might affect the level of risk assigned to the discharge or release.

Should you have any questions, please contact John F. Maloy at the letterhead address or at (919) 571-4700

Sincerely,

Robert K. Davies, L.G.
UST Section Regional Supervisor

cc: Fay Sweat - Central Office
Raleigh Regional Office
Edgecombe County Health Department



Ruler

Line Path Polygon Circle 3D path 3D polygon

Measure the distance between two points on the ground

Map Length: 1.01 Miles

Ground Length: 1.01

Heading: 263.02 degrees

Mouse Navigation

Save Clear

Prestige Cleaners
Imperial Cleaners Inc

Related Topics: [Envirofacts](#)[Home](#) | [Multisystem Search](#) | [Topic Searches](#) | [System Data Searches](#) | [About the Data](#) | [Data Downloads](#) | [Widgets](#) | [Services](#) | [Mobile](#) | [Other Datasets](#)[Data Disclaimer](#)**RCRAInfo Facility Information**[<< Return](#)**NCSCA DC330002(THORNE'S DRY CLEANERS)**

Handler ID: NCR000148726

502 ROSE ST

ROCKY MOUNT, NC 27801

County Name: EDGECOMBE**Latitude:** 35.94073**Longitude:** -77.78738**Hazardous Waste Generator:****Owner Name:** FELLOWSHIP OF CHRIST CHURCH**You can navigate within the map with your mouse.*

Ruler

Line Path Polygon Circle 3D path 3D polygon

Measure the distance between two points on the ground

Map Length: 1.07 Miles

Ground Length: 1.07

Heading: 81.85 degrees

Mouse Navigation

Save Clear

Shearin St

Goldleaf St

Matthews St

McDonald's

Lighthouse Grill

Thorne Dry Cleaners

502 Rose St

Gardner's Barbecue Fairview Road

State Employees' Credit Union

Nutrition St

Pineview Cemetery

DS Johnson Elementary School

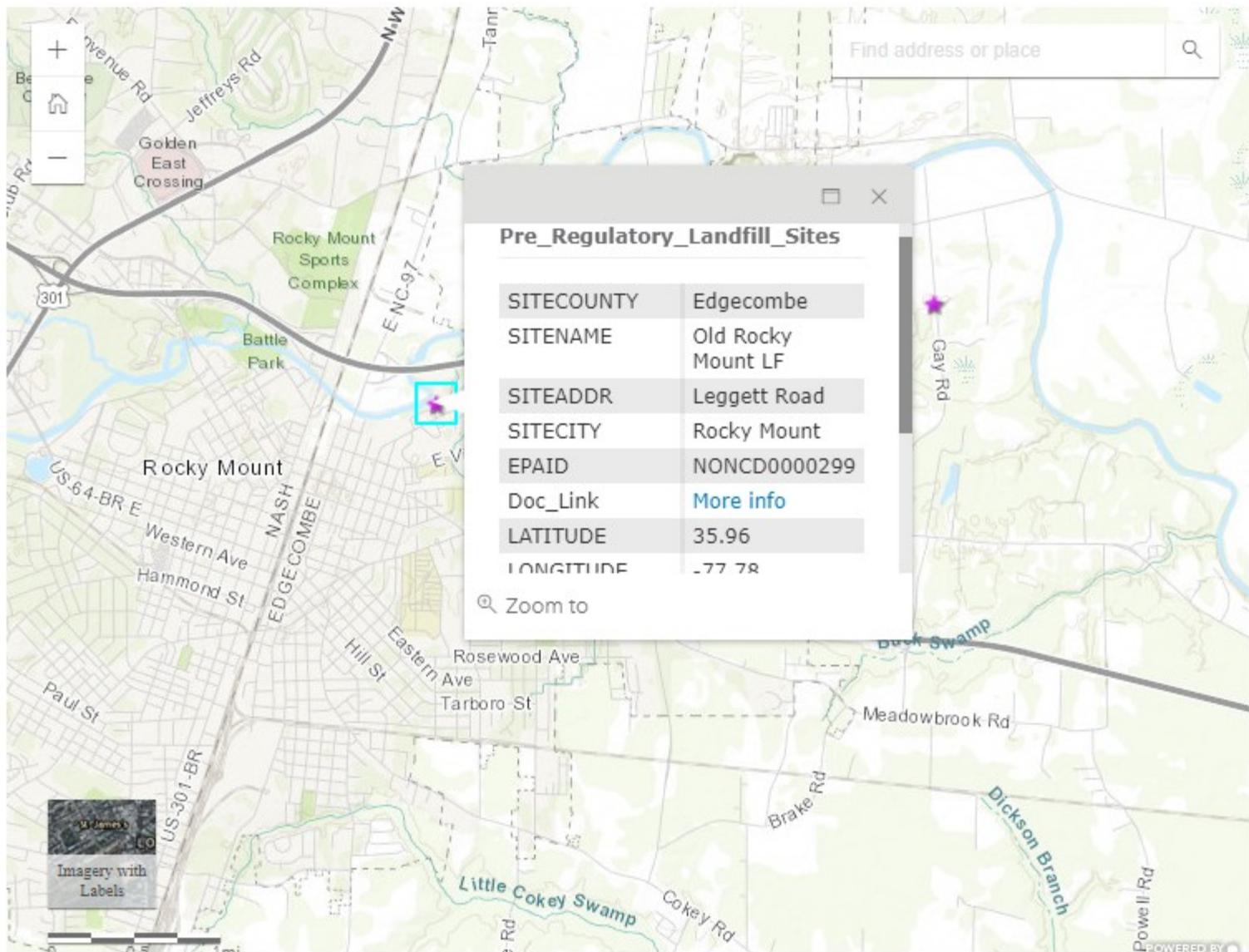
Windsor Dr

E Raleigh Blvd

Pineview St

Pre-Regulatory Landfills Map

This interactive map is a tool to assist you for locating pre-1983 municipal landfills. Regulatory decisions are not bound by this map.





ROY COOPER
Governor

MICHAEL S. REGAN
Secretary

MICHAEL SCOTT
Director

March 22, 2017

Rocky Mount Planning Department
Att: Planning Director
331 S. Franklin St
Rocky Mount, NC 27802

Re: Notice of Pre-Regulatory Landfill Location
Old Rocky Mount LF
Leggett Rd (35.955171, -77.779120)
Site ID# NONCD0000299

To Whom It May Concern:

The North Carolina Department of Environmental Quality, Division of Waste Management (Division), Pre-Regulatory Landfill Unit is making you aware of the location of an identified Pre-Regulatory Landfill, referenced above along with the latitude and longitude coordinates of site's entrance. A Pre-Regulatory Landfill (PRLF) is any landfill that accepted municipal waste prior to January 1, 1983.

Often old closed landfills are not well marked or easily identified. In that your office is involved in development, you may contact our program for additional information as pockets of waste may be unearthed by developers which may cause unknown risks to workers and the environment and result in improper re-disposal of the material. Our office addresses old uncontrolled dumps and landfills that operated before regulations were in place controlling what went in the landfill. A couple of resources available through the Divisions website include online records and a map of known locations of pre-regulatory landfills.

If you would like to view the records the Division has on this PRLF, you can visit the Division's online documents at <http://deq.nc.gov/Waste-Management-laserfiche> and click on *Superfund Customers* to access instructions and weblink. The ID# provided above should be entered into the ID search field to the left of the webpage, no other information needs to be entered.

To view the Division's online map of PRLF known locations visit <http://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/waste-management-gis-maps> in the View Map column (1st column) of the table scroll down and select *Pre-Regulatory Landfill Sites*. The interactive map of the PRLFs allows the user to enter the address, the general area of the known waste disposal site is marked by a purple star.

If any imminent plans of development or redevelopment of the PRLF referenced above are proposed, please contact: Cheryl Marks, Pre-Regulatory Landfill Unit Supervisor at 919-707-8333 or by e-mail, cheryl.marks@ncdenr.gov. If you have any questions or concerns, please contact me by e-mail katie.tatum@ncdenr.gov or call 919-707-8155.

Sincerely,

Katie Tatum
Environmental Specialist
Division of Waste Management

Appendix VI – Vapor Encroachment Screening



Attachment - Tier 1 Vapor Encroachment Screening Report

◆ Introduction

S&ME has conducted a Phase I Environmental Site Assessment (ESA) for the subject Property located at 2040 Dreaver Street (Soon to be Glory Road) in Rocky Mount, Edgecombe County, North Carolina. The Phase I ESA was performed in accordance with American Society for Testing and Materials (ASTM) E1527-13, *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process* (ASTM 2013), which requires the consideration of confirmed or potential releases of hazardous substances and/or petroleum products that may pose a threat of contamination to the subject property, including an evaluation of the potential migration of vapors. The evaluation of potential migration of contaminant vapors for this Phase I ESA, herein referred to as a Tier 1 Vapor Encroachment Screening (VES), was accomplished utilizing procedures described as Tier 1 Screening in ASTM E2600-15, *Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions* (ASTM 2015) and, if applicable, using the refined search distances presented by Buonicore (2009), as described below.

◆ Purpose

The purpose of this VES is to assist in evaluating the existence of Vapor Encroachment Conditions (VECs) at the subject property. The VES was performed to identify releases or potential releases of chemicals of concern on or near the subject property and to evaluate the likelihood of vapors migrating from the releases via the subsurface to the subject property. The presence or likely presence of vapors containing chemicals of concern in the subsurface of the subject property constitutes a VEC, and may also constitute a *recognized environmental condition* (REC), as defined by ASTM E1527-13.

◆ Evaluation Process

The following information was reviewed during the Tier 1 VES to identify releases or potential releases of chemicals of concern on or near the subject property and to evaluate the likelihood of vapors migrating from the releases via the subsurface to the subject property:

- The type of contaminant (petroleum product vs. non-petroleum product known or suspected to have been stored on-site or at identified off-site sources;
- The distance between identified off-site sources and the nearest subject property boundary;
- Information of known or assumed groundwater flow directions(s) with respect to the subject property;
- The potential for preferential pathways or barriers to exist between the identified off-site sources and the subject property boundary; and,
- Physical setting and other information sources.

The ASTM E 2600-15 Tier 1 Screening process recommends initial screening distances to estimate contaminant plume length and width with no empirical plume data. In cases where the direction of groundwater flow is known or can be reasonably assumed, those distances were refined under a conservative scenario using calculations presented by Buonicore (2009). The resulting vapor screening distances (*i.e.*, distances from a potential off-site contaminant source to the nearest boundary of the subject property) are presented in Table 1 with respect to the type of contaminant and the known or presumed direction of groundwater flow.



Table 1 - VES Area of Concern (AOC) Screening Distances

Contaminant Type	Source Location with respect to the nearest Subject Property boundary and considering known or assumed groundwater flow direction ⁽³⁾		
	Up-gradient	Cross-gradient	Down-gradient
Non-petroleum COC ⁽¹⁾ (see ASTM E 2600-15, Appendix X6)	1,760 feet (1/3 rd mile)	365 feet	100 feet
Petroleum COC NAPL ⁽²⁾	528 feet (1/10 th mile)	165 feet	100 feet
Petroleum COC Dissolved	528 feet (1/10 th mile)	95 feet	30 feet

Notes: (1) COC – Chemicals of Concern
 (2) NAPL – Non Aqueous Phase Liquid (i.e., free product)
 (3) Groundwater Flow Direction – if not known or assumed, use search distance of 1,760 feet for up-gradient, cross-gradient, and down-gradient

◆ Results

Based on our review of information collected as part of the Phase I ESA process, the subject Property was not identified as a potential vapor contaminant source. Potential off-site contaminant sources were evaluated with respect to the process, screening distances, type of contaminant, and known or assumed groundwater flow direction. No off-site facilities were identified within the AOC.

◆ Conclusions

Based on the processes described herein, the following conclusions were drawn from this VES: a VEC with respect to the subject Property does not exist.

◆ References

- American Society for Testing and Materials. 2013. *Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process E 1527-13*, Philadelphia, PA.
- American Society for Testing and Materials. 2015. *Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions E 2600-15*, Philadelphia, PA.
- Buonicore, A.J. 2009. *A Smaller Intrusion*. pp. 26-31, May 2009.



◆ **Signature of Environmental Professional**

A handwritten signature in cursive script that reads "Chris Daves".

Chris Daves, P.W.S.

Senior Scientist

October 22, 2021

Date

Appendix VII – Contract and User-Provided Information



AGREEMENT FOR SERVICES

Form AS-071

Date: September 20, 2021	Job Number: 218540
S&ME, Inc. (hereafter Consultant)	Client Name: Bradley Housing Developers, (hereafter Client) LLC
Address: 134 Suber Road City: Columbia State: SC Zip: 29210	Address: 709 North Main Street, Suite 200 City: Aynor State: SC Zip: 29511
Telephone: 803-561-9024 Fax: 803-561-9177	Telephone: 843-358-4886 Fax:
PROJECT	
Project Name: East Haven Apartments HUD Project Project location: (Street Address) 1040 Dreaver Street City: Rocky Mount State: NC Zip: 27801	
SERVICES TO BE RENDERED	
Proposal Number: 218540 dated: September 20, 2021 is incorporated into this Agreement For Services and this Agreement For Services is incorporated into this Proposal.	

Client desires to contract with Consultant for the Services to be Rendered ("Services") on Client's Project, as contained in Consultant's Proposal. The Proposal and Client's Project are referenced immediately above.

THEREFORE, in consideration of the Mutual Covenants and Promises included herein, Client and Consultant agree as follows:

- ACCEPTANCE:** Client hereby accepts this offer by Consultant to provide the Services as contained in Consultant's Proposal and agrees that such Services and any additional Services performed by Consultant shall be governed by this Agreement. If Client directs that Services commence prior to execution of this Agreement, Client agrees that commencement of Services by Consultant is acceptance of the terms of this Agreement. **CLIENT MAY ACCEPT THIS AGREEMENT FOR SERVICES THROUGH THE USE OF CLIENT'S PURCHASE ORDER, HOWEVER ALL PREPRINTED TERMS AND CONDITIONS ON CLIENT'S PURCHASE ORDER ARE INAPPLICABLE, ARE EXPRESSLY REJECTED, AND THE TERMS OF THIS AGREEMENT SHALL GOVERN.** Unless this offer is previously accepted, it will be withdrawn automatically at 5:00 pm EST, thirty (30) days from the date of issue.
- CONTRACT DOCUMENTS:** "Contract Documents" shall mean this Agreement for Services the Proposal identified under "SERVICES TO BE RENDERED," and all mutually executed Change Orders. This Agreement for Services along with the Contract Documents represent the entire understanding and agreement between the parties relating to the Services and supersedes any and all prior negotiations, discussions, and agreements, whether written or oral, between the parties regarding same. Any terms and conditions which Client is obligated to perform or satisfy, whether by law or contract, or proposed in any acknowledgments or acceptance by Client which are in addition to, or different from, this Agreement for Services along with the Contract Documents are hereby expressly rejected and shall not become part of the agreement between the

parties without Consultant's specific written consent. Any acceptance by Client is limited to acceptance of the express terms set forth in this Agreement for Services.

3. **SCOPE OF SERVICES:** Unless otherwise stated in writing, Client assumes sole responsibility for determining whether the quantity and the nature of the services included in Consultant's proposal received by Client are adequate and sufficient for Client's intended purpose. Client shall communicate the provisions of this Agreement for Services to each and every third party to whom Client transmits any part of Consultant's work. Consultant shall have no duty or obligation to any third party except as specifically set forth in Consultant's proposal.

Consultant has provided Client with the Proposal identified under "Services to be Rendered." By signing below, Client agrees that Client or the Client's representative has examined Consultant's proposal, which includes a scope of work to be performed by Consultant, an opinion on the cost to perform Consultant's scope of work, and an opinion on the amount of time required to perform Consultant's scope of work along with any other documents, opinions, or advice prepared or provided by Consultant and Client agrees that Client is fully satisfied with Consultant's Proposal and Client obtained the advice of any other consultant(s) as the Client deems necessary to protect the Client's interests. Client also agrees by signing below it is responsible for requesting additional services not included in Consultant's proposal and if necessary, Client agrees it is responsible (even if delegated to a third party) for notifying and scheduling Consultant so Consultant can perform the Services. Consultant shall not be responsible for damages caused by services not performed due to any failure to request or schedule Consultant's Services. If project conditions change materially from those described to Consultant at the time of proposal, Consultant is entitled to a change order equitably adjusting its Services and fee.

Consultant shall not supervise, direct or have control over the Client's work nor have any responsibility for the construction means, methods, techniques, sequences or procedures selected by the Client's contractor and/or agents. These rights and responsibilities are solely those of the contractor or agent in accordance with its' agreement with Client. Only Client has the right to reject or stop work of its contractor or agents. Consultant's presence on site does not in any way guarantee the completion, quality or performance of the work by any other party retained by Client. Consultant does not guarantee the performance of any contractor or agent of Client and shall not be responsible for the such party's failure to perform its' work in accordance with any applicable documents, including but not limited to, the plans and specifications or any applicable laws, codes, rules or regulations.

4. **CHANGE ORDERS:** Client may request changes to the scope of Services by altering or adding to the Services to be performed. If Client so requests, Consultant will provide a change order proposal including Client's requested changes to the scope of Services for Client's review and approval. Following Client's approval, Client shall provide written acceptance and such Change Order Proposal shall become part of the Contract Documents and shall supersede any prior conflicting terms. If Client does not follow these procedures, but instead directs Consultant to perform changed or additional work without an executed change order, (1) the Services are changed according to Consultant's understanding of Client's direction; and (2) and Consultant will be paid for this work according to the current fee schedule plus fifteen percent (15%).
5. **PAYMENT:** Client will pay Consultant for Services and expenses in accordance with the Contract Documents. If prices for Services are not specified in the Contract Documents, Consultant's current fee schedule in effect for the type of services performed shall control. Unless otherwise agreed prior to the start of the Services, Consultant will submit invoices to Client monthly and a final invoice upon completion of Services. Payment is due upon receipt of the invoice unless otherwise agreed to in writing prior to the submittal of the invoice. Invoices are past due 30 calendar days after the date of the invoice. Past due amounts are subject to a late fee of one and one-half percent per month (18 percent per annum) or the highest amount allowed by applicable law on the outstanding balance, whichever is less. Attorney's fees and other costs incurred in collecting past due amounts shall be paid by Client. The Client's obligation to pay under this Agreement is in no way dependent upon the Client's ability to obtain financing, payment from third parties, approval of governmental or regulatory agencies, or Client's successful completion of the Project. In addition,

CONSULTANT reserves the right to suspend the performance of all services in any case where invoices remain unpaid more than sixty (60) days from the invoice date.

To verify the CLIENT's requirements for appropriate invoicing, the following information is requested.

CLIENT Accounts Payable contact name:

CLIENT Accounts Payable contact phone number:

CLIENT Accounts Payable email address:

Upon execution of this document, CONSULTANT will reach out to the contact provided to gather CLIENT's required information such as purchase order number, client project number, email address or website for invoice submission, monthly deadline for invoice submission, CLIENT legal entity name for invoicing, CLIENT address for invoicing, etc.

6. **STANDARD OF CARE:** Consultant and its agents, employees and subcontractors shall endeavor to perform the Services for Client with that degree of care and skill ordinarily exercised, under similar circumstances, by consultants practicing in the same discipline at the same time and location. In the event any portion of the Services fails to substantially comply with this standard of care obligation and Consultant is promptly notified in writing prior to one year after completion of such portion of the Services, Consultant will re-perform such portion of the Services, or if re-performance is impractical, Consultant will refund the amount of compensation paid to Consultant for such portion of the Services. **CONSULTANT MAKES NO WARRANTIES OR GUARANTEES, EXPRESS OR IMPLIED, RELATING TO CONSULTANT'S SERVICES AND CONSULTANT DISCLAIMS ANY IMPLIED WARRANTIES OR WARRANTIES IMPOSED BY LAW, INCLUDING WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.**
7. **LIMITATION OF LIABILITY:** Client and Consultant have evaluated the risks and rewards associated with this project, including Consultant's fee relative to the risks assumed, and agree to allocate certain of the associated risks. To the fullest extent permitted by law, Consultant's aggregate liability to Client, including that of Consultant's officers, directors, employees and agents, is limited to \$100,000, hereinafter referred to as LIMITATION OF LIABILITY. This LIMITATION OF LIABILITY applies to all lawsuits, claims or actions, whether identified as arising in tort, INCLUDING NEGLIGENCE (WHETHER SOLE OR CONCURRENT), PROFESSIONAL ERROR OR OMISSIONS, BREACH OF WARRANTY (EXPRESS OR IMPLIED), NEGLIGENT MISREPRESENTATION, AND STRICT LIABILITY, contract, or other legal theory, including without limitation, Consultant's indemnity obligations to Client related to the Services provided in this Agreement and any continuation or extension of Consultant's Services.

By entering into this Agreement, Client acknowledges that this LIMITATION OF LIABILITY provision has been reviewed, understood and is a material part of this Agreement, and that Client has had an opportunity to seek legal advice regarding this provision.
8. **NO CONSEQUENTIAL DAMAGES:** In no event shall Consultant or Client be liable to the other for any special, indirect, incidental or consequential loss or damages, including, but not limited to, lost profits, damages for delay, or loss of use arising from or related to Services provided by Consultant.
9. **INSTRUMENTS OF SERVICE:** In connection with the performance of the Services, Consultant may deliver to Client reports, drawings, specifications, computer files, field data, notes, and other documents and instruments prepared by the Consultant reflecting Services provided and the results of such Services ("Instruments of Service"). Statements made in Consultant's Instruments of Service are opinions based upon engineering judgment and are not to be construed as representations of fact. All Instruments of Service, other written documents, all original data gathered by Consultant and work papers produced by Consultant in the performance of or intrinsic to the Services included in the Services are, and shall remain, the sole and exclusive property of Consultant. Files shall be maintained in general accordance with Consultant's document retention policies and practices.

10. **SAFETY:** Consultant is solely responsible for the safety and health of Consultant's employees. Consultant shall take necessary precautions for the safety of its employees. Consultant has no authority and no responsibility for general job safety and for the safety of persons who are not employed by Consultant. Should Client, or third parties, be conducting activities on the Site, then each shall have responsibility for their own safety and compliance with applicable safety requirements.
11. **SAMPLES:** Samples are consumed in testing or disposed of upon completion of tests (unless stated otherwise in the Services).
12. **HAZARDOUS MATERIALS:** Nothing contained within this agreement shall be construed or interpreted as requiring Consultant to assume the status of an owner, operator, generator, storer, transporter, treater or disposal facility as those terms appear within RCRA or within any Federal or State statute or regulation governing the generation, transportation, treatment, storage and disposal of pollutants. Client retains full responsibility for compliance with the provisions of RCRA and any other Federal or State statute or regulation governing the handling, treatment, storage and disposal of pollutants.
13. **CLIENT OBLIGATIONS:**
- (a) Client warrants that all information provided to Consultant regarding the Project and Project location are complete and accurate to the best of Client's knowledge.
- (b) Client agrees to furnish (or obtain from the Owner should the Client not be the Owner) Consultant, its agents, employees, and subcontractors a right-of-entry and any authorizations needed for Consultant to enter onto the project site to perform the Services included in this Agreement.
- (c) Client recognizes that the performance of the Services included in this Agreement may cause alteration or damage to the Site. Client acknowledges that some site disturbance is inherent in the work for which Consultant will not be responsible. Should Client not be owner of the property, then Client agrees to notify the owner of the aforementioned possibility of unavoidable alteration and damage and Client shall arrange for the repair of any alteration and damage.
- (d) Client agrees to disclose the identity of all utilities serving the Project Site, the presence and accurate location of hidden or obscured man-made objects known to Client that may be in Consultant's work area and the nature and location of any known or suspected hazardous materials that may exist on the property.
- (e) The Client shall furnish, at the Client's expense, all information, requirements, reports, data, surveys and instructions required by this Agreement. The Consultant may use such information, requirements, reports, data, surveys and instructions in performing its services and is entitled to rely upon the accuracy and completeness thereof.
- (f) In order to make informed decisions based on the Instruments of Service, Client's review and study of the Instruments of Service is vital to take full advantage of the consulting process. Client shall review in detail all Instruments of Service, including attachments and references therein, and in the event of questions or concerns, shall contact the project manager. Consultant provides information in the Instruments of Service which assists the Client and/or user in understanding and using the deliverable. The information includes direction on the extent to which the information can be relied on and applied to Client's decision-making process.
- (g) Provide prompt written notice to CONSULTANT if CLIENT becomes aware of any fault or problem in the PROJECT, including any errors or omissions in CONSULTANT'S work.
- (h) Client is responsible for reporting any releases of hazardous substances to appropriate government agencies as required by law. Client acknowledges that Consultant also may have reporting obligations under controlling law and regulations. Client waives any claim against Consultant and will indemnify and hold Consultant harmless from any claim, injury or loss arising from the discovery of unforeseen hazardous substances.

14. **CERTIFICATIONS:** Client understands and agrees that Consultant's Instruments of Services are limited to an expression of professional opinion based upon the Services performed by the Consultant and does not constitute a warranty or guarantee, either express or implied. In addition, Client agrees that Consultant will not be required to execute any document that would result in certifying, guaranteeing or warranting the existence of conditions whose existence the Consultant cannot reasonably ascertain.
15. **FAILURE TO FOLLOW RECOMMENDATIONS:** The Client agrees that it would be unfair to hold the Consultant liable for problems that may occur if the Consultant's recommendations are not followed. Accordingly, the Client waives any claim against the Consultant, and agrees to indemnify, and hold harmless the Consultant from any claim or liability for injury or loss that results from failure to implement the Consultant's recommendations or from implementation of the Consultant's recommendations in a manner that is not in strict accordance with them.
16. **TERMINATION:**
For Convenience - Upon written notice, Client or Consultant may terminate the performance of any further Services included in this Agreement if the terminating party determines termination is in the terminating party's interest. Upon receipt of a termination notice by either party, Consultant shall stop work on all Services included in this Agreement and deliver any Instruments of Service complete at that time to Client and Client shall pay Consultant within thirty (30) days for all Services performed up to the dispatch or receipt of the termination notice. Upon Termination for Convenience, Consultant and Client shall have no further rights or remedies other than those included in this paragraph.
- For Cause –In the event of material breach of this Agreement, the party not breaching the Agreement may terminate it upon five (5) business days written notice delivered or mailed to the other party, which notice must identify the material breach. The Agreement may not be terminated for cause if the breaching party cures the breach within five (5) business days of receipt of the written notice. Upon Termination for Cause, Consultant shall stop work on all Services included in this Agreement and deliver any instruments of service complete at that time to Client and Client shall pay Consultant within thirty (30) days for all Services performed up to the termination. Upon Termination for Cause, Consultant and Client shall have no further rights or remedies other than those included in this paragraph.
17. **UNFORESEEN CONDITIONS OR OCCURRENCES:** If, during the performance of Services ,any unforeseen hazardous substance, material, element or constituent or other unforeseen or changed conditions or occurrences are encountered which, in Consultant's judgment, significantly affects or may affect the Services, the risk involved in providing the Services, or the recommended Scope of Services, Consultant will promptly notify Client. Subsequent to that notification, Consultant may: (a) If practicable, in Consultant's judgment and with approval of Client, complete the original Scope of Services in accordance with the procedures originally intended in the Proposal; (b) Agree with Client to modify the Scope of Services and the estimate of charges to include the previously unforeseen conditions or occurrences, such revision to be in writing and signed by the parties and incorporated into this Agreement; or (c) Terminate the Services effective on the date of notification pursuant to the terms of TERMINATION FOR CONVENIENCE.
18. **FORCE MAJEURE:** Consultant shall not be deemed to be in default of this Agreement to the extent that any delay or failure in the performance of the Scope of Work results from any causes beyond its reasonable control. For this purpose, such acts or events shall include, but are not limited to, storms, floods, unusually severe weather, epidemics, civil disturbances, war, riot, strikes, lockouts or other industrial disturbances, and the inability within reasonable diligence to supply personnel, equipment, information or material to the Project. In the event that such acts or events occur, it is agreed that Consultant shall attempt to resume performance of the Services covered by this Agreement as soon as reasonably possible. If the force majeure event adversely affects the scope or schedule, Client agrees to modify the Scope of Services and the estimate of charges, such revision to be in writing and signed by the parties and incorporated into this Agreement.
19. **INSURANCE:** Consultant shall maintain at its own expense, during the term of this Agreement, the following insurance: (1) Workers' Compensation providing statutory coverages required by the state where services are provided, (2) Employer's Liability with limits of \$1,000,000 each accident, (3) Commercial General Liability with

limits of \$1,000,000 each occurrence / \$2,000,000 aggregate, (4) Commercial Automobile with limits of \$1,000,000 each accident, (5) Umbrella Excess Liability with limits of \$5,000,000 each occurrence and (6) Professional Liability with limits of \$5,000,000 each claim.

20. **INDEMNITY:** Consultant shall indemnify Client from and against damages, losses and judgments arising from claims by third parties, including reasonable attorneys' fees and expenses recoverable under applicable law, but only to the extent caused by the negligent acts, errors, or omissions of Consultant in the performance of services under this Agreement.
21. **DISPUTE RESOLUTION:** In the event of a dispute between Consultant and Client with regard to any matter arising out of or related to this Agreement, the Parties will use their best efforts to resolve the dispute amicably using negotiation and mediation within fifteen (15) calendar days. If the dispute cannot be settled amicably, the Parties agree that the dispute shall be resolved by litigation in a court of competent jurisdiction within the State where project is located
22. **ASSIGNMENT:** Neither party may assign this Agreement, in whole or in part, without the prior written consent of the other party.
23. **NO WAIVER:** No waiver by either party of any default by the other party in the performance of any provision of this Agreement shall operate as or be construed as a waiver of any future default, whether like or different in character.
24. **MISCELLANEOUS:** The validity, interpretation, and performance of this Agreement shall be governed by and construed in accordance with the laws of the state where project is located without regard to choice of law provisions. This Agreement represents the entire understanding and agreement between the parties hereto relating to the Services and supersedes any and all prior negotiations, discussions, and Agreements, whether written or oral, between the parties regarding same. No amendment or modification to this Agreement or any waiver of any provisions hereof shall be effective unless in writing, signed by both Parties. If any part of this Agreement is found to be unenforceable, then the parties' intent is to have such part rewritten to attain as close as possible the original intent of the unenforceable provision, and all remaining provisions shall continue in full force and effect.
25. **TIME BAR:** Notwithstanding any applicable state statute of repose or statute of limitation, the Parties agree that all legal actions by either party against the other concerning this Agreement or the work performed in relation to this Agreement, will become barred two (2) years from the time the party knew or should have known of the claim, or two (2) years after completion of Consultant's Services, whichever occurs earlier.
26. **NO DISCRIMINATION:** To the extent applicable, this contractor and subcontractor shall abide by the requirements of 41 CFR §§ 60-1.4(a), 60-300.5(a) and 60-741.5(a) and the posting requirement under 29 CFR Part 471, appendix A to subpart A. These regulations prohibit discrimination against qualified individuals based on their status as protected veterans or individuals with disabilities, and prohibit discrimination against all individuals based on their race, color, religion, sex, sexual orientation, gender identity or national origin. Moreover, these regulations require that covered prime contractors and subcontractors take affirmative action to employ and advance in employment individuals without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, protected veteran status or disability.
27. **NO THIRD PARTY LIABILITY:** Nothing in this Agreement or as a consequence of any of the Services provided gives any rights or benefits to anyone other than Client and Consultant. All duties and responsibilities undertaken pursuant to this Agreement are for the sole and exclusive benefit of Client and Consultant and not for the benefit of any other party. No third party shall have the right to rely on the Instruments of Service without Consultant's prior written consent and the third party's agreement to be bound to the same terms and conditions as the Client.

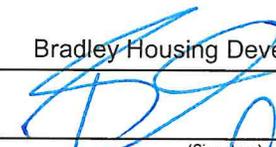
28. **INDIVIDUAL LIABILITY:** CLIENT AGREES THAT CONSULTANT'S SERVICES WILL NOT SUBJECT CONSULTANT'S INDIVIDUAL EMPLOYEES, OFFICERS OR DIRECTORS TO ANY PERSONAL LIABILITY, AND THAT NOTWITHSTANDING ANY OTHER PROVISION OF THIS AGREEMENT, CLIENT AGREES THAT ITS SOLE AND EXCLUSIVE REMEDY SHALL BE TO DIRECT OR ASSERT ANY CLAIM, DEMAND, OR SUIT ONLY AGAINST CONSULTANT.

CONSULTANT HEREBY ADVISES CLIENT THAT ITS PERFORMANCE OF THIS AGREEMENT IS EXPRESSLY CONDITIONED ON CLIENT'S ASSENT TO THE TERMS AND CONDITIONS DETAILED HEREIN.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their duly authorized representative.

CLIENT: Bradley Housing Developers, LLC

S&ME, Inc.

BY: 

BY: Chris Daves

(Signature)

(Signature)

Bradley D. S. Crater

Chris Daves, P.W.S. /Senior Scientist

(Print Name / Title)

(Print Name / Title)

DATE: 9/30/2021

DATE: 9-30-2021

PROPOSAL NUMBER: 218540

Client's FAXED or DIGITAL signature to be treated as original signature

PHASE I ENVIRONMENTAL SITE ASSESSMENT

User-Furnished Information

SITE: East Haven Apartments HUD Project

S&ME Proposal No. 218540

The following is a list of documents and information that could be useful to S&ME in preparing your Phase I ESA. Please check the appropriate boxes below, sign, and fax or e-mail this form along with the completed Client/Landowner Questionnaire. We will contact you regarding review of any available materials. This form will be attached to, and made a part of, your completed Phase I ESA.

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Environmental site assessment reports
<input type="checkbox"/>	<input checked="" type="checkbox"/>	2. Environmental audit reports
<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Environmental permits (i.e., solid waste disposal permits, hazardous waste disposal permits, wastewater permits, NPDES permits)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	4. Registrations for underground and above-ground storage tanks
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Material safety data sheets (MSDS)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Community right-to-know plan
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Safety plans; preparedness and prevention plans; spill prevention, counter-measure and control plans, etc.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	8. Reports regarding hydrologic conditions on the site or surrounding area
<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Notices or other correspondence from any government agency relating to past or existing environmental liens encumbering the site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Hazardous waste generator notices or reports
<input type="checkbox"/>	<input checked="" type="checkbox"/>	11. Geotechnical studies
<input type="checkbox"/>	<input checked="" type="checkbox"/>	12. Information concerning any pending, threatened, or past litigation or administrative proceedings relevant to hazardous substances or petroleum products
<input type="checkbox"/>	<input checked="" type="checkbox"/>	13. Notices from any governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products
<input type="checkbox"/>	<input checked="" type="checkbox"/>	14. Disclosure of sumps, pits, drainage systems (i.e., the existence of and location)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Building plans (architectural, utility, structural)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Description of current site operations, including layout drawings or sketches
<input type="checkbox"/>	<input checked="" type="checkbox"/>	17. Title report/chain-of-title
<input type="checkbox"/>	<input checked="" type="checkbox"/>	18. Tax assessor records (previous owner and occupants)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	19. Purchase price analysis (if lower than comparables)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	20. Current and historical photographs of the site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	21. Current and historical topographic maps of the site

I have reviewed the above list and checked the "Yes" box for those items that would be available to S&ME for review and/or copy.

Printed Name

[Handwritten Signature]

Signature

[Handwritten Signature]

Date

9/30/2021

PHASE I ENVIRONMENTAL SITE ASSESSMENT – Owner/User Questionnaire

SITE: East Haven Apartments HUD Project

S&ME Proposal No. 218540

To qualify for Landowner Liability Protections (LLPs), ASTM E 1527-13 specifies that the Phase I ESA User must provide the following information, if available, to the Environmental Professional. Failure to provide this information could make the Phase I ESA incomplete and the User unable to qualify for LLPs.

1. What are current and past uses of the site?

VACANT/LAND

2. Are you aware of past or present Underground Storage Tanks or Aboveground Storage Tanks on the site?

no

3. Are you aware of any environmental clean-up liens against the site that are filed or recorded under federal, tribal, state, or local laws?

no

4. Are you aware of any Activity and Use Limitations (AUL's) such as engineering controls, land use restrictions, or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, state, or local laws?

no

5. As the User of this ESA, do you have any specialized knowledge or experience related to the site or nearby properties?

no

6. Does the purchase price being paid for this site reasonably reflect the fair market value of the site? If not, is the lower purchase price attributable to known or suspected contamination?

NA

7. Are you aware of information about the site that would be helpful in identifying conditions indicative of contaminant releases, such as: a) past use of the site; b) presence of specific chemicals (past or present); c) spills or chemical releases at the site; or d) environmental cleanups that have taken place at the site?

no

8. As the User of this Phase I ESA and based on your knowledge and experience of the site, are there any obvious indicators that point to the presence or likely presence of contamination on the site?

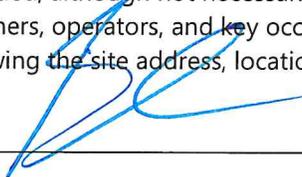
no

In addition, certain other information should be provided, although not necessarily to qualify for LLPs, including: contact information for past and current property owners, operators, and key occupants; the reason for performing this Phase I ESA; and documentation showing the site address, location, and boundaries.

Printed Name

~~BRAD J. G...~~
BRAD J. G...

Signature

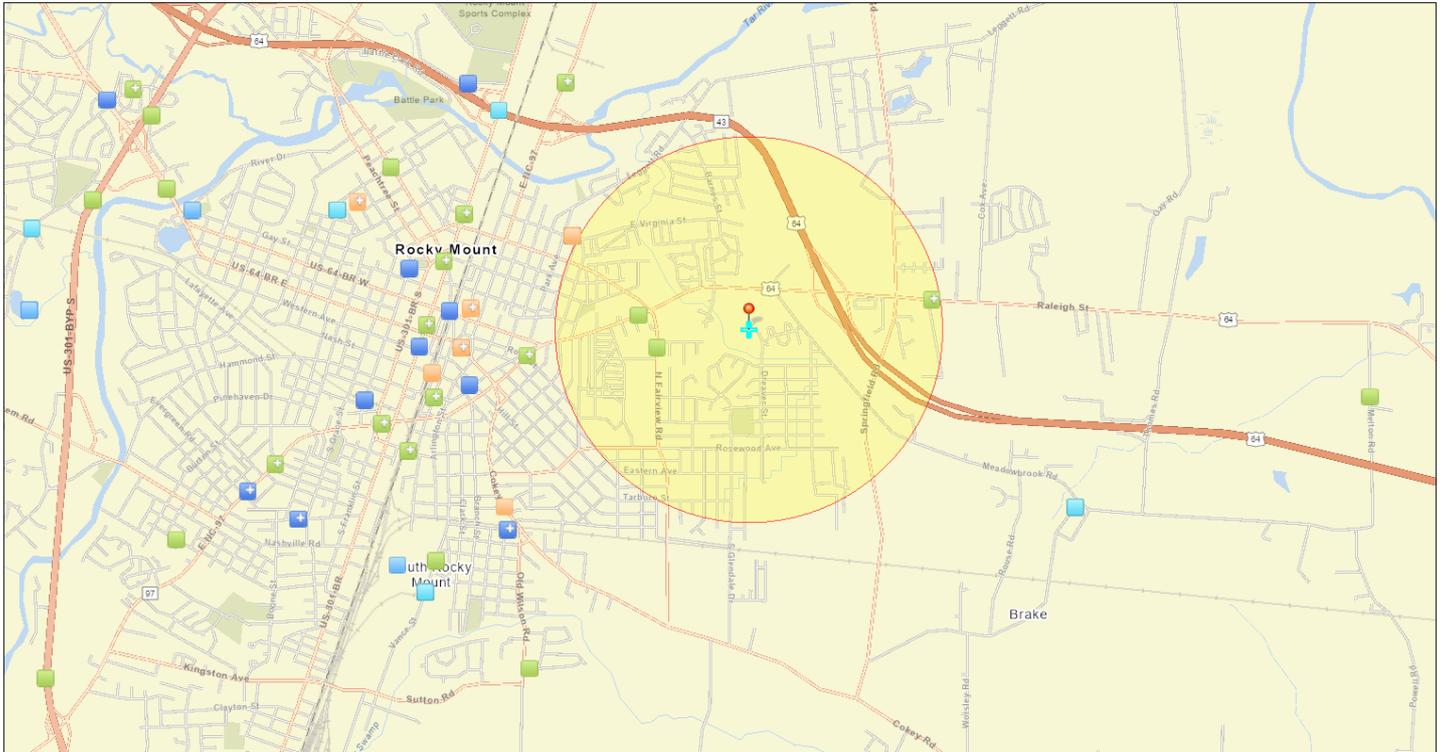


Date

9/30/2021

NEPAssist Report

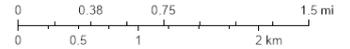
East Haven Apartments - EPA Facilities



June 21, 2022

- Brownfields (ACRES)
- Brownfields (ACRES)
- Toxic Releases (TRI)
- Water Dischargers (NPDES)
- Air Pollution (ICIS-AIR)
- Air Pollution (ICIS-AIR)
- Hazardous Waste (RCRAInfo)
- Hazardous Waste (RCRAInfo)
- East Haven Apartments - EPA Facilities
- Project Buffer
- + Airport Points
- Airport Polygons

1:36,690

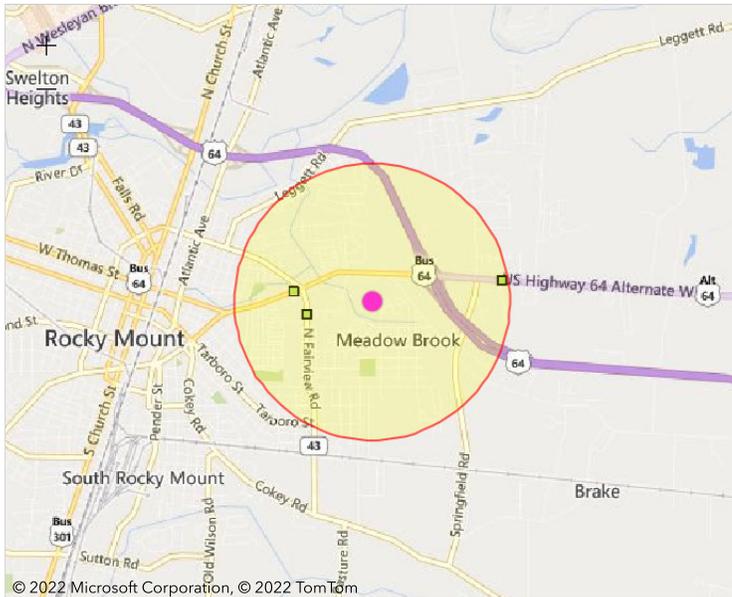


State of North Carolina DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, EPA OEI

Project Location	35.94296, -77.767081
Within 1 mile of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	yes
Within 1 mile of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 1 mile of a Federal Land?	no
Within 1 mile of an impaired stream?	no
Within 1 mile of an impaired waterbody?	no
Within 1 mile of a waterbody?	no
Within 1 mile of a stream?	yes
Within 1 mile of an NWI wetland?	Available Online
Within 1 mile of a Brownfields site?	no
Within 1 mile of a Superfund site?	no
Within 1 mile of a Toxic Release Inventory (TRI) site?	no
Within 1 mile of a water discharger (NPDES)?	no
Within 1 mile of a hazardous waste (RCRA) facility?	yes
Within 1 mile of an air emission facility?	no

Within 1 mile of a school?	yes
Within 1 mile of an airport?	no
Within 1 mile of a hospital?	no
Within 1 mile of a designated sole source aquifer?	no
Within 1 mile of a historic property on the National Register of Historic Places?	no
Within 1 mile of a Toxic Substances Control Act (TSCA) site?	no
Within 1 mile of a Land Cession Boundary?	no
Within 1 mile of a tribal area (lower 48 states)?	no
Within 1 mile of the service area of a mitigation or conservation bank?	yes
Within 1 mile of the service area of an In-Lieu-Fee Program?	yes

Created on: 6/21/2022 1:22:50 PM



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Report question: *Within 1 of a Hazardous waste site? yes*

Modify question by entering a new buffer distance and unit for the selected study area:

- Name**
- LEONS AUTO RECYCLERS (ROCKY MOUNT,NC) (https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?fac_search=handler_id&fac_search_type=Equal+To&postal_code=&location_address=&add_search_type=Beginning+With&city_name=&county_name=&state_code=&naics_type=Equal+to&naics_to=&univ_search=0&univA:)
 - ARMY RESERVE XVIII AIRBORNE CORPS (ROCKY MOUNT,NC) (https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?fac_search=handler_id&fac_search_type=Equal+To&postal_code=&location_address=&add_search_type=Beginning+With&city_name=&county_name=&state_code=&naics_type=Equal+to&naics_to=&univ_search=0&univA:)
 - WALGREENS 18400 (ROCKY MOUNT,NC) (https://enviro.epa.gov/enviro/efsystemquery.rcrainfo?fac_search=handler_id&fac_search_type=Equal+To&postal_code=&location_address=&add_search_type=Beginning+With&city_name=&county_name=&state_code=&naics_type=Equal+to&naics_to=&univ_search=0&univA:)

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[Data Disclaimer](http://www.epa.gov/wastes/disclaimer2.htm)

RCRAInfo Facility Information

[Return](#)

<p>WALGREENS 18400 Handler ID: NCR000157339 1123 E. RALEIGH BLVD ROCKY MOUNT, NC 27803</p> <p>County Name: EDGECOMBE</p> <p>Latitude: 35.944049 Longitude: -77.777226</p> <p>Hazardous Waste Generator: Very Small Quantity Generator</p> <p>Owner Name: DAVID A SOLOTKY</p>		<p><i>*You can navigate within the map with your mouse</i></p>
--	--	--

BIENNIAL REPORT SUMMARY

REPORT YEAR	GENERATION (Tons)	MANAGEMENT (Tons)	WASTE RECEIVED (Tons)	WASTE SHIPPED (Tons)	INCINERATION (Tons)	DISPOSAL (Tons)	ACUT GENE (Tons)
2015	0			0			

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CC
DASCOLI A KIMBERLY	200 WILMOT ROAD	DEERFIELD	IL	60015	847-315-2812	Publi
KIMBERLY DASCOLI	WILMOT ROAD	DEERFIELD	IL	60015	847-315-2812,	Perm

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE

Very Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

NAICS CODE	NAICS DESCRIPTION
446110	PHARMACIES AND DRUG STORES
44611	PHARMACIES AND DRUG STORES

LIST OF WASTE CODES AND DESCRIPTIONS

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE

D002	CORROSIVE WASTE
D005	BARIUM
D007	CHROMIUM
D009	MERCURY
D010	SELENIUM
D011	SILVER
D013	LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)
D016	2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)
D018	BENZENE
D024	M-CRESOL
D026	CRESOL
D035	METHYL ETHYL KETONE
P001	2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%
U002	2-PROPANONE (I) (OR) ACETONE (I)
U035	BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL
U044	CHLOROFORM (OR) METHANE, TRICHLORO-
U058	2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE
U122	FORMALDEHYDE
U129	CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE
U154	METHANOL (I) (OR) METHYL ALCOHOL (I)
U205	SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)
U240	2,4-D, SALTS & ESTERS (OR) ACETIC ACID, (2,4-DICHLOROPHENOXY)-, SALTS & ESTERS (OR) DICHLOROPHENOXYACETIC ACID 2,4-D
U279	CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE

Go To Top Of The Page

Total Number of Facilities Retrieved: 1

Data Refresh Information <<https://epa.gov/resources/echo-data/about-the-data#sources>>



Detailed Facility Report

Facility Summary

WALGREENS 18400

1123 E. RALEIGH BLVD, ROCKY MOUNT, NC 27803

FRS (Facility Registry Service) ID: 110054848475

EPA Region: 04

Latitude: 35.944049

Longitude: -77.777226

Locational Data Source: FRS

Industries: Health and Personal Care Stores

Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active VSQG, (NCR000157339)

Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)
[Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110054848475					N	35.944049	-77.777226
RCRAInfo	RCRA	NCR000157339	VSQG	Active (H)			N	35.942859	-77.78122

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110054848475	WALGREENS 18400	1123 E. RALEIGH BLVD, ROCKY MOUNT, NC 27803	Nash County
RCRAInfo	RCRA	NCR000157339	WALGREENS 18400	1123 E. RALEIGH BLVD, ROCKY MOUNT, NC 27803	Edgecombe County

Facility SIC (Standard Industrial Classification) Codes

System	Identifier	SIC Code	SIC Description
No data records returned			

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	NAICS Code	NAICS Description
RCRAInfo	NCR000157339	44611	Pharmacies and Drug Stores

Facility Tribe Information

Reservation Name	Tribe Name	EPA Tribal ID	Distance to Tribe (miles)
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No data records returned

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Statute	Source ID	System	Activity Type	Compliance Monitoring Type	Lead Agency	Date	Finding (if applicable)
---------	-----------	--------	---------------	----------------------------	-------------	------	-------------------------

No data records returned

Entries in italics are not counted in EPA compliance monitoring strategies or annual results.

Compliance Summary Data

Statute	Source ID	Current SNC (Significant Noncompliance)/HPV (High Priority Violation)	Current As Of	Qtrs with NC (Noncompliance) (of 12)	Data Last Refreshed
RCRA	NCR000157339	No	06/18/2022	0	06/17/2022

Three-Year Compliance History by Quarter

Statute	Program/Pollutant/Violation Type	QTR 1	QTR 2	QTR 3	QTR 4	QTR 5	QTR 6	QTR 7	QTR 8	QTR 9	QTR 10	QTR 11	QTR 12+
RCRA (Source ID: NCR000157339)		07/01-09/30/19	10/01-12/31/19	01/01-03/31/20	04/01-06/30/20	07/01-09/30/20	10/01-12/31/20	01/01-03/31/21	04/01-06/30/21	07/01-09/30/21	10/01-12/31/21	01/01-03/31/22	04/01-06/30/22
	Facility-Level Status	No Violation Identified											
	Violation												
	Agency												

Informal Enforcement Actions Last 5 Years

Statute	System	Source ID	Type of Action	Lead Agency	Date
---------	--------	-----------	----------------	-------------	------

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Statute	System	Law/Section	Source ID	Type of Action	Case No.	Lead Agency	Case Name	Issued/Filed Date	Settlements/Actions	Settlement/Action Date	Federal Penalty Assessed	State/Local Penalty Assessed	Penalty Amount Collected	SEP Cost	Comp Action Cost
---------	--------	-------------	-----------	----------------	----------	-------------	-----------	-------------------	---------------------	------------------------	--------------------------	------------------------------	--------------------------	----------	------------------

No data records returned

Environmental Conditions

Watersheds

12-Digit WBD (Watershed Boundary Dataset) HUC (Reach Address Database)	WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database))	State Water Body Name (JCIS (Integrated Compliance Information System))	Beach Closures Within Last Year	Beach Closures Within Last Two Years	Pollutants Potentially Related to Impairment	Watershed with ESA (Endangered Species Act)-listed Aquatic Species?
--	---	---	---------------------------------	--------------------------------------	--	---

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

State	Report Cycle	Assessment Unit ID	Assessment Unit Name	Water Condition	Cause Groups Impaired	Drinking Water Use	Aquatic Life	Fish Consumption Use	Recreation Use	Other Use
-------	--------------	--------------------	----------------------	-----------------	-----------------------	--------------------	--------------	----------------------	----------------	-----------

No data records returned

Air Quality Nonattainment Areas

Pollutant	Within Nonattainment Status Area?	Nonattainment Status Applicable Standard(s)	Within Maintenance Status Area?	Maintenance Status Applicable Standard(s)
-----------	-----------------------------------	---	---------------------------------	---

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

TRI Facility ID	Year	Total Air Emissions	Surface Water Discharges	Off-Site Transfers to POTWs (Publicly Owned Treatment Works)	Underground Injections	Releases to Land	Total On-Site Releases	Total Off-Site Transfers
-----------------	------	---------------------	--------------------------	--	------------------------	------------------	------------------------	--------------------------

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Chemical Name

No data records returned

Community

EJScreen EJ Indexes

Twelve environmental justice (EJ) indexes of EJScreen, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. The index values below are for the Census block group or 1-mile maximum (US or State) in which the facility is located. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

Show EJ Indexes calculated based on: Census Block Group - US ▼

Census Block Group EJ Indexes (percentile)	
Particulate Matter 2.5	78.1
Ozone	80.4
Diesel Particulate Matter	74.9
Air Toxics Cancer Risk	80.7
Air Toxics Respiratory Hazard Index	77.2
Traffic Proximity	81.3
Lead Paint	90.5
Risk Management Plan (RMP) Facility Proximity	85.8
Hazardous Waste Proximity	68.9
Superfund Proximity	66.8
Underground Storage Tanks (UST)	96.4
Wastewater Discharge	65.6

Number of EJ Indexes Above 80th Percentile
6

[View EJScreen Report](#)

Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2015 - 2019 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	7,698
Population Density	2,481/sq.mi.
Housing Units in Area	3,827

General Statistics (ACS (American Community Survey))	
Total Persons	6,544
Percent People of Color	97%
Households in Area	2,909
Households on Public Assistance	95
Persons With Low Income	3,779
Percent With Low Income	58%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	35.944049
Center Longitude	-77.777226
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	997 (34.26%)
\$15,000 - \$25,000	447 (15.36%)
\$25,000 - \$50,000	783 (26.91%)
\$50,000 - \$75,000	363 (12.47%)
Greater than \$75,000	320 (11%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	643 (8%)
Minors 17 years and younger	2,118 (28%)
Adults 18 years and older	5,580 (72%)
Seniors 65 years and older	1,056 (14%)

Race Breakdown (U.S. Census) - Persons (%)	
White	245 (3%)
African-American	7,287 (95%)
Hispanic-Origin	77 (1%)
Asian/Pacific Islander	6 (0%)
American Indian	31 (0%)
Other/Multiracial	129 (2%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	222 (5.04%)
9th through 12th Grade	449 (10.19%)
High School Diploma	1,635 (37.1%)
Some College/2-year	1,103 (25.03%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	565 (12.82%)



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RCRAInfo Facility Information

[<< Return](#)

<p>LEONS AUTO RECYCLERS Handler ID: NCS000000756 2530 NORTH RALEIGH ST ROCKY MOUNT, NC 27801</p> <p>County Name: NASH</p> <p>Latitude: 35.945206 Longitude: -77.750253</p> <p>Hazardous Waste Generator:</p> <p>Owner Name:</p>		<p><i>*You can navigate within the map with your mouse.</i></p>
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No BIENNIAL REPORT data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
SHEARIN LEON	2530 NORTH RALEIGH ST	ROCKY MOUNT	NC	27801	252- 977- 1542	Public
LEON SHEARIN	NORTH RALEIGH ST	ROCKY MOUNT	NC	27801	252- 977- 1542,	Permit

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE

Not in a universe

No PROCESS INFORMATION is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

NAICS CODE	NAICS DESCRIPTION
42193	RECYCLABLE MATERIAL WHOLESALERS

No Waste Codes are available for the facility listed above.

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Total Number of Facilities Retrieved: 1

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RCRAInfo Facility Information

[<< Return](#)

<p>B & P AUTO SALES Handler ID: NCS000000706 2824 RALEIGH ST ROCKY MOUNT, NC 27801</p> <p>County Name: NASH</p> <p>Latitude: 35.944897 Longitude: -77.743751</p> <p>Hazardous Waste Generator:</p> <p>Owner Name:</p>		<p><i>*You can navigate within the map with your mouse.</i></p>
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No BIENNIAL REPORT data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
PHILLIPS C M	2824 RALEIGH ST	ROCKY MOUNT	NC	27801	252-446- 4900	Public
M PHILLIPS	RALEIGH ST	ROCKY MOUNT	NC	27801	252-446- 4900,	Permit

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE

Not in a universe

No PROCESS INFORMATION is available for the facility listed above.

LIST OF NAICS CODES AND DESCRIPTIONS

NAICS CODE	NAICS DESCRIPTION
42193	RECYCLABLE MATERIAL WHOLESALERS

No Waste Codes are available for the facility listed above.

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RCRAInfo Facility Information

[Return](#)

<p>ARMY RESERVE XVIII AIRBORNE CORPS Handler ID: NC8210021624 804 FAIRVIEW RD ROCKY MOUNT, NC 27801</p> <p>County Name: EDGECOMBE</p> <p>Latitude: 35.94162 Longitude: -77.77553</p> <p>Hazardous Waste Generator: Very Small Quantity Generator</p> <p>Owner Name: DEPARTMENT OF ARMY</p>		<p><i>*You can navigate within the map with your mouse.</i></p>
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No BIENNIAL REPORT data is available for the facility listed above.

LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
PARKER BRUCE	804 FAIRVIEW RD	ROCKY MOUNT	NC	27801	919-396- 8207	Public
BRUCE PARKER	804 FAIRVIEW RD	ROCKY MOUNT	NC	27801	919-396- 8207,	Permit

HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE
Very Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

No NAICS Codes are available for the facility listed above.

No Waste Codes are available for the facility listed above.

Go To Top Of The Page

Total Number of Facilities Retrieved: 1

Data Refresh Information <<https://epa.gov/resources/echo-data/about-the-data#sources>>



Detailed Facility Report

Facility Summary

ARMY RESERVE XVIII AIRBORNE CORPS

804 FAIRVIEW RD, ROCKY MOUNT, NC 27801

FRS (Facility Registry Service) ID: 110004015075
 EPA Region: 04
 Latitude: 35.94162
 Longitude: -77.77553
 Locational Data Source: FRS
 Industries: --
 Indian Country: N

Enforcement and Compliance Summary

Statute	RCRA
Compliance Monitoring Activities (5 years)	--
Date of Last Compliance Monitoring Activity	--
Compliance Status	No Violation Identified
Qtrs in Noncompliance (of 12)	0
Qtrs with Significant Violation	0
Informal Enforcement Actions (5 years)	--
Formal Enforcement Actions (5 years)	--
Penalties from Formal Enforcement Actions (5 years)	--
EPA Cases (5 years)	--
Penalties from EPA Cases (5 years)	--

Regulatory Information

Clean Air Act (CAA): No Information
 Clean Water Act (CWA): No Information
 Resource Conservation and Recovery Act (RCRA): Active VSQG, (NC8210021624)
 Safe Drinking Water Act (SDWA): No Information

[Go To Enforcement/Compliance Details](#)
[Known Data Problems](#)

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
 Greenhouse Gas Emissions (eGGRT): No Information
 Toxic Releases (TRI): No Information
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude
FRS		110004015075					N	35.94162	-77.77553
SEMS	CERCLA	NC8210021624					N		
RCRAInfo	RCRA	NC8210021624	VSQG	Active (H)			N	35.925382	-77.77461

Facility Address

System	Statute	Identifier	Facility Name	Facility Address	Facility County
FRS		110004015075	ARMY RESERVE XVIII AIRBORNE CORPS	804 FAIRVIEW RD, ROCKY MOUNT, NC 27801	Edgecombe County
SEMS	CERCLA	NC8210021624	USA RESERVE XVIII AIRBORNE CORPS	804 FAIRVIEW RD, ROCKY MOUNT, NC 27801	
RCRAInfo	RCRA	NC8210021624	ARMY RESERVE XVIII AIRBORNE CORPS	804 FAIRVIEW RD, ROCKY MOUNT, NC 27801	Edgecombe County

Facility SIC (Standard Industrial Classification) Codes

Facility NAICS (North American Industry Classification System) Codes

System	Identifier	SIC Code	SIC Description	System	Identifier	NAICS Code	NAICS Description
--------	------------	----------	-----------------	--------	------------	------------	-------------------

No data records returned

No data records returned

Facility Tribe Information

Table with 4 columns: Reservation Name, Tribe Name, EPA Tribal ID, Distance to Tribe (miles)

No data records returned

Enforcement and Compliance

Compliance Monitoring History Last 5 Years

Table with 8 columns: Statute, Source ID, System, Activity Type, Compliance Monitoring Type, Lead Agency, Date, Finding (if applicable)

No data records returned

Entries in italics are not counted in EPA compliance monitoring strategies or annual results.

Compliance Summary Data

Table with 5 columns: Statute, Source ID, Current SNC (Significant Noncompliance)/HPV (High Priority Violation), Current As Of, Qtrs with NC (Noncompliance) (of 12), Data Last Refreshed

Three-Year Compliance History by Quarter

Table with 14 columns: Statute, Program/Pollutant/Violation Type, QTR 1-12+, Facility-Level Status, Violation, Agency

Informal Enforcement Actions Last 5 Years

Table with 6 columns: Statute, System, Source ID, Type of Action, Lead Agency, Date

No data records returned

Entries in italics are not counted as "informal enforcement actions" in EPA policies pertaining to enforcement response tools.

Formal Enforcement Actions Last 5 Years

Table with 16 columns: Statute, System, Law/Section, Source ID, Type of Action, Case No., Lead Agency, Case Name, Issued/Filed Date, Settlements/Actions, Settlement/Action Date, Federal Penalty Assessed, State/Local Penalty Assessed, Penalty Amount Collected, SEP Cost, Comp Action Cost

No data records returned

Environmental Conditions

Watersheds

Table with 7 columns: 12-Digit WBD (Watershed Boundary Dataset) HUC (RAD (Reach Address Database)), WBD (Watershed Boundary Dataset) Subwatershed Name (RAD (Reach Address Database)), State Water Body Name (ICIS (Integrated Compliance Information System)), Beach Closures Within Last Year, Beach Closures Within Last Two Years, Pollutants Potentially Related to Impairment, Watershed with ESA (Endangered Species Act)-listed Aquatic Species?

No data records returned

Assessed Waters From Latest State Submission (ATTAINS)

Table with 11 columns: State, Report Cycle, Assessment Unit ID, Assessment Unit Name, Water Condition, Cause Groups Impaired, Drinking Water Use, Aquatic Life, Fish Consumption Use, Recreation Use, Other Use

No data records returned

Air Quality Nonattainment Areas

Table with 5 columns: Pollutant, Within Nonattainment Status Area?, Nonattainment Status Applicable Standard(s), Within Maintenance Status Area?, Maintenance Status Applicable Standard(s)

No data records returned

Pollutants

Toxics Release Inventory History of Reported Chemicals Released in Pounds per Year at Site

Table with 10 columns: TRI Facility ID, Year, Total Air Emissions, Surface Water Discharges, Off-Site Transfers to POTWs (Publicly Owned Treatment Works), Underground Injections, Releases to Land, Total On-Site Releases, Total Off-Site Transfers

No data records returned

Toxics Release Inventory Total Releases and Transfers in Pounds by Chemical and Year

Table with 1 column: Chemical Name

No data records returned

Community

EJScreen EJ Indexes

Twelve environmental justice (EJ) indexes of EJScreen, EPA's screening tool for EJ concerns. EPA uses these indexes to identify geographic areas that may warrant further consideration or analysis for potential EJ concerns. The index values below are for the Census block group or 1-mile maximum (US or State) in which the facility is located. Note that use of these indexes does not designate an area as an "EJ community" or "EJ facility." EJScreen provides screening level indicators, not a determination of the existence or absence of EJ concerns. For more information, see the [EJScreen home page](#).

Show EJ Indexes calculated based on: Census Block Group - US ▼

Census Block Group EJ Indexes (percentile)	
Particulate Matter 2.5	90.2
Ozone	92.8
Diesel Particulate Matter	83.6
Air Toxics Cancer Risk	92.8
Air Toxics Respiratory Hazard Index	89.4
Traffic Proximity	83.5
Lead Paint	91.7
Risk Management Plan (RMP) Facility Proximity	90.9
Hazardous Waste Proximity	72.1
Superfund Proximity	72.6
Underground Storage Tanks (UST)	94.6
Wastewater Discharge	65.7

Number of EJ Indexes Above 80th Percentile
9

[View EJScreen Report](#)

Demographic Profile of Surrounding Area (1 mile)

This section provides demographic information regarding the community surrounding the facility. ECHO compliance data alone are not sufficient to determine whether violations at a particular facility had negative impacts on public health or the environment. Statistics are based upon the 2010 U.S. Census and 2015 - 2019 American Community Survey (ACS) 5-year Summary and are accurate to the extent that the facility latitude and longitude listed below are correct. EPA's spatial processing methodology considers the overlap between the selected radii and the census blocks (for U.S. Census demographics) and census block groups (for ACS demographics) in determining the demographics surrounding the facility. For more detail about this methodology, see the [DFR Data Dictionary](#).

General Statistics (U.S. Census)	
Total Persons	8,307
Population Density	2,667/sq.mi.
Housing Units in Area	4,059

General Statistics (ACS (American Community Survey))	
Total Persons	6,733
Percent People of Color	97%
Households in Area	2,953
Households on Public Assistance	97
Persons With Low Income	3,857
Percent With Low Income	57%

Geography	
Radius of Selected Area	1 mi.
Center Latitude	35.94162
Center Longitude	-77.77553
Land Area	100%
Water Area	0%

Income Breakdown (ACS (American Community Survey)) - Households (%)	
Less than \$15,000	977 (33.07%)
\$15,000 - \$25,000	442 (14.96%)
\$25,000 - \$50,000	822 (27.83%)
\$50,000 - \$75,000	378 (12.8%)
Greater than \$75,000	335 (11.34%)

Age Breakdown (U.S. Census) - Persons (%)	
Children 5 years and younger	689 (8%)
Minors 17 years and younger	2,291 (28%)
Adults 18 years and older	6,015 (72%)
Seniors 65 years and older	1,108 (13%)

Race Breakdown (U.S. Census) - Persons (%)	
White	301 (4%)
African-American	7,841 (94%)
Hispanic-Origin	91 (1%)
Asian/Pacific Islander	5 (0%)
American Indian	32 (0%)
Other/Multiracial	127 (2%)

Education Level (Persons 25 & older) (ACS (American Community Survey)) - Persons (%)	
Less than 9th Grade	231 (5.1%)
9th through 12th Grade	452 (9.99%)
High School Diploma	1,702 (37.6%)
Some College/2-year	1,141 (25.21%)
B.S./B.A. (Bachelor of Science/Bachelor of Arts) or More	566 (12.51%)



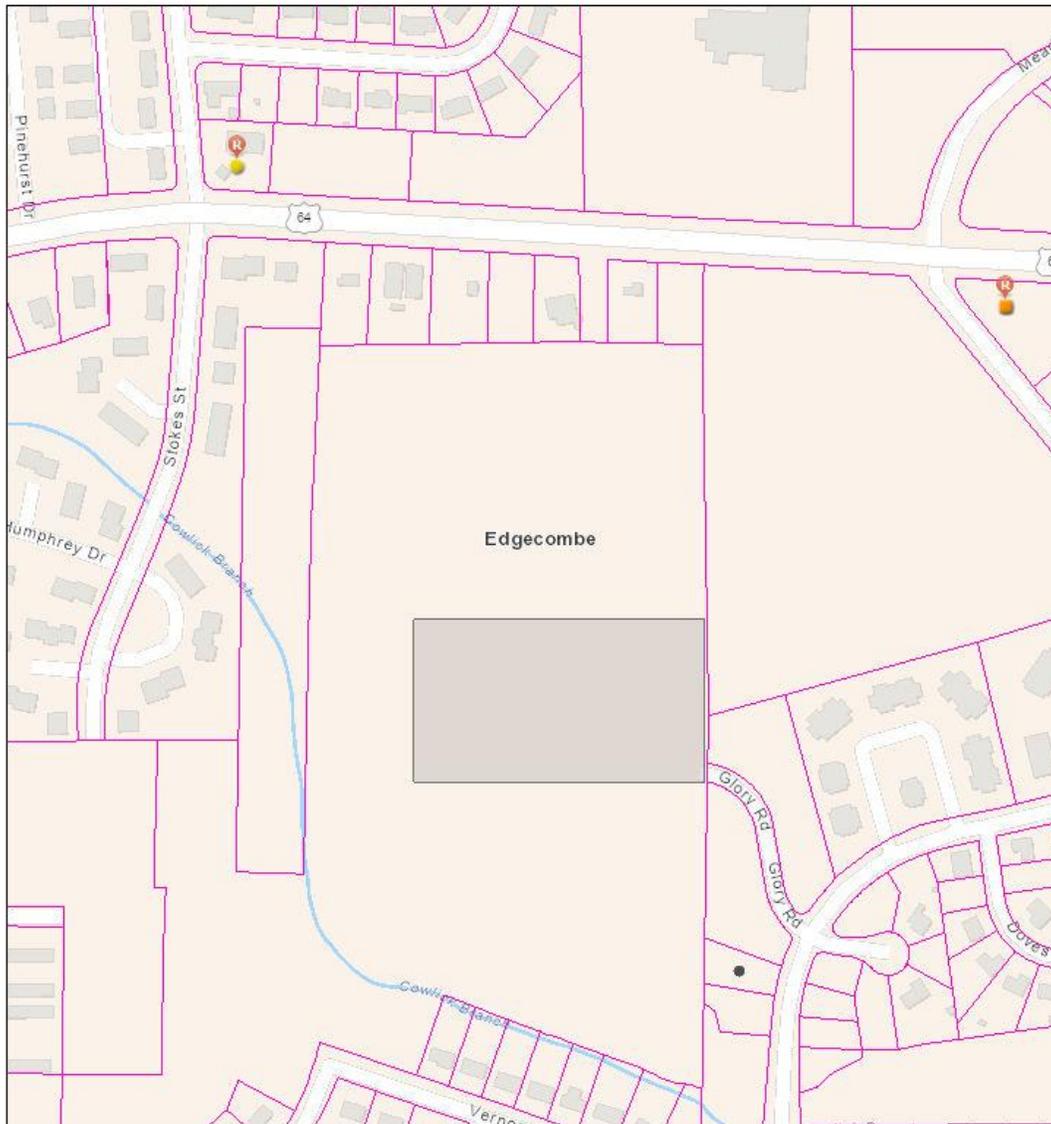


DWM Site Locator Tool Screening Report

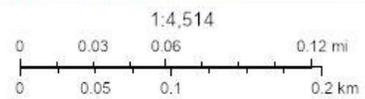
Area of Interest (AOI) Information

Area : 98,116,831.21 ft²

Jun 21 2022 14:24:54 Eastern Daylight Time



- Inactive Hazardous Sites
 - UST Incidents
 - Parcels (Polygons) - Parcels
 - County Boundary
 - Notice and Restriction
- Land Use Restriction and/or Notices



NCDOT GIS Unit, Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

East Haven Apartments

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NONCD0002522	JIFFY MART	1

Pre-Regulatory Landfill Sites

#	EPAID	SITENAME	Count
1	NONCD0000299	Old Rocky Mount LF	1

Hazardous Waste Sites

#	HANDLER_ID	SITE_NAME	Count
1	NCR000148924	NCDSCA 033-0003 (PRESTIGE CLEANERS)	1

UST Incidents

#	IncidentNumber	IncidentName	Count
1	3308	BARNES GROCERY	1
2	3801	FRESHWAY #782	1
3	6508	EP MART #2-LOCKE ENTERPRISES	1
4	8092	BARCALOUNGER	1
5	9177	GARDNER RESIDENCE, HARVARD	1
6	9852	HYDROSPRAY CAR WASH	1
7	10280	GAY YOST FUNERAL HOME	1
8	11576	FIRE STATION #5-ROCKY MOUNT	1
9	12609	CONOCO STORE #33047	1
10	14663	ZIPMART # 7 THRIFT MART BAKERY	1
11	15925	U S ARMY RESERVE-ROCKY MOUNT	1
12	18484	CO-Z-INN (FORMER)	1
13	26001	EDGECOMBE COUNTY ABC BOARD	1
14	26097	BURSTON, INEZ - RESIDENCE	1
15	26199	CITY OF ROCKY MOUNT - PROPERTY	1
16	26211	CITY OF ROCKY MOUNT - PROPERTY	1
17	26213	CITY OF ROCKY MOUNT - PROPERTY	1
18	26244	WEAVER'S CUT RATE	1
19	26685	THE FUEL DOC #3	1
20	33763	JIFFY MART	1
21	39543	Lewis Residence, Marian	1
22	47582	Speedway 8264 / Fmr CONOCO #33047 (Inc 12609)	1

AST Incidents

#	IncidentNumber	IncidentName	Count
1	92424	Lewis Residence, Marian	1

UST Active Facilities

#	FACILID	FACILNAME	Count
1	00-0-0000002787	JAMES ALBERT LANCASTER	1
2	00-0-0000003375	HOP-IN #604	1
3	00-0-0000015257	PLUMMER O. DAVIS, JR.	1
4	00-0-0000016308	MILDRED E. HINES	1
5	00-0-0000016527	FUEL DOC 3	1
6	00-0-0000020090	JEAN C. AYSCUE	1
7	00-0-0000024633	SPEEDWAY #8264	1
8	00-0-0000025772	EP-MART 2	1

Land Use Restriction and/or Notices

#	Prj_Number	Prj_Name	Count
1	RA-603	FRESHWAY #782	1
2	RA-6597	JIFFY MART	1

DryCleaning Remediation Program

#	Site_ID	Site_Name	Count
1	DC330001	Imperial Cleaners Inc	1
2	DC330003	Prestige Cleaners	1

DryCleaning Historical Boiler Inspections

#	Drycleaner	InspDate	Count
1	IMPERIAL CLEANERS	9/23/1977	1
2	KWIK KLEAN	10/18/1983	1

DryCleaning City Directories

#	Drycleaner	Address	Count
1	Fairview Speed Wash	317 North Fairview Road, Rocky Mount,NC	1
2	Zirkles Laundry & Launderette	418 North Parker, Rocky Mount,NC	1
3	Ikes Laundromat	422 North Parker, Rocky Mount,NC	1
4	Imperial Cleaners Inc	571 E Raleigh Blvd, Rocky Mount, NC 27801	1
5	One Hour Martinizing	620 East Thomas Street, Rocky Mount,NC	1
6	Ruby's Laundromat	819 East Holly, Rocky Mount,NC	1

DryCleaning Compliance

#	Facility_ID	Facility_Name	Count
1	330004C	Imperial Cleaners Inc	1
2	330006C	Prestige Cleaners	1

Gievers, Andrea

From: Gievers, Andrea
Sent: Thursday, November 18, 2021 11:17 AM
To: Raleigh@fws.gov
Cc: Mann, Leigh
Subject: Online Project Review Certification Letter (NCORR HUD CDBG-DR - East Haven Apts)
Attachments: NCORR USFWS No Effect East Haven Pkg 11.18.21.pdf

Hello:

Please find attached the Self-certification Letter and 10-step Project Review Package prepared by S&ME, Inc. for the proposed East Haven Apartments affordable housing project. The North Carolina Office of Recovery and Resiliency (NCORR) as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) is considering funding the proposed project in part by the North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

NCORR is submitting the above information as notification of its No Effect determination and requests *acknowledgement* from USFWS that they have received this determination that the proposed project would have No Effect on migratory birds, endangered/threatened species, or critical habitat for species under USFWS jurisdiction.

If you have any questions or require additional information regarding this request, please feel free to contact me at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 18, 2021

Mr. John Ellis
U.S. Fish and Wildlife Service
Raleigh ES Field Office
P.O. Box 33726
Raleigh, NC 27636-3726

Sent Via Email: Raleigh@fws.gov
Leigh_Mann@fws.gov

RE: Section 7 Project Review - No Effect Determination
NCORR - HUD CDBG-DR Program
East Haven Apartments
1040 Dreaver Street (soon to be Glory Drive)
Rocky Mount, NC 27801

Dear Mr. Ellis:

The North Carolina Office of Recovery and Resiliency (NCORR) as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) is considering funding this proposed affordable housing project, East Haven Apartments located at 1040 Dreaver Street (soon to be Glory Drive), Rocky Mount, Edgecombe County, North Carolina 27801. The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families. Therefore, funding for the proposed project will be provided in part by the HUD CDBG-DR North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

The purpose of this letter is to provide the U.S. Fish and Wildlife Service – Raleigh ES Field Office (USFWS) notice of the proposed project and to document compliance with Section 7 of the Endangered Species Act (ESA) of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as well as the Migratory Bird Treaty Act (MBTA) (16 U.S.C. 703–712) and the Bald and Golden Eagle Protection Act (BGEPA) (16 U.S.C. 668-668c, 54 Stat. 250), as amended.

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

We have reviewed the proposed project using the USFWS Raleigh Ecological Services' online 10-step project review process and made “**no effect**” determinations for proposed/listed species and/or proposed/designated critical habitat and a “**no Eagle Act permit required**” determination for eagles. Please find attached the Self-certification Letter and 10-step Project Review Package prepared by S&ME, Inc. for the proposed project in accordance with all instructions provided, using the best available information to reach our conclusions.

East Haven Apartments involves the new construction of multifamily, affordable housing on a 4.83-acre site of wooded land. The development will offer 64 units consisting of 12 one-bedroom, 24 two-bedrooms, and 28 three-bedrooms in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built Low-income Housing Tax Credit (LIHTC) apartments and single-family homes by the Rocky Mount Edgecombe County Development Corporation. Project implementation would be conditioned upon issuance of applicable Federal and State permits and would be constructed in accordance with Federal and State permit conditions. The proposed project would not jeopardize the continued existence of ESA species or destroy or adversely modify their critical habitat.

NCORR is submitting the above information as notification of its **No Effect** determination and requests *acknowledgement* from USFWS that they have received this determination that the proposed project would have No Effect on migratory birds, endangered/threatened species, or critical habitat for species under USFWS jurisdiction.

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Attachments:

- Self-certification Letter
- 10-step Project Review Package



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Raleigh Field Office
P.O. Box 33726
Raleigh, NC 27636-3726

Date: _____

Self-Certification Letter

Project Name _____

Dear Applicant:

Thank you for using the U.S. Fish and Wildlife Service (Service) Raleigh Ecological Services online project review process. By printing this letter in conjunction with your project review package, you are certifying that you have completed the online project review process for the project named above in accordance with all instructions provided, using the best available information to reach your conclusions. This letter, and the enclosed project review package, completes the review of your project in accordance with the Endangered Species Act of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as amended (ESA), and the Bald and Golden Eagle Protection Act (16 U.S.C. 668-668c, 54 Stat. 250), as amended (Eagle Act). This letter also provides information for your project review under the National Environmental Policy Act of 1969 (P.L. 91-190, 42 U.S.C. 4321-4347, 83 Stat. 852), as amended. A copy of this letter and the project review package must be submitted to this office for this certification to be valid. This letter and the project review package will be maintained in our records.

The species conclusions table in the enclosed project review package summarizes your ESA and Eagle Act conclusions. Based on your analysis, mark all the determinations that apply:

“no effect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, not likely to adversely affect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, likely to adversely affect” determination for the Northern long-eared bat (*Myotis septentrionalis*) and relying on the findings of the January 5, 2016, Programmatic Biological Opinion for the Final 4(d) Rule on the Northern long-eared bat;

“no Eagle Act permit required” determinations for eagles.

We certify that use of the online project review process in strict accordance with the instructions provided as documented in the enclosed project review package results in reaching the appropriate determinations. Therefore, we concur with the “no effect” or “not likely to adversely affect” determinations for proposed and listed species and proposed and designated critical habitat; the “may affect” determination for Northern long-eared bat; and/or the “no Eagle Act permit required” determinations for eagles. Additional coordination with this office is not needed. Candidate species are not legally protected pursuant to the ESA. However, the Service encourages consideration of these species by avoiding adverse impacts to them. Please contact this office for additional coordination if your project action area contains candidate species. Should project plans change or if additional information on the distribution of proposed or listed species, proposed or designated critical habitat, or bald eagles becomes available, this determination may be reconsidered. This certification letter is valid for 1 year. Information about the online project review process including instructions, species information, and other information regarding project reviews within North Carolina is available at our website <http://www.fws.gov/raleigh/pp.html>. If you have any questions, you can write to us at Raleigh@fws.gov or please contact Leigh Mann of this office at 919-856-4520, ext. 10.

Sincerely,

/s/Pete Benjamin

Pete Benjamin
Field Supervisor
Raleigh Ecological Services

Enclosures - project review package

Species Conclusions Table

Project Name: East Haven Apartments in Rocky Mount, Edgecombe County, NC

Date: November 16, 2021

Species / Resource Name	Conclusion	ESA Section 7 / Eagle Act Determination	Notes / Documentation
Bald Eagle	No suitable habitat present	No Eagle Act Permit Required	No nests on or within 660 feet of site
Neuse River Waterdog	No suitable habitat present	No effect	Habitat assessment indicated no suitable habitat present
Carolina Madtom	No suitable habitat present	No effect	Habitat assessment indicated no suitable habitat present
Atlantic Pigtoe (proposed)	No suitable habitat present	No effect	Habitat assessment indicated no suitable habitat present
Tar River Spiny mussel	No suitable habitat present	No effect	Habitat assessment indicated no suitable habitat present
Monarch Butterfly (candidate)	No suitable habitat present	N/A	Habitat assessment indicated no suitable habitat present

Acknowledgement: I agree that the above information about my proposed project is true. I used all of the provided resources to make an informed decision about impacts in the immediate and surrounding areas.



Chris Daves, P.W.S./Senior Scientist

November 16, 2021

Date

Signature /Title



Protected Species Assessment
East Haven Apartments
Rocky Mount, Edgecombe Co., NC
S&ME Project No. 218540

PREPARED FOR:

KB Rocky Mount, LLC
709 North Main Street, Suite 200
Aynor, SC 29511

PREPARED BY:

S&ME, Inc.
134 Suber Road
Columbia, SC 29210

November 16, 2021



November 16, 2021

KB Rocky Mount, LLC
709 North Main Street, Suite 200
Aynor, South Carolina 29511

Attention: Mr. Brad Queener
brad@bradleydevelopers.com

Reference: **Protected Species Assessment
East Haven Apartments**
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. Queener:

S&ME, Inc. (S&ME) is pleased to submit our Protected Species Assessment for the above-referenced project located in Edgecombe County, North Carolina. This work was performed in general accordance with S&ME Proposal No. 218540, dated September 20, 2021 and our Agreement for Services Form (AS-071).

S&ME appreciates the opportunity to be of service to you by performing this Protected Species Assessment for this project. Please contact us at (803) 561-9024 with questions regarding this report or if you require additional information.

Sincerely,

S&ME

A handwritten signature in cursive script that reads "Chris Handley".

Chris Handley
Biologist
chandley@smeinc.com

A handwritten signature in cursive script that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com



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- Appendix II – County Species Lists from USFWS and NCNHP
- Appendix III – NCNHP/USFWS Correspondence



1.0 Project Background

This Protected Species Assessment has been conducted to assess the potential for the presence of protected species on the site in preparation for a planned apartment development in Rocky Mount, Edgecombe County, North Carolina. The project will be funded by federal Community Development Block Grant – Disaster Recovery Program (CDBG-DR) monies administered by the U.S. Department of Housing and Urban Development (HUD). S&ME is requesting the technical assistance (in the form of a written Response Letter) of the U.S. Fish and Wildlife Service (USFWS) as to whether site activities would likely result in “take” as defined under Section 9 of the Endangered Species Act (ESA).

The 4.83-acre site (Action Area) is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is represented by Edgecombe County tax parcel number 3860-40-6710 and consists of wooded land. The proposed project involves the construction of 64 units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built Low-Income Housing Tax Credit (LIHTC) apartments and single-family homes by the Rocky Mount Edgecombe County Development Corporation. The location of the site is shown on the **Exhibits** in **Appendix I**.

2.0 Site and Habitat Descriptions

The site is located in western Edgecombe County within the Rolling Coastal Plain/Southeastern Plains ecoregion of North Carolina. The properties adjacent to site consist of residences, apartment complexes, commercial businesses, and wooded land. Please refer to the **Exhibits** and the site photographs in **Appendix I** for depictions of the habitat types.

The site consisted pine-mixed hardwood woodland (Photographs 1-4). Typical overstory species observed included loblolly pine (*Pinus taeda*), willow oak (*Quercus phellos*), sweetgum (*Liquidambar styraciflua*) and eastern red cedar (*Juniperus virginiana*). The understory consisted of those of the canopy dominants, tulip poplar (*Liriodendron tulipifera*), black cherry (*Prunus serotina*), American holly (*Ilex opaca*), and blackjack oak (*Q. marilandica*). Woody vine and groundcover species observed included poison ivy (*Toxicodendron radicans*), muscadine (*Vitis rotundifolia*), roundleaf greenbrier (*Smilax rotundifolia*), Japanese honeysuckle (*Lonicera japonica*), and ebony spleenwort (*Asplenium platyneuron*).

3.0 Methodology

S&ME personnel reviewed the USFWS and the North Carolina Natural Heritage Program (NCNHP) websites to determine those species currently listed as federally protected (threatened, endangered), candidate, or proposed in Edgecombe County. S&ME also consulted with the USFWS Information for Planning and Consultation (IPaC) website to request an Official Species List for the site. The results of this search, including identified species and preferred habitat, served as the basis of the field review, and are presented in **Table 4-1**.



The NCNHP maintains a database of elements of occurrence for protected species in the state of North Carolina. S&ME contacted the NCNHP to conduct a search of their database regarding the known presence of protected species on or near the site. Refer to **Appendix III** for details of this consultation with NCNHP.

Supporting information was researched for the purpose of identifying soil types, vegetative communities, and possible drainage features on the site. The supporting information reviewed included aerial photography, topographic quadrangle maps, soil survey sheets, land use information, and data from the National Wetlands Inventory (NWI).

S&ME Biologist, Chris Daves, P.W.S., performed a field review on October 13, 2021. The information obtained from supporting documentation was integrated with the field review to identify potential areas of preferred habitat of protected species. Portions of the site that matched descriptions of preferred habitat for protected species listed in **Table 4-1** were considered to be potential habitat for the respective protected species. These areas were subsequently field reviewed to confirm the presence/absence of the respective species. Please note that formal turtle, mussel, or bat (mist netting or acoustic) surveys were not conducted for listed species.

4.0 Federally Listed Species

Descriptions of the species and their respective federal status are identified in **Table 4-1** and in **Appendix II**. The USFWS and NCNHP websites identified the following federally listed species for Edgecombe County:

Table 4-1 Federally Listed Flora and Fauna Summary

Species	Listing	Habitat
Bald Eagle <i>Haliaeetus leucocephalus</i>	BGEPA	Coastlines, rivers, large lakes which provide adequate feeding grounds.
Neuse River Waterdog <i>Necturus lewisi</i>	T	Low-to-moderate gradient streams with low current velocity. Streams with large granite rocks and abundant leaf litter.
Carolina Madtom <i>Noturus furiosus</i>	E	Riffles, runs, and pools in medium to large streams with silt-free, stable, gravel and cobble bottoms with abundant cover.
Atlantic Pigtoe <i>Acipenser oxyrinchus</i>	PT	Shallow coastal waters and estuaries; Spawns in freshwater areas.
Tar River Spiny mussel <i>Elliptio steinstansana</i>	E	Unconsolidated beds of coarse sand and gravel in relatively fast flowing streams.
Monarch Butterfly <i>Danaus plexippus</i>	C	Open areas such as field and roadsides. Milkweed host plants.

E = Endangered

T = Threatened

BGEPA = Bald and Golden Eagle Protection Act

PT = Proposed Threatened

C = Candidate



4.1 Bald Eagle

BIOLOGICAL DETERMINATION: NO EFFECT

This large raptor has characteristic adult plumage consisting of a white head and tail with a dark brown body. Juvenile eagles are completely dark brown and do not fully develop the majestic white head and tail until the fifth or sixth year. Adults average about three feet from head to tail, weigh approximately 10 to 12 pounds and have a wingspread that can reach seven feet. Generally, female bald eagles are larger than the males. The typical nest is constructed of large sticks and is lined with soft materials such as pine needles and grasses. The nests are very large, measuring up to six feet across and weighing hundreds of pounds. Nesting and feeding sites are generally in the vicinity of large bodies of open water (coastlines, rivers, large lakes).

The site does not contain suitable nesting habitat for the bald eagle. There are no coastlines, rivers, or large lakes on or immediately adjacent to the site considered suitable habitat for the bald eagle. Accordingly, future development of the site is not expected to impact this species.

4.2 Neuse River Waterdog

BIOLOGICAL DETERMINATION: NO EFFECT

The Neuse River waterdog is a permanently aquatic salamander. It can grow up to 11 inches long and has a reddish-brown body with an irregular pattern of large blue or black spots. The waterdog has a laterally compressed tail the same coloration as the body; however, the belly is typically a dull brown or gray color with spots similar to those seen elsewhere on the body. Adult Neuse River waterdogs have elongated heads with squared-off noses, cylindrical trunks, and tails that are laterally compressed and ridged. There are dark brown or blackish spots throughout the surface that are smaller on the underside. The limbs are rather small and the front and hind feet have four toes each. The Neuse River waterdog inhabits low-to-moderate gradient streams with low-current velocity. The species dwells in stream wider than 15 meters but has also been found in smaller creeks.

No streams were present on the site. According to IPaC, no known critical habitat for Neuse River waterdog was listed on or immediately downstream of the site. Accordingly, future development of the site is not expected to impact this species.

4.3 Carolina Madtom

BIOLOGICAL DETERMINATION: NO EFFECT

The Carolina madtom is a small catfish, reaching a maximum length of nearly five inches. The Carolina madtom has a short, chunky body and a distinct color pattern. Three dark saddles along its back connect a wide, black stripe along its side extending from its snout to the base of its tail. The adipose fin has a dark blotch that does not quite reach the fin's edge, giving the impression of a fourth saddle. Yellow to tan blotches space the saddles, while the rest of the fish is tan. The belly is un-speckled, and the tail has crescent-shaped brown bands near its edge and center. Its pectoral spines have well-defined serrated projections along both margins.



The species occurs in riffles, runs, and pools in medium to large streams and rivers. It inhabits fresh waters with continuous, year-round flow and moderate gradient in both the Piedmont and Coastal Plain physiographic regions. Optimal substrate for the Carolina madtom is predominantly silt-free, stable, gravel, and cobble bottom habitat, and it must have cover for nest sites, including under rocks, bark, and relic mussel shells.

No streams were present on the site. According to IPaC, no known critical habitat for Carolina madtom was listed on or immediately downstream of the site. Accordingly, future development of the site is not expected to impact this species.

4.4 Atlantic Pigtoe

BIOLOGICAL DETERMINATION: NO EFFECT

The Atlantic pigtoe has a rhombus shaped outer shell which is yellow to dark brown in color with a parchment-like texture. The inner shell is iridescent blue to salmon, white, or orange. This species rarely exceeds two inches in length. Young individuals have greenish rays across the shell. This species is also known for interlocking hinge-like teeth on the inside of the shell to keep the valves in proper alignment. The Atlantic pigtoe prefers coarse gravel and sand substrate and is rarely found in silt or detritus. Historically, this species was identified in small creeks to larger rivers with excellent water quality with flows sufficient to maintain clean, silt-free substrates.

No streams were present on the site. According to IPaC, no known critical habitat for Atlantic pigtoe was listed on or immediately downstream of the site. Accordingly, future development of the site is not expected to impact this species.

4.5 Tar River Spinemussel

BIOLOGICAL DETERMINATION: NO EFFECT

The Tar River spinemussel is a medium-sized mussel. Clean young shells are shiny, usually yellowish brown, and often have greenish rays streaking outward from the hinge area. Older shells become brownish and tend to lack rays. One or two rows of spines can be present, with up to six spines on each valve. The spines rarely exceed 5mm in length. Shells rarely exceed 55mm in length.

The Tar River spinemussel lives in relatively silt-free unconsolidated beds of coarse sand and gravel in relatively fast-flowing, well-oxygenated stream reaches. It is endemic to only the Tar River and Neuse River systems in North Carolina. The species has been documented from the mainstem of the Tar River, Shocco Creek, Fishing Creek, Little Fishing Creek, Swift Creek, and Chicod Creek. It has also been documented in the Little River in the Neuse River system.

No streams were present on the site. According to IPaC, no known critical habitat for Tar River spinemussel was listed on or immediately downstream of the site. Accordingly, future development of the site is not expected to impact this species.



4.6 Monarch Butterfly

BIOLOGICAL DETERMINATION: NO EFFECT

The monarch butterfly is under consideration for official listing for which there is sufficient information to support listing (candidate listing). There are generally no Section 7 requirements for candidate species. Adult monarch butterflies are large and conspicuous, with bright orange wings surrounded by a black border and covered with black veins. The black border has a double row of white spots, present on the upper side of the wings. Adult monarchs are sexually dimorphic, with males having narrower wing venation and scent patches. The habitat of the monarch butterfly includes open areas such as field and roadsides. During the breeding season, monarchs lay their eggs on their obligate milkweed host plant (primarily *Asclepias* spp.) the larvae feed on milkweed.

The site does not contain suitable habitat for the monarch butterfly. There are no open areas on the site. Accordingly, future development of the site is not expected to impact this species.

5.0 Summary and Conclusions

Based on the literature review, habitat assessment, and pedestrian field review of the site, the following conclusions are given regarding federally listed species in Edgecombe County:

- ◆ The site does not provide suitable habitat for the listed protected (threatened or endangered), candidate, or proposed species. Our opinion is that proposed project will have “no effect” on these species.

In summary, based on the results of this Protected Species Assessment, the proposed project is eligible to use a Self-Certification Letter that will be forwarded to the USFWS (Raleigh@fws.gov) for their records. The USFWS will review and comment on the Self-Certification Letter and Protected Species Assessment as needed and will provide confirmation of receipt.

6.0 Qualifications

The field survey was led by Mr. Chris Daves of S&ME. Mr. Daves is a Senior Scientist with over 20 years of experience in environmental consulting. Mr. Daves is proficient in conducting wetland delineations, environmental permitting activities, and habitat assessments, including protected species surveys. He is a Professional Wetland Scientist (P.W.S.) and holds a B.S. degree in Biology from Wofford College and a Master’s degree in Earth and Environmental Resources Management from the University of South Carolina.



7.0 References Consulted

The following sources were referenced during the course of this assessment:

- ◆ North Carolina Natural Heritage Program Online Data Search. 2021. Department of Environment and Natural Resources, Office of Land and Water Stewardship, Raleigh, NC. www.ncnhp.org; Accessed October 12, 2021.
- ◆ North Carolina Wildlife Resources Commission. <http://www.ncwildlife.org/Learning/Species>; Accessed October 11, 2021.
- ◆ USFWS Critical Habitat for Threatened and Endangered Species. <https://fws.maps.arcgis.com/home/webmap/viewer.html?webmap=9d8de5e265ad4fe09893cf75b8dbfb77>; Accessed October 12, 2021.
- ◆ USFWS Raleigh Ecological Services. 2021. https://www.fws.gov/raleigh/PR_15.html; Accessed October 12, 2021.
- ◆ USFWS. 2021. Endangered and Threatened Species and Species of Concern by County for North Carolina. https://www.fws.gov/raleigh/species/cntylist/nc_counties.html; Accessed June 17, 2021.
- ◆ USFWS. 2021. IPaC. <https://ecos.fws.gov/ipac/>; Accessed October 11, 2021.
- ◆ U.S. Department of Agriculture. Soil Conservation Service. Soil Survey of Edgecombe County, 1979.
- ◆ USDA. National Resources Conservation Service. Web Soil Survey, 2021. <http://websoilsurvey.nrcs.usda.gov/app/>; Accessed October 13, 2021.

Appendices

Appendix I – Exhibits and Site Photographs

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



 **Approximate Boundary**

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
1

Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map



Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandlely 10-08-2021

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



 Approximate Boundary



Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977

SCALE:
1" = 500'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
2

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Topo Exhibit.mxd plotted by chandley 10-08-2021

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



 Approximate Boundary



Aerial Exhibit

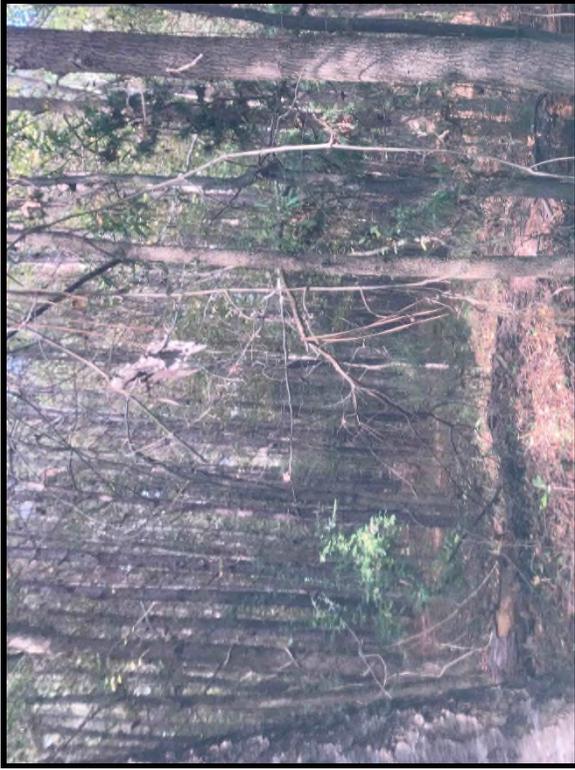
East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Imagery 2020

SCALE:
1" = 200'
DATE:
10-8-21
PROJECT NUMBER
218540

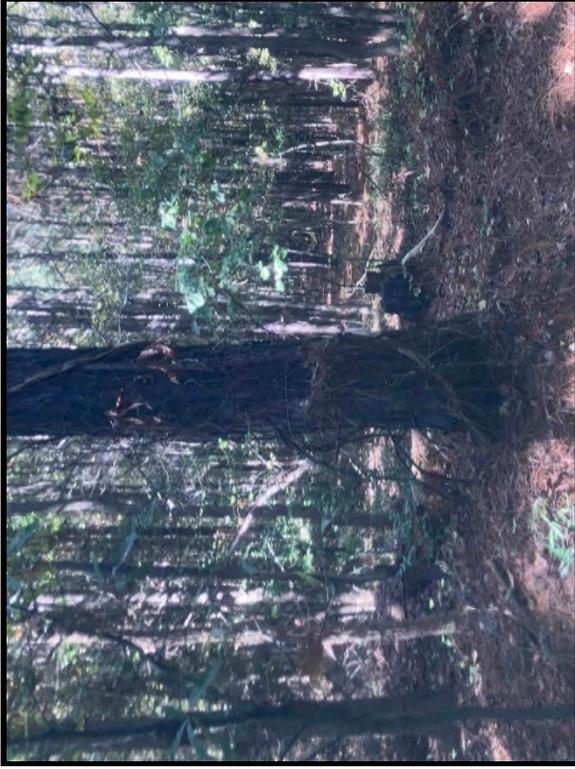
EXHIBIT NO.
3

Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Aerial Exhibit.mxd plotted by chandley 10-08-2021



1

Pine-mixed hardwoods on northeastern portion of site.



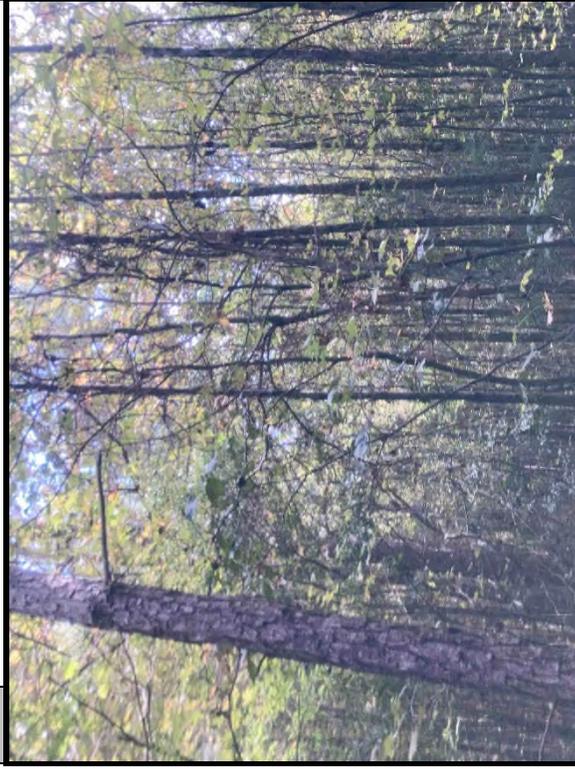
2

Pine-mixed hardwoods on southeastern portion of site.



3

Pine-mixed hardwoods on southwestern portion of site.



4

Pine-mixed hardwoods on northwestern portion of site.



Site Photographs
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina

S&ME Project No. 218540

Taken by: MV

Date: October 13, 2021

Appendix II – County Species Lists from USFWS and NCNHP



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Raleigh Ecological Services Field Office
Post Office Box 33726
Raleigh, NC 27636-3726
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:
Consultation Code: 04EN2000-2022-SLI-0043
Event Code: 04EN2000-2022-E-00093
Project Name: East Haven Apartments

October 11, 2021

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The species list generated pursuant to the information you provided identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

Section 7 of the Act requires that all federal agencies (or their designated non-federal representative), in consultation with the Service, insure that any action federally authorized, funded, or carried out by such agencies is not likely to jeopardize the continued existence of any federally-listed endangered or threatened species. A biological assessment or evaluation may be prepared to fulfill that requirement and in determining whether additional consultation with the Service is necessary. In addition to the federally-protected species list, information on the species' life histories and habitats and information on completing a biological assessment or

evaluation and can be found on our web page at <http://www.fws.gov/raleigh>. Please check the web site often for updated information or changes

If your project contains suitable habitat for any of the federally-listed species known to be present within the county where your project occurs, the proposed action has the potential to adversely affect those species. As such, we recommend that surveys be conducted to determine the species' presence or absence within the project area. The use of North Carolina Natural Heritage program data should not be substituted for actual field surveys.

If you determine that the proposed action may affect (i.e., likely to adversely affect or not likely to adversely affect) a federally-protected species, you should notify this office with your determination, the results of your surveys, survey methodologies, and an analysis of the effects of the action on listed species, including consideration of direct, indirect, and cumulative effects, before conducting any activities that might affect the species. If you determine that the proposed action will have no effect (i.e., no beneficial or adverse, direct or indirect effect) on federally listed species, then you are not required to contact our office for concurrence (unless an Environmental Impact Statement is prepared). However, you should maintain a complete record of the assessment, including steps leading to your determination of effect, the qualified personnel conducting the assessment, habitat conditions, site photographs, and any other related articles.

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

Not all Threatened and Endangered Species that occur in North Carolina are subject to section 7 consultation with the U.S Fish and Wildlife Service. Atlantic and shortnose sturgeon, sea turtles, when in the water, and certain marine mammals are under purview of the National Marine Fisheries Service. If your project occurs in marine, estuarine, or coastal river systems you should also contact the National Marine Fisheries Service, <http://www.nmfs.noaa.gov/>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office. If you have any questions or comments, please contact John Ellis of this office at john_ellis@fws.gov.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Raleigh Ecological Services Field Office

Post Office Box 33726

Raleigh, NC 27636-3726

(919) 856-4520

Project Summary

Consultation Code: 04EN2000-2022-SLI-0043

Event Code: Some(04EN2000-2022-E-00093)

Project Name: East Haven Apartments

Project Type: Federal Grant / Loan Related

Project Description: 5.53 acre site located in Rocky Mount, Edgecomb County, North Carolina. Reason for request of information is due diligence.

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@35.943365400000005,-77.76761518067272,14z>



Counties: Edgecombe County, North Carolina

Endangered Species Act Species

There is a total of 5 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Amphibians

NAME	STATUS
Neuse River Waterdog <i>Necturus lewisi</i> There is final critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/6772	Threatened

Fishes

NAME	STATUS
Carolina Madtom <i>Noturus furiosus</i> There is final critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/528	Endangered

Clams

NAME	STATUS
Atlantic Pigtoe <i>Fusconaia masoni</i> There is proposed critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/5164	Proposed Threatened
Tar River Spiny mussel <i>Elliptio steinstansana</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/1392	Endangered

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.



U.S. Fish & Wildlife Service ECOS

[ECOS](#) / [Species Reports](#) / Species County Report

Listed species believed to or known to occur in Edgecombe, North Carolina

The following report contains species that are known to or are believed to occur in this county, based on the species current range, as defined by the USFWS. The definition of current range that the FWS uses is the general geographic area where we know or suspect that a species currently occurs.

This list of species by county cannot be used for consultation purposes. To obtain an official list of species that should be considered during consultation, please visit [IPaC](#).



Show entries Search:

10 Species Listings

Group	Name	Population	Status	Lead Office	Recovery Plan
Insects	monarch butterfly (Danaus plexippus)	Wherever found	Candidate	3	
	<i>Green Iguana</i>				

Clams	Clamsigona (Lasmigona subviridis)	Wherever found	Under Review	5	
Clams	Tar River spiny mussel (Elliptio steinstansana)	Wherever found	Endangered	4	Tar River Spiny mussel <u>Imple Progi</u>
Clams	Tar River spiny mussel (Elliptio steinstansana)	Wherever found	Endangered	4	Tar River Spiny mussel Recovery Plan Amendment <u>Imple Progi</u>
Fishes	Carolina madtom (Noturus furiosus)	Wherever found	Endangered	4	
Birds	Red-cockaded woodpecker (Picoides borealis)	Wherever found	Endangered	4	Red-cockaded Woodpecker Recovery Plan, Second Revision <u>Imple Progi</u>
Clams	Yellow lance (Elliptio lanceolata)	Wherever found	Threatened	4	Recovery Outline for Yellow Lance (Elliptio lanceolata) <u>Imple Progi</u>
Clams	Atlantic pigtoe (Fusconaia masoni)	Wherever found	Threatened	4	
	Neuse River waterdog	Wherever found			

Amphibians	walel uug (<u>Necturus lewisi</u>)	wurel evel found	Threatened	4	
Clams	Dwarf wedgemussel (<u>Alasmidonta heterodon</u>)	Wherever found	Endangered	5	<u>Dwarf Wedge Mussel</u> <u>Imple Progr</u>

Showing 1 to 10 of 10 entries

Previous

1

Next

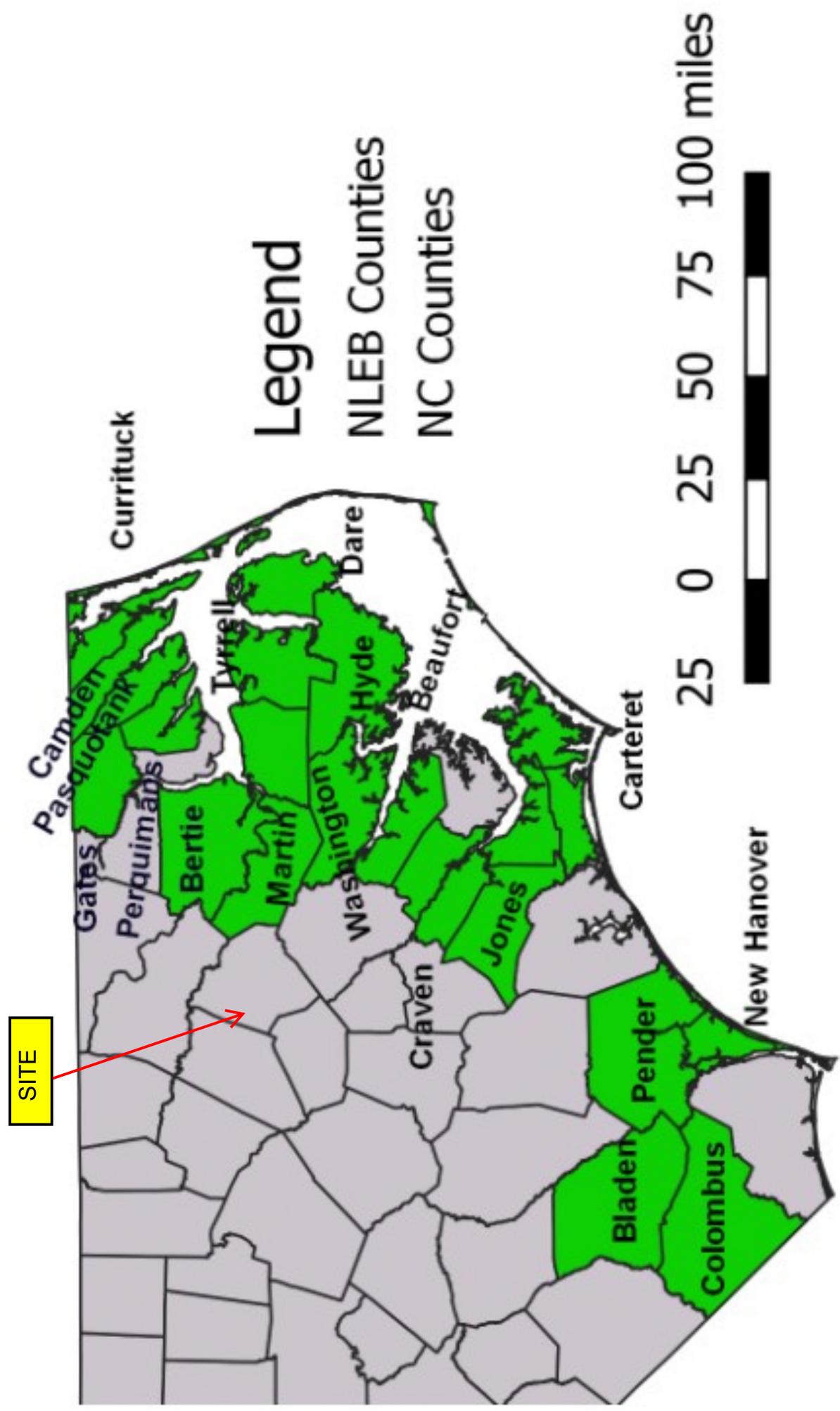
A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R
1	Taxonomic Group	Scientific Name	Common Name	NC Status	Federal Status	State Rank	County Star	Habitat Comment									
2	Freshwater Fish	<i>Acipenser oxyrinchus oxyrinchus</i>	Atlantic Sturgeon	E	E	S2	Current	coastal waters, estuaries, large rivers									
3	Freshwater Bivalve	<i>Elliptio lanceolata</i>	Yellow Lance	E	T	S2	Current	Tar and Neuse drainages									
4	Freshwater Bivalve	<i>Elliptio steinstansana</i> (syn. <i>Parvaspina steinstansana</i>)	Tar River Spiny mussel	E	E	S1	Current	Tar drainage, very rare in Neuse drainage (endemic to North Carolina)									
5	Freshwater Bivalve	<i>Fusconalia masoni</i>	Atlantic Pigtoe	E	PT	S3	Current	Roanoke, Tar, Neuse, Cape Fear, Yadkin-Pee Dee drainages									
6	Bird	<i>Haliaeetus leucocephalus</i>	Bald Eagle	T	BGPA	S3B,S3N	Current	mature forests near large bodies of water (nesting); rivers, lakes, and sounds (foraging) [breeding evidence only]									
7	Amphibian	<i>Necturus lewisi</i>	Neuse River Waterdog	SC	T	S2	Current	rivers and large streams in Neuse and Tar drainages (endemic to North Carolina)									
8	Freshwater Fish	<i>Noturus furiosus</i>	Carolina Madtom	T	E	S2	Current	Tar and Neuse drainages (endemic to North Carolina)									
9	Bird	<i>Picoides borealis</i> (syn. <i>Dryobates borealis</i>)	Red-cockaded Woodpecker	E	E	S2	Historical	mature open pine forests; mainly in longleaf pine [breeding evidence only]									
10																	
11																	
12																	
13																	
14																	
15																	
16																	

NC NHP List



Eastern North Carolina areas where incidental take may be a special consideration:

According to our records, NLEB is known to be present in the green counties highlighted below. Some of these counties, listed below the map, also contain known roost trees for NLEB. To find out if your project requires further consultation please click on the link for the respective county to see a more detailed "Red HUC" map that identifies in red the areas that may be subject to restrictions related to maternity roosting sites.



Appendix III – NCNHP/USFWS Correspondence



Roy Cooper, Governor

D. Reid Wilson, Secretary

Walter Clark
Director, Division of Land and Water Stewardship

NCNHDE-16016

October 12, 2021

Ashley Bentz
S&ME, Inc.
3201 Spring Forest Road
Raleigh, NC 27616
RE: East Haven Apartments

Dear Ashley Bentz:

The North Carolina Natural Heritage Program (NCNHP) appreciates the opportunity to provide information about natural heritage resources for the project referenced above.

Based on the project area mapped with your request, a query of the NCNHP database indicates that there are no records for rare species, important natural communities, natural areas, and/or conservation/managed areas within the proposed project boundary. Please note that although there may be no documentation of natural heritage elements within the project boundary, it does not imply or confirm their absence; the area may not have been surveyed. The results of this query should not be substituted for field surveys where suitable habitat exists. In the event that rare species are found within the project area, please contact the NCNHP so that we may update our records.

The attached 'Potential Occurrences' table summarizes rare species and natural communities that have been documented within a one-mile radius of the property boundary. The proximity of these records suggests that these natural heritage elements may potentially be present in the project area if suitable habitat exists. Tables of natural areas and conservation/managed areas within a one-mile radius of the project area, if any, are also included in this report.

If a Federally-listed species is found within the project area or is indicated within a one-mile radius of the project area, the NCNHP recommends contacting the US Fish and Wildlife Service (USFWS) for guidance. Contact information for USFWS offices in North Carolina is found here: <https://www.fws.gov/offices/Directory/ListOffices.cfm?statecode=37>.

Please note that natural heritage element data are maintained for the purposes of conservation planning, project review, and scientific research, and are not intended for use as the primary criteria for regulatory decisions. Information provided by the NCNHP database may not be published without prior written notification to the NCNHP, and the NCNHP must be credited as an information source in these publications. Maps of NCNHP data may not be redistributed without permission.

The NC Natural Heritage Program may follow this letter with additional correspondence if a Dedicated Nature Preserve, Registered Heritage Area, Land and Water Fund easement, or Federally-listed species are documented near the project area.

If you have questions regarding the information provided in this letter or need additional assistance, please contact Rodney A. Butler at rodney.butler@ncdcr.gov or 919-707-8603.

Sincerely,
NC Natural Heritage Program

Natural Heritage Element Occurrences, Natural Areas, and Managed Areas Within a One-mile Radius of the Project Area
 East Haven Apartments
 October 12, 2021
 NCNHDE-16016

No Element Occurrences are Documented Within a One-mile Radius of the Project Area

No Natural Areas are Documented Within a One-mile Radius of the Project Area

Managed Areas Documented Within a One-mile Radius of the Project Area

Managed Area Name	Owner	Owner Type
City of Rocky Mount Open Space	City of Rocky Mount	Local Government
City of Rocky Mount - Lancaster Park	City of Rocky Mount	Local Government
City of Rocky Mount Open Space	City of Rocky Mount	Local Government

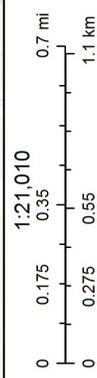
Definitions and an explanation of status designations and codes can be found at <https://ncnhde.natureserve.org/help>. Data query generated on October 12, 2021; source: NCNHP, Q2 July 2021. Please resubmit your information request if more than one year elapses before project initiation as new information is continually added to the NCNHP database.

NCNHDE-16016: East Haven Apartments



October 12, 2021

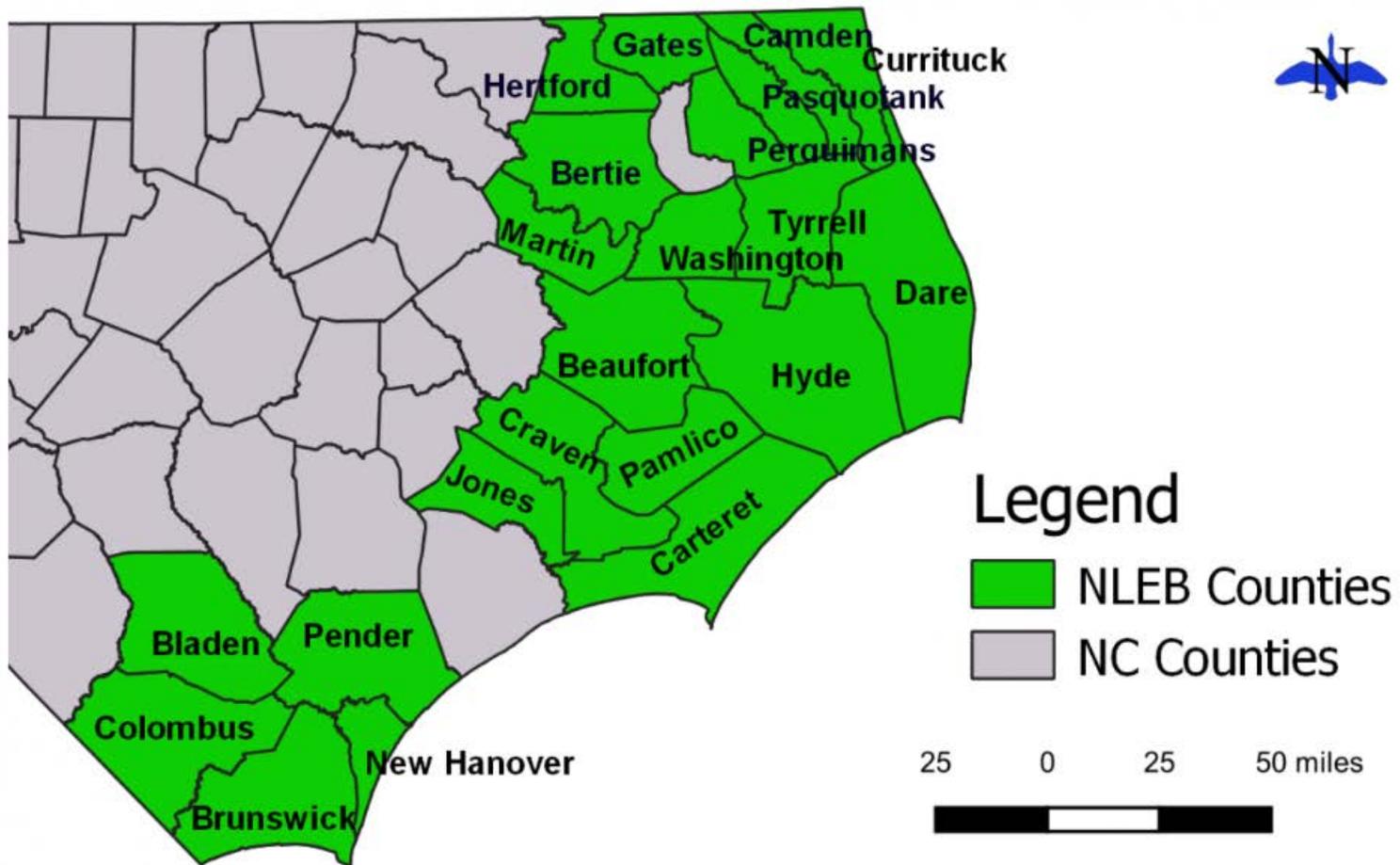
-  Project Boundary
-  Buffered Project Boundary
-  Managed Area (MAREA)



Sources: Esri, HERE, Garmin, Intermap, increment P. Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



Northern Long-eared bat distribution in North Carolina



EXPLOSIVE & FLAMMABLE OPERATIONS SUMMARY

Site Reconnaissance

ASTs or explosive storage facilities were not observed within project area during site reconnaissance. *See attached Thermal and Explosive Hazards datasheets.*

Agency Consultation and Other Interviews

In October/November 2021, S&ME reviewed the NCDENR AST database for potential ASTs located in the vicinity of the site. S&ME also interviewed NCDENR staff (877-623-6748) regarding the status of their database. According to NCDENR, the web version is the most up-to-date AST data. NCDNR stated ASTs are not regulated in the state of North Carolina and registration is not required unless the facility qualifies as an Oil Terminal Facility. The Department of Environmental Quality (DEQ) does not regulate the installation, construction, permitting, or monitoring of ASTs. The data within the Regional Aboveground Storage Tank (RAST) dataset contains all incidents or locations where there has been a discharge of petroleum to the soil and/or groundwater, from a source other than an Underground Storage Tank (UST) system (i.e., AST systems, spills, dumping, etc.). In addition, the following agency was contacted to determine if there are plans to construct potentially explosive tanks in the vicinity of the neighborhood:

- Rocky Mount Fire Department (Fire Chief Corey Mercer: 252-972-1498) – <https://rockymountnc.gov/fire/>
- City of Rocky Mount Development Services (Will Deaton – Director of Development Services: 232-972-1172) – <https://rockymountnc.gov/development-services/>

The Fire Department and Development Services Department were not aware of current sites or plans to construct potentially explosive tanks in the vicinity of the project area. No AST sites were identified on the NCDENR database within a one-mile radius of the site.

Records Review

S&ME viewed the following sources to determine if ASTs were located on the project area or within a mile of the project area:

- USGS 7.5-Minute Topographic Quadrangle Map – Rocky Mount, NC –1977 (*See attached 1-Mile Radius Exhibit*)
- 2019 World Imagery Aerial Photograph – (*See attached 1-Mile Radius Exhibit*)
- 1993-2018 Google Earth Aerial Photographs – Google Earth Mapping Software
- Edgecombe County GIS Aerial Photographs – (<https://gis.edgecombecountync.gov/maps/default.htm>)
- NCDENR AST Database – (<https://data-ncdenr.opendata.arcgis.com/datasets/rast>)

ASTs were not evident on aerial photography or topographic maps within a one-mile radius of the project area.

Conclusion

No mitigation appears necessary.



Thermal and Explosive Hazards

Project Name	Investigator(s)	Site Visit Date
East Haven Apts.	C. Daves	10/13/2021

Part I –Above Ground Storage Tanks – Site Review

Are any above ground storage tanks visible from the site?

Yes No

If yes, are these tanks 100-gallons or larger?

Yes No

List visible tanks of 100-gallons or more						
Tank Identifier	Tank Distance (ft)	Tank Size/Contents	Flammable? (Yes or No)	Pressurized? (Yes or No)	ASD ¹ (ft) Thermal Radiation	ASD (ft) Blast Pressure

¹ASD = Acceptable Separation Distance as defined in "Siting of HUD-Assisted Projects Near Hazardous Facilities"

Is the project site within the ASD of any above ground storage tank visible from the site?

Yes No

If yes, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
None

Part II –Above Ground Storage Tanks – Agency Consultation

Has consultation with the Local Public Safety or Fire Department indicated the presence of thermal/explosive hazards that may affect the site (Attach record of consultation)?

Yes No

If yes, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
NCDENR AST Database consultation. Consult with City of Rocky Mount Fire Department and Development Services Department.
No ASTs were noted. No mitigation appears necessary.



Part III – Above Ground Storage Tanks – Record Review

Are above ground storage tanks, which are visible on aerial photographs and USGS topographic maps, located within 1-mile of the site (Attach copies of documents reviewed)?

Yes No

If yes, are these tanks 100-gallons or larger?

Yes No

List tanks of 100-gallons or more.						
Tank Identifier	Tank Distance (ft)	Tank Size/Contents	Flammable? (Yes or No)	Pressurized? (Yes or No)	ASD ¹ (ft) Thermal Radiation	ASD (ft) Blast Pressure

¹ASD = Acceptable Separation Distance as defined in "Siting of HUD-Assisted Projects Near Hazardous Facilities"

Is the project site within the ASD of any above ground storage tank?

Yes No

If yes are there acceptable barriers (natural or manmade) between the site and the tank?

Yes No

Identify Acceptable Barriers ²

²Acceptable barriers must meet the conditions of 24 CFR § 51.205

If no, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
No mitigation necessary.
Additional Comments or Recommendations

Chris Daves

Lead Investigator's Signature

10/18/2021

Date

REFERENCE:

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-  Regional Aboveground Storage Tanks (RAST)
-  1-Mile Radius
-  Approximate Boundary



Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments 1-Mile Radius Aerial Exhibit.mxd plotted by chandley 10-12-2021



1-Mile Radius Aerial Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

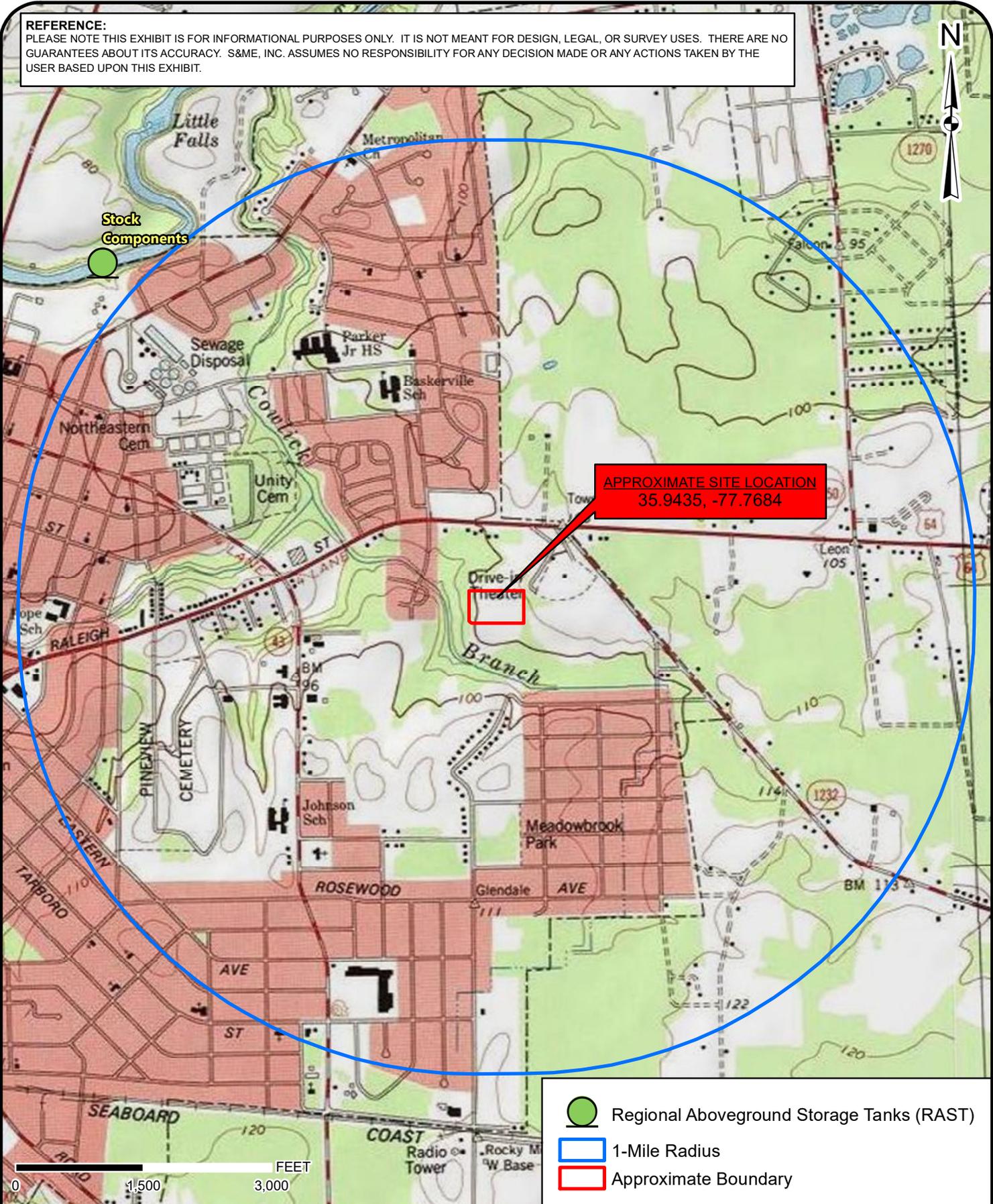
Source: World Imagery 2020 & NCDEQ

SCALE:	1" = 1,500'
DATE:	10-12-21
PROJECT NUMBER	218540

EXHIBIT NO.	
-------------	--

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684

-  Regional Aboveground Storage Tanks (RAST)
-  1-Mile Radius
-  Approximate Boundary

0 1,500 3,000 FEET



1-Mile Radius Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977 & NCDEQ

SCALE:
1" = 1,500'

DATE:
10-12-21

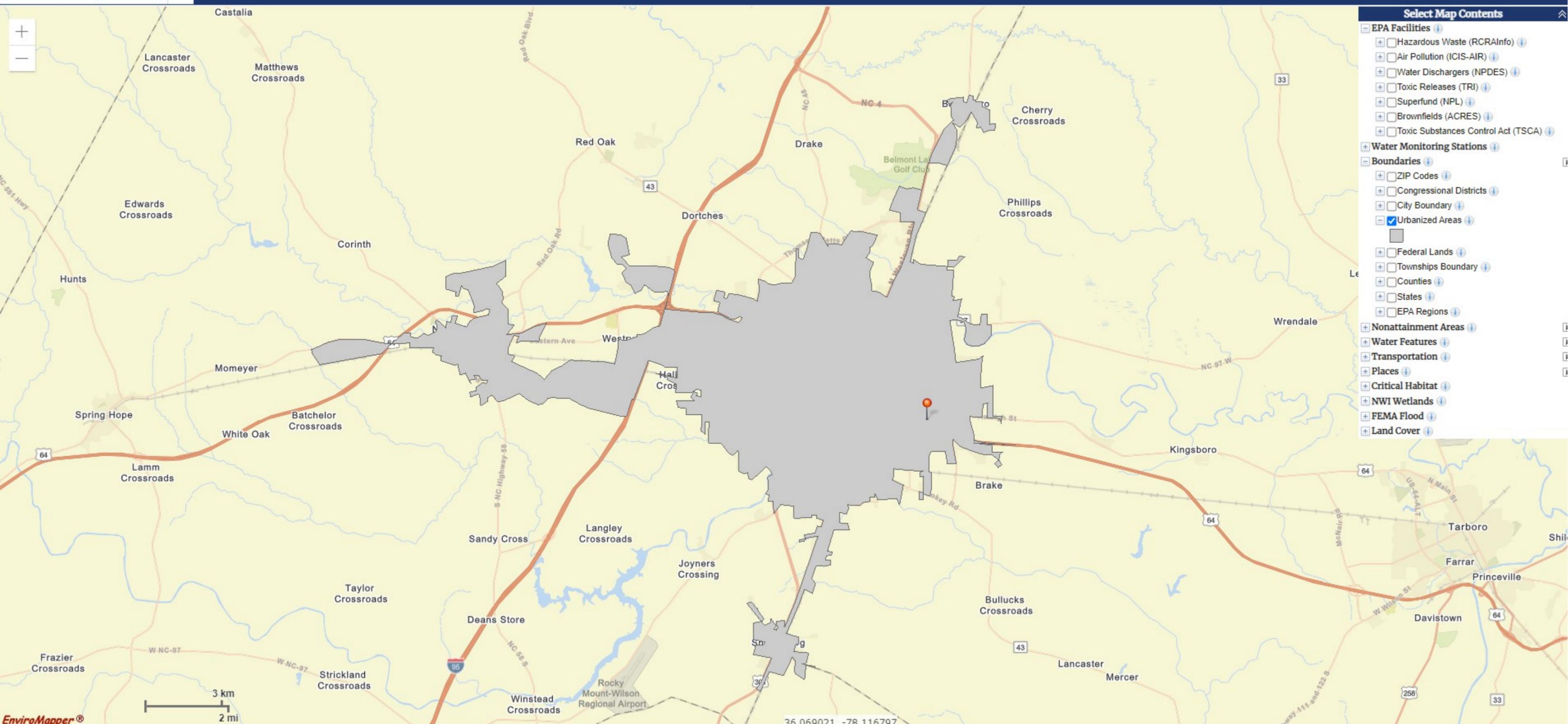
PROJECT NUMBER
218540

EXHIBIT NO.

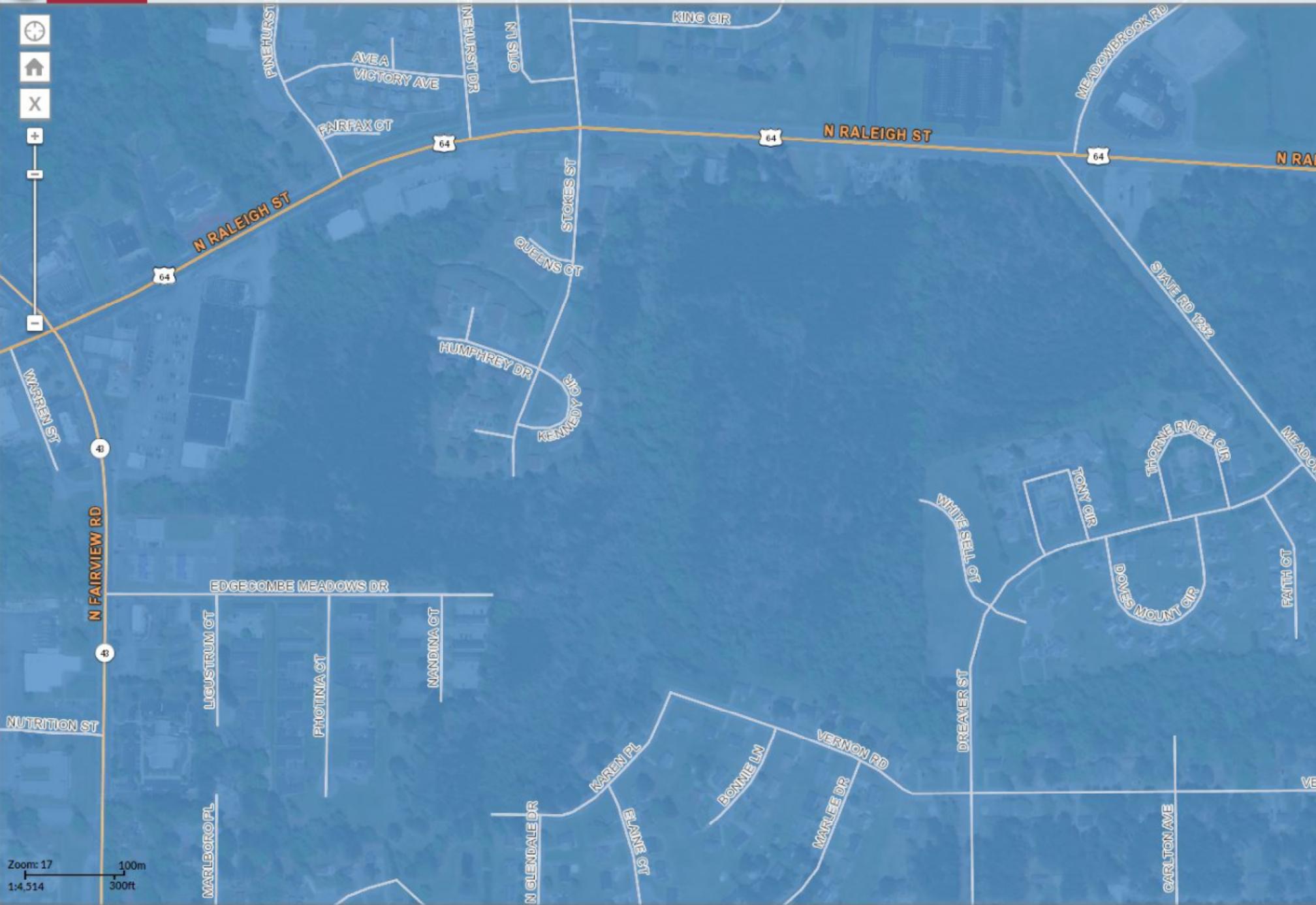
Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apartments 1-Mile Radius Topo Exhibit.mxd plotted by chandley, 10-12-2021

dreaver road, rocky mount

- Basemap
- Imagery
- Draw
- Erase
- Save Session
- Tools
- More Data



- ### Select Map Contents
- EPA Facilities
 - Hazardous Waste (RCRAInfo)
 - Air Pollution (ICIS-AIR)
 - Water Dischargers (NPDES)
 - Toxic Releases (TRI)
 - Superfund (NPL)
 - Brownfields (ACRES)
 - Toxic Substances Control Act (TSCA)
 - Water Monitoring Stations
 - Boundaries
 - ZIP Codes
 - Congressional Districts
 - City Boundary
 - Urbanized Areas
 - Federal Lands
 - Townships Boundary
 - Counties
 - States
 - EPA Regions
 - Nonattainment Areas
 - Water Features
 - Transportation
 - Places
 - Critical Habitat
 - NWI Wetlands
 - FEMA Flood
 - Land Cover



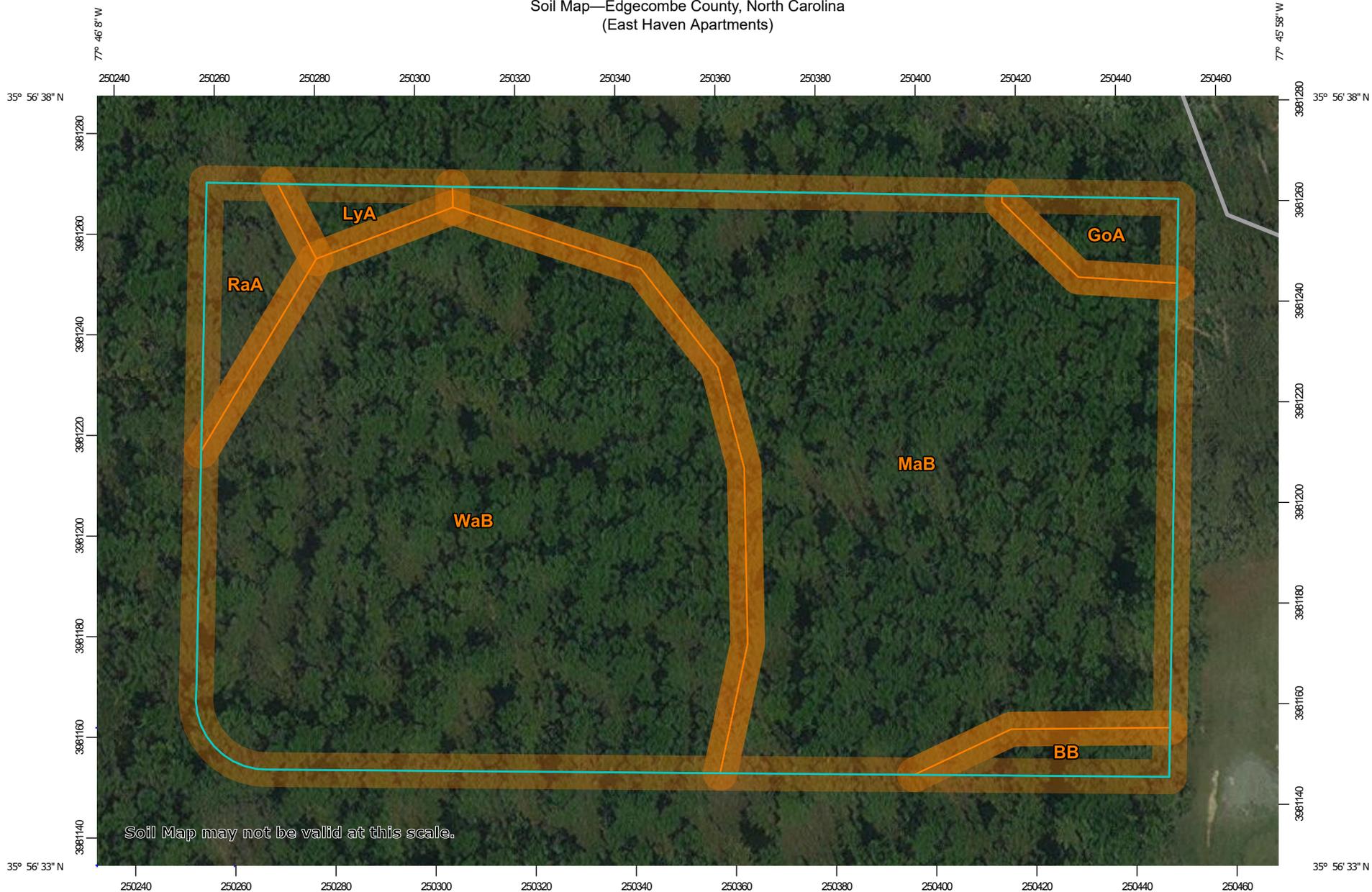
- Home icon
- Close icon (X)
- Zoom in (+)
- Zoom out (-)

Zoom: 17
1:4,514 100m 300ft

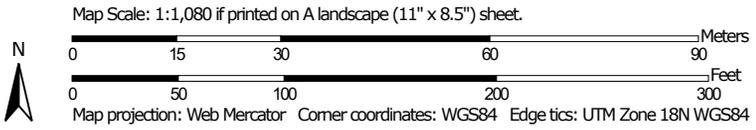
Current Extent (degs):
[-77.7767, 35.9393] [-77.7591, 35.9478]

Map Loaded.

Soil Map—Edgecombe County, North Carolina
(East Haven Apartments)



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Edgecombe County, North Carolina
Survey Area Data: Version 18, Sep 3, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 23, 2015—Feb 25, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BB	Bibb soils	0.1	1.7%
GoA	Goldsboro fine sandy loam, 0 to 2 percent slopes	0.1	2.0%
LyA	Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.1	1.4%
MaB	Marlboro sandy loam, 2 to 6 percent slopes	2.5	44.9%
RaA	Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.2	3.1%
WaB	Wagram loamy sand, 0 to 6 percent slopes	2.6	46.8%
Totals for Area of Interest		5.6	100.0%

Edgecombe County, North Carolina

BB—Bibb soils

Map Unit Setting

National map unit symbol: 132pj
Elevation: 80 to 330 feet
Mean annual precipitation: 38 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 210 to 265 days
Farmland classification: Not prime farmland

Map Unit Composition

Bibb, undrained, and similar soils: 80 percent
Johnston, undrained, and similar soils: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Bibb, Undrained

Setting

Landform: Flood plains
Landform position (two-dimensional): Toeslope
Down-slope shape: Concave
Across-slope shape: Linear
Parent material: Sandy and loamy alluvium

Typical profile

A - 0 to 6 inches: sandy loam
Cg1 - 6 to 60 inches: sandy loam
Cg2 - 60 to 80 inches: loamy sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): High
(1.98 to 5.95 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: FrequentNone
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 7.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 5w
Hydrologic Soil Group: A/D
Hydric soil rating: Yes

Description of Johnston, Undrained

Setting

Landform: Flood plains

Down-slope shape: Concave

Across-slope shape: Linear

Parent material: Sandy and loamy alluvium

Typical profile

A - 0 to 30 inches: mucky loam

Cg1 - 30 to 34 inches: loamy fine sand

Cg2 - 34 to 80 inches: fine sandy loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Very poorly drained

Runoff class: Ponded

Capacity of the most limiting layer to transmit water (Ksat): High
(1.98 to 5.95 in/hr)

Depth to water table: About 0 inches

Frequency of flooding: NoneFrequent

Frequency of ponding: Frequent

Available water supply, 0 to 60 inches: High (about 9.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 7w

Hydrologic Soil Group: A/D

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

GoA—Goldsboro fine sandy loam, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 2v751

Elevation: 130 to 270 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Goldsboro and similar soils: 83 percent

Minor components: 17 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Goldsboro

Setting

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 7 inches: fine sandy loam

E - 7 to 12 inches: fine sandy loam

Bt - 12 to 54 inches: sandy clay loam

Btg - 54 to 82 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 24 to 36 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Moderate (about 8.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: B

Hydric soil rating: No

Minor Components

Norfolk

Percent of map unit: 10 percent

Landform: Flats on marine terraces, broad interstream divides on
marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear, convex

Across-slope shape: Linear, convex

Hydric soil rating: No

Lynchburg

Percent of map unit: 7 percent

Landform: Broad interstream divides on marine terraces, flats on
marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

LyA—Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2vx8m

Elevation: 20 to 200 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 64 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Lynchburg and similar soils: 82 percent

Minor components: 18 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Lynchburg

Setting

Landform: Marine terraces

Landform position (three-dimensional): Tread

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam

Bt - 8 to 50 inches: sandy clay loam

Btg - 50 to 68 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Somewhat poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 6 to 18 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 4.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: B/D

Hydric soil rating: No

Minor Components

Goldsboro

Percent of map unit: 8 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Rains, undrained

Percent of map unit: 5 percent

Landform: Flats on marine terraces, broad interstream divides on marine terraces, carolina bays on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Rains, drained

Percent of map unit: 5 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces, carolina bays on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

MaB—Marlboro sandy loam, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 132sb

Elevation: 80 to 330 feet

Mean annual precipitation: 38 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 210 to 265 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Marlboro and similar soils: 90 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Marlboro

Setting

Landform: Ridges on marine terraces, broad interstream divides on marine terraces

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Clayey marine deposits

Typical profile

Ap - 0 to 10 inches: sandy loam

Bt1 - 10 to 71 inches: sandy clay

Bt2 - 71 to 80 inches: sandy clay

Properties and qualities

Slope: 2 to 6 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 48 to 72 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: High (about 9.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: B

Hydric soil rating: No

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina
Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

RaA—Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2v75b

Elevation: 30 to 330 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Rains, undrained, and similar soils: 70 percent

Rains, drained, and similar soils: 16 percent

Minor components: 14 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Rains, Undrained

Setting

Landform: Broad interstream divides on marine terraces, carolina bays on marine terraces, flats on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

A - 0 to 8 inches: fine sandy loam

Eg - 8 to 13 inches: fine sandy loam

Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 0 to 12 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: B/D

Hydric soil rating: Yes

Description of Rains, Drained

Setting

Landform: Broad interstream divides on marine terraces, carolina bays on marine terraces, flats on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam

Eg - 8 to 13 inches: fine sandy loam

Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 24 to 36 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 3w

Hydrologic Soil Group: B/D

Hydric soil rating: Yes

Minor Components

Lynchburg

Percent of map unit: 8 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Pantego, ponded

Percent of map unit: 6 percent

Landform: Broad interstream divides, flats

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Concave

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina
Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

WaB—Wagram loamy sand, 0 to 6 percent slopes

Map Unit Setting

National map unit symbol: 132x9

Elevation: 80 to 330 feet

Mean annual precipitation: 38 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 210 to 265 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Wagram and similar soils: 90 percent

Minor components: 5 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wagram

Setting

Landform: Ridges on marine terraces, broad interstream divides on marine terraces

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: loamy sand

E - 8 to 24 inches: loamy sand

Bt - 24 to 75 inches: sandy clay loam

BC - 75 to 83 inches: sandy loam

Properties and qualities

Slope: 0 to 6 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 60 to 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Moderate (about 6.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2s

Hydrologic Soil Group: A

Hydric soil rating: No

Minor Components

Bibb, undrained

Percent of map unit: 3 percent

Landform: Flood plains

Landform position (two-dimensional): Toeslope

Down-slope shape: Concave

Across-slope shape: Linear

Hydric soil rating: Yes

Johnston, undrained

Percent of map unit: 2 percent

Landform: Flood plains

Down-slope shape: Concave

Across-slope shape: Linear

Hydric soil rating: Yes

Data Source Information

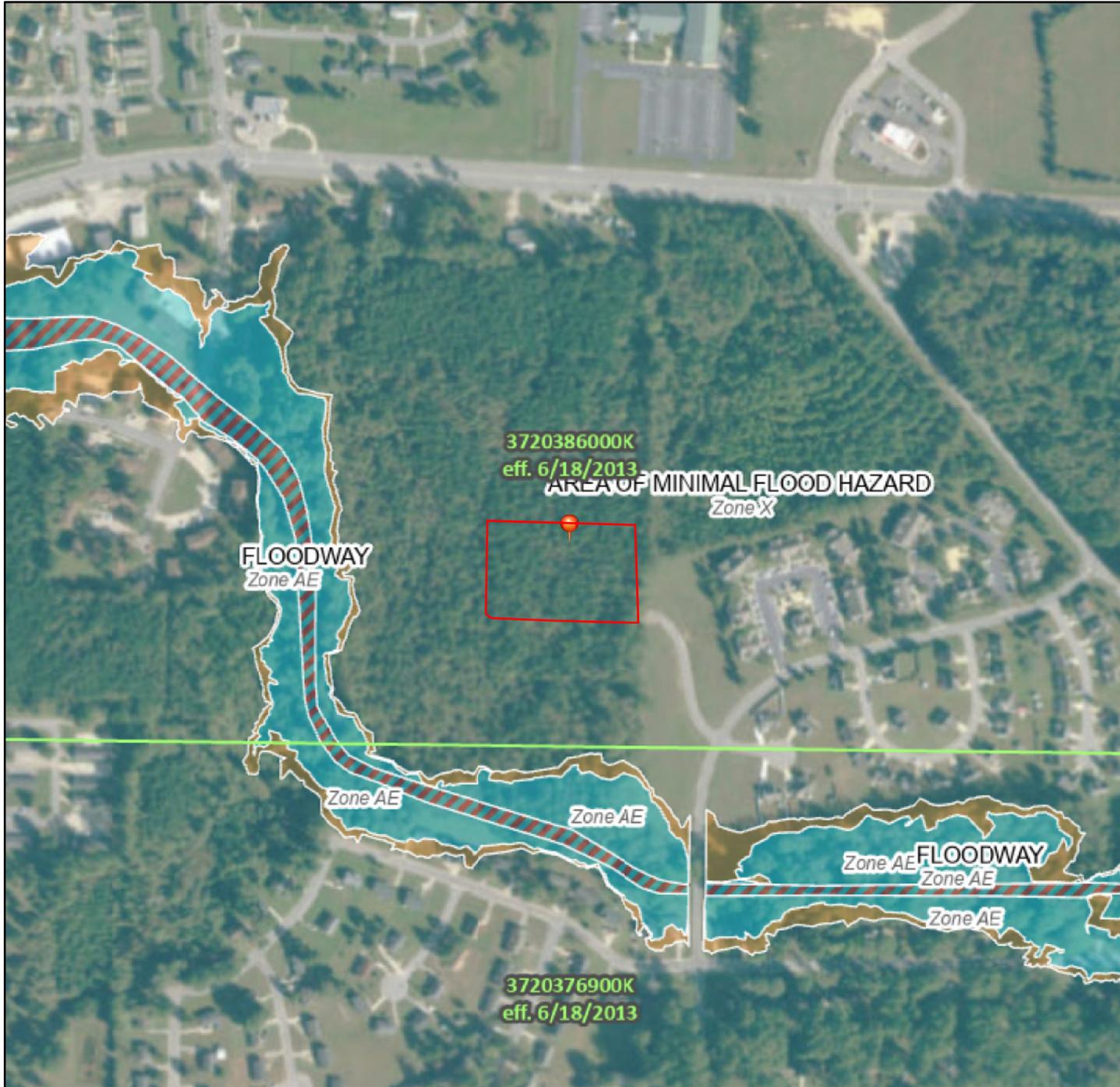
Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

National Flood Hazard Layer FIRMette



77°46'20"W 35°56'51"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/12/2021 at 11:01 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Chris Daves

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Monday, November 29, 2021 9:21 AM
To: Chris Daves
Subject: FW: Confirm Section 106 Review HUD CDBG-DR - East Haven Apts (Response Rcvd)

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

From: DCR - Environmental_Review
Sent: Wednesday, November 24, 2021 3:01 PM
To: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Cc: Gledhill-earley, Renee <renee.gledhill-earley@ncdcr.gov>
Subject: Re: Confirm Section 106 Review HUD CDBG-DR - East Haven Apts (Response Rcvd)

Andrea,

We confirm that we have no objection to the project and confirm that no historic resources would be affected by the project. This concludes the Section 106 consultation for this undertaking.

Thank you.

Devon L. Borgardt

Environmental Review Assistant
North Carolina Historic Preservation Office

Questions? Contact myself at 919-814-6586.

NOTE: The call is routed from the office to my home. If I do not answer, send me an email. If you do connect, be aware that I may say something off the wall since I receive a lot of robo calls.

[NC Department of Natural and Cultural Resources](#)



Office: 919-814-6586

Devon.Borgardt@ncdcr.gov

109 East Jones Street, Archives and History Building

MSC 4619 Raleigh, NC 27699

[Facebook](#) [Twitter](#) [Instagram](#) [YouTube](#)

Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties.

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Friday, November 19, 2021 3:38 PM
To: DCR - Environmental_Review <Environmental.Review@ncdcr.gov>
Cc: Gledhill-earley, Renee <renee.gledhill-earley@ncdcr.gov>
Subject: Confirm Section 106 Review HUD CDBG-DR - East Haven Apts (Response Rcvd)

Dear Ms. Gledhill-Earley:

Please find attached the request for your review and confirmation regarding the *East Haven Apartments Proposed Project* in accordance with Section 106 of the National Historic Preservation Act (NHPA) and its implementing regulations, 36 CFR Part 800. *The proposed project was submitted by S&ME, Inc. for review to the NC State Historic Preservation Office (SHPO) on October 18, 2021. The NC SHPO responded on November 18, 2021 that “[w]e have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we have no comment on the project as proposed.” The correspondence with NC SHPO is attached.*

NCORR respectfully requests your review/confirmation of the proposed project described herein. In accordance with §800.4(d)(1)(i), your office has *thirty days* to object to this finding. If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

DEVON BORGARDT
CLEARINGHOUSE COORDINATOR
DEPT OF NATURAL & CULTURAL
RESOURCE

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: DEVON BORGARDT

Date: 11/24/2021



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor

Cassandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 19, 2021

Ms. Renee Gledhill-Earley
Environmental Review Coordinator
NC State Historic Preservation Office
4617 Mail Service Center
Raleigh, NC 27699-4617

Via email: Environmental.Review@ncdcr.gov
renee.gledhill-earley@ncdcr.gov

RE: State Historic Preservation Office Request for Concurrence
Section 106 Review - HUD CDBG-DR Program
Proposed East Haven Apartments
1040 Dreaver Street (soon to be Glory Drive)
Rocky Mount, NC 27801

Dear Ms. Gledhill-Earley:

In accordance with Section 106 of the National Historic Preservation Act (NHPA) and its implementing regulations, 36 CFR Part 800, we are providing information for your review and concurrence regarding the above-referenced project. The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and request for *confirmation* of consultation.

The proposed project was submitted by S&ME, Inc. for review to the NC State Historic Preservation Office (SHPO) on October 18, 2021. The NC SHPO responded on November 18, 2021 that “[w]e have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we have no comment on the project as proposed.” The correspondence with NC SHPO is attached.

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of 5.53 acres of wooded represented by Edgecombe County tax parcel number 386040671000, located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, NC 27801. The proposed project location maps are attached.

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families. Therefore, funding for the proposed project will be provided in part by the HUD CDBG-DR North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

Proposed Project Description: The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County Development Corporation. The proposed project site plans are included in the attachment.

We have made a Finding of “*No Historic Properties Affected*” pursuant to 36 CFR 800.4(d)(1) based on the following:

A review of the Subject Property in the North Carolina State Historic Preservation Office’s HPOWEB and site review performed by S&ME, Inc., identified no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or within a 0.25-mile radius of the Subject Property. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in the attachment.

Attached for your review is the proposed project review package sent to NC SHPO including copies of relevant documents supporting our finding, along with photographs and a map showing the location of the Subject Property. This documentation satisfies requirements set forth at §800.11(d).

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. A consultation request for the proposed project described herein will also be sent to the Catawba Indian Nation and Tuscarora Indian Nation. In accordance with Section 101(d)(6)(B) of the NHPA of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action.

NCORR respectfully requests your review of the proposed project described herein. In accordance with §800.4(d)(1)(i), your office has *thirty days* to object to this finding. Please respond within this timeframe, otherwise we will assume that you concur with our finding. If you concur, please sign on the line below and return a copy of this letter by email to Andrea Gievers at Andrea.L.Gievers@Rebuild.NC.gov.

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Proposed East Haven Apartments Enclosures:

Attachment: NC SHPO Submission and Response received 11/18/21

Concurrence:

State Historic Preservation Officer

Date



**North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper
Secretary D. Reid Wilson

Office of Archives and History
Deputy Secretary, Darin J. Waters, Ph.D.

November 18, 2021

Will Trotter
S&ME
134 Suber Road
Columbia, SC 29210

jtrotter@smeinc.com

Re: Construct East Haven apartments, Glory Road, Rocky Mount, Edgecombe County, ER 21-2552

Dear Mr. Trotter:

Thank you for your letter of October 18, 2021, regarding the above-referenced undertaking. We have reviewed the submission and offer the following comments.

We have conducted a review of the project and are aware of no historic resources which would be affected by the project. Therefore, we have no comment on the project as proposed.

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-814-6579 or environmental.review@ncdcr.gov. In all future communication concerning this project, please cite the above referenced tracking number.

Sincerely,

A handwritten signature in blue ink that reads "Renee Gledhill-Earley".

for Ramona Bartos, Deputy
State Historic Preservation Officer

Chris Daves

From: Will Trotter
Sent: Thursday, November 18, 2021 11:39 AM
To: Chris Daves
Subject: FW: [External] East Haven Apartments - HUD Project Request for Comments
Attachments: ER-21-2552.pdf

From: DCR - Environmental_Review <Environmental.Review@ncdcr.gov>
Sent: Thursday, November 18, 2021 11:36 AM
To: Will Trotter <jtrotter@smeinc.com>
Subject: Re: [External] East Haven Apartments - HUD Project Request for Comments

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Our response is attached. Thank you.

Devon L. Borgardt

Environmental Review Assistant
North Carolina Historic Preservation Office

Questions? Contact myself at 919-814-6586.

NOTE: The call is routed from the office to my home. If I do not answer, send me an email. If you do connect, be aware that I may say something off the wall since I receive a lot of robo calls.

[NC Department of Natural and Cultural Resources](#)



Office: 919-814-6586

Devon.Borgardt@ncdcr.gov

109 East Jones Street, Archives and History Building

MSC 4619 Raleigh, NC 27699

[Facebook](#) [Twitter](#) [Instagram](#) [YouTube](#)

Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties.

From: Will Trotter <jtrotter@smeinc.com>
Sent: Monday, October 18, 2021 1:39 PM
To: DCR - Environmental_Review <Environmental.Review@ncdcr.gov>
Cc: Chris Daves <CDaves@smeinc.com>
Subject: [External] East Haven Apartments - HUD Project Request for Comments

CAUTION: External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

Renee,
Please find enclosed a letter report requesting comments from the SHPO for a Hud project located in Rocky Mount, Edgecombe County, North Carolina.

Please let me know if you have any questions or require further documentation.

Thank you...
Will

James "Will" Trotter
Natural Resource Staff Professional



S&ME
134 Suber Road
Columbia, SC 29210 [map](#)
O: 803.561.9024
M: your.mobile.number
www.smeinc.com
[LinkedIn](#) | [Twitter](#) | [Facebook](#)



October 18, 2021

North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office
4617 Mail Service Center
Raleigh, North Carolina 27699-4617

Attention: Ms. Renee Gledhill-Earley, Environmental Review Coordinator

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Ms. Gledhill-Earley:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment (EA). Please accept this letter as a request for comments from the North Carolina Department of Natural and Cultural Resources – State Historic Preservation Office (SHPO) regarding the above-referenced project located in Edgecombe County, North Carolina.

◆ Project Description

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000. The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County Development Corporation.

The location of the proposed project area is shown on **Exhibits 1-3** and **Site Plan** attached to this letter report.

◆ Background Research

Based on the current site use, proposed project plans, site use of the adjacent properties, general urban setting, and topography, the Area of Potential Effect (APE) for this Environmental Assessment includes a 0.25-mile radius surrounding the project area. The APE for archeological sites is limited to the boundaries of the project area. S&ME consulted the North Carolina State Historic Preservation Office HPOWEB Service (<http://gis.ncdcr.gov/hpoweb/>) to determine the presence of historic resources within the APE. Based on the



consultation of HPOWEB, no properties listed, eligible, or potentially eligible for the National Register of Historic Places (NRHP) were located within a 0.25-mile radius of the proposed project area.

◆ **Comments**

Surrounding properties include commercial businesses, single-family residences, and apartments. Effects to surrounding properties will be negligible as the surrounding area has been predominantly developed.

◆ **Enclosures**

Included in the Appendix, please find the following information for your review:

Appendix

- ◆ Vicinity Exhibit (Exhibit 1)
- ◆ Topographic Exhibit (Exhibit 2)
- ◆ Aerial Exhibit (Exhibit 3)
- ◆ Site Plan
- ◆ NCSHPO HPOWEB Printouts
- ◆ NRHP Printout
- ◆ Site Photographs

◆ **Closing**

Thank you for your assistance in this project. We look forward to receiving the SHPO comments. If you have questions regarding this submittal, please contact Chris Daves at 803-561-9024.

Sincerely,

S&ME

Handwritten signature of James Trotter in black ink.

James Trotter
Biologist
jtrotter@smeinc.com

Handwritten signature of Chris Daves in black ink.

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Vicinity Exhibit (Exhibit 1)

Topographic Exhibit (Exhibit 2)

Aerial Exhibit (Exhibit 3)

Site Plan

NCSHPO HPOWEB Printouts

NRHP Printout

Site Photographs

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



 Approximate Boundary



Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977

SCALE:
1" = 500'

DATE:
10-8-21

PROJECT NUMBER
218540

EXHIBIT NO.

2

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Topo Exhibit.mxd plotted by chandley 10-08-2021

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



 Approximate Boundary



Aerial Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Imagery 2020

SCALE:
1" = 200'

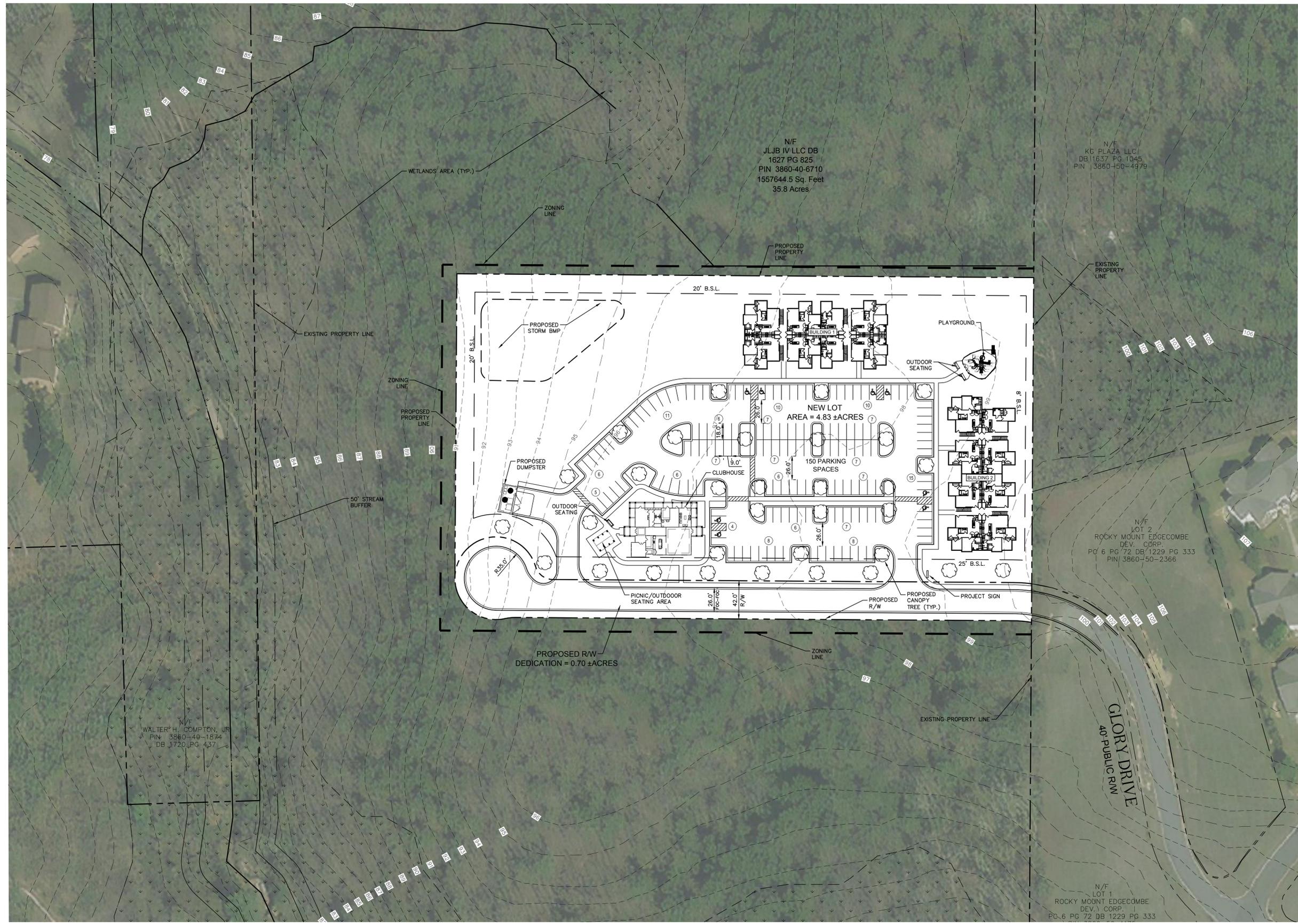
DATE:
10-8-21

PROJECT NUMBER
218540

EXHIBIT NO.

3

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability for Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

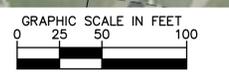
N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-40-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY

Show search results for Glo...



EDGECOMBE

- ED 1554 Edgemont Local Historic District 2000
- ED 1040 EDGEMONT HISTORIC DISTRICT 1999
- ED 1063 Edgemont Historic District Boundary Expansion 2002

-77.760541 35.950752 Degrees

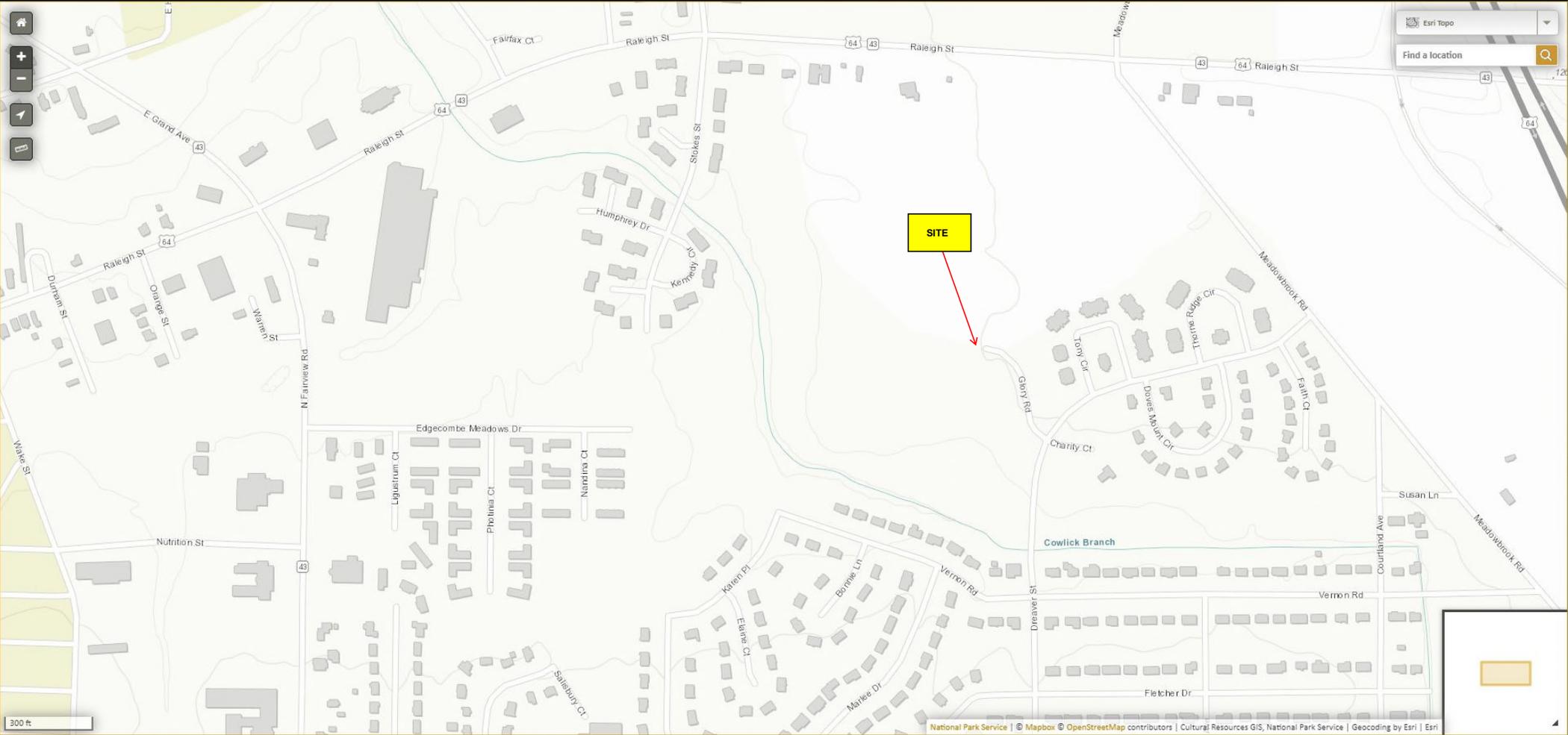
600ft



National Register of Historic Places

Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. Last minor update, September 2020.

National Park Service
U.S. Department of the Interior

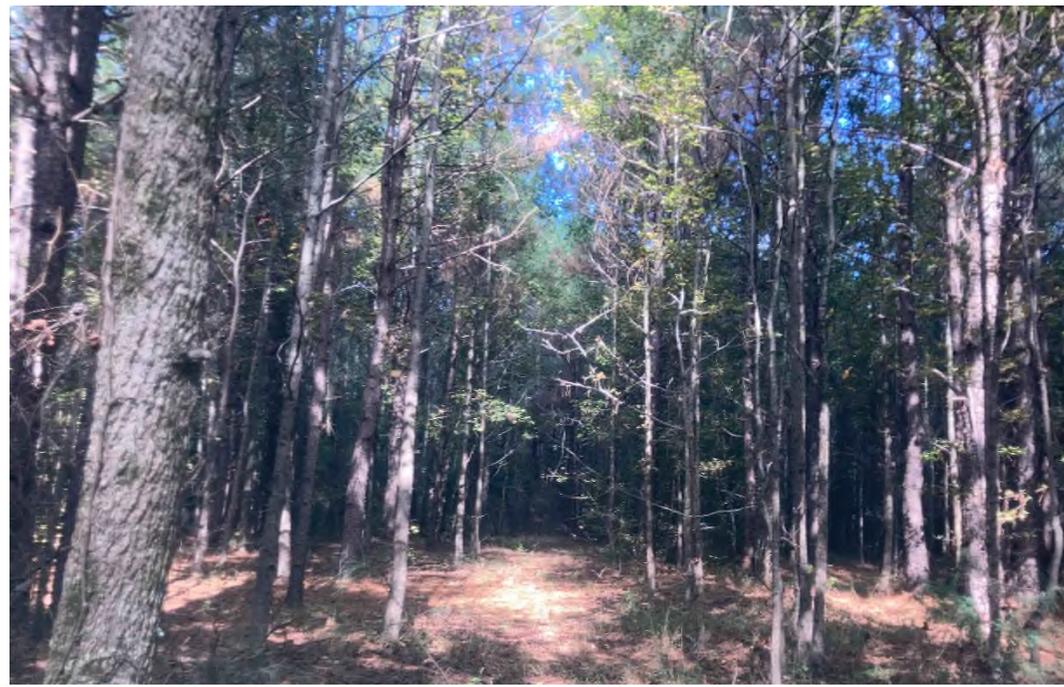




		Date: October 13, 2021
		Photographer: MV
1	Location / Orientation	Wooded land on northeastern portion of site.
	Remarks	Photo taken facing north.

		Date: October 13, 2021
		Photographer: MV
2	Location / Orientation	Wooded land on northwestern portion of site.
	Remarks	Photo taken facing southeast.



		Date: October 13, 2021
		Photographer: MV
3	Location / Orientation	Wooded land on southwestern portion of site.
	Remarks	Photo taken facing north.
		Date: October 13, 2021
		Photographer: MV
4	Location / Orientation	Wooded land on southeastern portion of site.
	Remarks	Photo taken facing northwest.



Date: October 13, 2021

Photographer: MV

5	Location / Orientation	Apartments located west of the site.
	Remarks	Photo taken facing northeast.

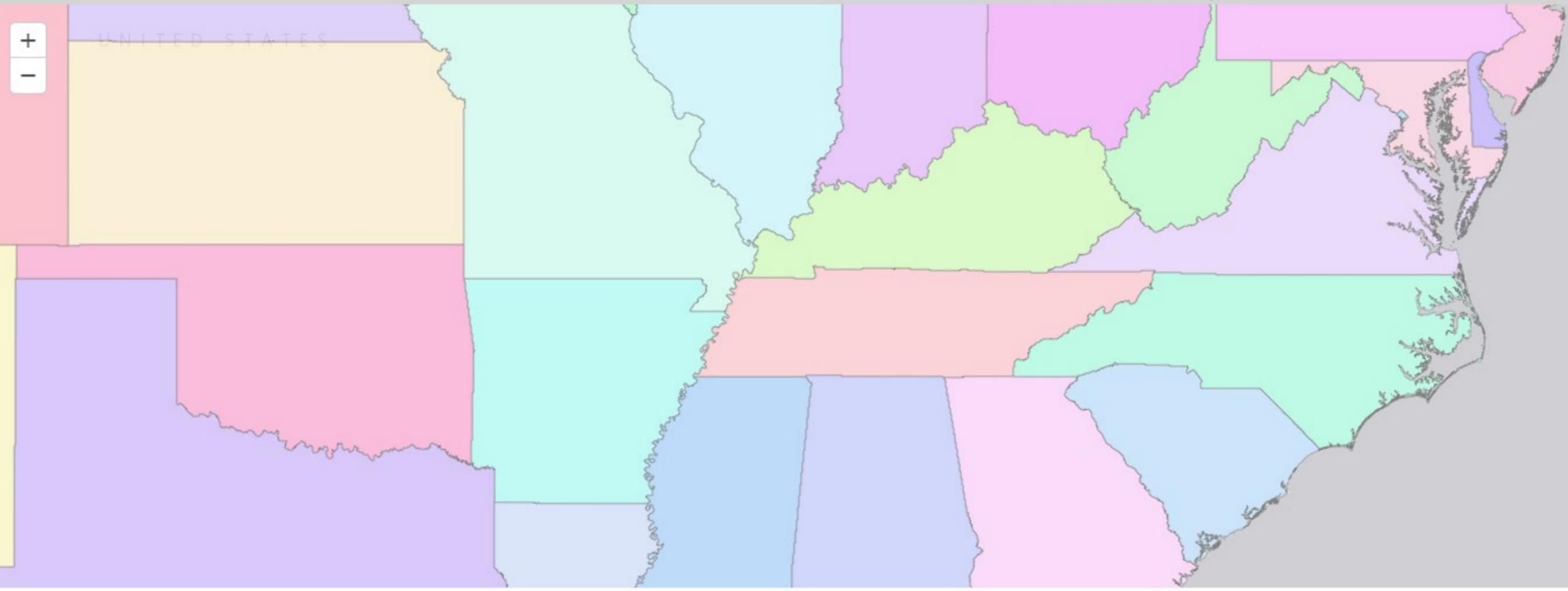


Date: October 13, 2021

Photographer: MV

6	Location / Orientation	Thorn Ridge Apartments located east of the site.
	Remarks	Photo taken facing northwest.

Click a state to show the county list.



Export To Excel Print the Current Page

Contact Information for Tribes with Interests in Edgecombe County, North Carolina

Tribal Name	County Name
+ Catawba Indian Nation	Edgecombe
+ Tuscarora Nation	Edgecombe

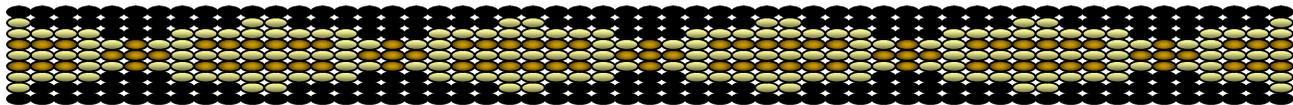
1 - 2 of 2 results

« < 1 > » 10 ▾

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Catawba Indian Nation
Tribal Historic Preservation Office
1536 Tom Steven Road
Rock Hill, South Carolina 29730

Office 803-328-2427
Fax 803-328-5791



January 1, 2022,

Attention: Andrea Gievers
NC Department of Public Safety
P.O. Box 110465
Durham, NC 27709

Re. THPO #	TCNS #	Project Description
2022-1119-4		Proposed East Haven Apartments – 1040 Dreaver Street, Rocky Mount, NC

Dear Ms. Gievers,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail Caitlin.Rogers@catawba.com.

Sincerely,

Wenonah G. Haire
Tribal Historic Preservation Officer

Chris Daves

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Monday, January 3, 2022 8:56 AM
To: Chris Daves
Cc: brad@bradleydevelopers.com
Subject: FW: [External] Proposed East Haven Apartments
Attachments: 2022-1119-4.docx

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Catawba Response attached. Thanks.

Sincerely,

Andrea Gievers

From: Caitlin Rogers <caitlin.rogers@catawba.com>
Sent: Saturday, January 1, 2022 7:45 PM
To: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Subject: [External] Proposed East Haven Apartments

CAUTION: External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

Ms. Gievers,

Attached is the concurrence letter for your project. Thanks

Caitlin

Caitlin Rogers
Catawba Indian Nation
Tribal Historic Preservation Office
1536 Tom Steven Road
Rock Hill, SC 29730

803-328-2427 ext. 226

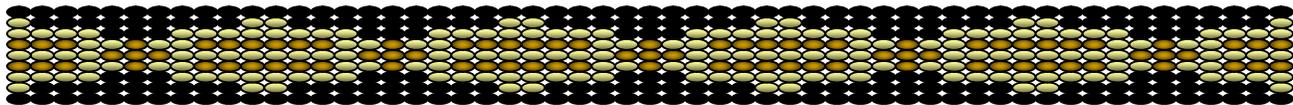
*** Please note that my email has changed to Caitlin.Rogers@catawba.com ***

Please Note: We CANNOT accept Section 106 forms via e-mail, unless requested. Please send us hard copies. Thank you for your understanding

Disclaimer

Catawba Indian Nation
Tribal Historic Preservation Office
1536 Tom Steven Road
Rock Hill, South Carolina 29730

Office 803-328-2427
Fax 803-328-5791



November 29, 2021

Attention: Chris Daves
S&ME, Inc.
134 Suber Road
Columbia, SC 29210

Re. THPO #	TCNS #	Project Description
2022-8-1		East Haven Apartments Project – Rocky Mount, Edgecombe Co., NC

Dear Mr. Daves,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail Caitlin.Rogers@catawba.com.

Sincerely,

Wenonah G. Haire
Tribal Historic Preservation Officer

Chris Daves

From: Caitlin Rogers <caitlin.rogers@catawba.com>
Sent: Monday, November 29, 2021 2:39 PM
To: Chris Daves
Subject: East Haven Apartments
Attachments: 2022-8-1.docx

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Mr. Daves,

Attached is the concurrence letter for your project. Thanks

Caitlin

Caitlin Rogers
Catawba Indian Nation
Tribal Historic Preservation Office
1536 Tom Steven Road
Rock Hill, SC 29730

803-328-2427 ext. 226

*** Please note that my email has changed to Caitlin.Rogers@catawba.com ***

Please Note: We CANNOT accept Section 106 forms via e-mail, unless requested. Please send us hard copies. Thank you for your understanding

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North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 22, 2021

Dr. Wenonah George Haire
Tribal Historic Preservation Officer
ATTN: THPO Archaeology Dept.
Catawba Indian Nation
1536 Tom Steven Road
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program
Proposed East Haven Apartments
1040 Dreaver Street (soon to be Glory Drive)
Rocky Mount, NC 27801

Dear Dr. Wenonah George Haire:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation.

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects. *The consultant, S&ME, Inc., previously sent the attached project review package to your Nation on October 18, 2021.*

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of 5.53 acres of wooded represented by Edgecombe County tax parcel number 386040671000, located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, NC 27801. The proposed project location maps are attached.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families. Therefore, funding for the proposed project will be provided in part by the HUD CDBG-DR North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

Proposed Project Description: The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County Development Corporation. The proposed project site plans are included in the attachment.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the North Carolina State Historic Preservation Office's HPOWEB and site review performed by S&ME, Inc., no publicly recorded historic properties were identified which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or within a 0.25-mile radius of the Subject Property. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in the attachment. The proposed project information has been previously sent by the consultant and again by NCORR to the NC SHPO and the Tuscarora Nation in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at Andrea.L.Gievers@Rebuild.NC.gov or in writing to the address listed below.

Ms. Andrea Gievers
NCORR - Environmental
ATTN: THPO Comments
P.O. Box 110465
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,

Andrea Gievers

Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Proposed East Haven Apartments Enclosures:

Attachment: THPO Package, submitted by Consultant on 10/18/21

cc: Chief Bill Harris, Catawba Indian Nation, 996 Avenue of the Nations, Rock Hill, SC 29730



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 22, 2021

Chief Bill Harris
Catawba Indian Nation
996 Avenue of the Nations
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program
Proposed East Haven Apartments
1040 Dreaver Street (soon to be Glory Drive)
Rocky Mount, NC 27801

Dear Chief Bill Harris:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation.

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects. *The consultant, S&ME, Inc., previously sent the attached project review package to your Nation on October 18, 2021.*

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of 5.53 acres of wooded represented by Edgecombe County tax parcel number 386040671000, located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, NC 27801. The proposed project location maps are attached.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families. Therefore, funding for the proposed project will be provided in part by the HUD CDBG-DR North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

Proposed Project Description: The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County Development Corporation. The proposed project site plans are included in the attachment.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the North Carolina State Historic Preservation Office's HPOWEB and site review performed by S&ME, Inc., no publicly recorded historic properties were identified which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or within a 0.25-mile radius of the Subject Property. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in the attachment. The proposed project information has been previously sent by the consultant and again by NCORR to the NC SHPO and the Tuscarora Nation in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at Andrea.L.Gievers@Rebuild.NC.gov or in writing to the address listed below.

Ms. Andrea Gievers
NCORR - Environmental
ATTN: THPO Comments
P.O. Box 110465
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Proposed East Haven Apartments Enclosures:

Attachment: THPO Package, submitted by Consultant on 10/18/21

cc: Dr. Wenonah George Haire, THPO, Catawba Indian Nation, 1536 Tom Steven Road, Rock Hill, SC 29730

LETTER OF TRANSMITTAL



S&ME, Inc., (S&ME)
134 Suber Road
Columbia, South Carolina 29210
803 / 561-9024
Fax 803 / 561-9177

DATE:	10/18/2021
Project#:	218540
RE:	East Haven Apartments HUD Project
Request for Comments	

TO:

Ms. Caitlin Rogers
Catawba Indian Nation
THPO Archaeology Department
1536 Tom Steven Road
Rock Hill, South Carolina 29730

WE ARE SENDING YOU:

COPIES	DATE	NO.	DESCRIPTION
1	10/18/2021		East Haven Apartments Project Rocky Mount, Edgecombe County, North Carolina

THESE ARE TRANSMITTED as checked below:

For your approval For your use As requested For review and comment

REMARKS:

Dear Ms. Rogers,

S&ME is currently seeking information necessary for the completion of a HUD Environmental Review Report for a project in Rocky Mount, Edgecombe County, North Carolina. The proposed project will be seeking federal Community Block Development Grant-Disaster Recovery Program (CBDG-DR) funding. Please accept this letter as a request for comments from the THPO.

Thank you for your continued technical assistance. Please contact me at (803) 561-9024 if you have questions concerning this project.

Thank you,

Chris Daves

cdaves@smeinc.com

COPY TO:

NC SHPO

SIGNED: _____ 

IF ENCLOSURES ARE NOT AS NOTED, PLEASE NOTIFY US AT ONCE.

This Letter of Transmittal and the documents accompanying this Letter of Transmittal contain information from S&ME, Inc., which is confidential and legally privileged. The information is intended only for the use of the individual or entity named on this Letter of Transmittal. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on these documents is strictly prohibited.



October 18, 2021

Catawba Indian Nation
THPO Archaeology Department
1536 Tom Steven Road
Rock Hill, South Carolina 29730

Attention: Ms. Caitlin Rogers

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Ms. Rogers:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment (EA). Please accept this letter as a request for comments from the Catawba Indian Nation – Tribal Historic Preservation Office (THPO) regarding the above-referenced project located in Edgecombe County, North Carolina.

◆ Project Description

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000. The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County Development Corporation.

The location of the proposed project area is shown on **Exhibits 1-3** and **Site Plan** attached to this letter report.

◆ Background Research

Based on the current site use, proposed project plans, site use of the adjacent properties, general urban setting, and topography, the Area of Potential Effect (APE) for this Environmental Assessment includes a 0.25-mile radius surrounding the project area. The APE for archeological sites is limited to the boundaries of the project area. S&ME consulted the North Carolina State Historic Preservation Office HPOWEB Service (<http://gis.ncdcr.gov/hpoweb/>) to determine the presence of historic resources within the APE. Based on the



consultation of HPOWEB, no properties listed, eligible, or potentially eligible for the National Register of Historic Places (NRHP) were located within a 0.25-mile radius of the proposed project area.

◆ **Comments**

Surrounding properties include commercial businesses, single-family residences, and apartments. Effects to surrounding properties will be negligible as the surrounding area has been predominantly developed.

◆ **Enclosures**

Included in the Appendix, please find the following information for your review:

Appendix

- ◆ Vicinity Exhibit (Exhibit 1)
- ◆ Topographic Exhibit (Exhibit 2)
- ◆ Aerial Exhibit (Exhibit 3)
- ◆ Site Plan
- ◆ NCSHPO HPOWEB Printouts
- ◆ NRHP Printout
- ◆ Site Photographs

◆ **Closing**

Thank you for your assistance in this project. We look forward to receiving the THPO comments. If you have questions regarding this submittal, please contact Chris Daves at 803-561-9024.

Sincerely,

S&ME

Handwritten signature of James Trotter in black ink.

James Trotter
Biologist
jtrotter@smeinc.com

Handwritten signature of Chris Daves in black ink.

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Vicinity Exhibit (Exhibit 1)

Topographic Exhibit (Exhibit 2)

Aerial Exhibit (Exhibit 3)

Site Plan

NCSHPO HPOWEB Printouts

NRHP Printout

Site Photographs

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

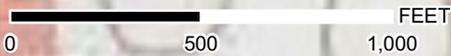
EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandlely 10-08-2021

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



 Approximate Boundary



Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977

SCALE:
1" = 500'

DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

2

REFERENCE:

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APPROXIMATE SITE LOCATION
35.9435, -77.7684



100
Glow Rd
100
Glow Rd
1134
101
Charity Ct
1008
Tony Ct

0 200 400 FEET

 Approximate Boundary



Aerial Exhibit

East Haven Apartments +/- 5.53 Acres

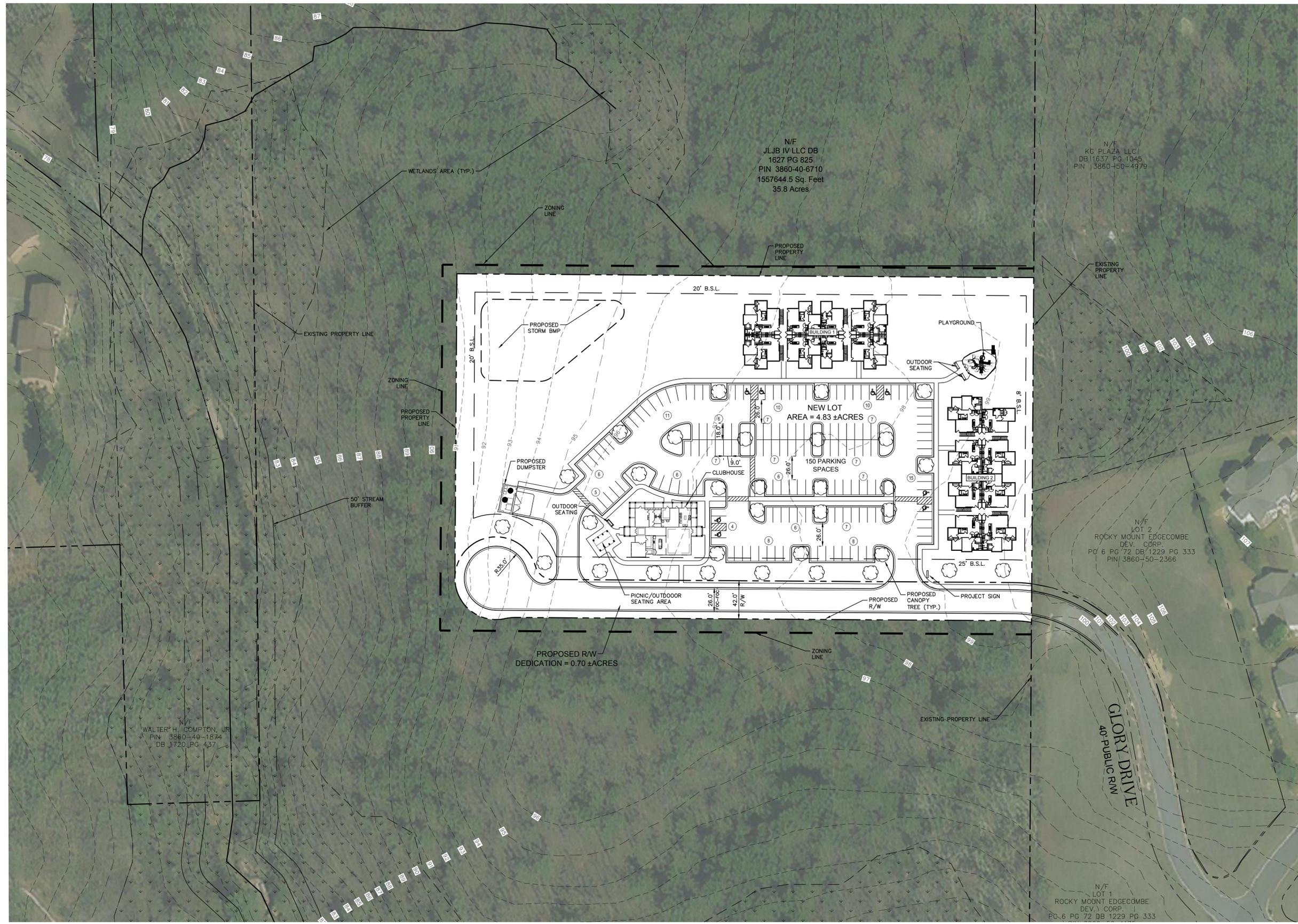
Rocky Mount, Edgecombe County, North Carolina
Source: World Imagery 2020

SCALE:
1" = 200'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
3

Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Aerial Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-50-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY

Show search results for Glo...



EDGECOMBE

- ED 1554 Edgemont Local Historic District 2000
- ED 1040 EDGEMONT HISTORIC DISTRICT 1999
- ED 1063 Edgemont Historic District Boundary Expansion 2002

-77.760541 35.950752 Degrees

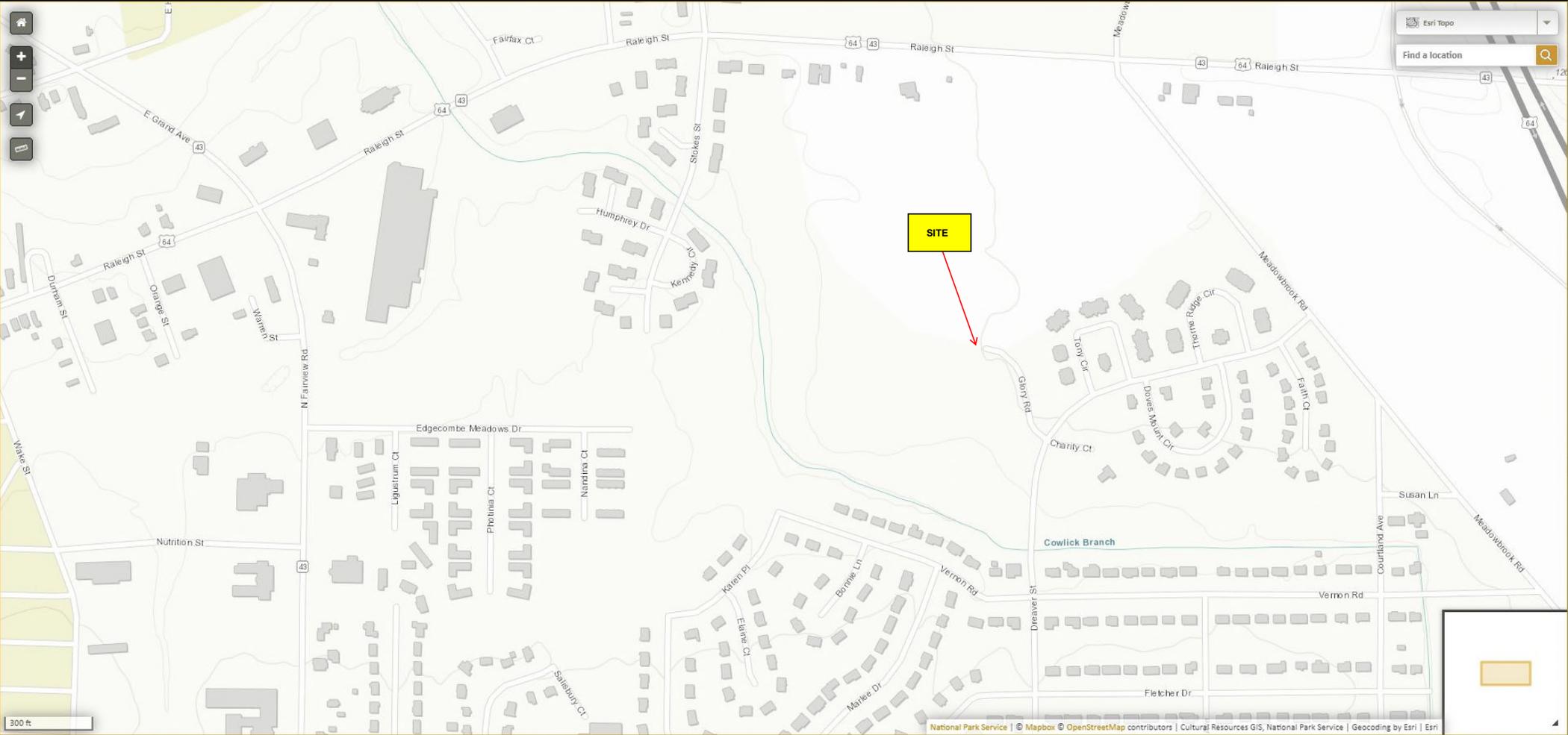
600ft



National Register of Historic Places

Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. Last minor update, September 2020.

National Park Service
U.S. Department of the Interior



National Park Service | © Mapbox © OpenStreetMap contributors | Cultural Resources GIS, National Park Service | Geocoding by Esri | Esri



		Date: October 13, 2021
		Photographer: MV
1	Location / Orientation	Wooded land on northeastern portion of site.
	Remarks	Photo taken facing north.

		Date: October 13, 2021
		Photographer: MV
2	Location / Orientation	Wooded land on northwestern portion of site.
	Remarks	Photo taken facing southeast.



		Date: October 13, 2021
		Photographer: MV
3	Location / Orientation	Wooded land on southwestern portion of site.
	Remarks	Photo taken facing north.
		Date: October 13, 2021
		Photographer: MV
4	Location / Orientation	Wooded land on southeastern portion of site.
	Remarks	Photo taken facing northwest.

Chris Daves

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Monday, November 22, 2021 3:26 PM
To: Chris Daves
Subject: Section 106 Review - HUD CDBG-DR NCORR
Attachments: NCORR THPO Tuscarora pkg 11.22.21.pdf

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

From: Gievers, Andrea
Sent: Monday, November 22, 2021 3:24 PM
To: 'BPrintup@hetf.org' <BPrintup@hetf.org>
Subject: Section 106 Review - HUD CDBG-DR NCORR

Dear Mr. Printup:

Please accept my heartfelt condolences on the passing of Chief Leo Henry. If there is another representative that you desire to be copied on future THPO correspondence, then feel free to let me know.

Please find the Section 106 review request for the East Haven Apartments proposed project. *The consultant, S&ME, Inc., previously sent the attached project review package to your Nation on October 18, 2021.* NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this email indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we will assume that the proposed project will have no effect to historic properties of religious or cultural significance. If you have any questions or require additional information regarding this request, please feel free to contact me at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700

Email correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized state official.



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

November 22, 2021

Mr. Bryan Printup
Tribal Historic Preservation Office
5226 Walmore Road
Lewiston, NY 14092

Sent via email: BPrintup@hetf.org

RE: Section 106 Review - HUD CDBG-DR Program
Proposed East Haven Apartments
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Telephone: 984.833.5350
www.ncdps.gov
www.rebuild.nc.gov

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NCORR - Environmental
ATTN: THPO Comments
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Sincerely,

Andrea Gievers

Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Proposed East Haven Apartments Enclosures:

Attachment: THPO Package, submitted by Consultant on 10/18/21



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Casandra Skinner Hoekstra, Interim Secretary

Laura H. Hogshead, Director

May 25, 2022

Section 106 Review Team
Tuscarora Nation
2006 Mount Hope Road
Lewiston, NY 14092

Sent also via email to BPrintup@hetf.org on November 22, 2021

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Andrea Gievers

Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Proposed East Haven Apartments Enclosures:

Attachments: NCORR email to THPO Bryan Printup on 11/22/21
Section 106 Review Package, submitted by Consultant on 10/18/21

LETTER OF TRANSMITTAL



S&ME, Inc., (S&ME)
134 Suber Road
Columbia, South Carolina 29210
803 / 561-9024
Fax 803 / 561-9177

DATE:	10/18/2021
Project#:	218540
RE:	East Haven Apartments HUD Project
Request for Comments	

TO:

Mr. Leo Henry
Tuscarora Indian Nation
2006 Mount Hope Road
Lewiston, New York 14092

WE ARE SENDING YOU:

COPIES	DATE	NO.	DESCRIPTION
1	10/18/2021		East Haven Apartments Project Rocky Mount, Edgecombe County, North Carolina

THESE ARE TRANSMITTED as checked below:

For your approval For your use As requested For review and comment

REMARKS:

Dear Mr. Henry,

S&ME is currently seeking information necessary for the completion of a HUD Environmental Review Report for a project in Rocky Mount, Edgecombe County, North Carolina. The proposed project will be seeking federal Community Block Development Grant-Disaster Recovery Program (CBDG-DR) funding. Please accept this letter as a request for comments from the THPO.

Thank you for your continued technical assistance. Please contact me at (803) 561-9024 if you have questions concerning this project.

Thank you,

Chris Daves

cdaves@smeinc.com

COPY TO:

NC SHPO

SIGNED: _____ *Chris Daves*

IF ENCLOSURES ARE NOT AS NOTED, PLEASE NOTIFY US AT ONCE.

This Letter of Transmittal and the documents accompanying this Letter of Transmittal contain information from S&ME, Inc., which is confidential and legally privileged. The information is intended only for the use of the individual or entity named on this Letter of Transmittal. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on these documents is strictly prohibited.



October 18, 2021

Tuscarora Indian Nation
2006 Mount Hope Road
Lewiston, New York 14092

Attention: Mr. Leo Henry, Chief

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. Henry:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment (EA). Please accept this letter as a request for comments from the Tuscarora Indian Nation regarding the above-referenced project located in Edgecombe County, North Carolina.

◆ Project Description

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000. The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County Development Corporation.

The location of the proposed project area is shown on **Exhibits 1-3** and **Site Plan** attached to this letter report.

◆ Background Research

Based on the current site use, proposed project plans, site use of the adjacent properties, general urban setting, and topography, the Area of Potential Effect (APE) for this Environmental Assessment includes a 0.25-mile radius surrounding the project area. The APE for archeological sites is limited to the boundaries of the project area. S&ME consulted the North Carolina State Historic Preservation Office HPOWEB Service (<http://gis.ncdcr.gov/hpoweb/>) to determine the presence of historic resources within the APE. Based on the consultation of HPOWEB, no properties listed, eligible, or potentially eligible for the National Register of Historic Places (NRHP) were located within a 0.25-mile radius of the proposed project area.



◆ Comments

Surrounding properties include commercial businesses, single-family residences, and apartments. Effects to surrounding properties will be negligible as the surrounding area has been predominantly developed.

◆ Enclosures

Included in the Appendix, please find the following information for your review:

Appendix

- ◆ Vicinity Exhibit (Exhibit 1)
- ◆ Topographic Exhibit (Exhibit 2)
- ◆ Aerial Exhibit (Exhibit 3)
- ◆ Site Plan
- ◆ NCSHPO HPOWEB Printouts
- ◆ NRHP Printout
- ◆ Site Photographs

◆ Closing

Thank you for your assistance in this project. We look forward to receiving the THPO comments. If you have questions regarding this submittal, please contact Chris Daves at 803-561-9024.

Sincerely,

S&ME

Handwritten signature of James Trotter in black ink.

James Trotter
Biologist
jtrotter@smeinc.com

Handwritten signature of Chris Daves in black ink.

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Vicinity Exhibit (Exhibit 1)

Topographic Exhibit (Exhibit 2)

Aerial Exhibit (Exhibit 3)

Site Plan

NCSHPO HPOWEB Printouts

NRHP Printout

Site Photographs

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

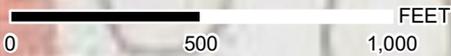
EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

REFERENCE:

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 Approximate Boundary



Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977

SCALE:
1" = 500'

DATE:
10-8-21

PROJECT NUMBER
218540

EXHIBIT NO.

2

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



 Approximate Boundary



Aerial Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Imagery 2020

SCALE:
1" = 200'

DATE:
10-8-21

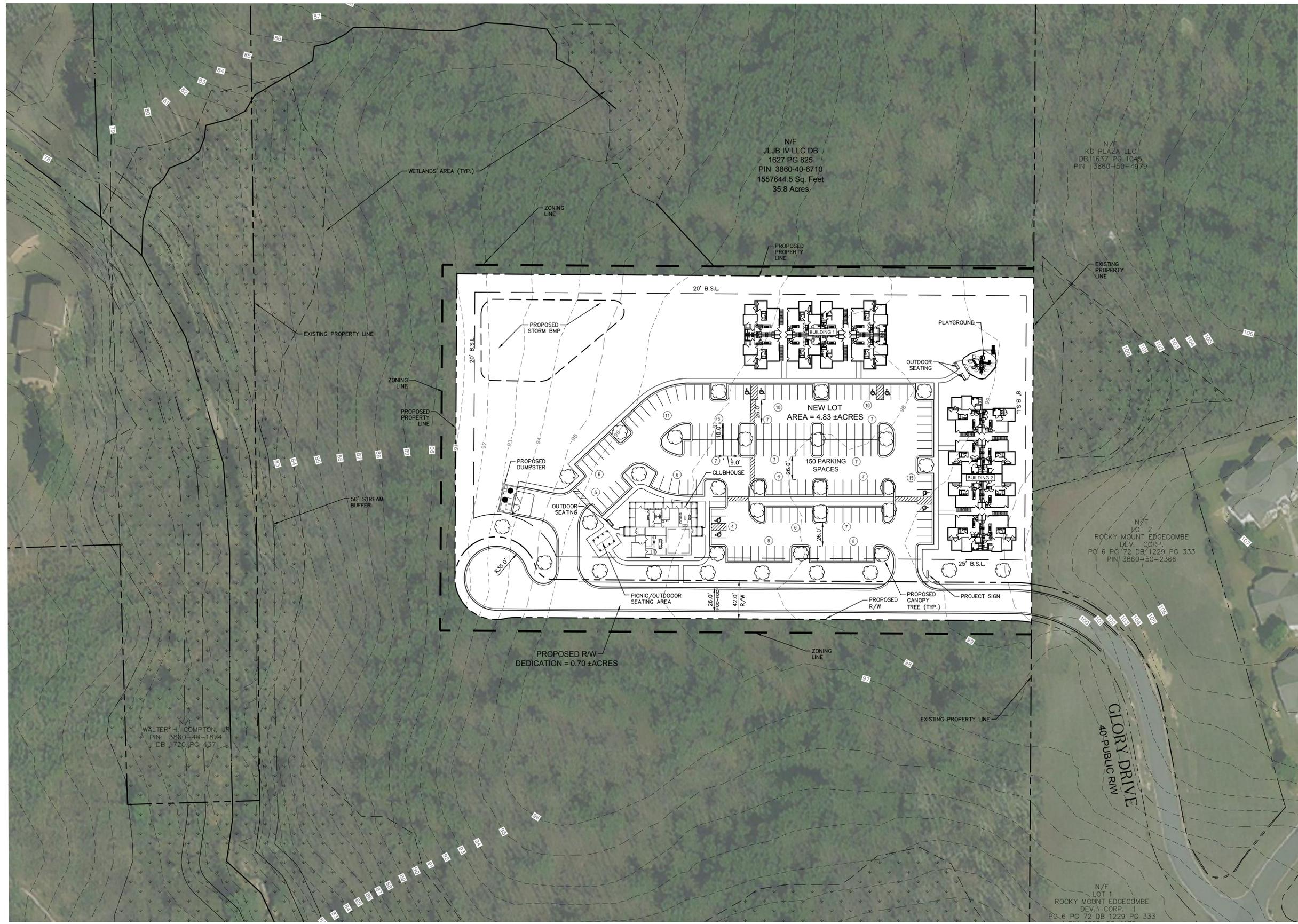
PROJECT NUMBER
218540

EXHIBIT NO.

3

Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Aerial Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

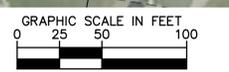
N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-150-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



Kimley»Horn
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY



EDGECOMBE

- ED 1554 Edgemont Local Historic District 2000
- ED 1040 EDGEMONT HISTORIC DISTRICT 1999
- ED 1063 Edgemont Historic District Boundary Expansion 2002

-77.760541 35.950752 Degrees

600ft



National Register of Historic Places

Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. Last minor update, September 2020.

National Park Service
U.S. Department of the Interior





		Date: October 13, 2021
		Photographer: MV
1	Location / Orientation	Wooded land on northeastern portion of site.
	Remarks	Photo taken facing north.

		Date: October 13, 2021
		Photographer: MV
2	Location / Orientation	Wooded land on northwestern portion of site.
	Remarks	Photo taken facing southeast.



		Date: October 13, 2021
		Photographer: MV
3	Location / Orientation	Wooded land on southwestern portion of site.
	Remarks	Photo taken facing north.
		Date: October 13, 2021
		Photographer: MV
4	Location / Orientation	Wooded land on southeastern portion of site.
	Remarks	Photo taken facing northwest.



NOISE ASSESSMENT
East Haven Apartments
Rocky Mount, Edgecombe Co., NC
S&ME Project No. 218540

PREPARED FOR:

KB Rocky Mount, LLC
709 North Main Street, Suite 200
Aynor, SC 29511

PREPARED BY:

S&ME, Inc.
134 Suber Road
Columbia, SC 29210

January 5, 2022



January 5, 2022

KB Rocky Mount, LLC
709 North Main Street, Suite 200
Aynor, South Carolina 29511

Attention: Mr. Brad Queener

Reference: **Noise Assessment**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. Queener:

S&ME, Inc. (S&ME) is pleased to submit our Noise Assessment for the above-referenced project located in Edgecombe County, North Carolina. This work was performed in general accordance with S&ME Proposal Number 218540, dated September 20, 2021.

S&ME appreciates the opportunity to be of service to you by performing this Noise Assessment for this project. Please contact me at (803) 561-9024 with questions regarding this report or if you require additional information.

Sincerely,

S&ME, Inc.


Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com



Table of Contents

1.0	Introduction	1
2.0	Aircraft Noise.....	1
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- Appendix I – Exhibits
- Appendix II – HUD Noise Assessment Worksheets
- Appendix III – Airport/NCDOT/Train Data



1.0 Introduction

The proposed project consists of an approximate 5.53-acre site in Rocky Mount, Edgecombe County, North Carolina. The project consists of construction of 64 apartment units in two buildings including a clubhouse and playground. One Noise Assessment Location (NAL) were selected for the site. Please refer to the **Exhibits** in **Appendix I** for the applicable noise sources and location of the NAL.

The project site is located within 15 miles of two commercial airports and within 1,000 feet of two major roadways. These potential noise sources necessitated the completion of a noise assessment according to the requirements of 24 Code of Federal Regulations (CFR) Part 51 Subpart B. The following noise assessment was conducted consistent with the guidance provided in The Noise Guidebook, a reference document for implementing the U.S. Department of Housing and Urban Development's (HUD) Noise Policy and prepared by the Environmental Planning Division Office of Environment and Energy.

2.0 Aircraft Noise

A search for military and commercial airports within 15 miles of the site was conducted. No military airports were located within 15 miles of the site. Two commercial airports were located within 15 miles of the site:

- ◆ Rocky Mount-Wilson Regional Airport (8.5 miles southwest)
- ◆ Tarboro-Edgecombe Airport (12 miles east)

Please refer to **Exhibit 1 (Airports Exhibit)** for the location of the area airports. Noise contour maps were not available for these airports. No additional sources of aircraft noise were evaluated for this assessment.

3.0 Roadway Noise

A search for major roadways (Interstates, U.S. Highways, N.C. Routes, and four-lane, curb-and-gutter roads) within 1,000 feet was conducted. S&ME reviewed Average Annual Daily Traffic (AADT) volumes for nearby roadways by viewing the North Carolina Department of Transportation's (NCDOT) website (<https://connect.ncdot.gov/resources/State-Mapping/Pages/Traffic-Volume-Maps.aspx>) and by contacting the NCDOT directly.

The closest major roadways are U.S. Highway 64 Business (E. Raleigh Blvd.) and Meadowbrook Road (SR 132) (**Exhibit 2**). Traffic data from NCDOT including AADT volumes in vehicles per day (vpd) (2020 data) is attached for reference. Future traffic data was requested from NCDOT up to 2040.

S&ME also viewed NCDOT's Division Office document regarding future roadway improvements (<https://connect.ncdot.gov/projects/planning/Pages/default.aspx>). This source did not indicate roadway improvements in the vicinity of the site that would allude to larger traffic volumes to the roadways. No additional sources of roadway noise were evaluated for this assessment.

The speed limit, nighttime traffic, and traffic mixes for the roadways per NCDOT and/or the Noise Guidebook were as follows:



Table 3-1 – NCDOT Data

Route	Speed Limit	% Nighttime Traffic*	% Auto	% Heavy Truck	% Medium Truck
U.S. Highway 64 Business (E. Raleigh Blvd.)	35	14	93	2	5
Meadowbrook Road (SR 132)	35	12	92	4	4

*The nighttime traffic traveling between 10 p.m. and 7 a.m. is assumed to be approximately 15% of traffic volume, per *The Noise Guidebook Chapter 5 (Noise Assessment Guidelines, pg. 6)* unless data was available from NCDOT.

4.0 Railway Noise

A search for railroads within 3,000 feet of the site was conducted. The closest railroad (**Exhibit 2**) is located approximately 7,300 feet northwest of the site and outside the 3,000-foot radius for noise consideration.

Data was obtained from the railroad company and/or the Federal Railroad Administration (<http://safetydata.fra.dot.gov/OfficeofSafety/Default.aspx>) for the latest information regarding average number of trains, nighttime operations, diesel locomotives, cars per train, average speed, track type, and whistle/horn use. Also, if specific information was not provided for these parameters, HUD-suggested estimates for trains were used according to the Noise Guidebook. There were no grade crossing/ whistle stops within 0.25 mile of the site. No additional sources of railway noise were evaluated for this assessment.

5.0 Combined Noise

The combined noise level environment at the NAL on the site will fall under one of the three categories:

Table 5-1 – Noise Level Categories

Category	Noise Range	Description
Acceptable	DNL not exceeding 65 dB	Noise exposure may be of some concern, but common building construction will make the indoor environment acceptable and outdoor environment reasonably pleasant for recreation and play.
Normally Unacceptable	DNL above 65 dB but not exceeding 75 dB	Barriers may be necessary between the site and prominent noise sources to make the outdoor environment acceptable; special building constructions may be necessary to ensure people indoors are sufficiently protected from outdoor noise.
Unacceptable	DNL above 75 dB	Noise exposure at the site is so severe that the construction cost to make the indoor noise environment acceptable may be cost prohibitive and the outdoor environment would still be unacceptable.

DNL = Day/Night Sound Level

dB = Decibels



As shown on the attached Site Evaluation in **Appendix II**, the levels of noise exposure do not exceed the 65-dB level (**53 dB**) and are therefore in the "Acceptable" range as categorized by the Noise Assessment Guidelines. Mitigation is not necessary.

Appendices

Appendix I – Exhibits

REFERENCE:
 PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
 35.9435, -77.7684

Rocky Mount-Wilson Regional Airport

Tarboro-Edgecombe Airport

12 Miles

8.5 Miles

-  Airports
-  Distance to Airport
-  15-Mile Radius
-  Approximate Boundary



Airport Location Exhibit

East Haven Apartments +/- 5.53 Acres

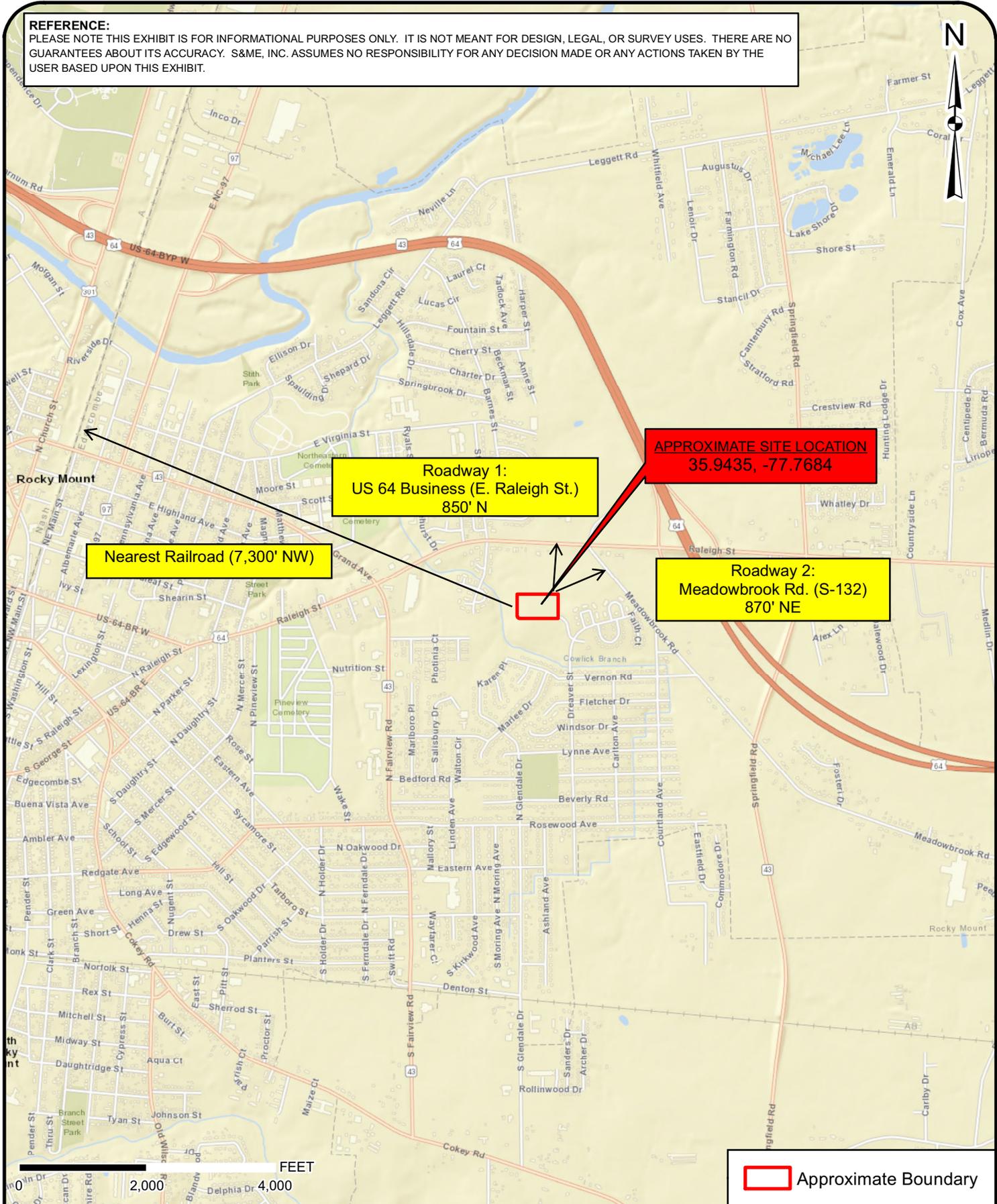
Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map & EPA EJSCREEN

SCALE:
 1" = 4 miles
 DATE:
 11-15-21
 PROJECT NUMBER
 218540

EXHIBIT NO.
 1

REFERENCE:
 PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021



Noise Sources

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

Approximate Boundary

SCALE:
1" = 2,000'

DATE:
12-31-21

PROJECT NUMBER
218540

EXHIBIT NO.

2

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684

NAL 1 (53 dB)



0 200 400 FEET

 Approximate Boundary



NAL Location

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Imagery 2020

SCALE:
1" = 200'

DATE:
12-31-21

PROJECT NUMBER
218540

EXHIBIT NO.

3

Appendix II – HUD Noise Assessment Worksheets

Home (/) > Programs (/programs/) > Environmental Review (/programs/environmental-review/) > DNL Calculator

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID	East Haven Apts NAL 1
Record Date	01/05/2022 
User's Name	

Road # 1 Name:	IIS 64 Business
-----------------------	-----------------

Road # 1 Name:

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="850"/>	<input type="text" value="850"/>	<input type="text" value="850"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="35"/>	<input type="text" value="35"/>	<input type="text" value="35"/>
Average Daily Trips (ADT)	<input type="text" value="11811"/>	<input type="text" value="635"/>	<input type="text" value="254"/>
Night Fraction of ADT	<input type="text" value="14"/>	<input type="text" value="14"/>	<input type="text" value="14"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="0"/>
Vehicle DNL	<input type="text" value="46"/>	<input type="text" value="43"/>	<input type="text" value="48"/>
<input type="button" value="Calculate Road #1 DNL"/>	<input type="text" value="51"/>	<input type="button" value="Reset"/>	

Road # 2 Name:

Road #2

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="870"/>	<input type="text" value="870"/>	<input type="text" value="870"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="35"/>	<input type="text" value="35"/>	<input type="text" value="35"/>
Average Daily Trips (ADT)	<input type="text" value="5888"/>	<input type="text" value="256"/>	<input type="text" value="256"/>
Night Fraction of ADT	<input type="text" value="12"/>	<input type="text" value="12"/>	<input type="text" value="12"/>

Road Gradient (%)			0
Vehicle DNL	42	39	48
Calculate Road #2 DNL	49	Reset	

Airport Noise Level	0
Loud Impulse Sounds?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Combined DNL for all Road and Rail sources	53
Combined DNL including Airport	N/A
Site DNL with Loud Impulse Sound	
<input type="button" value="Calculate"/> <input type="button" value="Reset"/>	

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location

- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - **Contact your Field or Regional Environmental Officer** (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

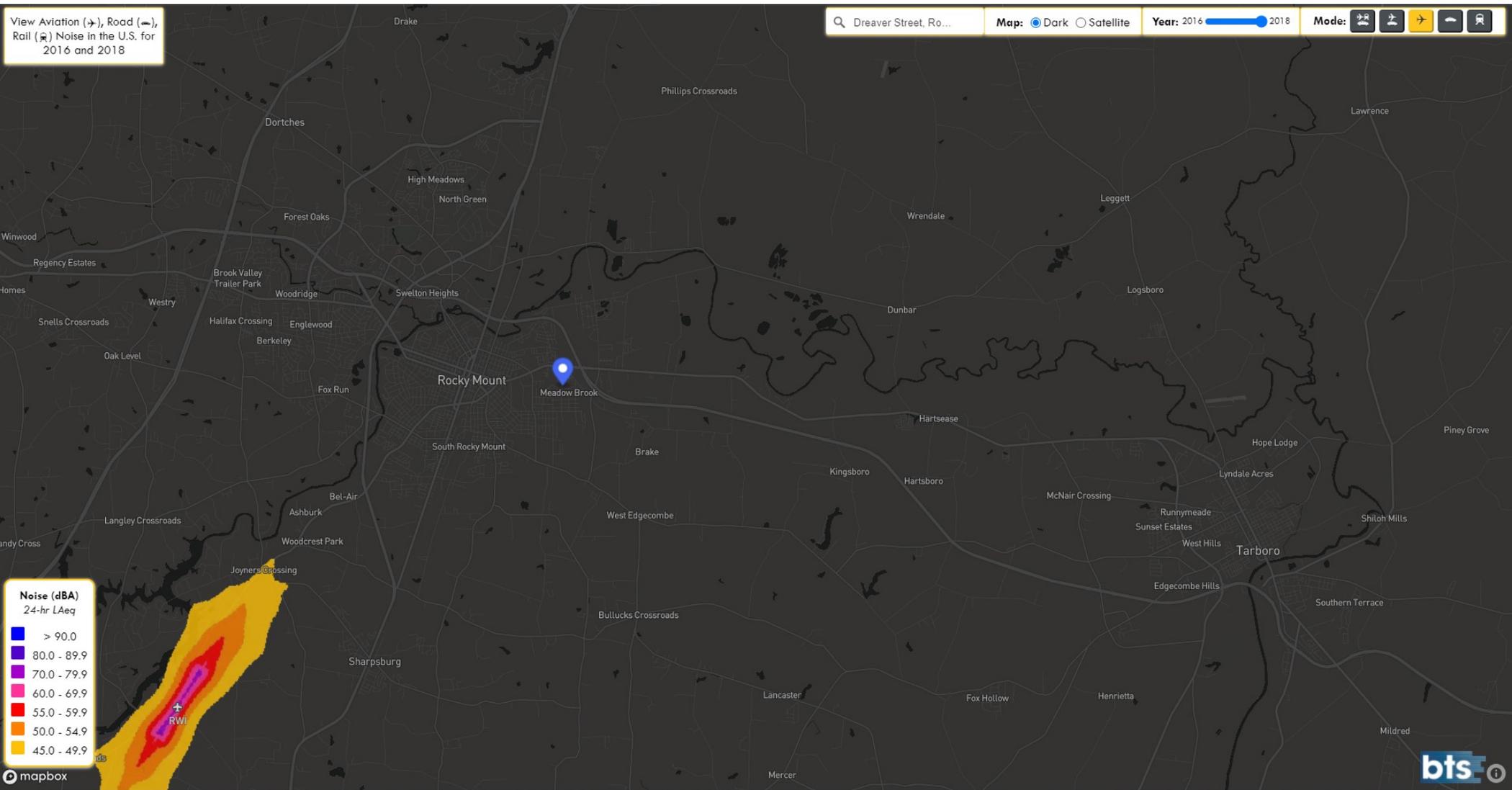
Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

Appendix III – Airport/NCDOT/Train Data

View Aviation (✈), Road (🚗), Rail (🚂) Noise in the U.S. for 2016 and 2018

Search: Dreaver Street, Ro... Map: Dark Satellite Year: 2016 2018 Mode:





> 1 ASSOC CITY: ROCKY MOUNT 4 STATE: NC LOC ID: RWI FAA SITE NR: 17066.*A
> 2 AIRPORT NAME: ROCKY MOUNT/WILSON RGNL 5 COUNTY: NASH NC
3 CBD TO AIRPORT (NM): 07 SW 6 REGION/ADO: ASO/MEM 7 SECT AERO CHT: CHARLOTTE

GENERAL

10 OWNERSHIP: PUBLIC
> 11 OWNER: ROCKY MOUNT-WILSON ARPT AUTH
> 12 ADDRESS: 7265 AIR TERMINAL DR
ELM CITY, NC 27822
> 13 PHONE NR: 252-446-7057
> 14 MANAGER: DION VIVENTI
> 15 ADDRESS: 7265 AIR TERMINAL DR
ELM CITY, NC 27822
> 16 PHONE NR: 252-446-7057
> 17 ATTENDANCE SCHEDULE:
ALL MON-FRI 0600-2000
ALL SAT-SUN 0800-1800

18 AIRPORT USE: PUBLIC
19 ARPT LAT: 35-51-22.5100N ESTIMATED
20 ARPT LONG: 077-53-30.9600W
21 ARPT ELEV: 157.7 SURVEYED
22 ACREAGE: 364
> 23 RIGHT TRAFFIC: NO
> 24 NON-COMM LANDING: NO

25 NPIAS/FED AGREEMENTS: NGY
> 26 FAR 139 INDEX: IV A U 05/1973

RUNWAY DATA

> 30 RUNWAY INDENT: 04/22
> 31 LENGTH: 7,099
> 32 WIDTH: 150
> 33 SURF TYPE-COND: ASPH-E
> 34 SURF TREATMENT: GRVD
35 GROSS WT: S 101.0
36 (IN THSDS) D 162.0
37 2D
38 2D/2D2
> 39 PCN: 40 /F/B/X/T

LIGHTING/APCH AIDS

> 40 EDGE INTENSITY: HIGH
> 42 RWY MARK TYPE-COND: PIR - G / PIR - G - / - - / - -
> 43 VGSI: P4L / P4L / /
44 THR COSSING HGT.: 41 / 42 / /
45 VISUAL GLIDE ANGLE: 3.00 / 3.00 / /
> 46 CNTRLN-TDZ: - / - - / - - - / - -
> 47 RVR-RVV: - / - - / - - - / - -
> 48 REIL: / Y / /
> 49 APCH LIGHTS: MALSR / / /

OBSTRUCTION DATA

50 FAR 77 CATEGORY: PIR / C / /
> 51 DISPLACED THR: / / /
> 52 CTLG OBSTN: / TREES / /
> 53 OBSTN MARKED/LGTD: / / /
> 54 HGT ABOVE RWY END: / 56 / /
> 55 DIST FROM RWY END: / 2,100 / /
> 56 CNTRLN OFFSET: / 0 / /
57 OBSTN CLNC SLOPE: 50:1 / 34:1 / /
58 CLOSE-IN OBSTN: N / N / /

DECLARED DISTANCES

> 60 TAKE OFF RUN AVBL (TORA): 7,100 / 7,100 / /
> 61 TAKE OFF DIST AVBL (TODA): 7,100 / 7,100 / /
> 62 ACLT STOP DIST AVBL (ASDA): 7,100 / 6,900 / /
> 63 LNDG DIST AVBL (LDA): 7,100 / 6,900 / /

SERVICES

> 70 FUEL: 100LL A
> 71 AIRFRAME RPRS: MAJOR
> 72 PWR PLANT RPRS: MAJOR
> 73 BOTTLE OXYGEN: NONE
> 74 BULK OXYGEN: HIGH
75 TSNT STORAGE: HGR, TIE
76 OTHER SERVICES: AVNCS, CARGO, CHTR, INSTR, RNTL, SALES, SURV

FACILITIES

> 80 ARPT BCN: CG
> 81 ARPT LGT SKED: SEE RMK
BCN LGT SKED: SS-SR
> 82 UNICOM: 123.050
> 83 WIND INDICATOR: YES-L
84 SEGMENTED CIRCLE: YES
85 CONTROL TWR: NO
86 FSS: RALEIGH
87 FSS ON ARPT: NO
88 FSS PHONE NR:
89 TOLL FREE NR: 1-800-WX-BRIEF

BASED AIRCRAFT

90 SINGLE ENG: 30
91 MULTI ENG: 8
92 JET: 4
93 HELICOPTERS: 2
TOTAL: 44
94 GLIDERS: 1
95 MILITARY: 0
96 ULTRA-LIGHT: 0

OPERATIONS

100 AIR CARRIER: 90
102 AIR TAXI: 1,276
103 G A LOCAL: 8,521
104 G A ITRNRT: 19,302
105 MILITARY: 621
TOTAL: 29,810
OPERATIONS FOR
12 MONTHS
ENDING: 03/31/2017

(P) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS

A 026 CLSD TO ACR OPNS WITH MORE THAN 30 PSGR SEATS EXCP 24 HR PPR CALL AMGR 252-446-7057.
A 081 ACTVT MALSR RWY 04; REIL RWY 22; HIRL RWY 04/22 - CTAF.
A 110-001 FOR CD IF UNA TO CTC ON FSS FREQ, CTC WASHINGTON ARTCC AT 703-771-3587.

111 INSPECTOR: (F) 112 LAST INSP: 06/15/2021 113 LAST INFO REQ:

Airport Noise Worksheet

Use this worksheet to identify information needed to evaluate a site's exposure to aircraft noise.

Name and Location of Project: **East Haven Apts., Rocky Mount, NC** Date: **1-5-22**
 Name of Airport: **Rocky Mt.-Wilson Reg. Airport (RWI)** Person completing worksheet: **CD**

1. Determine if the proposed site/project is within 15 miles of a civil or military airport.

- No. Attach a map identifying the location of the proposed project site and the location of any airports. This worksheet is not required.
- Yes. Attach a map identifying the location of the proposed project site and the location of any airports. Continue

2. Determine the number of operations at the airport by:

- Going to: <http://www.gcr1.com/5010web/>
- Type in the name of the city press search
- Find your airport.
- Open the report under "Print 5010."
- Complete section 3 below by using the information found in the report (see yellow arrow in the example below).

AIRPORT MASTER RECORD

U.S. DEPARTMENT OF TRANSPORTATION
 FEDERAL AVIATION ADMINISTRATION

PRINT DATE: 10/30/2012
 AFD EFF: 09/20/2012
 Form Approved OMB 2120-0015

1 ASSOC CITY: KENAI 4 STATE: AK LOC ID: ENA FAA SITE NR: 50410.1A
 2 AIRPORT NAME: KENAI MUNI 5 COUNTY: KENAI-COOK INLET AK
 3 CBD TO AIRPORT (NM): 00 N 6 REGIONADD: AAL/NONE 7 SECT AERO CHT: ANCHORAGE

GENERAL		SERVICES		BASED AIRCRAFT	
10 OWNERSHIP: PU		70 FUEL: 100LLA		90 SINGLE ENG: 54	
11 OWNER: CITY OF KENAI		71 AIRFRAME RPRS: MINOR		91 MULTI ENG: 7	
12 ADDRESS: 210 FIDALGO ST		72 PWR PLANT RPRS: MINOR		92 JET: 0	
13 PHONE NR: 907-283-7951		73 BOTTLE OXYGEN: NONE		TOTAL: 61	
14 MANAGER: MARY BONDURANT		74 BULK OXYGEN: NONE		93 HELICOPTERS: 0	
15 ADDRESS: 305 N WILLOW SUITE 200		75 TSNT STORAGE: TIE		94 GLIDERS: 0	
16 PHONE NR: 907-283-7951		76 OTHER SERVICES: CARGO, CHTR, INSTR, RNTL		95 MILITARY: 0	
17 ATTENDANCE SCHEDULE: ALL MON-FRI 0800-1700				96 ULTRA-LIGHT: 0	
		FACILITIES		OPERATIONS	
18 AIRPORT USE: PUBLIC		80 ARPT BCN: CG		100 AIR CARRIER: 1,045	
19 ARPT LAT: 60-34-23.9044N ESTIMATED		81 ARPT LGT SKED: SEE RMK		102 AIR TAXI: 23,263	
20 ARPT LONG: 151-14-41.2000W		82 UNICOM: YES		103 G A LOCAL: 6,326	
21 ARPT ELEV: 99.0 SURVEYED		83 WIND INDICATOR: YES-L		104 G A ITNRNT: 6,429	
22 ACREAGE: 1200		84 SEGMENTED CIRCLE: YES		105 MILITARY: 3,115	
23 RIGHT TRAFFIC: 01L, 19W		85 CONTROL TWR: YES		TOTAL: 40,178	
24 NON-COMM LANDING: NO		86 FSS: KENAI		OPERATIONS FOR 12 MONTHS ENDING 12/01/2011	
		87 FSS ON ARPT: YES			
		88 FSS PHONE NR: 800-478-3578			

3. Determine if the annual number of operations for air carriers #100, air taxis #102, military #105, and general aviation #103 plus #104 exceeds thresholds.

Annual air carrier operations _____. Is this 9000 or more Yes ___ No X

Annual air taxi operations _____. Is this 18,000 or more Yes ___ No X

Annual military operations _____. Is this 18,000 or more Yes ___ No X

Annual general aviation operations _____. Is this 72000 or more Yes ___ No X

4. If you answer “No” on each of the questions above, it is assumed that the noise attributed to the airplanes will not extend beyond the boundaries of the airport. Maintain the documentation in your Environmental Review Record. You are finished with the evaluation of airport noise for this airport. If you have marked any question in #3 with “Yes,” continue to 5.
5. Contact the airport manager, (see blue arrow above) and ask them if the airport has noise contour maps. Are contour maps available?
- Yes. Locate your project on the noise contour map. If there are no roads or railroads that are being considered for noise, utilize the information from the contour map to determine if the site is acceptable. If roads or railroads are being considered input the information obtained from the airport noise contours, along with the road and railroad information in the HUD [Noise Assessment Guidelines](#) (NAG) or the online tool at <http://www.hud.gov/offices/cpd/environment/dnlcalculator.cfm>.
- No. Construct the approximate DNL contours by using the guidance on page 52 and 53 of the [NAG](#). You will need to obtain the following information from the airport:
1. The number of nighttime jet operations (10pm to 7 am)
 2. The number of daytime jet operations (7 am to 10 pm)
 3. The flight paths of the major runways.
 4. Any available information about expected changes in airport traffic (e.g. will the number of operations increase or decrease in the next 10 to 15 years).



> 1 ASSOC CITY: TARBORO 4 STATE: NC LOC ID: ETC FAA SITE NR: 17154.1*A
> 2 AIRPORT NAME: TARBORO-EDGEcombe 5 COUNTY: EDGEcombe NC
3 CBD TO AIRPORT (NM): 02 N 6 REGION/ADO: ASO/MEM 7 SECT AERO CHT: CHARLOTTE

GENERAL

10 OWNERSHIP: PUBLIC
> 11 OWNER: TARBORO-EDGEcombe ARPT AUTH
> 12 ADDRESS: PO BOX 280
TARBORO, NC 27886
> 13 PHONE NR: 252-641-4229
> 14 MANAGER: JASON NICHOLS
> 15 ADDRESS: PO BOX 220
TARBORO, NC 27886
> 16 PHONE NR: (252) 641-4229
> 17 ATTENDANCE SCHEDULE:
UNATNDD

SERVICES

> 70 FUEL: 100LL
> 71 AIRFRAME RPRS: NONE
> 72 PWR PLANT RPRS: NONE
> 73 BOTTLE OXYGEN: NONE
> 74 BULK OXYGEN: NONE
75 TSNT STORAGE: TIE
76 OTHER SERVICES:
AGRI

BASED AIRCRAFT

90 SINGLE ENG: 5
91 MULTI ENG: 1
92 JET: 0
93 HELICOPTERS: 0
TOTAL: 6
94 GLIDERS: 0
95 MILITARY: 0
96 ULTRA-LIGHT: 0

FACILITIES

> 80 ARPT BCN: CG
> 81 ARPT LGT SKED : SEE RMK
BCN LGT SKED: SS-SR
> 82 UNICOM:
> 83 WIND INDICATOR: YES-L
84 SEGMENTED CIRCLE: YES
85 CONTROL TWR: NO
86 FSS: RALEIGH
87 FSS ON ARPT: NO
88 FSS PHONE NR:
89 TOLL FREE NR: 1-800-WX-BRIEF

OPERATIONS

100 AIR CARRIER: 0
102 AIR TAXI: 800
103 G A LOCAL: 2,000
104 G A ITRNRT: 2,000
105 MILITARY: 500
TOTAL: 5,300
OPERATIONS FOR
12 MONTHS
ENDING: 05/20/2021

18 AIRPORT USE: PUBLIC
19 ARPT LAT: 35-56-14.1470N ESTIMATED
20 ARPT LONG: 077-32-47.3290W
21 ARPT ELEV: 52.6 SURVEYED
22 ACREAGE: 86
> 23 RIGHT TRAFFIC: NO
> 24 NON-COMM LANDING: NO

25 NPIAS/FED AGREEMENTS: N
> 26 FAR 139 INDEX:

RUNWAY DATA

> 30 RUNWAY INDENT:
> 31 LENGTH:
> 32 WIDTH:
> 33 SURF TYPE-COND:
> 34 SURF TREATMENT:
35 GROSS WT: S
36 (IN THSDS) D
37 2D
38 2D/2D2
> 39 PCN:

09/27
3,999
60
ASPH-G

LIGHTING/APCH AIDS

> 40 EDGE INTENSITY:
> 42 RWY MARK TYPE-COND:
> 43 VGSI:
44 THR COSSING HGT.:
45 VISUAL GLIDE ANGLE:
> 46 CNTRLN-TDZ:
> 47 RVR-RVV:
> 48 REIL:
> 49 APCH LIGHTS:

MED
NPI - G / NPI - G - / - - / -
P2L / P2L / /
27 / 29 / /
4.00 / 3.00 / /
- / - - / - - / -
- / - - / - - / -
N / Y / /
/ / /

OBSTRUCTION DATA

50 FAR 77 CATEGORY
> 51 DISPLACED THR:
> 52 CTLG OBSTN:
> 53 OBSTN MARKED/LGTD:
> 54 HGT ABOVE RWY END:
> 55 DIST FROM RWY END:
> 56 CNTRLN OFFSET:
57 OBSTN CLNC SLOPE:
58 CLOSE-IN OBSTN:

A(V) / A(NP) / /
200 / / /
TREES / TREES / /
/ / /
27 / 21 / /
319 / 839 / /
3R / 4L / /
4:1 / 30:1 / /
Y / N / /

DECLARED DISTANCES

> 60 TAKE OFF RUN AVBL (TORA):
> 61 TAKE OFF DIST AVBL (TODA):
> 62 ACLT STOP DIST AVBL (ASDA):
> 63 LNDG DIST AVBL (LDA):

/ / / /
/ / / /
/ / / /
/ / / /

(P) ARPT MGR PLEASE ADVISE FSS IN ITEM 86 WHEN CHANGES OCCUR TO ITEMS PRECEDED BY >

> 110 REMARKS

A 016 EMERGENCY PHONE DURG BUS HRS 252-641-4229 TOWN HALL; 252-641-4247 POLICE DISPATCH.
A 057 RWY 09 RWY 9 APCH SLOPE 7:1 DUE TO 48 FT TREES 575 FT FM THE DSPLCD THLD & OFFSET 126 FT R OF CNTRLN.
A 058 RWY 09 15 FT ROAD 160 FT FM END BOTH SIDES CNTRLN; 4 FT FENCE 125 FT FM END BOTH SIDES CNTRLN; 13 FT TREE 125 FT FM END OFFSET 10 FT R OF CNTRLN; AND 10 FT TREE 152 FT FM END OFFSET 121 FT L OF CNTRLN.
A 070 SELF SVC 100LL AVBL 24 HRS WITH CREDITCARD.
A 081 ACTVT MIRL RWY 09/27, REIL RWY 27 & PAPI RWYS 09 & 27 - CTAF.
A 110-001 DEER ON AND INVOF ARPT.
A 110-002 500' LOW LEVEL ROUTE 3 MI NE OF ARPT - BE ALERT FOR MIL ACFT INVOF ARPT.
A 110-005 RWY 27 SAFETY AREA HAS SFC VARIATIONS & DEPRESSIONS AND A 20 FT DROP OFF 100 FT FM BOTH SIDES.
A 110-006 FOR CD CTR WASHINGTON ARTCC AT 703-771-3587.

111 INSPECTOR: (S) 112 LAST INSP: 05/20/2021 113 LAST INFO REQ: 12/15/1982

Airport Noise Worksheet

Use this worksheet to identify information needed to evaluate a site's exposure to aircraft noise.

Name and Location of Project: **East Haven Apts., Rocky Mount, NC** Date: **1-5-22**
 Name of Airport: **Tarboro-Edgecombe Airport (ETC)** Person completing worksheet: **CD**

1. Determine if the proposed site/project is within 15 miles of a civil or military airport.

- No. Attach a map identifying the location of the proposed project site and the location of any airports. This worksheet is not required.
- Yes. Attach a map identifying the location of the proposed project site and the location of any airports. Continue

2. Determine the number of operations at the airport by:

- Going to: <http://www.gcr1.com/5010web/>
- Type in the name of the city press search
- Find your airport.
- Open the report under "Print 5010."
- Complete section 3 below by using the information found in the report (see yellow arrow in the example below).

AIRPORT MASTER RECORD

U.S. DEPARTMENT OF TRANSPORTATION
 FEDERAL AVIATION ADMINISTRATION

PRINT DATE: 10/30/2012
 AFD EFF: 09/20/2012
 Form Approved OMB 2120-0015

1 ASSOC CITY: KENAI 4 STATE: AK LOC ID: ENA FAA SITE NR: 50410.1A
 2 AIRPORT NAME: KENAI MUNI 5 COUNTY: KENAI-COOK INLET AK
 3 CBD TO AIRPORT (NM): 00 N 6 REGION/ADO: AAL/NONE 7 SECT AERO CHT: ANCHORAGE

GENERAL		SERVICES		BASED AIRCRAFT	
10 OWNERSHIP: PU		70 FUEL: 100LLA		90 SINGLE ENG: 54	
11 OWNER: CITY OF KENAI		71 AIRFRAME RPRS: MINOR		91 MULTI ENG: 7	
12 ADDRESS: 210 FIDALGO ST KENAI, AK 99611		72 PWR PLANT RPRS: MINOR		92 JET: 0	
13 PHONE NR: 907-283-7951		73 BOTTLE OXYGEN: NONE		TOTAL: 61	
14 MANAGER: MARY BONDURANT		74 BULK OXYGEN: NONE		93 HELICOPTERS: 0	
15 ADDRESS: 305 N WILLOW SUITE 200 KENAI, AK 99611		75 TSNT STORAGE: TIE		94 GLIDERS: 0	
16 PHONE NR: 907-283-7951		76 OTHER SERVICES: CARGO, CHTR, INSTR, RNTL		95 MILITARY: 0	
17 ATTENDANCE SCHEDULE: ALL MON-FRI 0800-1700				96 ULTRA-LIGHT: 0	
		FACILITIES		OPERATIONS	
18 AIRPORT USE: PUBLIC		80 ARPT BCN: CG		100 AIR CARRIER: 1,045	
19 ARPT LAT: 60-34-23.9044N ESTIMATED		81 ARPT LGT SKED: SEE RMK		102 AIR TAXI: 23,263	
20 ARPT LONG: 151-14-41.2000W		82 UNICOM:		103 G A LOCAL: 6,326	
21 ARPT ELEV: 99.0 SURVEYED		83 WIND INDICATOR: YES-L		104 G A ITNRNT: 6,429	
22 ACREAGE: 1200		84 SEGMENTED CIRCLE: YES		105 MILITARY: 3,115	
23 RIGHT TRAFFIC: 01L, 19W		85 CONTROL TWR: YES		TOTAL: 40,178	
24 NON-COMM LANDING: NO		86 FSS: KENAI		OPERATIONS FOR 12 MONTHS ENDING 12/01/2011	
		87 FSS ON ARPT: YES			
		88 FSS PHONE NR: 800-478-3578			

3. Determine if the annual number of operations for air carriers #100, air taxis #102, military #105, and general aviation #103 plus #104 exceeds thresholds.

Annual air carrier operations _____. Is this 9000 or more Yes ___ No X
 Annual air taxi operations _____. Is this 18,000 or more Yes ___ No X
 Annual military operations _____. Is this 18,000 or more Yes ___ No X
 Annual general aviation operations _____. Is this 72000 or more Yes ___ No X

4. If you answer “No” on each of the questions above, it is assumed that the noise attributed to the airplanes will not extend beyond the boundaries of the airport. Maintain the documentation in your Environmental Review Record. You are finished with the evaluation of airport noise for this airport. If you have marked any question in #3 with “Yes,” continue to 5.
5. Contact the airport manager, (see blue arrow above) and ask them if the airport has noise contour maps. Are contour maps available?
- Yes. Locate your project on the noise contour map. If there are no roads or railroads that are being considered for noise, utilize the information from the contour map to determine if the site is acceptable. If roads or railroads are being considered input the information obtained from the airport noise contours, along with the road and railroad information in the HUD [Noise Assessment Guidelines](#) (NAG) or the online tool at <http://www.hud.gov/offices/cpd/environment/dnlcalculator.cfm>.
- No. Construct the approximate DNL contours by using the guidance on page 52 and 53 of the [NAG](#). You will need to obtain the following information from the airport:
1. The number of nighttime jet operations (10pm to 7 am)
 2. The number of daytime jet operations (7 am to 10 pm)
 3. The flight paths of the major runways.
 4. Any available information about expected changes in airport traffic (e.g. will the number of operations increase or decrease in the next 10 to 15 years).

Chris Daves

From: Dixon, Keith G <kgdixon@ncdot.gov>
Sent: Wednesday, November 17, 2021 1:55 PM
To: Chris Daves
Subject: RE: [External] RE: Your Data Request - TDR21-RP029

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Chris,

Here's the most current info I could find for those links:

Link	2015	2040	CAGR
Raleigh St W of US 64	9800	12700	1.0%
Meadowbrook Rd S of Raleigh St	5100	6400	0.9%

Based on a review of the current 2015 Rocky Mount model and the 2015 Traffic Forecast for FS-1504A produced by the NCDOT TPD.

I reviewed the 2019 published AADT as well. This model is a little dated but the volumes still seem reasonable.

Keith G. Dixon
State Traffic Forecast Engineer
Transportation Planning Division
North Carolina Department of Transportation

919 707 0984 office
919 593 5270 mobile
kgdixon@ncdot.gov

1 South Wilmington St
1554 Mail Service Center
Raleigh, NC 27699-1554



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From: Chris Daves <CDaves@smeinc.com>
Sent: Tuesday, November 16, 2021 9:58 AM
To: Dixon, Keith G <kgdixon@ncdot.gov>
Subject: [External] RE: Your Data Request - TDR21-RP029

CAUTION: External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam](#).

Good morning, Keith,
I hope all is well.

I recently submitted a traffic futures request (Tracking Number VK6BVEL4N), but the response indicated they were unable to provide.

I have a new futures request (up to 2032 or higher) in Rocky Mount in Edgecombe County for two roads. As far as receiving future traffic data, is there a formal protocol or contact to follow? You were extremely helpful last time for the request in Charlotte back in August, but I didn't want to assume you did all futures traffic requests in the state.

Please advise when possible.

Thanks again for your technical assistance.

Chris

Chris Daves, P.W.S.

Biologist/Senior Scientist
M: 803.446.2980
cdaves@smeinc.com

From: Dixon, Keith G <kgdixon@ncdot.gov>
Sent: Wednesday, August 11, 2021 4:43 PM
To: Chris Daves <CDaves@smeinc.com>
Subject: RE: Your Data Request - TDR21-RP029

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Hey Chris,

Links	2021 AADT Est	CAGR*	2045 AADT Proj
Grier Rd W of Newell-Hickory Grove Rd	14,400	0.5%	16500
Newell-Hickory Grove Rd N of Grier Rd	1200	2.1%	2100
* Metrolina Regional Model 2019 v1.0 (MRM19v1.0)			
2021 AADT estimate includes the traffic shift due to the close of the RR Xing on Newell-Hickory Grove Rd N of Grier Rd.			

Here are the growth rates shown on the north leg of Newell-Hickory Grove Rd and the west leg of Grier Rd in the MRM19v1.0.

You can use straight-line interpolation to estimate volumes between 2021 and 2045.

Keith G. Dixon
State Traffic Forecast Engineer
Transportation Planning Division

North Carolina Department of Transportation

919 707 0984 office
919 593 5270 mobile
kgdixon@ncdot.gov

1 South Wilmington St
1554 Mail Service Center
Raleigh, NC 27699-1554



Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties.

From: Perry, Randy T <rperry@ncdot.gov>
Sent: Monday, August 9, 2021 2:08 PM
To: 'cdaves@smeinc.com' <cdaves@smeinc.com>
Cc: Dixon, Keith G <kgdixon@ncdot.gov>
Subject: Your Data Request - TDR21-RP029

Good Afternoon Mr. Daves,

I have reviewed your request and unfortunately our group does not handle future traffic data. We collect current data only. In addition, I have checked for the latest data available for Grier Rd and Newell-Hickory Grove Rd near Charlotte, and I am sorry to report that the AADT's you referenced are the latest available.

Keith Dixon is one of our Traffic Forecasting Engineers. Keith, can you check to see if you have any recent project counts in this area newer than 2016 ?

Thanks,

Randy T. Perry
Traffic Analyst
Traffic Survey Group
North Carolina Department of Transportation

919 707 0921 office
919-733-9794 Fax

rperry@ncdot.gov

1 South Wilmington Street (Delivery)
1554 Mail Service Center (Mail)
Raleigh, NC 27699-1554

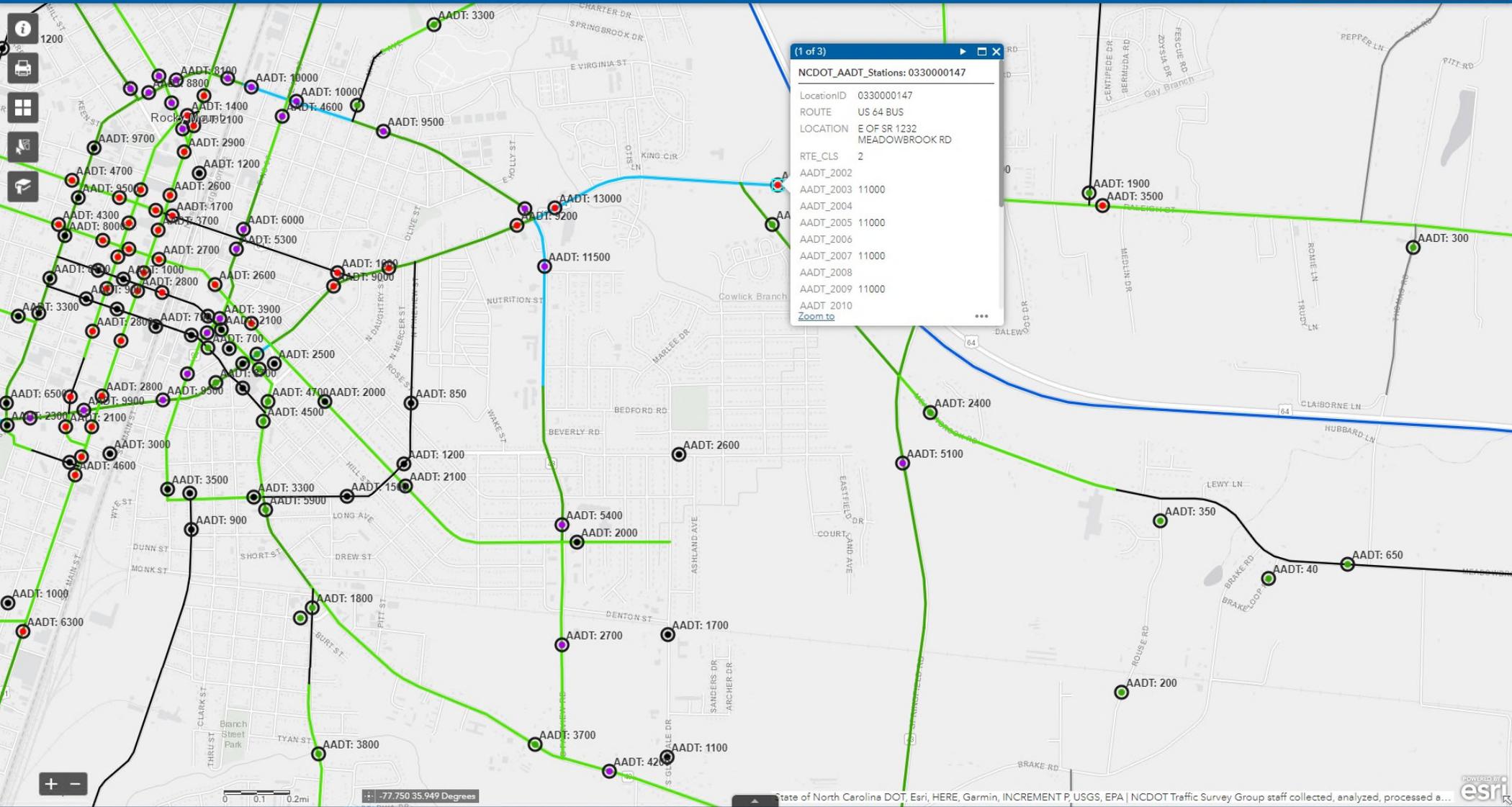


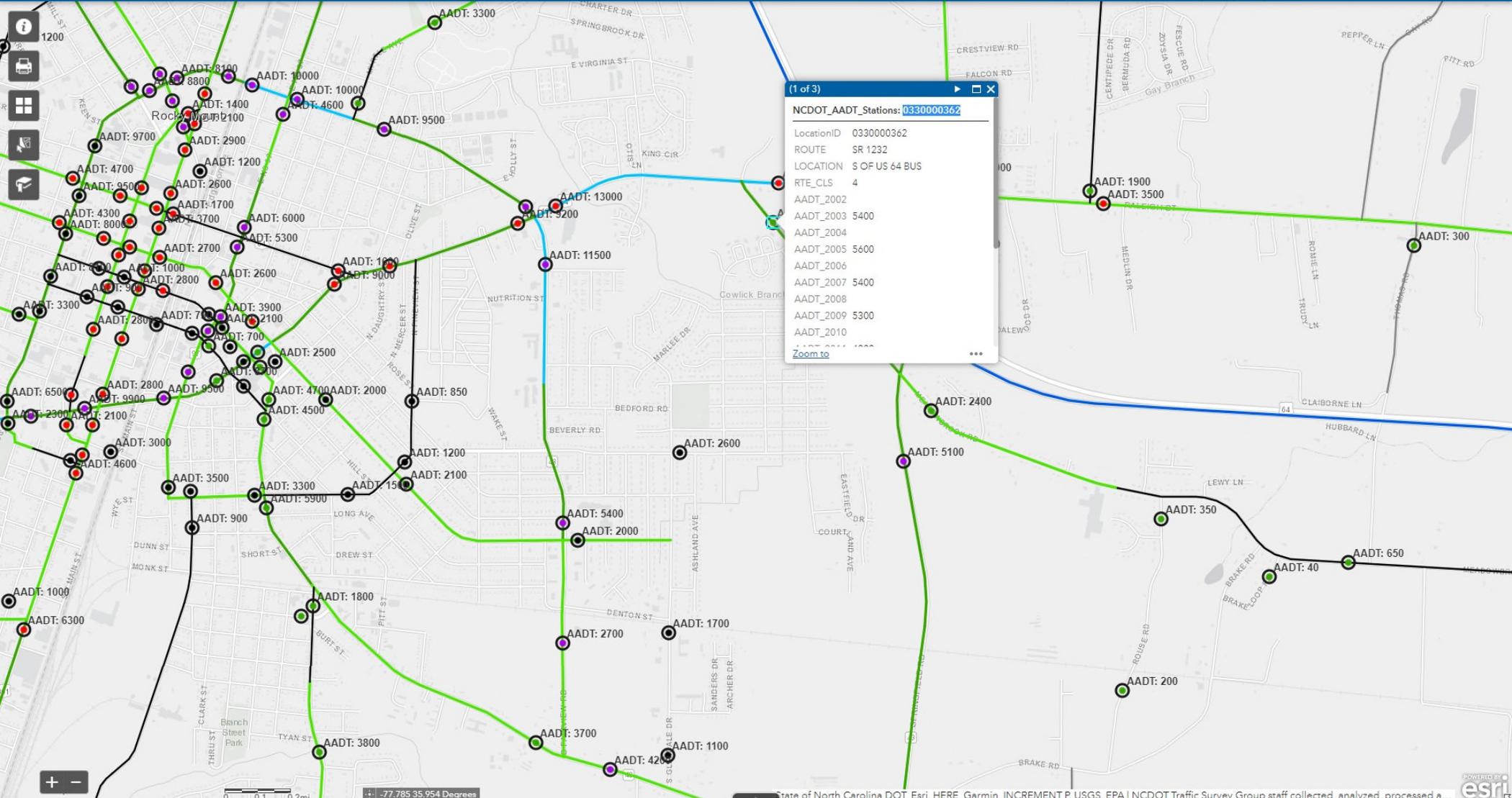
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(1 of 3)

NCDOT_AADT_Stations: [0330000362](#)

LocationID 0330000362

ROUTE SR 1232

LOCATION S OF US 64 BUS

RTE_CLS 4

AADT_2002

AADT_2003 5400

AADT_2004

AADT_2005 5600

AADT_2006

AADT_2007 5400

AADT_2008

AADT_2009 5300

AADT_2010

Zoom to



NCDOT

Short Term Class for 1/1/2020 - 12/31/2020

Criteria: Location ID = 0330000572

Location ID: 330000572

County: Edgecombe

Location: US 64 BUS EAST OF NC 43

Station AADT Statistics

	Passenger Vehicles			Single Unit Truck				Multi Unit Truck			Twins		
	Motor Cycle	Car	Pickup	Bus	2A SU	3A SU	>3A SU	TTST			<6A >2U	6A >2U	>6A >2U
AADT	28	7,685	1,954	61	397	26	0	<5A 2U	5A SU	>5A 2U	0	0	5
AADT %	0.3	74.3	18.9	0.6	3.8	0.3	0.0	0.5	0.7	0.5	0.0	0.0	0.0

Passenger Vehicle AADT	Single Unit Truck AADT
9,667	484
93.5	4.7

Station Peak Hour Statistics

Period	Starting	Volume	K Factor	D Factor
AM	7:00	581	5.6%	56%
Mid	14:00	796	7.7%	51%
PM	16:00	840	8.1%	61%

Tuesday, August 11, 2020

Time	Passenger Vehicles			Single Unit Truck				Multi Unit Truck			Twins			Other (*)	Passenger Vehicle Total	Single Unit Truck Total
	Motor Cycle	Car	Pickup	Bus	2A SU	3A SU	>3A SU	TTST			<6A >2U	6A >2U	>6A >2U			
0:00	0	112	12	0	3	0	0	<5A 2U	5A SU	>5A 2U	0	0	0	0	124	3
1:00	0	81	7	1	5	0	0	0	1	0	0	0	0	0	88	6
2:00	0	56	12	1	3	0	0	0	3	1	0	0	0	0	68	4
3:00	0	54	6	2	2	0	0	0	3	0	0	0	0	0	60	4
4:00	0	43	9	6	1	1	0	0	2	0	0	0	0	0	52	8
5:00	1	146	41	2	9	1	0	2	4	0	0	0	0	0	188	12



NCDOT

Short Term Class for 1/1/2020 - 12/31/2020

Criteria: Location ID = 0330000572

6:00	0	419	91	3	16	2	0	3	2	1	0	0	0	0	510	21
7:00	1	450	99	4	13	3	0	6	5	0	0	0	0	0	550	20
8:00	0	435	87	6	16	6	0	4	7	1	0	0	0	0	522	28
9:00	1	393	102	2	21	3	0	5	5	1	0	0	0	0	496	26
10:00	1	449	136	1	14	6	0	5	6	0	0	0	0	0	586	21
11:00	0	514	134	5	23	0	0	0	5	1	0	0	0	0	648	28
12:00	0	552	119	6	19	0	0	10	11	1	0	0	0	0	671	25
13:00	2	585	118	2	16	2	0	5	7	0	0	0	0	0	705	20
14:00	4	632	111	6	30	2	0	5	6	0	0	0	0	0	747	38
15:00	2	550	143	12	43	1	0	3	2	5	0	0	0	8	695	56
16:00	1	563	175	5	43	2	0	4	4	9	0	0	0	20	739	50
17:00	3	585	140	4	50	0	0	5	4	16	0	0	2	12	728	54
18:00	1	531	136	6	35	0	0	4	5	9	0	0	0	10	668	41
19:00	4	457	109	3	23	0	0	2	3	6	0	0	0	8	570	26
20:00	1	339	94	0	25	0	0	0	3	3	0	0	0	2	434	25
21:00	3	262	64	1	20	0	0	0	1	0	0	0	0	0	329	21
22:00	1	206	36	0	8	0	0	0	1	1	0	0	0	0	243	8
23:00	0	197	26	0	3	0	0	0	2	0	0	0	0	0	223	3
Total	26	8,611	2,007	78	441	29	0	63	95	55	0	0	2	60	10,644	548
Total %	0.2	75.3	17.5	0.7	3.9	0.3	0.0	0.6	0.8	0.5	0.0	0.0	0.0	0.5	93.1	4.8

(*) Other are for vehicles that cannot be classified and are not part of the total values

Wednesday, August 12, 2020

Time	Passenger Vehicles			Single Unit Truck				Multi Unit Truck						Other (*)	Passenger Vehicle Total	Single Unit Truck Total	
	Motor Cycle	Car	Pickup	Bus	2A SU	3A SU	>3A SU	TTST			Twins						
								<5A 2U	5A SU	>5A 2U	<6A >2U	6A >2U	>6A >2U				
0:00	0	86	20	1	4	0	0	0	1	0	0	0	0	1	0	106	5
1:00	1	83	13	0	2	0	0	1	3	0	0	0	0	1	0	97	2
2:00	2	46	7	4	1	0	0	0	4	0	0	0	0	0	0	55	5
3:00	0	48	8	4	0	0	0	1	0	0	0	0	0	0	0	56	4



NCDOT

Short Term Class for 1/1/2020 - 12/31/2020

Criteria: Location ID = 0330000572

4:00	0	41	19	8	2	0	0	0	3	0	0	0	0	0	60	10
5:00	0	144	35	4	17	0	0	0	5	0	0	0	1	0	179	21
6:00	0	389	108	2	22	2	0	2	1	3	0	0	1	4	497	26
7:00	0	397	113	1	35	4	0	4	5	5	0	0	0	0	510	40
8:00	1	367	127	5	30	2	0	10	8	4	0	0	0	8	495	37
9:00	2	352	120	6	30	3	0	5	5	1	0	0	0	2	474	39
10:00	2	378	147	0	20	4	0	6	6	2	0	0	0	4	527	24
11:00	2	421	136	6	37	5	0	6	10	6	0	0	0	6	559	48
12:00	1	444	139	3	43	3	0	6	3	9	0	0	0	6	584	49
13:00	1	436	138	3	37	2	0	9	6	4	0	0	2	6	575	42
14:00	3	452	125	4	40	5	0	3	7	5	0	0	2	10	580	49
15:00	2	526	148	8	33	4	0	6	12	7	0	0	0	8	676	45
16:00	3	596	149	2	46	2	0	4	9	17	0	0	1	22	748	50
17:00	1	599	144	1	36	0	0	2	2	4	0	0	2	8	744	37
18:00	3	538	135	10	35	0	0	5	5	6	0	0	0	12	676	45
19:00	4	459	111	1	25	0	0	1	1	5	0	0	0	10	574	26
20:00	4	381	96	0	21	0	0	2	2	3	0	0	1	0	481	21
21:00	1	292	75	1	25	0	0	1	1	1	0	0	0	0	368	26
22:00	0	203	45	0	4	0	0	0	0	0	0	0	0	0	248	4
23:00	2	176	22	0	8	0	0	0	1	0	0	0	0	0	200	8
Total	35	7,854	2,180	74	553	36	0	74	100	82	0	0	12	106	10,069	663
Total %	0.3	71.1	19.7	0.7	5.0	0.3	0.0	0.7	0.9	0.7	0.0	0.0	0.1	1.0	91.1	6.0

(*) Other are for vehicles that cannot be classified and are not part of the total values

Multi Unit Truck AADT	AADT
189	10,340
1.8	

Multi Unit Truck Total	Hourly Total
3	130
1	95
4	76
3	67
2	62
6	206

6	537
11	581
12	562
11	533
11	618
6	682
22	718
12	737
11	796
10	765
17	816
27	815
18	732
11	611
6	466
1	351
2	253
2	228
215	11,437
1.9	

Multi Unit Truck Total	Hourly Total
2	113
5	104
4	64
1	61

3	73
6	206
7	532
14	564
22	558
11	525
14	567
22	632
18	654
21	641
17	651
25	750
31	840
10	795
16	743
7	612
8	510
3	397
0	252
1	209
268	11,053
2.4	

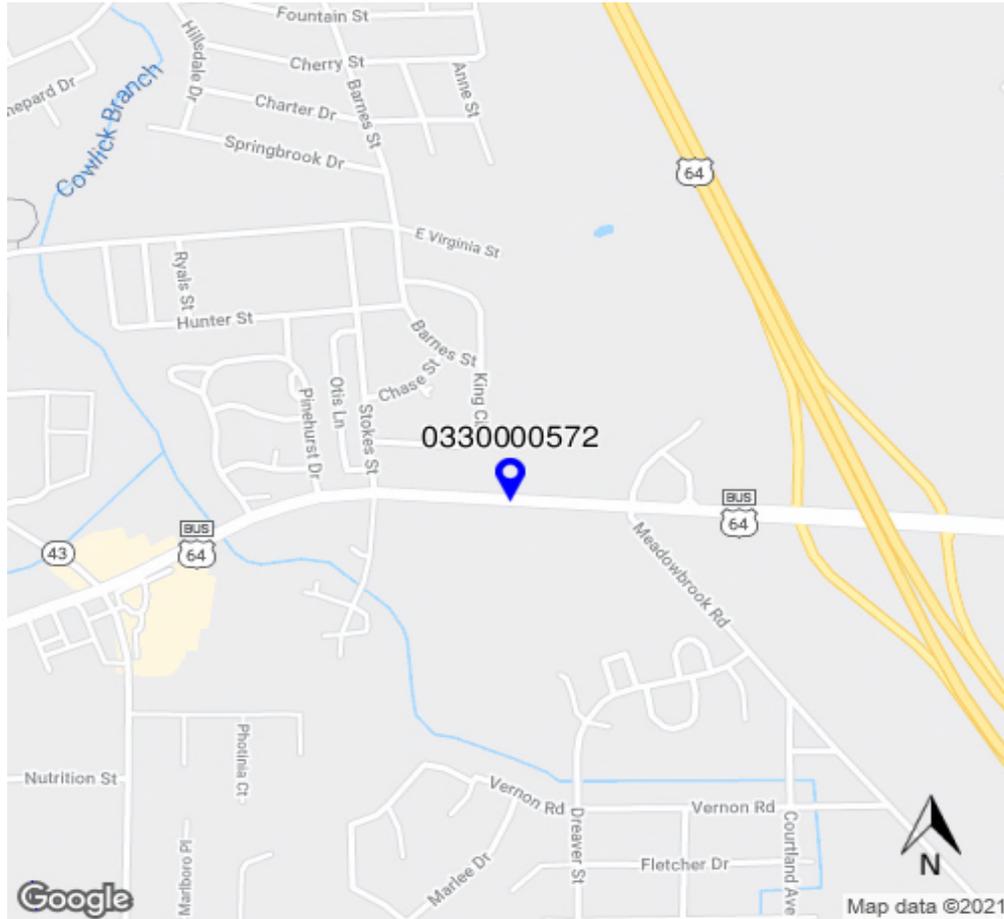


NCDOT

Short Term Class for 1/1/2020 - 12/31/2020

Criteria: Location ID = 0330000572

Location Map





NCDOT

Most Recent 48 Hour Count for Year for 1/1/2020 - 12/31/2020
 Criteria: Location ID = 0330000147

Location ID: 0330000147

County: Edgecombe

Location: N Raleigh St EAST OF SR 1232 MEADOWBROOK RD

Monday, October 26, 2020

Tuesday, October 27, 2020

Time	EB Hourly	WB Hourly	2-WAY Hourly
0:00-1:00	49	68	117
1:00-2:00	31	44	75
2:00-3:00	28	35	63
3:00-4:00	25	21	46
4:00-5:00	52	25	77
5:00-6:00	137	77	214
6:00-7:00	333	198	531
7:00-8:00	284	305	589
8:00-9:00	238	292	530
9:00-10:00	268	252	520
10:00-11:00	250	259	509
11:00-12:00	306	317	623
12:00-13:00	385	381	766
13:00-14:00	354	386	740
14:00-15:00	391	392	783
15:00-16:00	364	383	747
16:00-17:00	423	429	852
17:00-18:00	409	488	897
18:00-19:00	351	359	710
19:00-20:00	304	304	608
20:00-21:00	173	197	370
21:00-22:00	152	161	313
22:00-23:00	136	108	244
23:00-24:00	72	110	182

Time	EB Hourly	WB Hourly	2-WAY Hourly
0:00-1:00	41	66	107
1:00-2:00	43	45	88
2:00-3:00	32	33	65
3:00-4:00	39	24	63
4:00-5:00	48	34	82
5:00-6:00	158	82	240
6:00-7:00	352	225	577
7:00-8:00	260	326	586
8:00-9:00	249	289	538
9:00-10:00	267	282	549
10:00-11:00	274	274	548
11:00-12:00	269	351	620
12:00-13:00	356	370	726
13:00-14:00	340	327	667
14:00-15:00	412	402	814
15:00-16:00	422	408	830
16:00-17:00	409	426	835
17:00-18:00	434	478	912
18:00-19:00	401	411	812
19:00-20:00	292	310	602
20:00-21:00	186	173	359
21:00-22:00	147	141	288
22:00-23:00	112	123	235
23:00-24:00	67	103	170

Count Total	5,515	5,591	11,106
AM Peak	06:30-07:30 335	07:30-08:30 319	07:15-08:15 593
Mid Peak	13:45-14:45 392	12:30-13:30 388	12:15-13:15 775
PM Peak	16:15-17:15 432	17:00-18:00 488	17:00-18:00 897

Count Total	5,610	5,703	11,313
AM Peak	06:00-07:00 352	07:30-08:30 346	07:30-08:30 616
Mid Peak	13:45-14:45 383	11:45-12:45 393	13:45-14:45 762
PM Peak	16:45-17:45 444	17:00-18:00 478	17:00-18:00 912

Station AADT * **10,301**

* The AADT Estimate is based on factors in use on the date the report was generated

Peak Hour Starts Between		
Period	Begin	End
AM	6:00	9:00
MID	9:15	14:45
PM	15:00	18:00



NCDOT

Most Recent 48 Hour Count for Year for 1/1/2021 - 12/31/2021
 Criteria: Location ID = 0330000147

Location ID: 0330000147
County: Edgecombe
Location: N Raleigh St EAST OF SR 1232 MEADOWBROOK RD

Monday, January 4, 2021

Time	EB Hourly	WB Hourly	2-WAY Hourly
0:00-1:00	46	46	92
1:00-2:00	23	25	48
2:00-3:00	23	25	48
3:00-4:00	37	22	59
4:00-5:00	55	34	89
5:00-6:00	134	83	217
6:00-7:00	328	198	526
7:00-8:00	256	279	535
8:00-9:00	248	260	508
9:00-10:00	269	282	551
10:00-11:00	311	352	663
11:00-12:00	313	322	635
12:00-13:00	408	380	788
13:00-14:00	351	408	759
14:00-15:00	416	389	805
15:00-16:00	404	445	849
16:00-17:00	427	404	831
17:00-18:00	402	496	898
18:00-19:00	327	337	664
19:00-20:00	259	261	520
20:00-21:00	176	181	357
21:00-22:00	126	140	266
22:00-23:00	85	88	173
23:00-24:00	60	77	137

Tuesday, January 5, 2021

Time	EB Hourly	WB Hourly	2-WAY Hourly
0:00-1:00	42	60	102
1:00-2:00	28	35	63
2:00-3:00	25	22	47
3:00-4:00	43	32	75
4:00-5:00	55	39	94
5:00-6:00	120	91	211
6:00-7:00	367	219	586
7:00-8:00	246	285	531
8:00-9:00	251	276	527
9:00-10:00	244	257	501
10:00-11:00	264	271	535
11:00-12:00	294	345	639
12:00-13:00	362	377	739
13:00-14:00	385	315	700
14:00-15:00	376	410	786
15:00-16:00	384	444	828
16:00-17:00	410	450	860
17:00-18:00	423	463	886
18:00-19:00	372	362	734
19:00-20:00	258	296	554
20:00-21:00	186	173	359
21:00-22:00	111	155	266
22:00-23:00	93	93	186
23:00-24:00	69	96	165

Count Total	5,484	5,534	11,018
AM Peak	06:00-07:00 328	07:30-08:30 310	07:30-08:30 570
Mid Peak	13:45-14:45 409	13:00-14:00 408	13:45-14:45 791
PM Peak	16:45-17:45 442	17:00-18:00 496	16:45-17:45 915

Count Total	5,408	5,566	10,974
AM Peak	06:00-07:00 367	07:30-08:30 312	06:15-07:15 587
Mid Peak	13:15-14:15 394	11:45-12:45 393	11:45-12:45 763
PM Peak	16:30-17:30 462	16:45-17:45 466	16:30-17:30 922

Station AADT * 10,239

** The AADT Estimate is based on factors in use on the date the report was generated*

Peak Hour Starts Between		
Period	Begin	End
AM	6:00	9:00
MID	9:15	14:45
PM	15:00	18:00

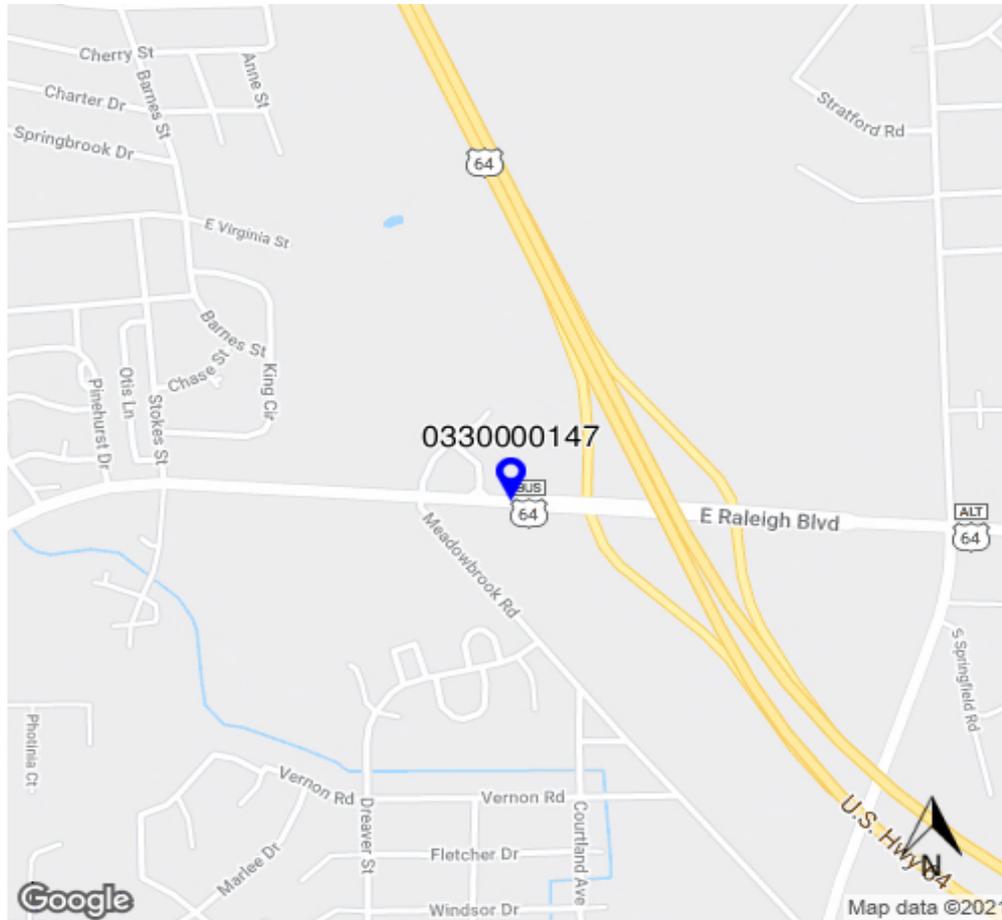


NCDOT

Most Recent 48 Hour Count for Year for 1/1/2020 - 12/31/2020

Criteria: Location ID = 0330000147

Location Map





NCDOT

Most Recent 48 Hour Count for Year for 1/1/2020 - 12/31/2020
 Criteria: Location ID = 0330000362

Location ID: 0330000362

County: Edgecombe

Location: Meadowbrook Rd SOUTH OF US 64 BUS

Monday, December 14, 2020

Time	2-WAY Hourly
0:00-1:00	31
1:00-2:00	30
2:00-3:00	16
3:00-4:00	34
4:00-5:00	44
5:00-6:00	75
6:00-7:00	192
7:00-8:00	248
8:00-9:00	235
9:00-10:00	210
10:00-11:00	244
11:00-12:00	233
12:00-13:00	257
13:00-14:00	270
14:00-15:00	254
15:00-16:00	327
16:00-17:00	338
17:00-18:00	369
18:00-19:00	292
19:00-20:00	232
20:00-21:00	167
21:00-22:00	147
22:00-23:00	81
23:00-24:00	60

Count Total	4,386
AM Peak	06:45-07:45
Mid Peak	13:00-14:00
PM Peak	16:45-17:45

Tuesday, December 15, 2020

Time	2-WAY Hourly
0:00-1:00	42
1:00-2:00	25
2:00-3:00	12
3:00-4:00	30
4:00-5:00	36
5:00-6:00	60
6:00-7:00	171
7:00-8:00	261
8:00-9:00	241
9:00-10:00	214
10:00-11:00	249
11:00-12:00	238
12:00-13:00	303
13:00-14:00	304
14:00-15:00	329
15:00-16:00	336
16:00-17:00	393
17:00-18:00	400
18:00-19:00	327
19:00-20:00	260
20:00-21:00	179
21:00-22:00	175
22:00-23:00	91
23:00-24:00	62

Count Total	4,738
AM Peak	07:00-08:00
Mid Peak	13:45-14:45
PM Peak	16:45-17:45

Station AADT * **4,708**

** The AADT Estimate is based on factors in use on the date the report was generated*

Peak Hour Starts Between		
Period	Begin	End
AM	6:00	9:00
MID	9:15	14:45
PM	15:00	18:00



NCDOT

Most Recent 48 Hour Count for Year for 1/1/2021 - 12/31/2021
 Criteria: Location ID = 0330000362

Location ID: 0330000362

County: Edgecombe

Location: Meadowbrook Rd SOUTH OF US 64 BUS

Monday, January 4, 2021

Time	2-WAY Hourly
0:00-1:00	39
1:00-2:00	25
2:00-3:00	12
3:00-4:00	34
4:00-5:00	31
5:00-6:00	77
6:00-7:00	149
7:00-8:00	208
8:00-9:00	226
9:00-10:00	207
10:00-11:00	221
11:00-12:00	259
12:00-13:00	312
13:00-14:00	302
14:00-15:00	373
15:00-16:00	363
16:00-17:00	333
17:00-18:00	427
18:00-19:00	288
19:00-20:00	236
20:00-21:00	199
21:00-22:00	146
22:00-23:00	96
23:00-24:00	65

Count Total	4,628
AM Peak	07:45-08:45
Mid Peak	13:45-14:45
PM Peak	16:45-17:45

Tuesday, January 5, 2021

Time	2-WAY Hourly
0:00-1:00	44
1:00-2:00	39
2:00-3:00	19
3:00-4:00	31
4:00-5:00	48
5:00-6:00	70
6:00-7:00	163
7:00-8:00	221
8:00-9:00	224
9:00-10:00	228
10:00-11:00	230
11:00-12:00	230
12:00-13:00	306
13:00-14:00	309
14:00-15:00	346
15:00-16:00	334
16:00-17:00	388
17:00-18:00	391
18:00-19:00	323
19:00-20:00	286
20:00-21:00	196
21:00-22:00	160
22:00-23:00	103
23:00-24:00	90

Count Total	4,779
AM Peak	07:30-08:30
Mid Peak	13:30-14:30
PM Peak	16:30-17:30

Station AADT * 5,239

** The AADT Estimate is based on factors in use on the date the report was generated*

Peak Hour Starts Between		
Period	Begin	End
AM	6:00	9:00
MID	9:15	14:45
PM	15:00	18:00

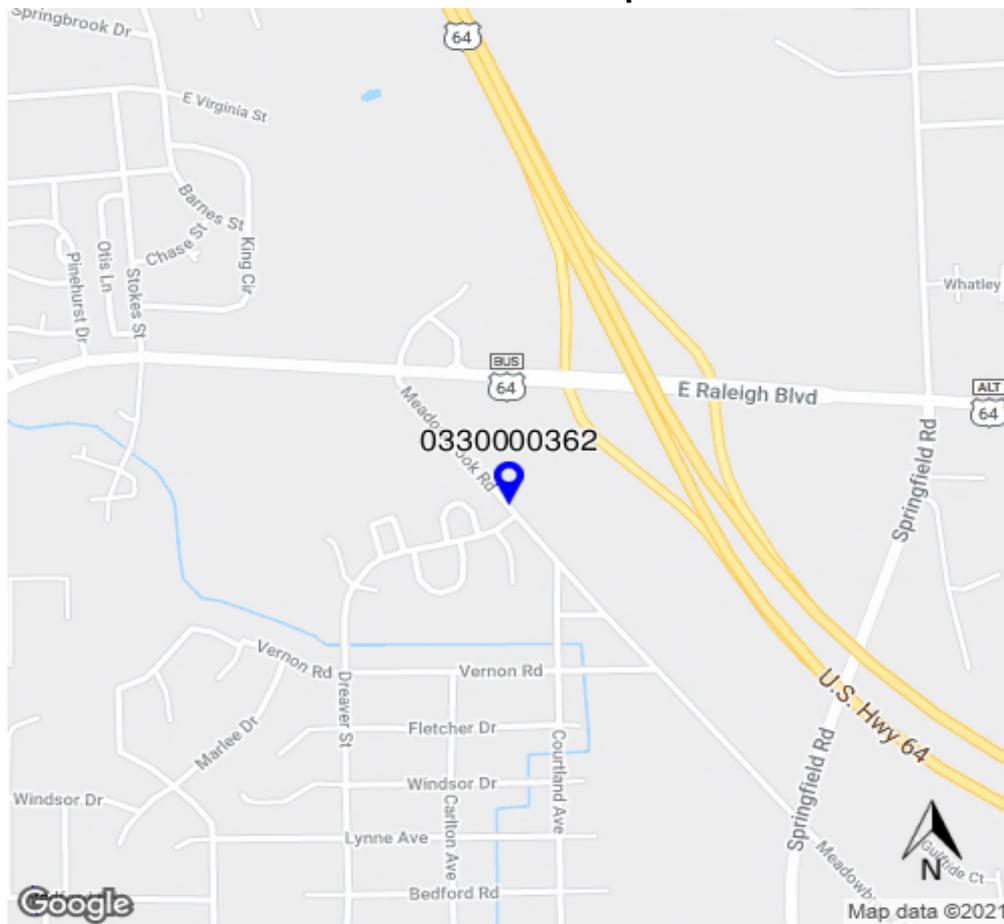


NCDOT

Most Recent 48 Hour Count for Year for 1/1/2020 - 12/31/2020

Criteria: Location ID = 0330000362

Location Map



Comment Details

[Print](#)

Comment History

Tracking Number:

VK6BV9EL4N

Unit Name:

Traffic Analysis

Sent By: Chris daves

Date/Time: 11/15/2021 1:58:25 PM

Comment:

I am seeking traffic data (up to 2032 or higher) for a HUD project located Data I able to locate online appears to be older and not up to date (2019). Seeking data for stations 0330000147 (US 64 Business) and 0330000362 (Meadowbrook Rd.).

See attached road locations in Rocky Mount from website.

File Attachment: 797KB, I am seeking traffic data (up to 2032 or high....zip [Download](#)

Sent By: Contact Us Administrator

Date/Time: 11/16/2021 8:15:30 AM

Comment:

Chris,

Thank you for contacting the Traffic Survey Group. We do not provide projected or future AADT. 2020 and 2021 AADTs have not been published and are still unofficial, I've attached the 2020 and 2021 raw data for the locations that you are requesting.

Kind Regards,

Wendy

TDR-0051

Sent By: Contact Us Administrator

Date/Time: 11/16/2021 8:16:26 AM

Comment:

Chris,

Sorry, I don't think I attached the file the first time.

Kind Regards,

Wendy

File Attachment: 141KB, Chris,Sorry, I don't think I attached the....zip [Download](#)

Your Response



Response Confirmation

This message has been sent to **Traffic Counts**

Instructions

1. [Print](#) this page (or write down the **Tracking Number** and **URL** displayed below) and keep it for your records.
- 2.If you have provided us a valid email address, you will receive an email with instructions for how to view the response to your comment. Note: If you choose to submit a comment anonymously, you will not receive this email notification. In order to receive an email notification, you must enter your email address in the Email field.
Make sure you retain the tracking number and the URL to your comment for future use, when submitting a comment anonymously.
- 3.You can check the status of your comment by going to the URL below.

- 4.Please wait ten minutes before submitting any additional comments.

Tracking Number: VK6BV9EL4N

URL: [Click here to check response](#)

User Information

Name: Chris daves

Phone: (803)561-9024

Email: cdaves@smeinc.com

Message Detail

Sent By: Chris daves

Date/Time: 11/15/2021 1:58:25 PM

Comment:

I am seeking traffic data (up to 2032 or higher) for a HUD project located Data I able to locate online appears to be older and not up to date (2019). Seeking data for stations 0330000147 (US 64 Business) and 0330000362 (Meadowbrook Rd.).
See attached road locations in Rocky Mount from website.

Unit: Traffic Counts

Please address any questions/comments you have regarding the NCDOT Traffic Counts.
Thank you for your time and we will follow up with you soon.

Please use the form below to send your question or comment.

Questions are answered during normal business hours (8 a.m. to 5 p.m. Monday through Friday). Due to the impact of COVID-19, responses are taking considerably longer than normal. We apologize for the inconvenience and ask for your patience.

- In case of a roadway or safety hazard, such as a downed tree, please notify your local law enforcement agency.
- For more immediate assistance regarding DMV-related issues, call its Customer Service office at (919) 715-7000.
- Check out these [frequently asked questions](#) for more information about contacting the North Carolina Department of Transportation.

Check the status of a previously posted [Comment](#)

Please take the time to read our [Privacy Notice](#)

Name:

Phone:

Ex: 919-999-1234 or 999-1234

Email:

Set Anonymous:

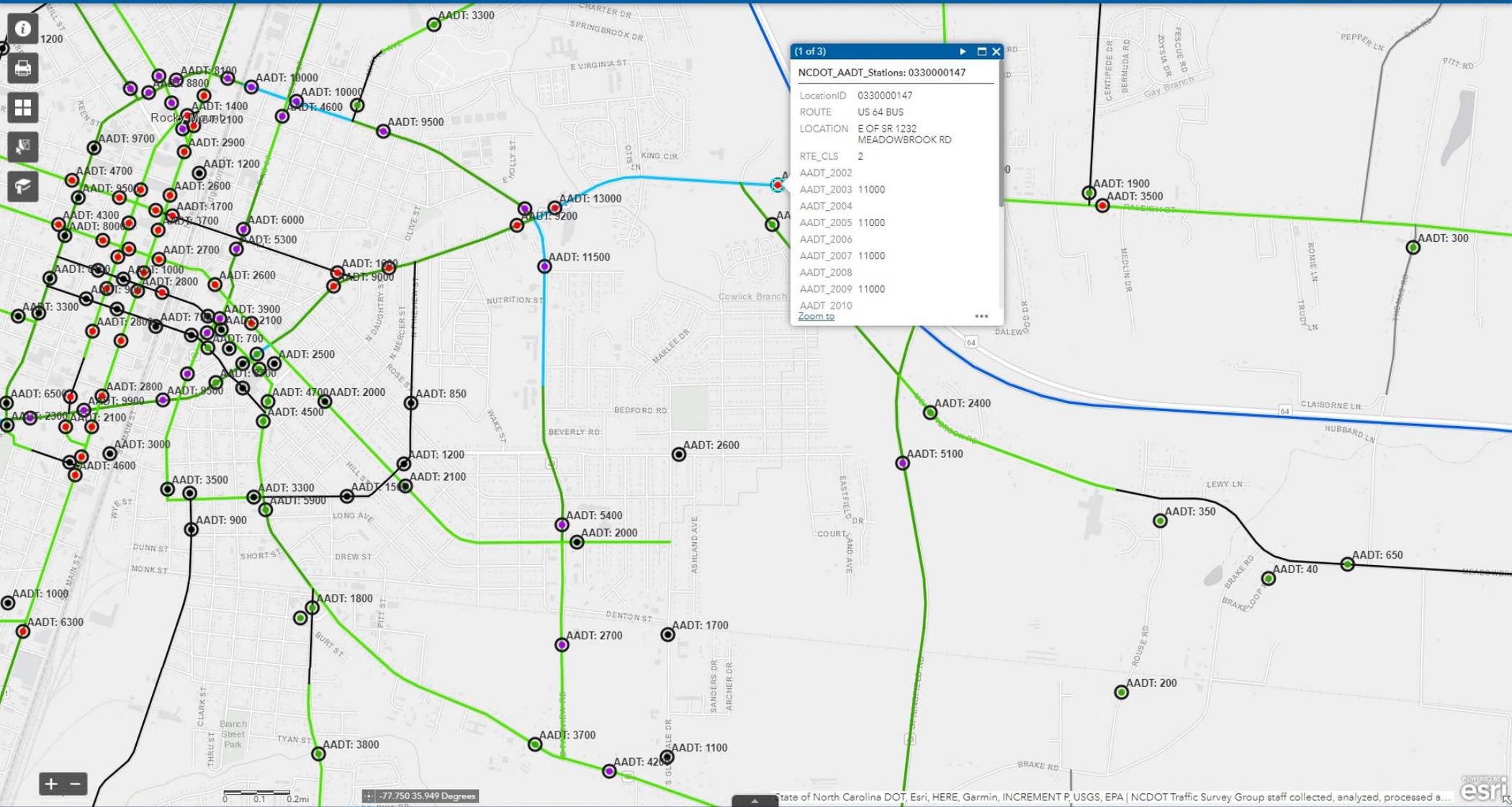
Comment: Limited to 1500 characters

I am seeking traffic data (up to 2032 or higher) for a HUD project located
Data I able to locate online appears to be older and not up to date (2019). Seeking data
for stations 0330000147 (US 64 Business) and 0330000362 (Meadowbrook Rd.).
See attached road locations in Rocky Mount from website.

File Attachment:

Stations 03300...330000362.pdf

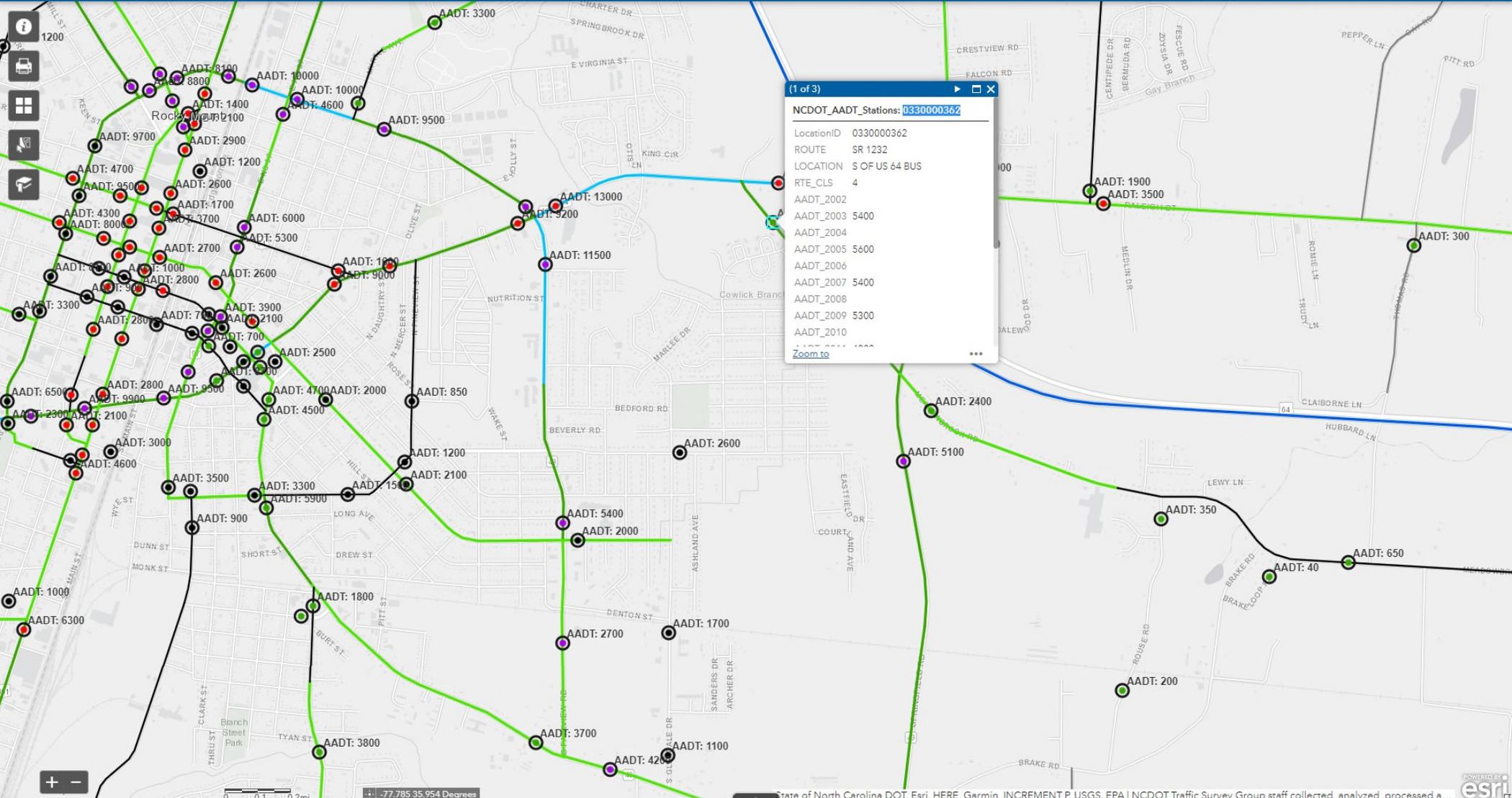
NOTE: File transfers are limited to approximately 5 MB



(1 of 3)

NCDOT_AADT_Stations: 0330000147

LocationID 0330000147
ROUTE US 64 BUS
LOCATION E OF SR 1232
MEADOWBROOK RD
RTE_CLS 2
AADT_2002
AADT_2003 11000
AADT_2004
AADT_2005 11000
AADT_2006
AADT_2007 11000
AADT_2008
AADT_2009 11000
AADT_2010
Zoom to



(1 of 3)

NCDOT_AADT_Stations: [0330000362](#)

LocationID 0330000362

ROUTE SR 1232

LOCATION S OF US 64 BUS

RTE_CLS 4

AADT_2002 5400

AADT_2003 5400

AADT_2004 5600

AADT_2005 5600

AADT_2006 5400

AADT_2007 5400

AADT_2008 5300

AADT_2009 5300

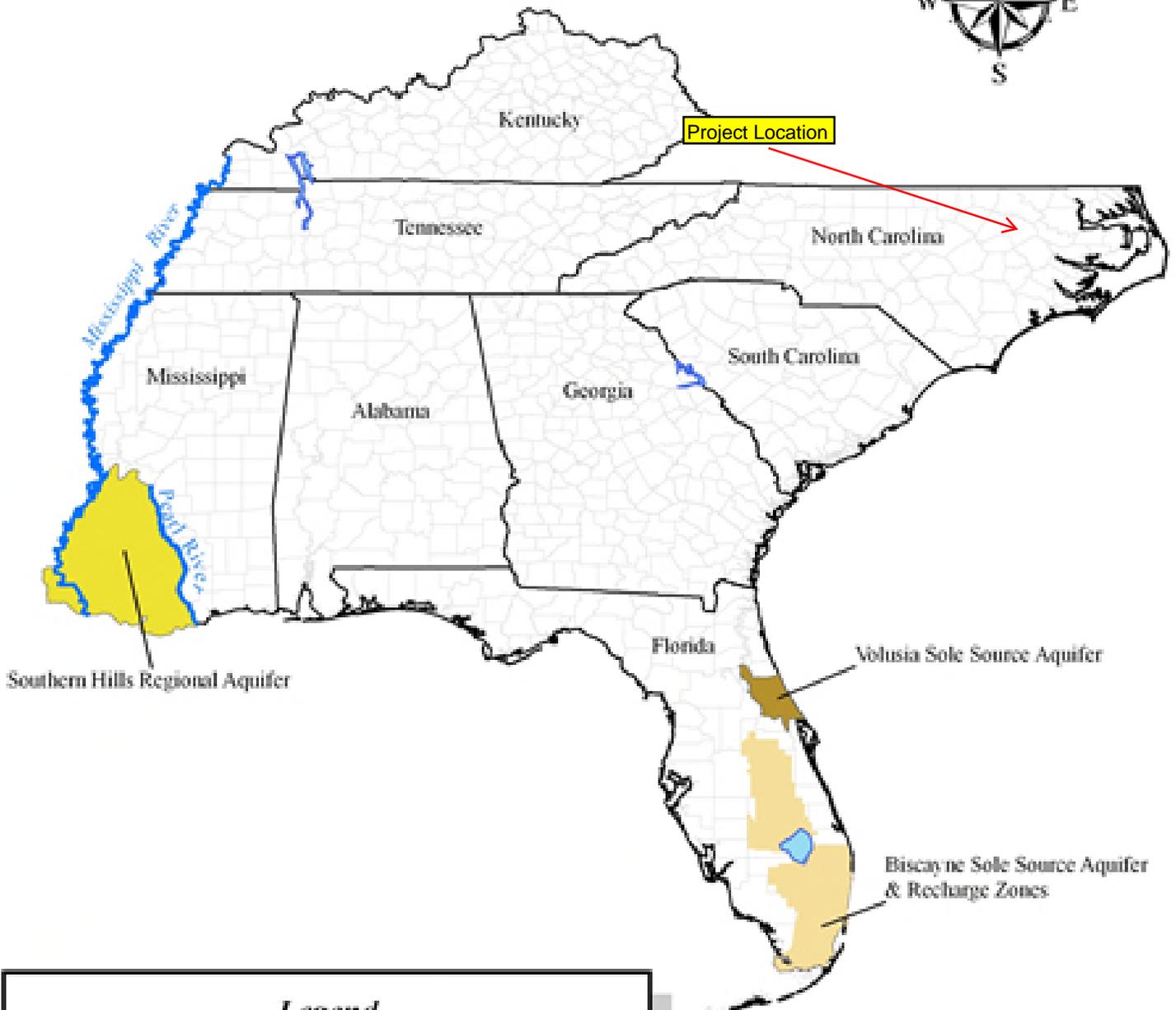
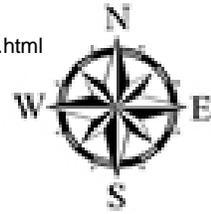
AADT_2010 5300

Zoom to

-77.785 35.954 Degrees

SOLE SOURCE AQUIFERS (40 CFR 149)

SOURCE: <https://archive.epa.gov/pesticides/region4/water/groundwater/web/html/r4ssa.html>



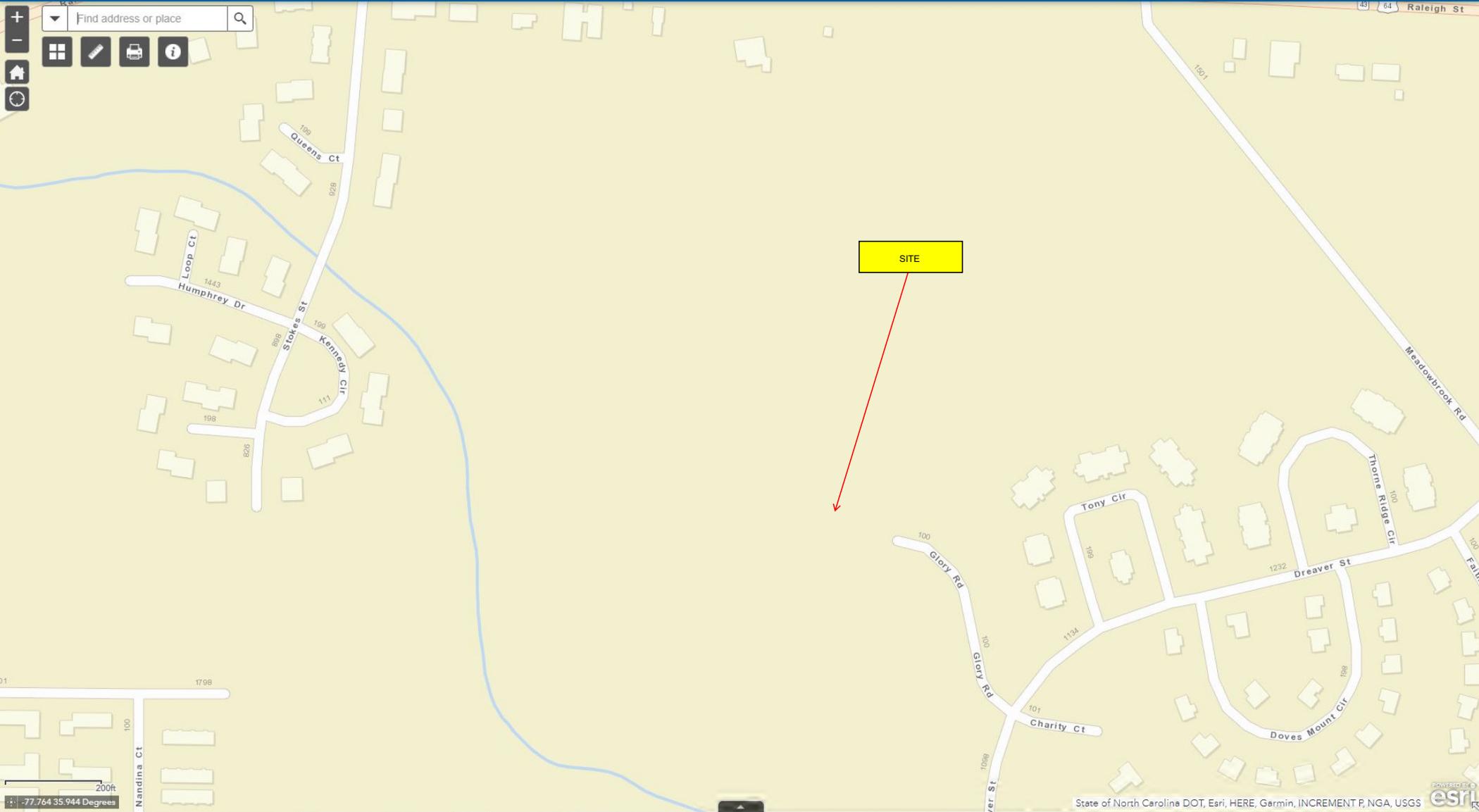
Legend

- Biscayne Sole Source Aquifer & Recharge Zones
- Southern Hills Regional Aquifer System
- Volusia Sole Source Aquifer
- Rivers
- Lake Okeechobee
- Counties
- State Boundary



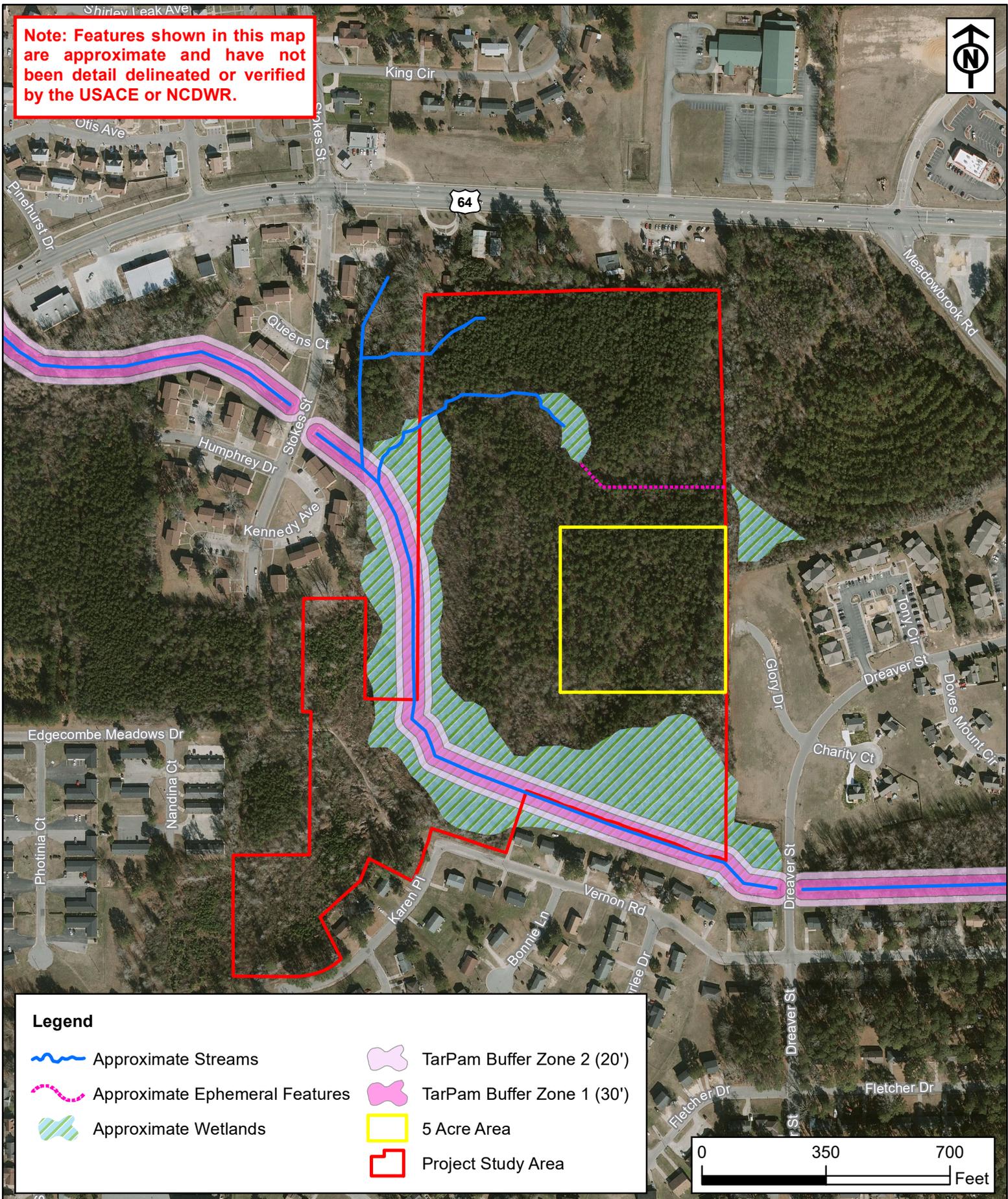
*Sole Source Aquifers and Recharge Zones are approximate

Find address or place



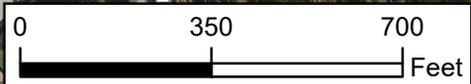
200ft
-77.764 35.944 Degrees

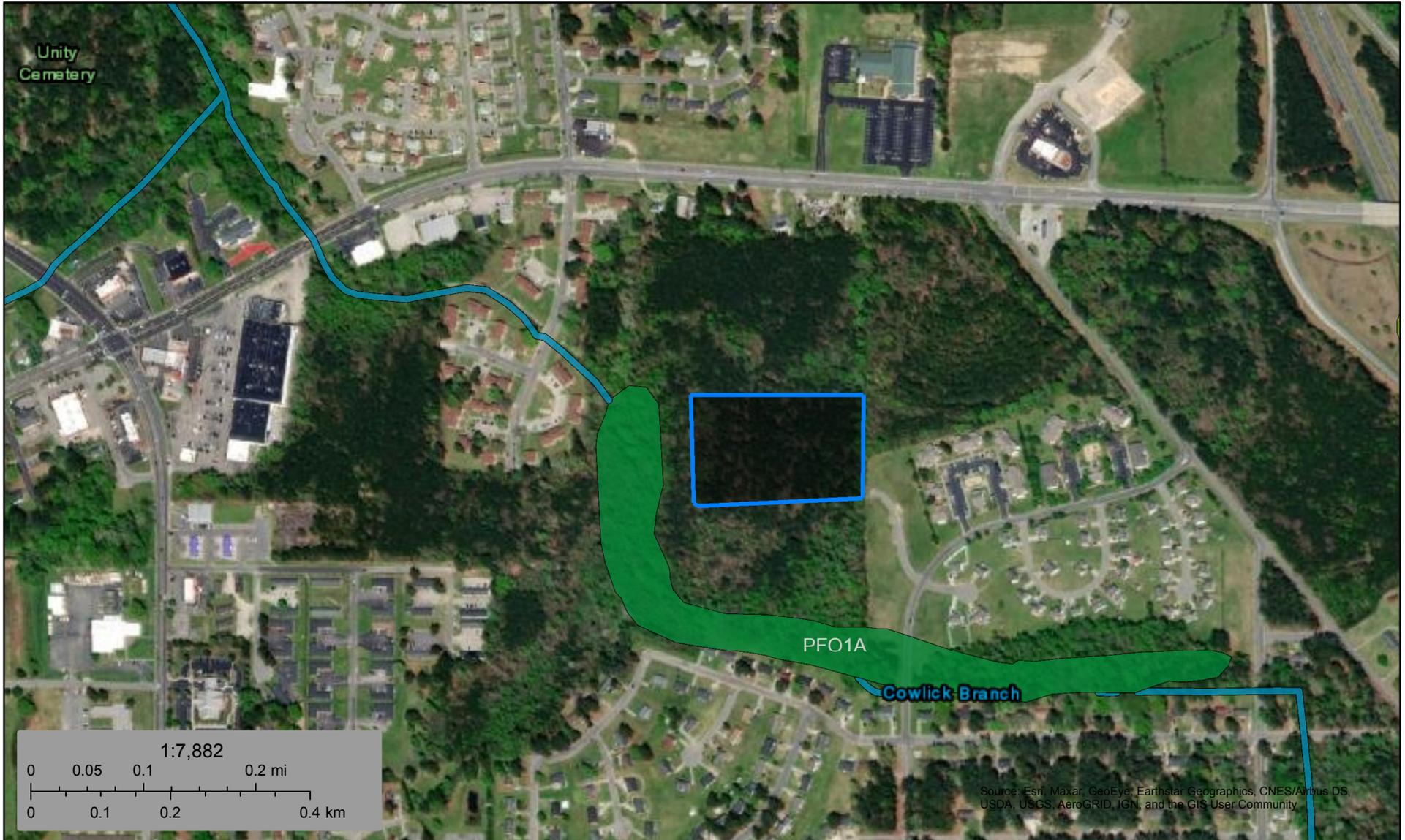
Note: Features shown in this map are approximate and have not been detail delineated or verified by the USACE or NCDWR.



Legend

-  Approximate Streams
-  Approximate Ephemeral Features
-  Approximate Wetlands
-  TarPam Buffer Zone 2 (20')
-  TarPam Buffer Zone 1 (30')
-  5 Acre Area
-  Project Study Area





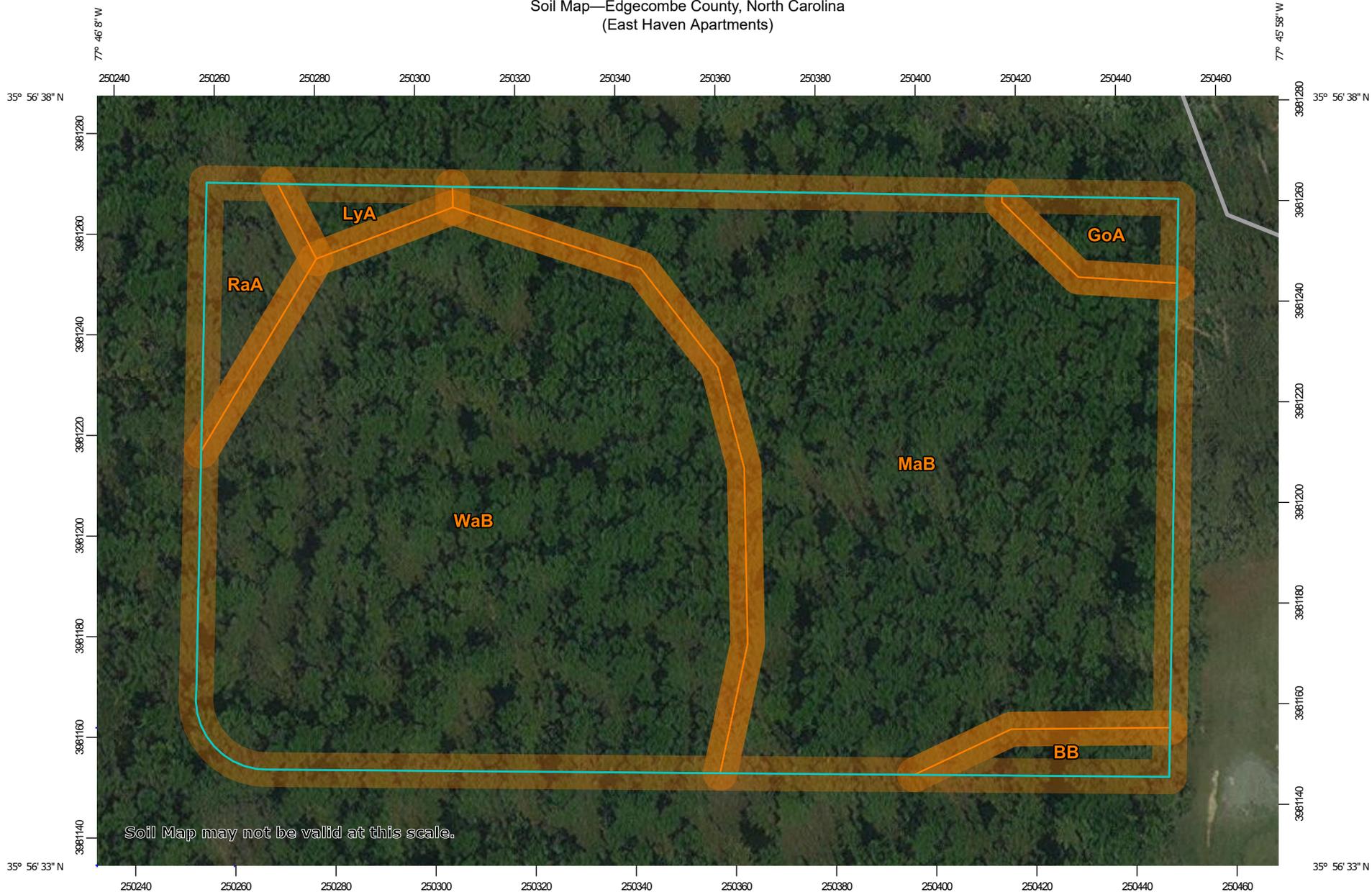
October 11, 2021

Wetlands

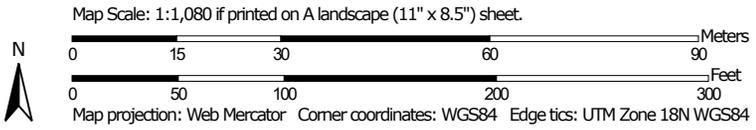
- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Soil Map—Edgecombe County, North Carolina
(East Haven Apartments)



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Edgecombe County, North Carolina
Survey Area Data: Version 18, Sep 3, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 23, 2015—Feb 25, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

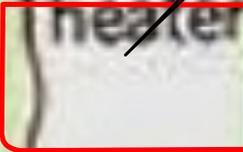
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BB	Bibb soils	0.1	1.7%
GoA	Goldsboro fine sandy loam, 0 to 2 percent slopes	0.1	2.0%
LyA	Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.1	1.4%
MaB	Marlboro sandy loam, 2 to 6 percent slopes	2.5	44.9%
RaA	Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.2	3.1%
WaB	Wagram loamy sand, 0 to 6 percent slopes	2.6	46.8%
Totals for Area of Interest		5.6	100.0%

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&ME, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



0 500 1,000 FEET

 Approximate Boundary



Topographic Exhibit

East Haven Apartments +/- 5.53 Acres

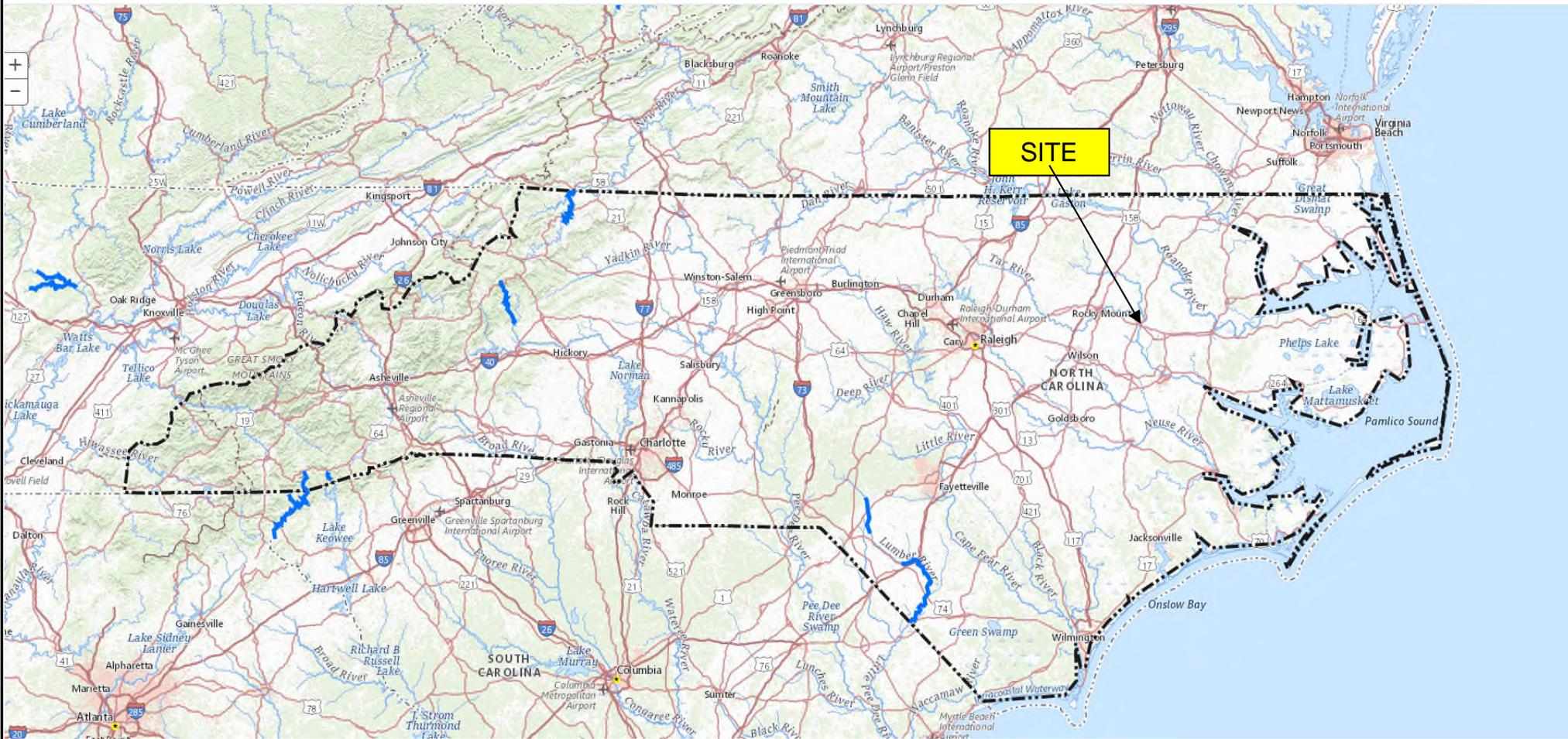
Rocky Mount, Edgecombe County, North Carolina
Source: USGS 7.5-Minute Topo Quad Rocky Mount, NC 1977

SCALE:
1" = 500'

DATE:
10-8-21

PROJECT NUMBER
218540

EXHIBIT NO.



Source: <https://www.rivers.gov/north-carolina.php>



SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-12-2021



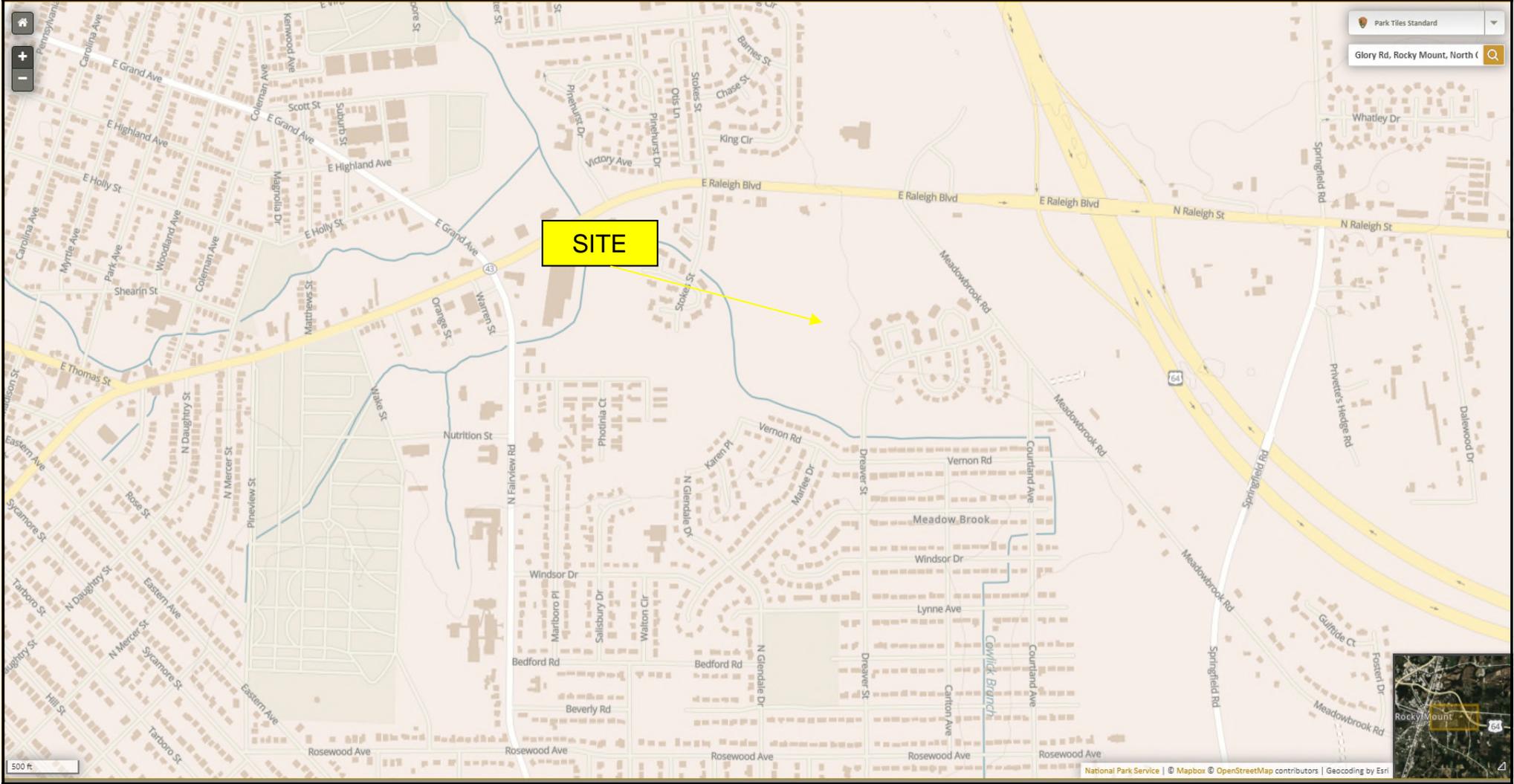
NATIONAL WILD & SCENIC RIVERS	
EAST HAVEN APARTMENTS	
ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA	
PROJECT NO:	218540

EXHIBIT NO.

Nationwide Rivers Inventory

This is a listing of more than 3,200 free-flowing river segments in the U.S. that are believed to possess one or more "outstandingly remarkable" values.

National Park Service
U.S. Department of the Interior



SOURCE: NATIONWIDE RIVERS INVENTORY
<http://www.nps.gov/nrc/programs/rtca/nri/index.html>



SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-12-2021



NATIONWIDE RIVERS INVENTORY
 EAST HAVEN APARTMENTS
 ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: **218540**

EXHIBIT NO.



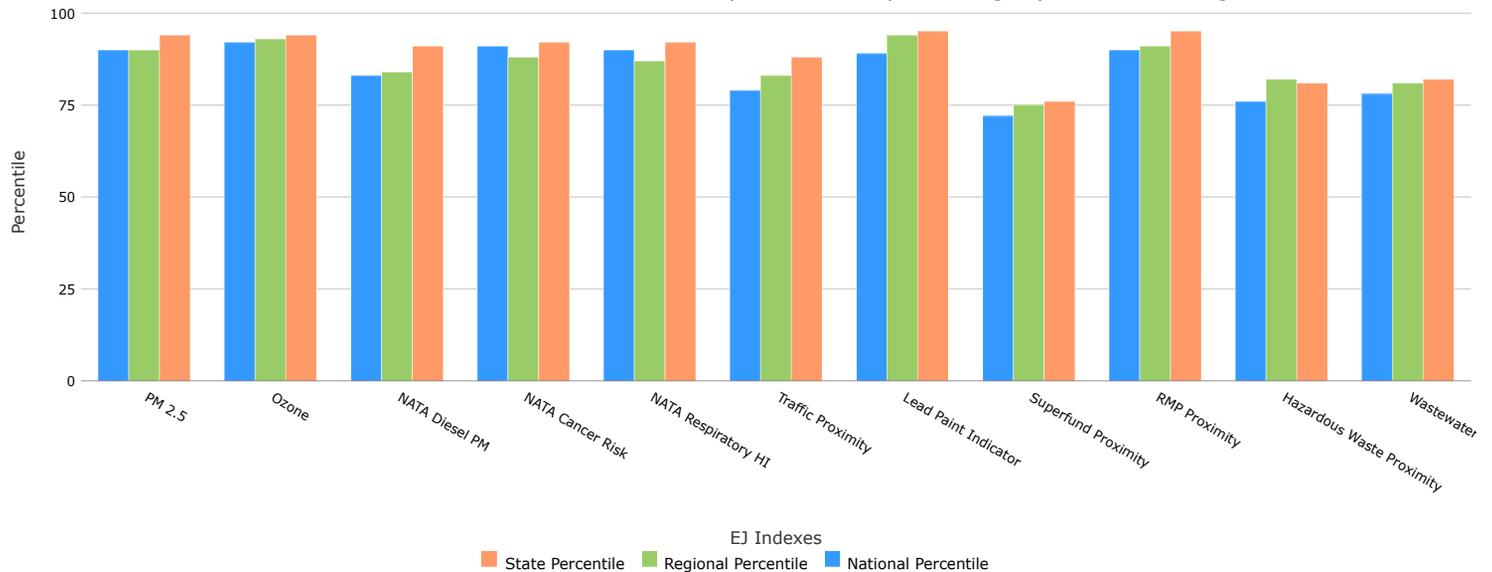
EJSCREEN Report (Version 2020)

Blockgroup: 370650203002
NORTH CAROLINA, EPA Region 4
Approximate Population: 1,648
Input Area (sq. miles): 0.46

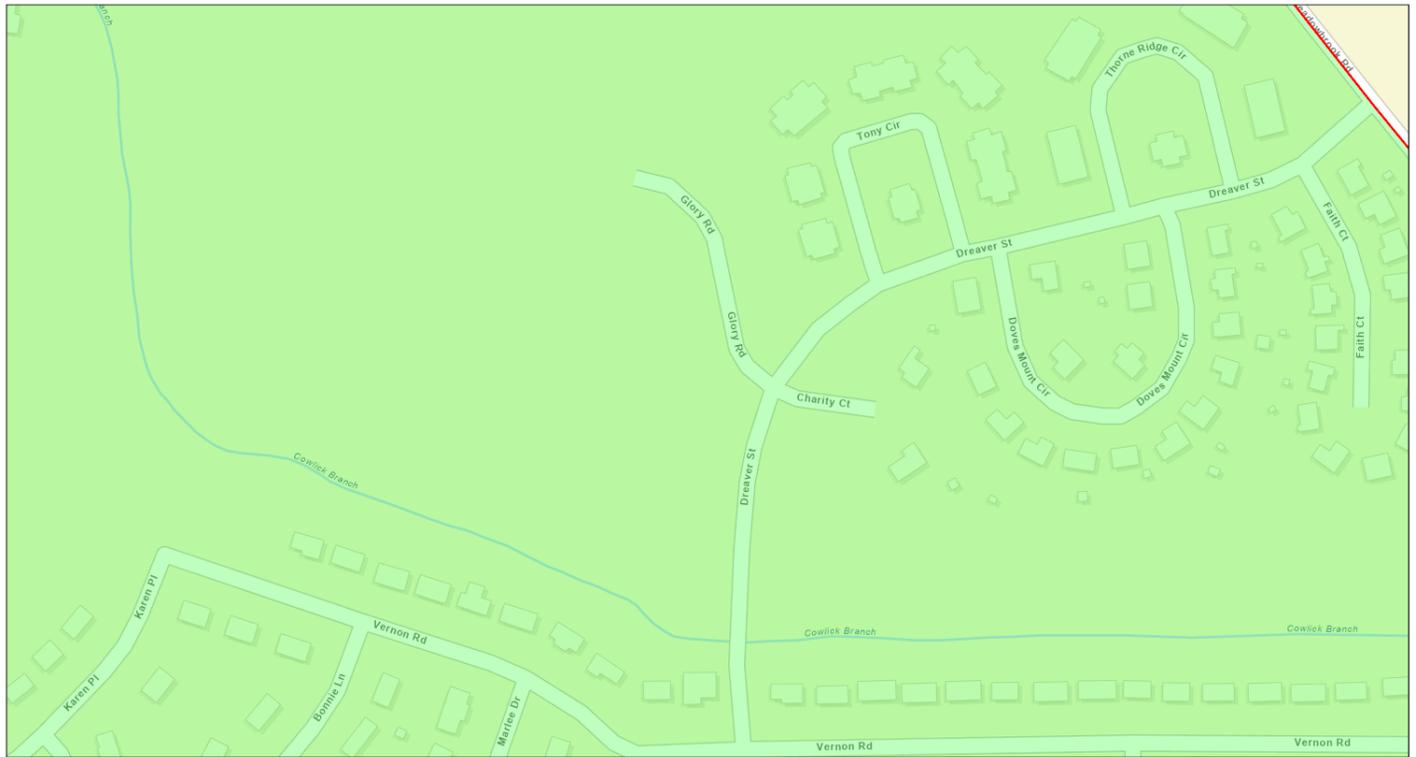
East Haven Apartments

Selected Variables	Percentile in State	Percentile in EPA Region	Percentile in USA
EJ Indexes			
EJ Index for Particulate Matter (PM 2.5)	94	90	90
EJ Index for Ozone	94	93	92
EJ Index for NATA* Diesel PM	91	84	83
EJ Index for NATA* Air Toxics Cancer Risk	92	88	91
EJ Index for NATA* Respiratory Hazard Index	92	87	90
EJ Index for Traffic Proximity and Volume	88	83	79
EJ Index for Lead Paint Indicator	95	94	89
EJ Index for Superfund Proximity	76	75	72
EJ Index for RMP Proximity	95	91	90
EJ Index for Hazardous Waste Proximity	81	82	76
EJ Index for Wastewater Discharge Indicator	82	81	78

EJ Index for the Selected Area Compared to All People's Blockgroups in the State/Region/US



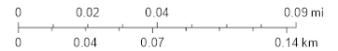
This report shows the values for environmental and demographic indicators and EJSCREEN indexes. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, if a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.



October 11, 2021

East Haven Apartments

1:2,257



Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Sites reporting to EPA

Superfund NPL	0
Hazardous Waste Treatment, Storage, and Disposal Facilities (TSDF)	0

Selected Variables	Value	State		EPA Region		USA	
		Avg.	%tile	Avg.	%tile	Avg.	%tile
Environmental Indicators							
Particulate Matter (PM 2.5 in $\mu\text{g}/\text{m}^3$)	7.98	8.25	29	8.57	20	8.55	31
Ozone (ppb)	41.2	42.9	19	38	63	42.9	37
NATA* Diesel PM ($\mu\text{g}/\text{m}^3$)	0.302	0.309	56	0.417	<50th	0.478	<50th
NATA* Air Toxics Cancer Risk (risk per MM)	32	34	34	36	<50th	32	50-60th
NATA* Respiratory Hazard Index	0.42	0.46	29	0.52	<50th	0.44	<50th
Traffic Proximity and Volume (daily traffic count/distance to road)	170	230	66	350	59	750	45
Lead Paint Indicator (% pre-1960s housing)	0.22	0.16	75	0.15	77	0.28	55
Superfund Proximity (site count/km distance)	0.013	0.082	3	0.083	17	0.13	8
RMP Proximity (facility count/km distance)	0.84	0.39	88	0.6	77	0.74	72
Hazardous Waste Proximity (facility count/km distance)	0.46	1.3	45	0.91	54	5	36
Wastewater Discharge Indicator (toxicity-weighted concentration/m distance)	7.9E-06	0.16	56	0.65	52	9.4	44
Demographic Indicators							
Demographic Index	83%	36%	98	37%	97	36%	97
People of Color Population	100%	37%	100	39%	100	39%	100
Low Income Population	66%	36%	91	36%	91	33%	92
Linguistically Isolated Population	0%	2%	52	3%	51	4%	45
Population with Less Than High School Education	12%	13%	55	13%	54	13%	61
Population under Age 5	16%	6%	98	6%	98	6%	98
Population over Age 64	13%	15%	43	17%	42	15%	46

*The National-Scale Air Toxics Assessment (NATA) is EPA's ongoing, comprehensive evaluation of air toxics in the United States. EPA developed the NATA to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that NATA provides broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. More information on the NATA analysis can be found at: <https://www.epa.gov/national-air-toxics-assessment>.

EJSCREEN is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach. It does not provide a basis for decision-making, but it may help identify potential areas of EJ concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EJSCREEN outputs should be supplemented with additional information and local knowledge before taking any action to address potential EJ concerns.

Location: User-specified polygonal location
 Ring (buffer): 0-mile radius
 Description: East Haven Apartments

Summary of ACS Estimates		2014 - 2018
Population		1,648
Population Density (per sq. mile)		3,585
People of Color Population		1,648
% People of Color Population		100%
Households		633
Housing Units		765
Housing Units Built Before 1950		47
Per Capita Income		13,019
Land Area (sq. miles) (Source: SF1)		0.46
% Land Area		100%
Water Area (sq. miles) (Source: SF1)		0.00
% Water Area		0%

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population by Race			
Total	1,648	100%	369
Population Reporting One Race	1,648	100%	433
White	0	0%	12
Black	1,637	99%	367
American Indian	0	0%	12
Asian	0	0%	12
Pacific Islander	0	0%	12
Some Other Race	11	1%	18
Population Reporting Two or More Races	0	0%	12
Total Hispanic Population	0	0%	12
Total Non-Hispanic Population	1,648		
White Alone	0	0%	12
Black Alone	1,637	99%	367
American Indian Alone	0	0%	12
Non-Hispanic Asian Alone	0	0%	12
Pacific Islander Alone	0	0%	12
Other Race Alone	11	1%	18
Two or More Races Alone	0	0%	12
Population by Sex			
Male	651	40%	228
Female	997	60%	253
Population by Age			
Age 0-4	269	16%	119
Age 0-17	637	39%	178
Age 18+	1,011	61%	214
Age 65+	215	13%	96

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2014 - 2018

Location: User-specified polygonal location
 Ring (buffer): 0-mile radius
 Description: East Haven Apartments

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population 25+ by Educational Attainment			
Total	871	100%	215
Less than 9th Grade	17	2%	22
9th - 12th Grade, No Diploma	89	10%	47
High School Graduate	379	44%	122
Some College, No Degree	340	39%	128
Associate Degree	80	9%	61
Bachelor's Degree or more	46	5%	48
Population Age 5+ Years by Ability to Speak English			
Total	1,379	100%	336
Speak only English	1,369	99%	274
Non-English at Home ¹⁺²⁺³⁺⁴	10	1%	20
¹ Speak English "very well"	10	1%	20
² Speak English "well"	0	0%	12
³ Speak English "not well"	0	0%	12
⁴ Speak English "not at all"	0	0%	12
³⁺⁴ Speak English "less than well"	0	0%	12
²⁺³⁺⁴ Speak English "less than very well"	0	0%	12
Linguistically Isolated Households*			
Total	0	0%	12
Speak Spanish	0	0%	12
Speak Other Indo-European Languages	0	0%	12
Speak Asian-Pacific Island Languages	0	0%	12
Speak Other Languages	0	0%	12
Households by Household Income			
Household Income Base	633	100%	130
< \$15,000	277	44%	120
\$15,000 - \$25,000	69	11%	62
\$25,000 - \$50,000	94	15%	63
\$50,000 - \$75,000	110	17%	70
\$75,000 +	83	13%	75
Occupied Housing Units by Tenure			
Total	633	100%	130
Owner Occupied	129	20%	72
Renter Occupied	504	80%	144
Employed Population Age 16+ Years			
Total	1,046	100%	248
In Labor Force	599	57%	211
Civilian Unemployed in Labor Force	106	10%	94
Not In Labor Force	447	43%	154

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of anyrace.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS)

*Households in which no one 14 and over speaks English "very well" or speaks English only.

Location: User-specified polygonal location
 Ring (buffer): 0-mile radius
 Description: East Haven Apartments

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population by Language Spoken at Home*			
Total (persons age 5 and above)	1,386	100%	378
English	1,333	96%	403
Spanish	39	3%	92
French	0	0%	12
French Creole	N/A	N/A	N/A
Italian	N/A	N/A	N/A
Portuguese	N/A	N/A	N/A
German	0	0%	12
Yiddish	N/A	N/A	N/A
Other West Germanic	N/A	N/A	N/A
Scandinavian	N/A	N/A	N/A
Greek	N/A	N/A	N/A
Russian	N/A	N/A	N/A
Polish	N/A	N/A	N/A
Serbo-Croatian	N/A	N/A	N/A
Other Slavic	N/A	N/A	N/A
Armenian	N/A	N/A	N/A
Persian	N/A	N/A	N/A
Gujarathi	N/A	N/A	N/A
Hindi	N/A	N/A	N/A
Urdu	N/A	N/A	N/A
Other Indic	N/A	N/A	N/A
Other Indo-European	0	0%	12
Chinese	0	0%	12
Japanese	N/A	N/A	N/A
Korean	0	0%	12
Mon-Khmer, Cambodian	N/A	N/A	N/A
Hmong	N/A	N/A	N/A
Thai	N/A	N/A	N/A
Laotian	N/A	N/A	N/A
Vietnamese	0	0%	12
Other Asian	3	0%	14
Tagalog	0	0%	12
Other Pacific Island	N/A	N/A	N/A
Navajo	N/A	N/A	N/A
Other Native American	N/A	N/A	N/A
Hungarian	N/A	N/A	N/A
Arabic	12	1%	36
Hebrew	N/A	N/A	N/A
African	N/A	N/A	N/A
Other and non-specified	0	0%	12
Total Non-English	53	4%	553

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.
 N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2014 - 2018.
 *Population by Language Spoken at Home is available at the census tract summary level and up.

Location: User-specified polygonal location
 Ring (buffer): 0-mile radius
 Description: East Haven Apartments

Summary	Census 2010
Population	1,632
Population Density (per sq. mile)	3,550
People of Color Population	1,613
% People of Color Population	99%
Households	566
Housing Units	674
Land Area (sq. miles)	0.46
% Land Area	100%
Water Area (sq. miles)	0.00
% Water Area	0%

Population by Race	Number	Percent
Total	1,632	-----
Population Reporting One Race	1,614	99%
White	19	1%
Black	1,578	97%
American Indian	8	0%
Asian	1	0%
Pacific Islander	0	0%
Some Other Race	8	0%
Population Reporting Two or More Races	18	1%
Total Hispanic Population	12	1%
Total Non-Hispanic Population	1,620	99%
White Alone	19	1%
Black Alone	1,573	96%
American Indian Alone	8	0%
Non-Hispanic Asian Alone	1	0%
Pacific Islander Alone	0	0%
Other Race Alone	1	0%
Two or More Races Alone	18	1%

Population by Sex	Number	Percent
Male	694	43%
Female	938	57%

Population by Age	Number	Percent
Age 0-4	193	12%
Age 0-17	619	38%
Age 18+	1,013	62%
Age 65+	110	7%

Households by Tenure	Number	Percent
Total	566	
Owner Occupied	148	26%
Renter Occupied	418	74%

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

Source: U.S. Census Bureau, Census 2010 Summary File 1.



Edgecombe County, North Carolina[†]



POPULATION: 55,554

INCOME

Average Household Income

Edgecombe County: \$38,818

North Carolina: \$53,922

Residents who live below the poverty line



22.9%

Edgecombe
County

14.1%

North Carolina

QUICK FACTS:

Out of 10 people living in this county

SEX



5 are male & 5 are female

AGE



About 3 are between the ages of 0 and 19 years

About 2 are between the ages of 20 and 34 years

About 2 are between the ages of 35 and 49 years

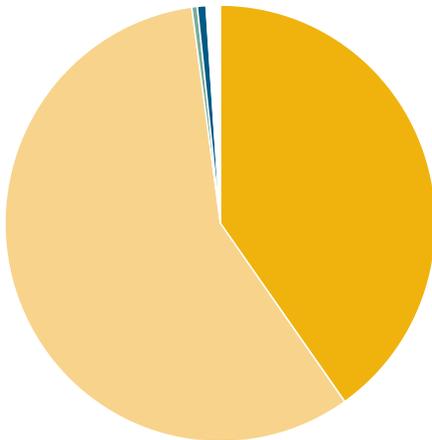
About 4 are 50 years and older

ETHNICITY



Less than 1 are Hispanic and 10 are non-Hispanic

RACE



ter.com/share?

Feptracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (../DataExplorer?query=C7380B65-728D-4621-A122-47283CF8B444&G5=9999) | Learn more about this topic (../InfoByLocation/showPcMain.action)

† 2019 data from the National Environmental Public Health Tracking Network (../showHome.action)



Asthma[†]

Percent of adults who currently have asthma

%

%

Asthma is a chronic disease that affects the airways that carry oxygen in and out of the lungs. Asthma can cause

- shortness of breath,
- wheezing,
- coughing, and
- tightness in the chest.

Asthma attacks have been linked to many factors, including exposure to environmental hazards like

- allergens,
- tobacco smoke, and
- indoor and outdoor air pollution.

Asthma can be controlled by taking medication and avoiding triggers that can cause an attack.

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Feptracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

%20people%20in%20my%20county.%20Visit%20https://eptracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showAsthma.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Air Quality: Ground-Level Ozone[†]



Edgecombe County residents were exposed to unhealthy levels of ozone for in .

Ozone occurs naturally in the sky and helps protect us from the sun's harmful rays. But ground-level ozone can be bad for your health and the environment. Ground-level ozone is one of the biggest parts of smog.

When ozone levels are above the national standard, everyone should try to limit their contact with it by reducing the amount of time spent outside.

Edgecombe County residents were exposed to unhealthy levels of ozone for in .

Check the EPA's Air Quality Index (AQI) at AirNow.gov (<http://www.AirNow.gov>) to see the current air quality conditions for your location. You can use the AQI to plan your daily activities to reduce exposure to ozone.

ter.com/share?

Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showAirHealth.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Air Quality: Particulate Matter[†]

ANNUAL AMBIENT CONCENTRATION OF PM_{2.5}

µg/m³*

Edgecombe County, North Carolina

µg/m³*

Annual National Standard

*Micrograms Per Cubic Meter (µg/m³)

Air pollution is a leading environmental threat to human health. Particles in the air like dust, dirt, soot, and smoke are one kind of air pollution called particulate matter. Fine particulate matter, or PM_{2.5}, is so small that it cannot be seen in the air. Breathing in PM_{2.5} may

- lead to breathing problems,
- make asthma symptoms or some heart conditions worse, and
- lead to low birth weight.

The national standard for annual PM_{2.5} levels is 12.0µg/m³. When PM_{2.5} levels are above 12, this means that air quality is more likely to affect your health.

In , the annual level of PM_{2.5} in Edgecombe County was µg/m³. *

* Micrograms per cubic meter (../InfoByLocation/images/content/PM2-5_5.jpg) (µg/m³)

ter.com/share?

Feptracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

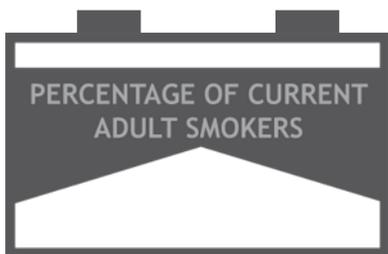
%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showAirLanding.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Smoking[†]



Tobacco use is the single most preventable cause of death and disease in the United States. Smoking harms nearly every organ of the body. It causes many diseases and reduces the health of smokers in general.



The negative health effects from cigarette smoking account for an estimated 500,000 deaths, or nearly 1 of every 5 deaths, each year in the United States.

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Feptracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

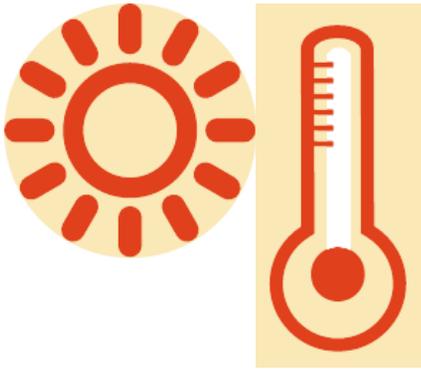
%20people%20in%20my%20county.%20Visit%20https://eptracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showHBSmokingPrevalence.action)

[†] data from the National Environmental Public Health Tracking Network (../showHome.action)



Extreme Heat[†]



with temperatures above 90°F

Extreme summer heat is increasing in the United States, and climate projections indicate that extreme heat events will be more frequent and intense in coming decades. Extremely hot weather can cause illness or even death. Knowing how hot it gets in your area can help you prepare for extremely hot temperatures and prevent heat related illness (<http://emergency.cdc.gov/disasters/extremeheat/heattips.asp>).

Edgecombe County had with maximum temperatures above 90°F during May–September .

Heat-related death or illnesses are preventable if you follow a few simple steps.

- Stay cool.
- Stay hydrated.
- Stay informed.

ter.com/share?

Fephracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

%20people%20in%20my%20county.%20Visit%20https://ephracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showClimateChangeExtremeHeat.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Heart Attacks[†]



deaths from heart attacks in Edgecombe County



The environment is one of several factors ([../showHeartExpRisk.action](#)) that can lead to an increased risk for heart disease. High levels of air pollution and extreme hot and cold temperatures have been linked to increases in heart disease and deaths from heart attacks. A heart attack happens when a part of the heart muscle dies or gets damaged because of reduced blood supply.

In , there were

- deaths from heart attacks in Edgecombe County.
- deaths from heart attacks in North Carolina.

[:ter.com/share?](#)

[Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking\)](#)

[%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.\)](#)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic ([../showHeartAttack.action](#))

† data from the National Environmental Public Health Tracking Network ([../showHome.action](#))



Access To Parks[†]



Live within half a mile of a park in Edgecombe County



Having access to places for physical activity, like parks, encourages people to get active and do so more often. The closer you live to a park, the more likely you are to walk or bike there. Walking and biking to parks can decrease air pollution and car

crashes, which in turn, can reduce chronic disease rates and traffic-related injuries.

In ,

of people living in Edgecombe County lived within half a mile of a park.

of people living in North Carolina lived within half a mile of a park.

er.com/share?

ephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20#environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showPcMain.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Proximity To Highways[†]



of Edgecombe County population that live within 150m of a highway

Traffic-related air pollution is a major cause of unhealthy air quality, especially in urban areas. Many health problems have been linked to exposure to traffic-related air pollution. The closer your home or school is to a major highway, the more likely you and your family are to be exposed to traffic-related air pollution.

In , of the population of Edgecombe County lived within 150 meters* of a major highway.

In , of Edgecombe County public schools (preK-4th grade) were sited within 150 meters* of a major highway.

* 150 meters is about 2 blocks.

ter.com/share?

Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showProximityToHighways.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Visit the Tracking Network for more information about your health and the environment.

www.cdc.gov/ephtracking
(<http://www.cdc.gov/ephtracking/>)

Connect With Us



Follow us on Twitter

(http://twitter.com/CDC_EPHTtracking)

Like us on Facebook

(<http://www.facebook.com/CDCEPHTracking>)

Join our List-serv

(mailto:EPHT@LISTSERV.CDC.GOV?

subject=Please%20add%20me%20to%20CDC's%20Environn
serv.&body=Please%20fill%20in%20the%20information%20





U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Environmental Justice (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/environmental-justice>

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?

Yes → *Continue to Question 2.*

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

2. Were these adverse environmental impacts disproportionately high for low-income and/or minority communities?

Yes

Explain:

[Click here to enter text.](#)

→ *The RE/HUD must work with the affected low-income or minority community to decide what mitigation actions, if any, will be taken. Provide any supporting documentation.*

No

Explain:

No Effect. The project area is located in a minority and low-income neighborhood. Based on nature of the proposed project (new residential opportunity for middle/lower income demographics), disproportional adverse effects on low-income and minority populations are not anticipated. See EJ Screen information (Appendix O) and Contamination and Toxic Substance documentation (Appendix F).

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

No effect. See EJ Screen information (Appendix O) and Contamination and Toxic Substance documentation (Appendix F).

Sources:

- EPA EJ SCREEN: <https://www.epa.gov/ejscreen>.
- NEPAssist: <https://www.epa.gov/nepa/nepassist>.
- EPA Superfund: <http://www.epa.gov/superfund/sites/npl/sc.htm>.
- EPA Superfund: <https://www.epa.gov/superfund>.
- EPA: <https://enviro.epa.gov/enviro/em4ef.home>.
- Phase I ESA, S&ME, Inc.
- NCDEQ UST Incidents Map Database: <https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/waste-management-gis-maps/rust-map>.
- NCDEQ Laserfiche: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>.

Conformance with Plans & Zoning/Site Compatibility

Project Name	Investigator(s)	Site Visit Date
East Haven Apartments	C. Daves, S&ME	10-12-21

ZONING

Is the project in compliance or conformance with local zoning?

Yes **No (explain)**

Site has one zoning designation:

R-6MFA (Medium-Density Multi-family Residential District)

Changed from R-10 (Low Density Residential District) in April 2021.

Not applicable (explain) _____

SITE COMPATIBILITY

Check all items that apply

Is the project incompatible with surrounding:			
	Land uses		Building type (low/high-rise)
	Building height, bulk, mass		Building density
Will the project be unduly influenced by:			
	Building deterioration		Transition of land uses
	Postponed maintenance		Incompatible land uses
	Obsolete public facilities		Inadequate off-street parking
Will the project be influenced by air pollution generators such as:			
	Heavy industry		Large parking facilities (1,000 or more cars)
	Incinerators		Heavily traveled highway (6 or more lanes)*
	Power generation plants		Oil refineries
	Cement plants		Other (specify)

Were there any compatibility issues identified?

Yes **No**

If Yes, list mitigation strategies below:



Lead Investigator's Signature

12/15/21

Date

Zoning

The current zoning and land use designation associated with the site includes:

R-6MFA, Multifamily Residential District

This designation is assigned by the City of Rocky Mount.

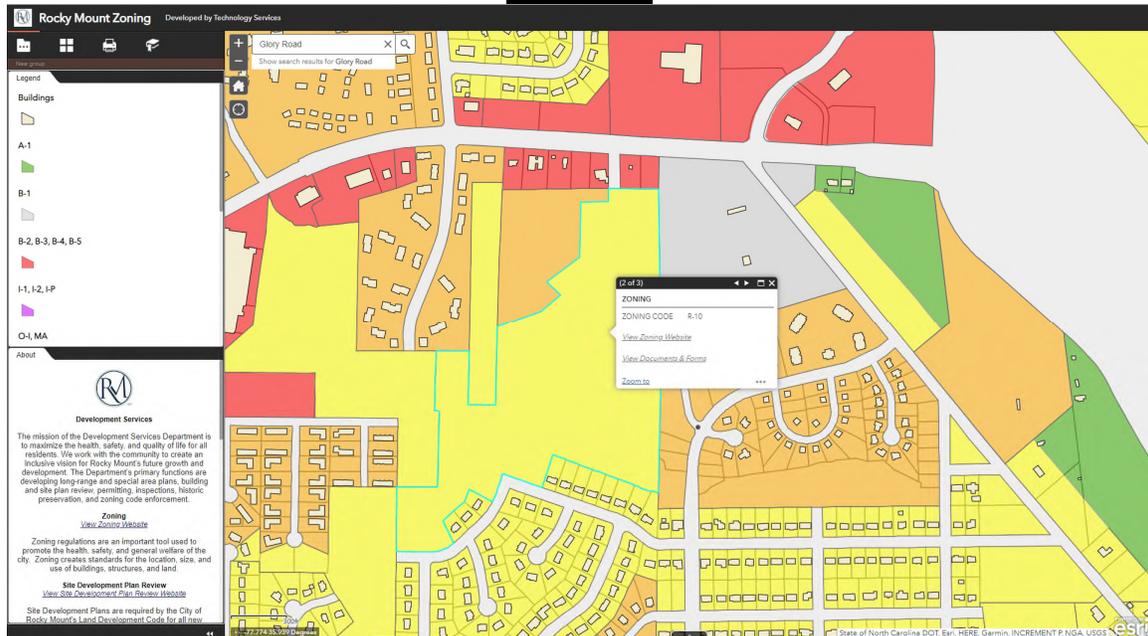
<https://rockymountnc.gov/zoning/>

Zoning Designation	Project Compliance?
R-6MFA, Multifamily Residential District	Yes

R-6MFA, Multifamily Residential District

The R-6MFA District is intended to provide for urban residential development, which is designed to provide for medium density areas for multifamily, triplex, duplex and single-family units with related recreational facilities protected from intrusion of commercial and industrial activity. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in this LDC.

Zoning



<https://crmcnc.maps.arcgis.com/apps/webappviewer/index.html?id=390279a2e1f348a0bba29bebef65cc55>

Chris Daves

From: Will Trotter
Sent: Wednesday, December 1, 2021 9:05 AM
To: Chris Daves
Subject: FW: Zoning for parcel 386040671000 in Rocky Mount, Edgecombe County, NC
Attachments: JLB IV LLC Zoning Description.pdf; E Raleigh Blvd - Preliminary Site Layout.pdf

From: JoSeth Bocook <JoSeth.Bocook@rockymountnc.gov>
Sent: Tuesday, November 30, 2021 5:31 PM
To: Will Trotter <jtrotter@smeinc.com>
Cc: One Stop Shop - Development Services <devserv@rockymountnc.gov>
Subject: Re: Zoning for parcel 386040671000 in Rocky Mount, Edgecombe County, NC

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Mr. Trotter,

A 6.035-acre portion of the 37.59-acre subject property was rezoned from R-10 to R-6MFA in April. I've attached a metes-and-bounds description and sketch plan that depicts the portion that was rezoned.

Thanks for bringing to our attention the map online had not been updated to reflect this change.

Feel free to contact me should you have any additional questions or concerns.

Best regards,

JoSeth Bocook, AICP

Planning Administrator
Department of Development Services
City of Rocky Mount
331 S. Franklin Street
Rocky Mount, NC 27802-1180
Office: 252.972.1179
Fax: 252.972.1590

From: Matthew Tillery <Matthew.Tillery@rockymountnc.gov>
Sent: Tuesday, November 30, 2021 4:50 PM
To: JoSeth Bocook <JoSeth.Bocook@rockymountnc.gov>; Shamir Mitchell <Shamir.Mitchell@rockymountnc.gov>
Subject: RE: Zoning for parcel 386040671000 in Rocky Mount, Edgecombe County, NC

I am working on a response for this email.

Matt

From: [One Stop Shop - Development Services](#)
Sent: Tuesday, November 30, 2021 4:17 PM
To: [JoSeth Bocook](#); [Matthew Tillery](#); [Shamir Mitchell](#)
Subject: Fw: Zoning for parcel 386040671000 in Rocky Mount, Edgecombe County, NC

From: Will Trotter <jtrotter@smeinc.com>
Sent: Tuesday, November 30, 2021 3:50 PM
To: One Stop Shop - Development Services <devserv@rockymountnc.gov>
Subject: Zoning for parcel 386040671000 in Rocky Mount, Edgecombe County, NC

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Good Afternoon,

I am contacting your office in hopes of getting some clarification on the zoning designation for parcel 386040671000 in Rocky Mount, NC. Our client received a zoning letter from Rocky Mount Development Services on May 13, 2021 indicating that the property is zoned Medium-Density Multifamily Residential District (R-6MFA). However, after checking the zoning website, we noticed that the online map has the property designated as a Low Density Residential District (R-10). With these being different on the website and letter I was hoping I could get some clarification of which is the updated and accurate zoning designation. Any information you can provide is greatly appreciated.

Thanks,

James "Will" Trotter

Natural Resource Staff Professional



S&ME
134 Suber Road
Columbia, SC 29210 [map](#)
O: 803.561.9024
M: your.mobile.number
www.smeinc.com
[LinkedIn](#) | [Twitter](#) | [Facebook](#)



Development Services

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[Development Procedures](#)

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[Plans & Studies](#)

[Zoning](#)

Zoning

Zoning regulations are an important tool used to promote the health, safety, and general welfare of the city. Zoning creates standards for the location, size, and use of buildings, structures, and land. For zoning questions please contact 252-972-1172 or devserv@rockymountnc.gov

Interactive Zoning Map

[Click Here to View](#)

Residential Districts

Regulations for the residential districts are designed to protect the residential character of areas so designated from the noise, congestion, and heavy traffic commercial and industrial activities. The regulations are also designed to encourage a suitable environment for family life by providing for openness of living areas and permitted appropriate neighborhood facilities and compatible community facilities.

A-1, Agricultural District

The A-1 District is intended to provide for land situated on the fringe of the urban area that is agricultural in nature and is customarily situated in the City's extraterritorial jurisdiction. It is not intended that this district provide a location for a lower standard of residential development than is authorized in other districts. The types of uses, required areas, and the intensity of use of land permitted in this district are designed to provide

for both rural character and very low-density residential development. This district is defined as a very low-density residential area and additional open areas where similar residential development will be a viable land use. Since land in this district may contain residences in close proximity to agricultural activities, agricultural activities conducted in this district should not be deemed detrimental to urban density uses.

R-15, Very Low Density Residential District

The R-15 District is intended to provide for urban residential development, which is designed to provide quiet, very low-density areas for single-family living with related recreational facilities protected from intrusion of commercial and industrial activity. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in this LDC.

R-10, Low Density Residential District

The R-10 District is intended to provide for urban residential development, which is designed to provide quiet, low-density areas for single-family living with related recreational facilities protected from intrusion of commercial and industrial activity. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in this LDC.

R-8, Manufactured Residential District

The R-8 District is intended to provide for urban residential development, which is designed to provide a medium density area, encompassing individual manufactured homes and conventional single-family dwellings along with related recreational facilities protected from intrusion of commercial and industrial activity. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in this LDC.

R-6, Single-family Residential District

The R-6 District is intended to provide for urban residential development, which is designed to provide a medium density area containing single-family dwellings along with related recreational facilities protected from intrusion of commercial and industrial activity. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in this LDC.

R-6MFA, Multifamily Residential District

The R-6MFA District is intended to provide for urban residential development, which is designed to provide for medium density areas for multifamily, triplex, duplex and single-family units with related recreational facilities protected from intrusion of commercial and industrial activity. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in this LDC.

MHP, Manufactured Home Park District

The district is intended to provide for urban residential development, which is designed for medium density residential areas for individual manufactured homes and additional open areas where similar residential development will be a viable land use. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in this LDC.

PDR, Planned Density Residential District

The Planned Density Residential District (PDR) is established to allow for design flexibility of development and is intended to encourage efficient use of the land and public services and to promote high quality design that will provide a variety of dwelling types as well as support services and open space for the residents of the development. These regulations are intended to permit integration with adjacent non-residential uses and to promote compatibility with existing and emerging patterns of development.

Commercial Districts



Industrial Districts



Overlay Districts



Rezoning Process & Text

Amendment Change

In order to change the zoning of ones property, the property owner must submit a rezoning request to the Department of Development Services. The Planning Staff then conducts an analysis of the subject site and presents the findings at the appropriate Planning Board meeting. The Planning Board takes action on the staff report and forwards a written recommendation to City Council. City Council then votes to approve or deny the request at appropriate council meeting.

A text amendment change to the Land Development Code (LDC) can be requested by anyone. The proposed text amendment must be submitted to the Department of Development Services. The Department of Development Services will present the request attached with a staff recommendation to the Planning Board. The Planning Board takes action on the amendment and forwards a recommendation to City Council. City Council then votes to approve or deny the text amendment change.

- [Download Rezoning Form](#)

Land Use

Use categories are designed to classify land uses and activities into common use categories based on functions, product, or physical characteristics. Characteristics include the type, size, quantity or impacts of activity; the type of customers or residents; how goods or services are sold or delivered and site conditions. The use

categories provide a systematic basis for assigning present and future land uses into appropriate zoning districts.

- [General Uses per Residential Zoning District](#)
- [General Uses per Transitional, Business, and Industrial Zoning Districts](#)

City of Rocky Mount, NC

331 S. Franklin St., PO Box 1180
Rocky Mount, NC 27802-1180

Phone: [252-972-1111](tel:252-972-1111)

Development Services
Energy Resources

Budget Office
Business & Collections Services
City Clerk
City Manager
Communications, Marketing, &
Public Relations
Community & Business
Development

Human Resources
Parks & Recreation



May 13, 2021

Ted Heilbron
Kelley Development Company
106 Hatfield Lane
Raleigh, North Carolina 27603

Re: Zoning Verification – JLJB IV LLC Property, E Raleigh Blvd., Rocky Mount, NC 27801

To Whom It May Concern:

The above-mentioned property, having parcel identification number 386040671000, is zoned as a Medium-Density Multifamily Residential District (R-6MFA). Based on the general use table contained in Chapter 5 of the City of Rocky Mount's Land Development Code (LDC), multifamily dwellings are a permitted land use by right within this zone without the necessity of rezoning, special use permit, variance or other approval. The property is not located in any special, restrictive, or overlay district, nor does it have any unresolved zoning code violations or complaints.

The R-6MFA district is intended to provide for urban residential development, which is designed to provide for medium density areas for multifamily, triplex, duplex and single-family units with related recreational facilities protected from intrusion of commercial and industrial activity. Permitted uses are designed to stabilize and protect the essential characteristics of the area and permit certain home occupations as set forth in the city's LDC. Per LDC Sec. 601, the R-6MFA district allows sufficient density for a 64-unit multifamily housing development on the subject property. Additionally, structures may be constructed up to a maximum allowed height of 60 feet.

If you have any further questions, please contact the Department of Development Services at 972-1172.

Sincerely,

JoSeth Bocoock, AICP
Planning Administrator

Riley Surveying, P.A.
3326 Durham Chapel Hill Blvd., Ste. B-100
Durham, North Carolina 27707

Rezoning Description
PIN 3860-40-6710

Property of
JLJB IV, LLC

February 16, 2021

Being all of a certain parcel of land situated in Number 12 Township, Edgecombe County, North Carolina bounded on the north, south and west by JLJB IV, LLC (PIN 3860-40-6710) and on the east by Rocky Mount Edgecombe Development Corporation Lot 1 (PIN 3860-50-1175), the western right-of-way terminus of Glory Drive (40' public right-of-way), Rocky Mount Edgecombe Development Corporation Lot 2 (PIN 3860-50-2366) and KG Plaza, LLC (PIN 3860-60-4979) and being more particularly described as follows:

Beginning at a computed point on the northern right-of-way of Glory Drive, said point being the southwestern corner of Lot 2 Rocky Mount Edgecombe Dev. Corp (PC 6 Page 72 Edgecombe Co. Registry), said point also being the western terminus of said Glory Drive and lying on the eastern boundary line of JLJB IV; thence, leaving said northern right-of-way, with the eastern line of said JLJB and with the western line of said Lot 2 and a portion of the western line of KG Plaza, LLC N 06°12'45" E 346.72' to a point; thence, leaving the western line of said KG Plaza, LLC and within the property of said JLJB IV, LLC the following three calls: N 83°47'15" W 653.34' to a point, S 06°12'45" W 402.39' to a point and S 83°47'15" E 653.34' to a point on the western property line of Lot 1 Rocky Mount Edgecombe Dev. Corp. said point also being on the eastern property line of said JLJB IV, LLC; thence with the western line of said Lot 1 N 06°12'45" E 15.29' to a point on the southern right-of-way of the aforementioned Glory Drive, said point also being the western right-of-way terminus of said Glory Drive; thence with said western terminus N 06°12'45" E to a computed point, the point and or place of beginning containing 6.035± acres more or less.

Phone – (919)667-0742 Email: jtorres@rileysurveyingpa.com
Firm License – C-1281

Soil Properties

East Haven Apartments

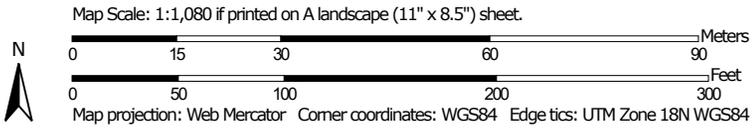
Soil Name	Slope	Erosion	Suitability	Limitations
Bibb Soils(BB)	0-2% slopes	Low	Poor	Flooding and wetness
Goldsboro Fine Sandy Loam (GoA)	0-2% slopes	Low	Good	
Lynchburg Fine Sandy Loam (LyA)	0-2% slopes	Low	Poor	Wetness
Marlboro Sandy Loam (MaB)	2-6% slopes	Low	Good	
Rains Fine Sandy Loam (RaA)	0-2% slopes	Low	Poor	Wetness
Wagram Loamy Sand (WaB)	0-6% slopes	Low	Good	

According to USDA-SCS, on-site soils are somewhat well-suited for development with a few limiting factors. However, these limitations can be alleviated by proper design/grading/construction installation to mitigate adverse effects.

Soil Map—Edgecombe County, North Carolina
(East Haven Apartments)



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Edgecombe County, North Carolina
Survey Area Data: Version 18, Sep 3, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 23, 2015—Feb 25, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BB	Bibb soils	0.1	1.7%
GoA	Goldsboro fine sandy loam, 0 to 2 percent slopes	0.1	2.0%
LyA	Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.1	1.4%
MaB	Marlboro sandy loam, 2 to 6 percent slopes	2.5	44.9%
RaA	Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.2	3.1%
WaB	Wagram loamy sand, 0 to 6 percent slopes	2.6	46.8%
Totals for Area of Interest		5.6	100.0%

Edgecombe County, North Carolina

BB—Bibb soils

Map Unit Setting

National map unit symbol: 132pj
Elevation: 80 to 330 feet
Mean annual precipitation: 38 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 210 to 265 days
Farmland classification: Not prime farmland

Map Unit Composition

Bibb, undrained, and similar soils: 80 percent
Johnston, undrained, and similar soils: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Bibb, Undrained

Setting

Landform: Flood plains
Landform position (two-dimensional): Toeslope
Down-slope shape: Concave
Across-slope shape: Linear
Parent material: Sandy and loamy alluvium

Typical profile

A - 0 to 6 inches: sandy loam
Cg1 - 6 to 60 inches: sandy loam
Cg2 - 60 to 80 inches: loamy sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): High
(1.98 to 5.95 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: FrequentNone
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 7.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 5w
Hydrologic Soil Group: A/D
Hydric soil rating: Yes

Description of Johnston, Undrained

Setting

Landform: Flood plains

Down-slope shape: Concave

Across-slope shape: Linear

Parent material: Sandy and loamy alluvium

Typical profile

A - 0 to 30 inches: mucky loam

Cg1 - 30 to 34 inches: loamy fine sand

Cg2 - 34 to 80 inches: fine sandy loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Very poorly drained

Runoff class: Ponded

Capacity of the most limiting layer to transmit water (Ksat): High
(1.98 to 5.95 in/hr)

Depth to water table: About 0 inches

Frequency of flooding: NoneFrequent

Frequency of ponding: Frequent

Available water supply, 0 to 60 inches: High (about 9.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 7w

Hydrologic Soil Group: A/D

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

GoA—Goldsboro fine sandy loam, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 2v751

Elevation: 130 to 270 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Goldsboro and similar soils: 83 percent

Minor components: 17 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Goldsboro

Setting

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 7 inches: fine sandy loam

E - 7 to 12 inches: fine sandy loam

Bt - 12 to 54 inches: sandy clay loam

Btg - 54 to 82 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 24 to 36 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Moderate (about 8.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: B

Hydric soil rating: No

Minor Components

Norfolk

Percent of map unit: 10 percent

Landform: Flats on marine terraces, broad interstream divides on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear, convex

Across-slope shape: Linear, convex

Hydric soil rating: No

Lynchburg

Percent of map unit: 7 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

LyA—Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2vx8m

Elevation: 20 to 200 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 64 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Lynchburg and similar soils: 82 percent

Minor components: 18 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Lynchburg

Setting

Landform: Marine terraces

Landform position (three-dimensional): Tread

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam

Bt - 8 to 50 inches: sandy clay loam

Btg - 50 to 68 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Somewhat poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 6 to 18 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 4.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: B/D

Hydric soil rating: No

Minor Components

Goldsboro

Percent of map unit: 8 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Rains, undrained

Percent of map unit: 5 percent

Landform: Flats on marine terraces, broad interstream divides on marine terraces, carolina bays on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Rains, drained

Percent of map unit: 5 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces, carolina bays on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

MaB—Marlboro sandy loam, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 132sb

Elevation: 80 to 330 feet

Mean annual precipitation: 38 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 210 to 265 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Marlboro and similar soils: 90 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Marlboro

Setting

Landform: Ridges on marine terraces, broad interstream divides on marine terraces

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Clayey marine deposits

Typical profile

Ap - 0 to 10 inches: sandy loam

Bt1 - 10 to 71 inches: sandy clay

Bt2 - 71 to 80 inches: sandy clay

Properties and qualities

Slope: 2 to 6 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 48 to 72 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: High (about 9.2 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: B

Hydric soil rating: No

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina
Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

RaA—Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2v75b

Elevation: 30 to 330 feet

Mean annual precipitation: 40 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 200 to 280 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Rains, undrained, and similar soils: 70 percent

Rains, drained, and similar soils: 16 percent

Minor components: 14 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Rains, Undrained

Setting

Landform: Broad interstream divides on marine terraces, carolina bays on marine terraces, flats on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

A - 0 to 8 inches: fine sandy loam

Eg - 8 to 13 inches: fine sandy loam

Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 0 to 12 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: B/D

Hydric soil rating: Yes

Description of Rains, Drained

Setting

Landform: Broad interstream divides on marine terraces, carolina bays on marine terraces, flats on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam

Eg - 8 to 13 inches: fine sandy loam

Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 24 to 36 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 3w

Hydrologic Soil Group: B/D

Hydric soil rating: Yes

Minor Components

Lynchburg

Percent of map unit: 8 percent

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

Pantego, ponded

Percent of map unit: 6 percent

Landform: Broad interstream divides, flats

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Concave

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina
Survey Area Data: Version 18, Sep 3, 2021

Edgecombe County, North Carolina

WaB—Wagram loamy sand, 0 to 6 percent slopes

Map Unit Setting

National map unit symbol: 132x9

Elevation: 80 to 330 feet

Mean annual precipitation: 38 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 210 to 265 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Wagram and similar soils: 90 percent

Minor components: 5 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wagram

Setting

Landform: Ridges on marine terraces, broad interstream divides on marine terraces

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: loamy sand

E - 8 to 24 inches: loamy sand

Bt - 24 to 75 inches: sandy clay loam

BC - 75 to 83 inches: sandy loam

Properties and qualities

Slope: 0 to 6 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Runoff class: Low

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (0.57 to 1.98 in/hr)

Depth to water table: About 60 to 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Moderate (about 6.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2s

Hydrologic Soil Group: A

Hydric soil rating: No

Minor Components

Bibb, undrained

Percent of map unit: 3 percent

Landform: Flood plains

Landform position (two-dimensional): Toeslope

Down-slope shape: Concave

Across-slope shape: Linear

Hydric soil rating: Yes

Johnston, undrained

Percent of map unit: 2 percent

Landform: Flood plains

Down-slope shape: Concave

Across-slope shape: Linear

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Edgecombe County, North Carolina

Survey Area Data: Version 18, Sep 3, 2021

TABLE 6.--WOODLAND MANAGEMENT AND PRODUCTIVITY

[Only the soils suitable for production of commercial trees are listed. Absence of an entry indicates that information was not available or that it was not applicable to rate the soil for the features shown in this table. Site index was calculated at age 30 for eastern cottonwood, at age 35 for American sycamore, and at age 50 for all other species]

Soil name and map symbol	Ordination symbol	Management concerns			Potential productivity		Trees to plant
		Erosion hazard	Equipment limitation	Seedling mortality	Common trees	Site index	
AaA----- Altavista	2w	Slight	Moderate	Slight	Loblolly pine----- Longleaf pine----- Shortleaf pine----- Sweetgum----- White oak-----	91 84 77 84 ---	Loblolly pine, yellow-poplar, sweetgum, American sycamore, cherrybark oak.
AuB----- Autryville	3s	Slight	Moderate	Moderate	Loblolly pine----- Slash pine----- Longleaf pine-----	80 83 65	Loblolly pine, slash pine, longleaf pine.
AyA, AyB----- Aycock	2o	Slight	Slight	Slight	Slash pine----- Loblolly pine----- Longleaf pine----- Southern red oak----- Sweetgum-----	89 89 75 80 90	Slash pine, loblolly pine, longleaf pine.
Ba----- Ballahack	1w	Slight	Severe	Severe	Water oak----- Sweetgum----- Pond pine----- Loblolly pine----- Yellow-poplar----- Baldcypress-----	100 111 80 96 ---	Loblolly pine,* slash pine,* sweetgum,* water tupelo.
BB**----- Bibb	2w	Slight	Severe	Severe	Loblolly pine----- Sweetgum----- Water oak-----	90 90 90	Eastern cottonwood,* loblolly pine,* sweetgum,* yellow-poplar *
BnB----- Blanton	3s	Slight	Moderate	Moderate	Slash pine----- Loblolly pine----- Longleaf pine-----	80 80 70	Slash pine.
Ca----- Cape Fear	2w	Slight	Severe	Severe	Sweetgum----- Loblolly pine----- Water oak----- Water tupelo----- Baldcypress----- Swamp tupelo-----	90 90 90 --- --- ---	Loblolly pine,* water tupelo, American sycamore,* sweetgum,* slash pine.*
Cc----- Chewacla	1w	Slight	Moderate	Moderate	Loblolly pine----- Yellow-poplar----- American sycamore----- Sweetgum----- Water oak----- Eastern cottonwood----- Green ash----- Southern red oak-----	96 104 90 97 86 100 97 90	Loblolly pine, slash pine, American sycamore, yellow-poplar, sweetgum, green ash.
CeB----- Conetoe	3s	Slight	Moderate	Moderate	Loblolly pine----- Longleaf pine-----	80 65	Slash pine, loblolly pine.
Cn----- Congaree	1o	Slight	Slight	Slight	Sweetgum----- Yellow-poplar----- Cherrybark oak----- Loblolly pine----- Eastern cottonwood----- American sycamore----- Willow oak----- Black walnut-----	100 107 107 96 107 89 95 ---	Loblolly pine, slash pine, yellow-poplar, American sycamore, black walnut, cherrybark oak, eastern cottonwood, sweetgum.

See footnotes at end of table.

TABLE 6.--WOODLAND MANAGEMENT AND PRODUCTIVITY--Continued

Soil name and map symbol	Ordination symbol	Management concerns			Potential productivity		Trees to plant
		Erosion hazard	Equipment limitation	Seedling mortality	Common trees	Site index	
Co----- Coxville	2w	Slight	Severe	Severe	Loblolly pine----- Slash pine----- Longleaf pine----- Sweetgum----- Water oak----- Willow oak----- Swamp tupelo-----	90 90 71 90 90 --- ---	Loblolly pine,* slash pine,* sweetgum,* American sycamore.*
DgA----- Dogue	2w	Slight	Moderate	Slight	Loblolly pine----- Northern red oak----- Sweetgum----- Yellow-poplar----- Southern red oak-----	90 80 90 90 80	Loblolly pine.
DpA, DpB----- Duplin	2w	Slight	Moderate	Moderate	Loblolly pine----- Slash pine----- Sweetgum----- Black tupelo----- Southern red oak----- White oak----- Yellow-poplar-----	90 90 90 --- --- --- 100	Loblolly pine, slash pine, yellow-poplar, American sycamore, sweetgum.
ExA----- Exum	2w	Slight	Moderate	Slight	Loblolly pine----- Longleaf pine----- Sweetgum----- Yellow-poplar----- Southern red oak----- White oak-----	90 77 90 100 --- ---	Loblolly pine, slash pine, yellow-poplar, sweetgum, American sycamore.
Fo----- Foreston	2w	Slight	Moderate	Slight	Slash pine----- Loblolly pine----- Longleaf pine-----	90 90 75	Slash pine, loblolly pine.
GoA----- Goldsboro	2w	Slight	Moderate	Slight	Loblolly pine----- Slash pine----- Longleaf pine----- Sweetgum----- Southern red oak----- White oak-----	90 93 77 90 --- ---	Loblolly pine, slash pine, yellow-poplar, American sycamore, sweetgum.
Gr----- Grantham	2w	Slight	Severe	Severe	Loblolly pine----- Slash pine----- Sweetgum----- Southern red oak----- White oak----- Water oak-----	95 95 96 --- --- 90	Loblolly pine,* slash pine,* sweetgum,* American sycamore, yellow-poplar.*
GyC, GyD----- Gritney	3o	Slight	Slight	Slight	Slash pine----- Loblolly pine----- Longleaf pine-----	80 80 65	Slash pine, loblolly pine.
Jo----- Johns	2w	Slight	Moderate	Slight	Loblolly pine----- Sweetgum----- Slash pine-----	86 90 86	Loblolly pine, slash pine.
JS**----- Johnston	1w	Slight	Severe	Severe	Loblolly pine----- Sweetgum----- Water oak-----	97 111 103	Loblolly pine,* slash pine,* baldcypress,* yellow-poplar,* sweetgum,* green ash,* water tupelo.
KeB----- Kenansville	3s	Slight	Moderate	Moderate	Loblolly pine----- Longleaf pine-----	80 65	Loblolly pine, slash pine.

See footnotes at end of table.

TABLE 6.--WOODLAND MANAGEMENT AND PRODUCTIVITY--Continued

Soil name and map symbol	Ordination symbol	Management concerns			Potential productivity		Trees to plant
		Erosion hazard	Equipment limitation	Seedling mortality	Common trees	Site index	
Lu----- Lumbee	2w	Slight	Severe	Severe	Loblolly pine----- Slash pine----- Pond pine----- Water tupelo----- Sweetgum----- White oak-----	94 91 75 70 90 ---	Loblolly pine, slash pine, water tupelo, sweetgum.
Ly----- Lynchburg	2w	Slight	Moderate	Slight	Slash pine----- Loblolly pine----- Longleaf pine----- Yellow-poplar----- Sweetgum----- Southern red oak----- White oak----- Blackgum-----	91 86 74 92 90 --- --- ---	Slash pine, loblolly pine, American sycamore, sweetgum.
MaA, MaB----- Marlboro	3o	Slight	Slight	Slight	Loblolly pine----- Slash pine----- Longleaf pine-----	82 80 62	Slash pine, loblolly pine.
Me----- Meggett	1w	Slight	Severe	Severe	Slash pine----- Loblolly pine----- Pond pine-----	100 100 75	Slash pine,* loblolly pine.*
Na----- Nahunta	2w	Slight	Moderate	Moderate	Loblolly pine----- Slash pine----- Sweetgum----- Yellow-poplar----- Southern red oak----- White oak-----	87 86 90 100 --- ---	Loblolly pine, slash pine, yellow-poplar, American sycamore, cherrybark oak.
NoA, NoB, NoC----- Norfolk	2o	Slight	Slight	Slight	Loblolly pine----- Longleaf pine----- Slash pine-----	86 68 86	Slash pine, loblolly pine.
Pa----- Pactolus	3w	Slight	Moderate	Moderate	Loblolly pine----- Longleaf pine----- Slash pine-----	84 70 83	Loblolly pine, slash pine.
Pu----- Portsmouth	2w	Slight	Severe	Severe	Loblolly pine----- Sweetgum----- Slash pine----- Pond pine-----	86 90 90 80	Loblolly pine,* slash pine,* American sycamore.*
Ra----- Rains	2w	Slight	Severe	Severe	Loblolly pine----- Slash pine----- Sweetgum-----	94 91 90	Loblolly pine,* slash pine.*
Ro----- Roanoke	2w	Slight	Severe	Severe	Loblolly pine----- Sweetgum----- Water oak----- Willow oak----- Yellow-poplar-----	85 86 93 93 74	Loblolly pine,* slash pine,* green ash,* sweetgum,* American sycamore.*
StB----- State	1o	Slight	Slight	Slight	Northern red oak----- Yellow-poplar----- Loblolly pine-----	85 105 96	Yellow-poplar, loblolly pine.
TaB----- Tarboro	3s	Slight	Moderate	Moderate	Loblolly pine----- Longleaf pine----- Slash pine-----	80 70 80	Loblolly pine, slash pine.
WaB, WaC, WaD----- Wagram	3s	Slight	Moderate	Moderate	Loblolly pine----- Slash pine----- Longleaf pine-----	82 80 67	Loblolly pine, slash pine, longleaf pine.

See footnotes at end of table.

TABLE 6.--WOODLAND MANAGEMENT AND PRODUCTIVITY--Continued

Soil name and map symbol	Ordination symbol	Management concerns			Potential productivity		Trees to plant
		Erosion hazard	Equipment limitation	Seedling mortality	Common trees	Site index	
We----- Wahee	2w	Slight	Moderate	Moderate	Loblolly pine-----	86	Loblolly pine, slash pine, sweetgum, American sycamore, water oak.
					Slash pine-----	86	
					Sweetgum-----	90	
Wh----- Wehadkee	1w	Slight	Severe	Severe	Loblolly pine-----	102	Loblolly pine,* American sycamore,* yellow-poplar,* green ash,* sweetgum,* eastern cottonwood,* cherrybark oak.*
					Sweetgum-----	83	
					Yellow-poplar-----	100	
					Willow oak-----	90	
					Green ash-----	96	
					Water oak-----	86	
White ash-----	88						
WkB----- Wickham	2o	Slight	Slight	Slight	Loblolly pine-----	90	Loblolly pine, slash pine, yellow-poplar.
					Slash pine-----	90	
					Yellow-poplar-----	100	
					Southern red oak-----	---	

* Potential productivity can be attained and tree planting is feasible only where surface drainage is adequate.

** See description of the map unit for composition and behavior characteristics of the map unit.

TABLE 7.--BUILDING SITE DEVELOPMENT

[Some terms that describe restrictive soil features are defined in the Glossary. See text for definitions of "slight," "moderate," and "severe." Absence of an entry indicates that the soil was not rated]

Soil name and map symbol	Shallow excavations	Dwellings without basements	Dwellings with basements	Small commercial buildings	Local roads and streets
AaA----- Altavista	Severe: wetness, cutbanks cave.	Moderate: wetness.	Severe: wetness.	Severe: wetness.	Severe: low strength.
AuB----- Auntryville	Moderate: cutbanks cave.	Slight-----	Slight-----	Slight-----	Slight.
AyA----- Aycock	Slight-----	Slight-----	Slight-----	Slight-----	Moderate: low strength.
AyB----- Aycock	Slight-----	Slight-----	Slight-----	Moderate: slope.	Moderate: low strength.
Ba----- Ballahack	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness, floods.
BB*----- Bibb	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.
BnB----- Blanton	Severe: cutbanks cave.	Slight-----	Slight-----	Slight-----	Slight.
Ca----- Cape Fear	Severe: wetness, floods, too clayey.	Severe: wetness, floods, low strength.	Severe: wetness, floods, low strength.	Severe: wetness, floods, low strength.	Severe: wetness, floods, low strength.
Cc----- Chewacla	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness.
CeB----- Conetoe	Severe: cutbanks cave.	Slight-----	Slight-----	Slight-----	Slight.
Cn----- Congaree	Severe: floods.	Severe: floods.	Severe: floods.	Severe: floods.	Severe: floods.
Co----- Coxville	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness, low strength.
DgA----- Dogue	Severe: wetness, too clayey.	Severe: low strength.	Severe: wetness, low strength.	Severe: low strength.	Severe: low strength.
DpA, DpB----- Duplin	Moderate: too clayey, wetness.	Moderate: shrink-swell.	Severe: wetness, shrink-swell.	Moderate: wetness, shrink-swell.	Severe: low strength.
DuB*: Duplin-----	Moderate: too clayey, wetness.	Moderate: shrink-swell.	Severe: wetness, shrink-swell.	Moderate: wetness, shrink-swell.	Severe: low strength.
Urban land.					
ExA----- Exum	Moderate: wetness.	Moderate: low strength.	Moderate: wetness, low strength.	Moderate: wetness, low strength.	Moderate: low strength.

See footnote at end of table.

TABLE 7.--BUILDING SITE DEVELOPMENT--Continued

Soil name and map symbol	Shallow excavations	Dwellings without basements	Dwellings with basements	Small commercial buildings	Local roads and streets
Fo----- Foreston	Moderate: wetness, cutbanks cave.	Slight-----	Moderate: wetness.	Moderate: wetness.	Slight.
GoA----- Goldsboro	Moderate: wetness.	Slight-----	Moderate: wetness.	Moderate: wetness.	Slight.
GpA*: Goldsboro----- Urban land.	Moderate: wetness.	Slight-----	Moderate: wetness.	Moderate: wetness.	Slight.
Gr----- Grantham	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.
Gt*: Grantham----- Urban land.	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.
GyC, GyD----- Gritney	Moderate: too clayey.	Severe: shrink-swell, low strength.	Severe: shrink-swell, low strength.	Severe: shrink-swell, slope.	Severe: shrink-swell, low strength.
Jo----- Johns	Severe: wetness.	Moderate: wetness.	Severe: wetness.	Severe: wetness.	Moderate: wetness.
JS*----- Johnston	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.
KeB----- Kenansville	Severe: cutbanks cave.	Slight-----	Slight-----	Slight-----	Slight.
Lu----- Lumbree	Severe: wetness.	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness, floods.	Severe: wetness.
Ly----- Lynchburg	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness, corrosive.	Moderate: wetness.
MaA----- Marlboro	Moderate: too clayey.	Slight-----	Slight-----	Slight-----	Moderate: low strength.
MaB----- Marlboro	Moderate: too clayey.	Slight-----	Slight-----	Moderate: slope.	Moderate: low strength.
Me----- Meggett	Severe: too clayey, floods, wetness.	Severe: shrink-swell, floods, wetness.	Severe: shrink-swell, floods, wetness.	Severe: shrink-swell, floods, wetness.	Severe: shrink-swell, floods, wetness.
Na----- Nahunta	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: low strength.
NoA----- Norfolk	Moderate: wetness.	Slight-----	Moderate: wetness.	Moderate: wetness.	Slight.
NoB----- Norfolk	Moderate: wetness.	Slight-----	Moderate: wetness.	Moderate: slope.	Slight.
NoC----- Norfolk	Moderate: slope.	Moderate: slope.	Moderate: slope.	Severe: slope.	Moderate: slope.

See footnote at end of table.

TABLE 7.--BUILDING SITE DEVELOPMENT--Continued

Soil name and map symbol	Shallow excavations	Dwellings without basements	Dwellings with basements	Small commercial buildings	Local roads and streets
NuB*: Norfolk Urban land	Slight	Slight	Slight	Slight	Slight.
Pa Pactolus Pt*. Pits	Severe: wetness, cutbanks cave.	Moderate: wetness.	Severe: wetness.	Severe: wetness.	Moderate: wetness.
Pu Portsmouth	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.
Ra Rains	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.	Severe: wetness.
Ro Roanoke	Severe: floods, too clayey, wetness.	Severe: floods, low strength, wetness.	Severe: floods, low strength, wetness.	Severe: floods, low strength, wetness.	Severe: floods, low strength, wetness.
StB State	Slight	Slight	Slight	Slight	Moderate: low strength.
TaB Tarboro Ur*. Urban land	Severe: cutbanks cave.	Severe: floods.	Severe: floods.	Severe: floods.	Slight.
WaB Wagram	Slight	Slight	Slight	Slight	Slight.
WaC, WaD Wagram	Moderate: slope.	Moderate: slope.	Moderate: slope.	Severe: slope.	Moderate: slope.
We Wahee	Severe: wetness, floods, too clayey.	Severe: wetness, floods, low strength.	Severe: wetness, floods, low strength.	Severe: wetness, floods, low strength.	Severe: floods, low strength.
Wh Wenadkee	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.	Severe: floods, wetness.
WkB Wickham	Slight	Slight	Slight	Slight	Slight.

* See description of the map unit for composition and behavior characteristics of the map unit.

Nuisance and Hazard Checklist

Project Name	Investigator(s)	Site Visit Date
East Haven Apartments	C. Daves – S&ME, Inc.	10-12-21

Check those features that were observed on or adjacent to the property at the time of the visit.

NATURAL HAZARDS	
Faults, fractures	Fire hazard materials
Cliffs, bluffs, crevices	Wind/sandstorm concerns
Slope-failures from rains	Poisonous plants, insects, animals
Unprotected water bodies	Hazardous terrain features
BUILT HAZARDS & NUISANCES	
Hazardous street	Inadequate screened drainage catchments
Dangerous intersection	Hazards in vacant lots
Through traffic	Chemical tank-car terminal
Inadequate separation of pedestrian/vehicle traffic	Other hazardous chemical storage
Play areas next to freeway or other highway traffic	High pressure gas or liquid petroleum transmission lines on site
Inadequate street lighting	Overhead transmission lines
Quarries or other excavations	Hazardous cargo transportation routes
Dumps/sanitary landfills or mining	Oil or gas wells
Railroad crossing	Industrial operations
NUISANCES	
Gas, smoke, fumes	Unsightly land uses
Odors	Front lawn parking
Vibration	Abandoned vehicle
Glare from parking area	Vermin infestation
Vacant/boarded up buildings	Industrial nuisances
Other (Specify)	Other (Specify)

Were any nuisances or hazards observed?

Yes
 No

If yes, list mitigation strategies below.

Chris Daves

Lead Investigator's Signature

10-12-21

Date

CITY COUNCIL AGENDA APRIL 12, 2021



ROCKY MOUNT, NC
THE CENTER OF IT ALL

[View Main Agenda](#)



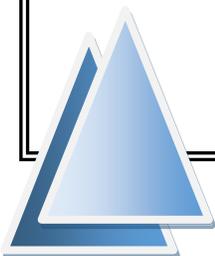
ROCKY MOUNT CITY COUNCIL VISION STATEMENT

Rocky Mount is a City composed of people of diverse backgrounds, heritages, and interests with a shared sense of values, stewardship and community.

It is a City where all citizens have the opportunity to realize their full potential through individual initiative and community support.

Its citizens enjoy and value the benefits of efficient, cost-effective and responsive public services, a strong and diversified economy, and superior cultural and educational resources.

Rocky Mount recognizes and appreciates its history while responding to the challenges and opportunities of regional and global change in a proactive and realistic manner.





W E L C O M E !

We are pleased you are attending a Rocky Mount City Council meeting. You are now participating in the process of representative government. We appreciate your interest and hope you and your fellow citizens will attend often. Democracy cannot endure without an informed electorate.

Rocky Mount has the Council-Manager form of local government. Policy is set by the Mayor and Council, who are elected by the people. The policy is implemented by the City Manager, who is appointed by the Council. The Council decides what is to be done. The City Manager, operating through the entire City staff, does it. This separation of policy-making and policy administration is considered the most economical and efficient form of City government.

COUNCIL MEETINGS

The City Council meets in regular session twice each month in the George W. Dudley City Council Chamber of the Frederick E. Turnage Municipal Building. These meetings are open to the public and are held on the following schedule:

2nd Monday - 7:00 p.m.

4th Monday - 4:00 p.m.

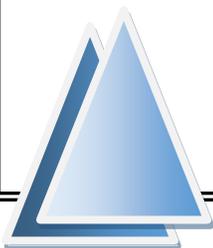
At these meetings, the City's business is conducted and ordinances and resolutions, the laws of Rocky Mount, are enacted. Ordinances take effect upon their adoption when approved by a majority of the Council. All ordinances must be in writing. They are introduced at one meeting and adopted at a subsequent meeting. The Council may, however, by an affirmative vote of five (5) members, adopt an ordinance at the same meeting it is introduced. The Council frequently uses this procedure.

Councilmembers receive the agenda for a Council meeting, together with detailed background material, on the Thursday prior to each regular meeting. This gives them the opportunity to study each item on the agenda prior to the meeting and consult with the City Manager or City staff members. If no additional pertinent facts are presented at the meeting, items are often acted upon without further discussion, particularly in routine matters. This procedure helps Council meetings to move more expeditiously.

INFORMAL WORK SESSIONS OR COMMITTEE MEETINGS

The Council generally conducts a work session or COMMITTEE OF THE WHOLE meeting at 5:00 p.m. prior to the first regular monthly meeting. The COMMITTEE OF THE WHOLE is the entire City Council meeting as a committee to discuss matters requiring more in-depth explanation, study or discussion. The Committee frequently makes recommendations to the City Council, however, no recommendations made by the COMMITTEE OF THE WHOLE are final until accepted by the Council in a regular meeting.

These meetings are open to the public.





HOW A CITIZEN CAN BE HEARD

Citizens may appear before the Council to be heard on any subject related to City government, or any individual matter which may involve City government. A provision is made on each City Council agenda for **PETITIONS TO BE RECEIVED FROM THE PUBLIC**. At this time, citizens are encouraged to bring to the Council's attention matters that are not otherwise specifically listed on the agenda. If the matter you are interested in is specifically listed on the agenda, you are asked to address that issue when it is being considered. If you desire to be heard, you are asked to advise the Mayor in which item you are interested at the time it appears on the agenda. You will be requested to use the speakers stand, give your name and address and identify any group which you represent. Citizens addressing the Council on any matter shall not abuse their privilege and shall confine themselves to the question under debate, and avoid all personal or indecorous language. The City Clerk prepares the minutes of the meetings. After approval by the Council, these become the official record of the proceedings. The entire meeting is tape recorded for accuracy in preparing the minutes.

PUBLIC HEARINGS

Prior to the enactment of some ordinances or resolutions, the law requires that the City Council conduct a public hearing in order that the public may have an opportunity to be heard. The most common of these are zoning ordinance changes, the ordering of public improvements and determination of assessments. Most public hearings are conducted in the general course of a regular meeting and are usually scheduled for the evening meeting of the City Council on the second Monday of each month to afford more citizens an opportunity to attend.

MAYOR

C. SAUNDERS ROBERSON, JR.

CITY COUNCIL

RICHARD E. JOYNER, MAYOR PRO TEM
(Ward 3)

ANDRÉ D. KNIGHT (Ward 1)

REUBEN C. BLACKWELL, IV (Ward 2)

T. J. WALKER, JR. (Ward 4)

LIGE DAUGHTRIDGE (Ward 5)

W. B. BULLOCK (Ward 6)

CHRISTINE CARROLL MILLER (Ward 7)

CITY STAFF

ROCHELLE D. SMALL-TONEY, *City Manager*

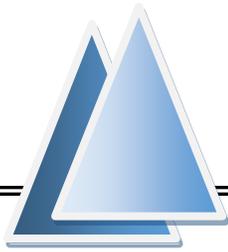
PAMELA O. CASEY, *City Clerk*

NATASHA HAMPTON, *Assistant City Manager*

ELTON DANIELS, *Assistant City Manager*

DOROTHY BROWN SMITH, *Communications & Marketing Consultant*

RICHARD J. ROSE, *City Attorney*





ROCKY MOUNT
OFFICE OF THE CITY COUNCIL
THE CENTER OF IT ALL

PUBLIC PETITIONS

The Public Petitions portion of the City Council meeting is an opportunity for public comment and the City Council appreciates your attendance and thanks you for expressing your views and opinions. The City Council values all citizen input.

This is an opportunity to raise a question or present a request to the Council; however, in most cases Councilmembers will not respond to public comments but may refer a matter to the City Manager or staff for follow up.

Time will be monitored in order to give everyone an opportunity to speak and speakers will have three minutes.

Please be aware that sign-in sheets must be presented to the Security Officer prior to the opening of the meeting.

If an organized group is present to speak on a common issue, please designate one person to present the group's comments.

If your comments are in regard to an item that is the subject of a public hearing, please wait until that item is introduced to speak. Time will also be monitored.

If your comments are in regard to an evidentiary hearing additional time may be granted.

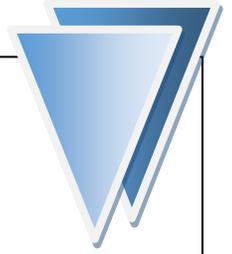
The City Council requests that you PLEASE ADHERE TO THE FOLLOWING GUIDELINES:

- **Complete a sign-in sheet;**
- **Address comments to the Council as a whole and not to individual Councilmembers or City staff;**
- **Speak from the podium in a civil, non-argumentative and respectful manner;**
- **Personal attacks which have the potential to disrupt the meeting will not be tolerated and you will be asked to sit down or be removed from the meeting;**
- **Keep comments to three minutes**

Thank you!



ROCKY MOUNT
OFFICE OF THE CITY COUNCIL
THE CENTER OF IT ALL



AGENDA FOR A REGULAR SCHEDULED MEETING OF THE CITY COUNCIL OF THE CITY OF ROCKY MOUNT TO BE HELD MONDAY, APRIL 12, 2021 AT 7:00 P.M. IN THE GEORGE W. DUDLEY CITY COUNCIL CHAMBER OF THE FREDERICK E. TURNAGE MUNICIPAL BUILDING.

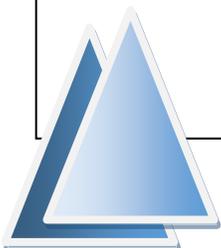
1. Meeting Called to Order by the Mayor
2. Prayer
3. Roll Call by the City Clerk
4. Approval of the Minutes of Regular Scheduled City Council Meeting held March 22, 2021 and a Special Called Committee of the Whole held March 29, 2021 [View](#)

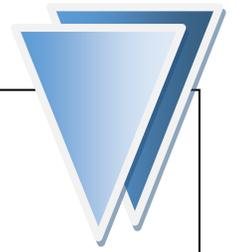
Recommended Action: Approve Minutes

5. Community Update – City Manager Rochelle D. Small-Toney
6. Presentations and Recognitions: [View](#)
 - Presentation of Proclamation Proclaiming the Month of April 2021 as Autism Awareness and Acceptance Month in the City of Rocky Mount to Barbara Batts
7. Petitions to be Received from the Public
8. Consideration of the Minutes and Recommendations from a Planning Board Meeting held on March 9, 2021: [View](#)

Note: Please complete Citizen Sign-In Sheet and provide to Security Officer prior to opening of meeting. Please limit presentations to three (3) minutes. Time will be monitored.

****Overview of request(s) and recommendation(s) by the Director of Development Services or his designee***





A. Public Hearing Relative to the Following Rezoning Request Recommended for Approval and Found in Compliance with the Comprehensive Plan by the Planning Board: [View](#)

- Request submitted by Jerry Pittman to rezone +0.614 acres located on Avalon Road from R-6MFA to R-8

Recommended Action: 1) Receive Public Comment;
2) Adopt Ordinance Amending the Land Development Code and Map
(*subject to reconsideration upon receipt of comments)

**Written comments will be accepted up to 24 hours after the public hearing. Please submit written comments to pamela.casey@rockymountnc.gov*

B. Public Hearing Relative to the Following Rezoning Request Recommended for Approval and Found in Compliance with the Comprehensive Plan by the Planning Board: [View](#)

- Request submitted by Ted Heilbron of Kelly Development Company to rezone +6.035 acres located on East Raleigh Boulevard, off Glory Drive, from R-10 to R-6MFA

Recommended Action: 1) Receive Public Comment;
2) Adopt Ordinance Amending the Land Development Code and Map
(*subject to reconsideration upon receipt of comments)

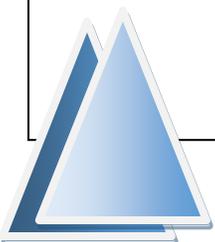
**Written comments will be accepted up to 24 hours after the public hearing. Please submit written comments to pamela.casey@rockymountnc.gov*

C. Public Hearing Relative to the Following Rezoning Request Recommended for Approval and Found in Compliance with the Comprehensive Plan by the Planning Board: [View](#)

- Request submitted by Calvin Balance with OIC of Rocky Mount, Inc. to rezone +4.08 acres located at 436 North Pearl Street from I-2 to B-2

Recommended Action: 1) Receive Public Comment;
2) Adopt Ordinance Amending the Land Development Code and Map
(*subject to reconsideration upon receipt of comments)

**Written comments will be accepted up to 24 hours after the public hearing. Please submit written comments to pamela.casey@rockymountnc.gov*





9. **Public Hearing** Relative to the Preliminary Assessment Roll Prepared to Recover Costs Incurred by the City in Connection with Housing Code Enforcement on the Following Properties: [View](#)
- a. 332 N. Howell Street
 - b. 101 Heron Street
 - c. 509 N. Vyne Street
 - d. 500/502 Clyde Street

Recommended Action: Adopt Resolution Confirming Assessments

10. Consideration of Recommendation of Approval of Award of Duty Sidearm and Badge to Lieutenant Beth Carlton for More Than 27 Years of Dedicated Service (retirement date April 1, 2021) [View](#)

Recommended Action: Approve Award of Duty Sidearm and Badge

11. Consideration of FY 2021 Installment Financing Contract with Banc of America Public Capital Corporation for Equipment (\$4,434,000 - fixed interest rate of 0.7617% for a 59-month term) and Resolution Approving Proposal: [View](#)

- **59-month term (\$4,434,000)**
 - \$1,285,000 – Transformers at Old Mill Road Point of Delivery Station
 - \$2,400,000 – Wastewater Treatment Plant Generation System
 - \$167,000 – Tar River Reservoir Raw Water Aeration System
 - \$582,000 – Wastewater Treatment Plant Switch Gear & Motor Control Center

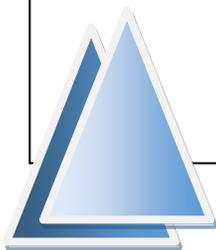
Recommended Action: Adopt Resolution (authorizes execution and delivery of installment financing agreement and such certificates and documents necessary; and authorizes the Mayor, Finance Director and City Manager, or any one of them, to execute necessary documentation on behalf of the City)

12. Consideration of Petition for Annexation No. 321 – 3583 S. Halifax Road (non-contiguous) [View](#)

Recommended Action: 1) Acknowledge Receipt of Petition; and
2) Adopt Resolution Ordering City Clerk to Investigate Sufficiency of Petition

13. Consideration of Resolution Authorizing Execution of Requisition of Funds Form for the Neighborhood Stabilization Program [View](#)

Recommended Action: Adopt Resolution (authorizes City Manager, Director of Finance, Accounting Manager and City Clerk to execute signatory form/certification on behalf of the City)





14. Consideration of Request by Wolf X-Ray Corporation to Rename Blue Hawaiian Drive to Wolf Road (Street Name Review Committee recommends approval) [View](#)

Recommended Action: Adopt Resolution Approving Renaming of Blue Hawaiian Drive to Wolf Road

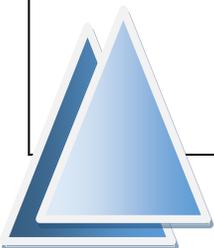
15. Consideration of the following Bids for:

- a) Business Services HVAC Replacement Project - award to Matthews Mechanical @ total cost of \$162,800 (MWBE-owned business); and [View](#)
- b) Recreation and Playground Equipment for Meadowbrook Park - based on bid awarded by Omnia Partners Group Purchasing Program - award to Kompan, Inc. @ total cost of \$90,239.30 (group purchasing exception) [View](#)

Recommended Action: 1) Award Bids as Recommended;
2) Authorize the Mayor and City Clerk to Execute Bid Contract for (a) on Behalf of the City and
3) Authorize the Purchasing Division to Issue Purchase Order and Execute Bid Document for (b) in Accordance with the Council's Award

16. Appointments:

- a) Animal Care and Control Advisory Board - 2 vacancies (Wards 1, 3 and 5)
- b) Board of Adjustment - 2 vacancies (Ward 4 and 1 alternate)
- c) Central City Revitalization Panel - 2 vacancies (ex-officios)
- d) Community Appeals Board – 1 vacancy (Ward 4)
- e) Housing Authority - 1 vacancy (Public Housing member)
- f) Human Relations Commission - 1 vacancy (Human Relations)
- g) Mayor's Commission - 1 vacancy
- h) Redevelopment Commission - 1 vacancy
- i) Tree Advisory Board - 2 vacancies (Wards 3 and 4)
- j) Utility Service Review Board - 1 vacancy (Ward 4)
- k) Workforce Housing Advisory Commission - 3 vacancies (Ward 5; Faith-based Community Member; Business Community Member)
- l) Carolinas Gateway Partnership (designated by City Manager) - 1 public member or Councilmember; 1 private member
- m) Tar River Transit Governing Board – Councilmember
- n) Upper Coastal Plain Brownfields Coalition Steering Committee – Councilmember





Geotechnical Engineering Report

**East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina**

March 7, 2022

Terracon Project No. 70225001

Prepared for:

Kelley Development Company, LLC
Raleigh, North Carolina

Prepared by:

Terracon Consultants, Inc.
Raleigh, NC





2401 Brentwood Road, Suite 107
Raleigh, North Carolina 27604
P (919) 873-2211
F (919) 873-9555
North Carolina Registered F-0869
Terracon.com

March 7, 2022

Kelley Development Company, LLC
106 Hatfield Lane
Raleigh, North Carolina 27603

Attn: Mr. Ted Heilbron
P: (214) 535-0550
E: tedh@kelleydc.com

Re: Geotechnical Engineering Report
East Haven Apartments
1040 Dreaver Street
Rocky Mount, Edgecombe County, North Carolina
Terracon Project No. 70225001

Dear Mr. Heilbron:

We have completed Geotechnical Engineering services for the above referenced project. This study was performed in general accordance with Terracon Proposal No. P70225001 dated January 7, 2022. This report presents the findings of the subsurface exploration and provides geotechnical recommendations concerning earthwork and the design and construction of foundations and floor slabs for the proposed project.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report or if we may be of further service, please contact us.

Sincerely,
Terracon Consultants, Inc.

Hayne Bigelow
Geotechnical Project Manager



Andrew A. Nash, PE
Geotechnical Department Manager
Registered NC 031022

REPORT TOPICS

INTRODUCTION.....	1
SITE CONDITIONS.....	2
PROJECT DESCRIPTION.....	ERROR! BOOKMARK NOT DEFINED.
GEOTECHNICAL CHARACTERIZATION.....	3
GEOTECHNICAL OVERVIEW	4
EARTHWORK	5
SHALLOW FOUNDATIONS.....	9
SEISMIC CONSIDERATIONS	11
FLOOR SLABS	12
PAVEMENTS.....	13
GENERAL COMMENTS.....	15
FIGURES	17

Note: This report was originally delivered in a web-based format. For more interactive features, please view your project online at client.terracon.com.

ATTACHMENTS

EXPLORATION AND TESTING PROCEDURES
PHOTOGRAPHY LOG
SITE LOCATION AND EXPLORATION PLANS
EXPLORATION RESULTS
SUPPORTING INFORMATION

Note: Refer to each individual Attachment for a listing of contents.

REPORT SUMMARY

Topic ¹	Overview Statement ²
<p>Project Description</p>	<p>The proposed development will include two (2), 4-story apartment buildings and one (1), single-story community building. The northeastern corner of the site will be improved with a stormwater pond.</p> <p>The two (2), 4-story apartment buildings will each be comprised of 32 units with a footprint of approximately 40,000 square feet each. The community building will have a footprint of approximately 4,300 square feet.</p>
<p>Geotechnical Characterization</p>	<p>The subsurface exploration at the test locations encountered very loose to medium dense sands and clayey sands throughout the borings. Very soft to stiff lean clays and fat clays with varying amounts of sand content were encountered at deeper depths.</p> <p>Groundwater was encountered between 6 and 18.5 feet at the boring locations.</p>
<p>Earthwork</p>	<p>After stripping topsoil and prior to placing fill, the exposed subgrade soils in the building and pavement footprints should be densified in place using a medium weight vibratory roller. The purpose of the rolling is to densify the exposed subgrade soils for floor slab and pavement support.</p>
<p>Shallow Foundations</p>	<p>Allowable bearing pressure = 2,000 psf Expected settlements: < 1-inch total, < ½ -inch differential</p>
<p>Pavements</p>	<p>With subgrade prepared as noted in Earthwork</p> <p>Concrete:</p> <ul style="list-style-type: none"> ■ 5 inches Portland Cement Concrete (PCC) in Light Duty areas ■ 7 inches PCC in areas exhibiting heavy traffic and loading <p>Asphalt:</p> <ul style="list-style-type: none"> ■ 3 inches Asphaltic Concrete (AC) over 6 inches granular base in Light Duty areas ■ 4 inches AC over 8 inches granular base in Medium Duty areas
<p>General Comments</p>	<p>This section contains important information about the limitations of this geotechnical engineering report.</p>
<ol style="list-style-type: none"> 1. If the reader is reviewing this report as a pdf, the topics above can be used to access the appropriate section of the report by simply clicking on the topic itself. 2. This summary is for convenience only. It should be used in conjunction with the entire report for design purposes. 	

Geotechnical Engineering Report
East Haven Apartments
1040 Dreaver Street
Rocky Mount, Edgecombe County, North Carolina
Terracon Project No. 70225001
March 7, 2022

INTRODUCTION

This report presents the results of our subsurface exploration and geotechnical engineering services performed for the proposed East Haven Apartments to be located at 1040 Dreaver Street in Rocky Mount, Edgecombe County, North Carolina. The purpose of these services is to provide information and geotechnical engineering recommendations relative to:

- Subsurface soil conditions
- Groundwater conditions
- Site preparation and earthwork
- Excavation considerations
- Foundation design and construction
- Floor slab design and construction
- Seismic site classification per IBC
- Pavement design and construction

The geotechnical engineering Scope of Services for this project included the advancement of 19 test borings to depths of 10 to 20 feet below existing site grades.

Maps showing the site and boring locations are shown in the **Site Location** and **Exploration Plan** sections, respectively. The results of the laboratory testing performed on soil samples obtained from the site during the field exploration are included on the boring logs and as separate graphs in the **Exploration Results** section.

SITE CONDITIONS

The following description of site conditions is derived from our site visit in association with the field exploration and our review of publicly available geologic and topographic maps.

Item	Description
Parcel Information	The project is located at 1040 Dreaver Street in Rocky Mount, Edgecombe County, North Carolina. Approximately 4.8 acres (See Exhibit D) See Site Location and Exploration Plan
Coordinates	35.9430°N, 77.7669°W (approximate)
Existing Improvements	The site is undeveloped and wooded
Current Ground Cover	Trees and brush
Existing Topography	Relatively level

We also collected photographs at the time of our field exploration program. Representative photos are provided in our [Photography Log](#).

PROJECT DESCRIPTION

Our initial understanding of the project was provided in our proposal and was discussed in the project planning stage. A period of collaboration has transpired since the project was initiated, and our final understanding of the project conditions is as follows:

Item	Description
Information Provided	The following document was provided by Mr. Heilbron on December 29 th , 2021. <ul style="list-style-type: none"> ■ "PSL-1 Preliminary Site Layout[2].pdf"
Project Description	The proposed development will include two (2), 4-story apartment buildings and one (1), single-story community building. The northeastern corner of the site will be improved with a stormwater pond. The two (2), 4-story apartment buildings will each be comprised of 32 units with a footprint of approximately 40,000 square feet each. The community building will have a footprint of approximately 4,300 square feet.

Item	Description
Building Construction	The apartment buildings are assumed to be wood-framed construction with a slab-on-grade supported by an anticipated shallow foundation system.
Finished Floor Elevation	Not available during the writing of this report. Assumed to be within 2 feet of existing grades.
Maximum Loads (assumed)	<ul style="list-style-type: none"> ■ Columns: Up to 200 kips ■ Walls: Up to 6 kips per linear foot (klf) ■ Slabs: 100 pounds per square foot (psf)
Grading/Slopes	Up to 3 feet of cut and/or fill placement is anticipated.
Free-Standing Retaining Walls	None noted.
Pavements	<p>We assume both rigid (concrete) and flexible (asphalt) pavement sections should be considered. Approximately 146 parking spaces will be provided with access being provided from Glory Drive.</p> <p>The pavement design period is 20 years.</p>

GEOTECHNICAL CHARACTERIZATION

Geology

The site is situated within the Coastal Plain Physiographic Province of North Carolina. In this geologic setting, relatively thin layers of alluvial materials were deposited above residual materials during successive periods of shoreline fluctuation. Deposits in this area include clay, silt, sand, and gravel in varying proportions. The underlying residual material was created through physical and chemical, in-place weathering of ancient igneous and metamorphic bedrock. More highly weathered materials near the surface generally consist of clayey and silty soils, underlain by sandy soil, and eventually bedrock. According to the *1985 Geologic Map of North Carolina*, the site is underlain by the Yorktown Formation and Duplin Formation.

Characterization

We have developed a general characterization of the subsurface conditions based upon our review of the subsurface exploration, laboratory data, geologic setting and our understanding of the project. This characterization, termed GeoModel, forms the basis of our geotechnical calculations and evaluation of site preparation and foundation options. Conditions encountered at each exploration point are indicated on the individual logs. The individual logs can be found in the **Exploration Results** section and the GeoModel can be found in the **Figures** section of this report.

As part of our analyses, we identified the following model layers within the subsurface profile. For a more detailed view of the model layer depths at each boring location, refer to the GeoModel.

Model Layer	Layer Name	General Description
1	Looser Sands	Very loose clayey sand, or poorly-graded sand
2	Denser Sands	Loose to medium dense clayey sand, or poorly-graded sand
3	Softer Fine-Grained Soils	Very soft lean clay, fat clay, or sandy fat clay
4	Stiffer Fine-Grained Soils	Soft to stiff lean fat clay, sandy fat clay, or sandy lean clay

Conditions encountered at each boring location are indicated on the individual boring logs shown in the **Exploration Results** section and are attached to this report. Stratification boundaries on the boring logs represent the approximate location of changes in native soil types; in situ, the transition between materials may be gradual.

Test borings were observed during, immediately after drilling, and at least 24 hours after drilling for the presence and level of groundwater. Groundwater was measured in thirteen (13) project test borings at depths ranging from 6 feet and 18.5 feet. Water level observations of test borings are recorded on boring logs in **Exploration Results**.

Groundwater level fluctuations occur due to seasonal variations in the amount of rainfall, runoff and other factors not evident at the time the borings were performed. Therefore, groundwater levels during construction or at other times in the life of the structure may be higher or lower than the levels indicated on the boring logs. The possibility of groundwater level fluctuations should be considered when developing the design and construction plans for the project.

GEOTECHNICAL OVERVIEW

Based on our understanding of the proposed construction, site grading requirements, and the data obtained from the soil borings, the site is generally suited for the planned buildings. Presuming the structural loads are as indicated in the **Project Description** and the foundation subgrade soils are densified as recommended herein, the buildings can be supported by a conventional foundation system with post construction settlements of about 1 inch with differential settlement of about 0.5-inch. The on-site excavated soils, less any organics or deleterious material, should be satisfactory for use as structural fill.

The subsurface exploration at the test locations encountered very loose to medium dense sands and clayey sands throughout the borings. Very soft to stiff lean clays and fat clays with varying amounts of sand content were encountered at deeper depths.

Very weak soils were encountered at shallow depths in some of the borings. After stripping and prior to grading and filling activities the proposed building and parking lot footprints should be densified in place using a medium weight vibratory roller. The purpose of the rolling is to consolidate near surface soils and potentially improve floor slab and foundation support. The subgrade should be proof-rolled with an adequately loaded vehicle such as a fully loaded tandem axle dump truck and areas excessively deflecting under the proof-roll should be delineated and subsequently addressed by the Geotechnical Engineer. We expect that proof-roll will fail in some areas and undercut would be needed to repair the subgrade. Repairs would include geosynthetic and select structural fill or stone.

Exposed soils can become unstable with typical earthwork and construction traffic, especially after precipitation events. We recommend establishment of effective surface drainage during early stages of construction, with continued maintenance during and after construction. If possible, site grading should be performed during warmer and drier times of the year. The need for undercutting and replacement of unstable subgrade greatly increases if site grading is performed during winter months. Additional site preparation recommendations, including subgrade improvement and fill placement, are provided in the **Earthwork** section.

The **General Comments** section provides an understanding of the report limitations.

EARTHWORK

Earthwork is anticipated to include clearing and grubbing, shallow excavations, and fill placement. The following sections provide recommendations for use in the preparation of specifications for the work. Recommendations include critical quality criteria, as necessary, to render the site in the state considered in our geotechnical engineering evaluation for foundations, floor slabs, and pavements. Grading for the structure should incorporate the limits of the proposed structure plus 5 feet beyond proposed perimeter building walls and any exterior columns.

Surface soils at the site are moisture sensitive and performing earthwork operations during warmer periods of the year (May through October) will reduce the potential for problems associated with wet unstable subgrades.

Site Preparation

Existing vegetation, topsoil, and trees (including complete root systems) should be stripped and removed from proposed construction areas. Stripping depths could vary, and actual stripping depths should be evaluated by a Terracon representative. Topsoil may be reused in areas of the site to be landscaped but should not be used as fill.

After stripping and prior to placing fill, the exposed subgrade soils in the building and pavement footprints should be densified in place using a medium weight vibratory roller operating. The purpose

of the rolling is to densify the exposed subgrade soils for floor slab and pavement support and to potentially improve the foundation bearing soils. The roller should make at least six passes across the site, with the second set of three passes perpendicular to the first set of three passes. If water is brought to the surface by the rolling, the operation should be discontinued until the water subsides. Rolling should be completed during dry weather.

After the rolling, pore pressures should be allowed to dissipate for a minimum of 16 hours. After the waiting period, proofrolling should be performed on the exposed subgrade soils in areas to receive fill or at the subgrade elevation with a fully loaded, tandem-axle dump truck (20-ton minimum) or similar rubber-tired construction equipment. The proofrolling should be performed during a period of dry weather to avoid degrading an otherwise suitable subgrade. The proofrolling operations should be observed by a representative of the geotechnical engineer. Subgrade soils that exhibit excessive rutting or deflection during proofrolling should be repaired as directed by the field representative. Typical repairs include overexcavation followed by replacement with either properly compacted fill or by a subgrade stabilization fabric in conjunction with a sand fill or crushed stone.

Fill Material Types

Fill required to achieve design grade should be classified as structural fill and general fill. Structural fill is material used below, or within 10 feet of structures, pavements or constructed slopes. General fill is material used to achieve grade outside of these areas. Earthen materials used for structural and general fill should meet the following material property requirements:

Fill Material	USCS Classification	Acceptable Location for Placement
Imported or On-Site Low-to Moderate-Plasticity Soil (min. 20% fines)	CL, ML, SC, SM, SC-SM	All locations and elevations except as backfill behind retaining walls or mechanically stabilized earth walls
Sand / Gravel with less than 10% fines ²	GW/GP, SW/SP	NCDOT ABC – beneath slabs, pavements / sidewalks or as a replacement material for over-excavated soils in conjunction with geogrid.
High Plastic Soils	CH, MH	High plastic soils, with plasticity indices greater than 30, should not be used within 3 feet of finished grade, nor used as backfill behind retaining walls or mechanically stabilized earth walls

1. Controlled, compacted fill should consist of approved materials that are free of organic matter and debris. A sample of each material type should be submitted to the geotechnical engineer for evaluation.
2. Soil with less than 10% fines (silt and clay) should not be used as general fill to raise site grades to prevent perched water conditions where water infiltrating the surface zone can be trapped over the underlying less-permeable soil zone.

Fill Compaction Requirements

Structural and general fill should meet the following compaction requirements.

Item	Description
Fill Lift Thickness	9-inches or less in loose thickness (4-inch to 6-inch lifts when hand-operated equipment is used).
Compaction Requirements ¹	Minimum of 95% of the material's standard Proctor maximum dry density (ASTM D698). The top lift of engineered fill should be compacted to a minimum of 98% of the material's standard Proctor maximum dry density (ASTM D698) for buildings and pavements.
Moisture Content	Within the range of -2% to +3% of optimum moisture content as determined by the standard Proctor test at the time of placement and compaction.

1. Engineered fill should be tested for moisture content and compaction during placement. If in-place density tests indicate the specified moisture or compaction limits have not been met, the area represented by the tests should be reworked and retested as required until the specified moisture and compaction requirements are achieved.

Utility Trench Backfill

Utility trenches are a common source of water infiltration and migration. Utility trenches penetrating beneath the building should be effectively sealed to restrict water intrusion and flow through the trenches, which could migrate below the building. The trench should provide an effective trench plug that extends at least 5 feet from the face of the building exterior. The plug material should consist of cementitious flowable fill or low permeability clay. The trench plug material should be placed to surround the utility line. If used, the clay trench plug material should be placed and compacted to comply with the water content and compaction recommendations for structural fill stated previously in this report.

Grading and Drainage

All grades must provide effective drainage away from the building during and after construction and should be maintained throughout the life of the structure. Water retained next to the building can result in soil movements greater than those discussed in this report. Greater movements can result in unacceptable differential floor slab and/or foundation movements, cracked slabs and walls, and roof leaks. The roof should have gutters/drains with downspouts that discharge onto splash blocks at a distance of at least 10 feet from the building.

Exposed ground should be sloped and maintained at a minimum 5% away from the building for at least 10 feet beyond the perimeter of the building. Locally, flatter grades may be necessary to transition ADA access requirements for flatwork. After building construction and landscaping have been completed, final grades should be verified to document effective drainage has been achieved. Grades around the structure should also be periodically inspected and adjusted, as necessary, as part of the structure's maintenance program. Where paving or flatwork abuts the structure, a maintenance program should be established to effectively seal and maintain joints and prevent surface water infiltration.

Earthwork Construction Considerations

Shallow excavations for the proposed structure are anticipated to be accomplished with conventional construction equipment. Upon completion of filling and grading, care should be taken to maintain the subgrade water content prior to construction of floor slabs. Construction traffic over the completed subgrades should be avoided. The site should also be graded to prevent ponding of surface water on the prepared subgrades or in excavations. Water collecting over or adjacent to construction areas should be removed. If the subgrade freezes, desiccates, saturates, or is disturbed, the affected material should be removed, or the materials should be scarified, moisture conditioned, and recompact prior to floor slab construction.

The groundwater table could affect excavation efforts deeper than five feet below the existing ground surface. If water is encountered a temporary dewatering system consisting of sumps with pumps could be necessary to achieve excavation stability.

As a minimum, excavations should be performed in accordance with OSHA 29 CFR, Part 1926, Subpart P, "Excavations" and its appendices, and in accordance with any applicable local, and/or state regulations.

Construction site safety is the sole responsibility of the contractor who controls the means, methods, and sequencing of construction operations. Under no circumstances shall the information provided herein be interpreted to mean Terracon is assuming responsibility for construction site safety, or the contractor's activities; such responsibility shall neither be implied nor inferred.

Construction Observation and Testing

The earthwork efforts should be monitored under the direction of the Geotechnical Engineer. Monitoring should include documentation of adequate removal of vegetation and topsoil, proofrolling, and mitigation of areas delineated by the proofroll to require mitigation.

Each lift of compacted fill should be tested, evaluated, and reworked, as necessary, until approved by the Geotechnical Engineer prior to placement of additional lifts. Each lift of fill should be tested for density and water content at a frequency of at least one test for every 2,500 square feet of

compacted fill in the building areas and 5,000 square feet in pavement areas. One density and water content test should be performed for every 50 linear feet of compacted utility trench backfill.

In areas of foundation excavations, the bearing subgrade should be evaluated under the direction of the Geotechnical Engineer. If unanticipated conditions are encountered, the Geotechnical Engineer should prescribe mitigation options.

In addition to the documentation of the essential parameters necessary for construction, the continuation of the Geotechnical Engineer into the construction phase of the project provides the continuity to maintain the Geotechnical Engineer’s evaluation of subsurface conditions, including assessing variations and associated design changes.

SHALLOW FOUNDATIONS

If the site has been prepared in accordance with the requirements noted in **Earthwork**, the following design parameters are applicable for shallow foundations.

Design Parameters – Compressive Loads

Description	Column	Wall
Maximum Net Allowable Bearing pressure ^{1, 2}	2,000 psf	2,000 psf
Minimum Foundation Dimensions	36 inches	16 inches
Estimated Total Settlement from Structural Loads ²	Less than 1 inch	Less than 1 inch
Estimated Differential Settlement ^{2, 5}	Less than ½ of total settlement	Less than ½ of total settlement
Ultimate Coefficient of Sliding Friction ⁴	0.35	
Minimum Embedment Depth Below Finished Grade for Frost Protection ⁵	12 inches	

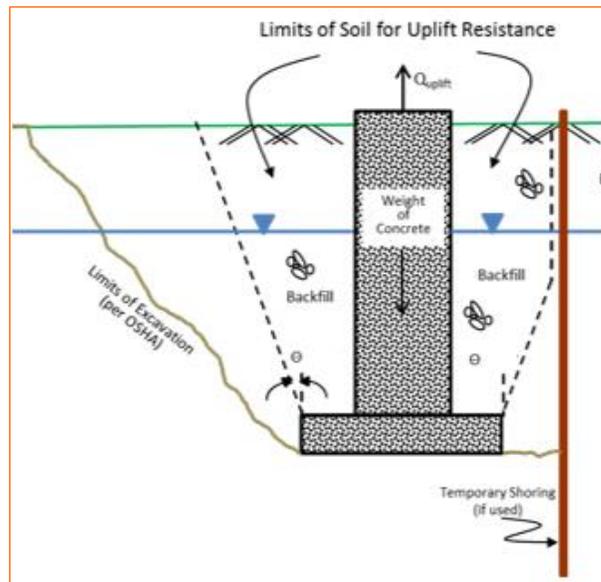
1. The maximum net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation. An appropriate factor of safety has been applied. Values assume that exterior grades are no steeper than 20% within 10 feet of structure.
2. Values provided are for maximum loads noted in **Project Description**.
3. Can be used to compute sliding resistance where foundations are placed on suitable soil/materials. Should be neglected for foundations subject to net uplift conditions.
4. Embedment necessary to minimize the effects of frost and/or seasonal water content variations. For sloping ground, maintain depth below the lowest adjacent exterior grade within 5 horizontal feet of the structure.
5. Differential settlements are as measured over a span of 50 feet.

A representative of the geotechnical engineer should be retained at the time of structural fill placement, and foundation construction to observe the subgrade preparation process. A

combination of hand auger borings, dynamic cone penetrometer (DCP) testing, and probing should be performed to confirm the suitability of the subgrade materials for the design bearing pressure or placement of engineered fill. The hand auger and DCP should extend through existing fill into natural soils. Should soft, very loose, or otherwise unsuitable materials be encountered, over-excavation and replacement with new engineered fill or aggregate base stone (NCDOT ABC) may be recommended.

Design Parameters - Uplift Loads

Uplift resistance of spread footings can be developed from the effective weight of the footing and the overlying soils. As illustrated on the subsequent figure, the effective weight of the soil prism defined by diagonal planes extending up from the top of the perimeter of the foundation to the ground surface at an angle, θ , of 20 degrees from the vertical can be included in uplift resistance. The maximum allowable uplift capacity should be taken as a sum of the effective weight of soil plus the dead weight of the foundation, divided by an appropriate factor of safety. A maximum total unit weight of 110 pcf should be used for the backfill. This unit weight should be reduced to 40 pcf for portions of the backfill or natural soils below the groundwater elevation.



Foundation Construction Considerations

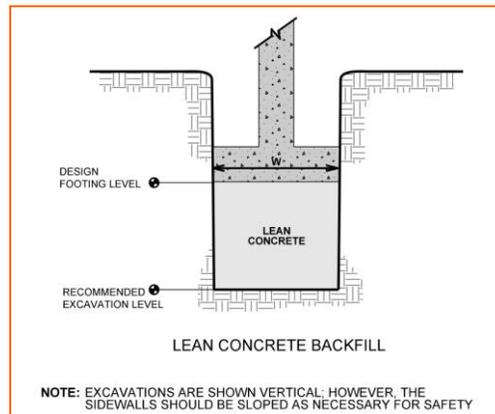
As noted in **Earthwork**, the footing excavations should be evaluated under the direction of the Geotechnical Engineer. The base of all foundation excavations should be free of water and loose soil, prior to placing concrete. Concrete should be placed soon after excavating to reduce bearing soil disturbance. Care should be taken to prevent wetting or drying of the bearing materials during construction. Excessively wet or dry material or any loose/disturbed material in the bottom of the footing excavations should be removed/reconditioned before foundation concrete is placed.

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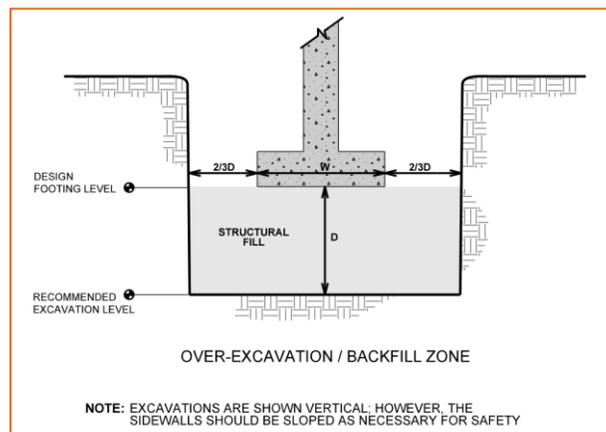
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If unsuitable bearing soils are encountered at the base of the planned footing excavation, the excavation should be extended deeper to suitable soils, and the footings could bear directly on these soils at the lower level or on lean concrete backfill placed in the excavations. This is illustrated on the sketch below.



Over-excavation for structural fill placement below footings should be conducted as shown below. The over-excavation should be backfilled up to the footing base elevation, with structural fill placed, as recommended in the **Earthwork** section.



SEISMIC CONSIDERATIONS

The seismic design requirements for buildings and other structures are based on Seismic Design Category. Site Classification is required to determine the Seismic Design Category for a structure. The Site Classification is based on the upper 100 feet of the site profile defined by a weighted average value of either shear wave velocity, standard penetration resistance, or undrained shear strength in accordance with Section 20.4 of ASCE 7 and the International Building Code (IBC). Based on the soil properties encountered at the site and as described on the exploration logs and

results, it is our professional opinion that the **Seismic Site Classification is D**. Subsurface explorations at this site were extended to a maximum depth of 20 feet. The site properties below the boring depth to 100 feet were estimated based on our experience and knowledge of geologic conditions of the general area. Additional deeper borings or geophysical testing may be performed to confirm the conditions below the current boring depth.

LIQUEFACTION

Based on the results of the borings, liquefaction is not expected based on the relatively low level of ground motions associated with the design earthquake, density of the soils and clay content.

FLOOR SLABS

Design parameters for floor slabs assume the requirements for **Earthwork** have been followed. Specific attention should be given to positive drainage away from the structure and positive drainage of the aggregate base beneath the floor slab.

Floor Slab Design Parameters

Item	Description
Floor slab support ¹	Aggregate base (see below) underlain by subgrade prepared according to Site Preparation .
Modulus of subgrade reaction ²	100 pounds per square inch per in (psi/in)
Aggregate base course	4 inches aggregate base course (NCDOT ABC)

1. Floor slabs should be structurally independent of building footings or walls to reduce the possibility of floor slab cracking caused by differential movements between the slab and foundation.
2. Modulus of subgrade reaction is an estimated value based upon our experience with the subgrade condition, the requirements noted in **Earthwork**, and the floor slab support as noted in this table. It is provided for point loads. For large area loads the modulus of subgrade reaction would be lower.

The use of a vapor retarder should be considered beneath concrete slabs on grade covered with wood, tile, carpet, or other moisture sensitive or impervious coverings, or when the slab will support equipment sensitive to moisture. When conditions warrant the use of a vapor retarder, the slab designer should refer to ACI 302 and/or ACI 360 for procedures and cautions regarding the use and placement of a vapor retarder.

Saw-cut control joints should be placed in the slab to help control the location and extent of cracking. For additional recommendations refer to the ACI Design Manual. Joints or cracks should be sealed with a water-proof, non-extruding compressible compound specifically recommended for heavy duty concrete pavement and wet environments.

Where floor slabs are tied to perimeter walls or turn-down slabs to meet structural or other construction objectives, our experience indicates differential movement between the walls and slabs will likely be observed in adjacent slab expansion joints or floor slab cracks beyond the length of the structural dowels. The Structural Engineer should account for potential differential settlement through use of sufficient control joints, appropriate reinforcing or other means.

Floor Slab Construction Considerations

Finished subgrade, within and for at least 10 feet beyond the floor slab, should be protected from traffic, rutting, or other disturbance and maintained in a relatively moist condition until floor slabs are constructed. If the subgrade should become damaged or desiccated prior to construction of floor slabs, the affected material should be removed, and structural fill should be added to replace the resulting excavation. Final conditioning of the finished subgrade should be performed immediately prior to placement of the floor slab support course.

The Geotechnical Engineer should approve the condition of the floor slab subgrades immediately prior to placement of the floor slab support course, reinforcing steel, and concrete. Attention should be paid to high traffic areas that were rutted and disturbed earlier, and to areas where backfilled trenches are located.

PAVEMENTS

Pavement thickness design is dependent upon the following:

- Anticipated traffic conditions during the life of the pavement
- Subgrade and paving material characteristics
- Climatic conditions of the region

A subgrade CBR of 5 was selected for design pavement sections based upon our experience with similar near surface subgrade soils and our understanding of the quality of the subgrade as prescribed by the **Site Preparation** conditions as outlined in **Earthwork**. A minimum thickness for future maintenance was also incorporated into the pavement section design.

Pavement Section Thicknesses

Light-duty pavements should be designated for car parking drives and lightly traveled service roads. For areas subject to concentrated and repetitive loading conditions, i.e. dumpster pads and ingress/egress aprons, or in areas where vehicles will turn at low speeds, we recommend using a Portland cement concrete pavement with a thickness of at least 7 inches underlain by at least 4 inches of crushed stone. For dumpster pads, the concrete pavement area should be large enough to support the container and tipping axle of the refuse truck. The following table provides options for general AC and PCC Sections:

Recommended Pavement Sections			
Pavement Type	Material	Layer Thickness (inches)	
		Light Duty	Heavy Duty
Portland Cement Concrete (PCC)/ Rigid	Portland Cement Concrete (4,000 psi)	5	7
	Crushed Aggregate Base Course (NCDOT ABC)	4	
Asphaltic Concrete (AC)/ Flexible (Superpave)	Asphalt Surface (NCDOT S9.5B)	3 ¹	1.5
	Asphalt Binder (NCDOT I19.0C)	---	2.5
	Crushed Aggregate Base Course (NCDOT ABC)	6	8

1. Placed in two equal lift thicknesses (1.5 inches).

For subgrade instability that could develop due to the weather. We recommend that contingencies be placed in the budget for a geosynthetic and addition stone. The geosynthetic could be left off corridors/easements for deeper utility lines for ease of construction.

The placement of a partial pavement thickness for use during construction is not suggested without a detailed pavement analysis incorporating construction traffic. In addition, we should be contacted to confirm the traffic assumptions outlined above. If the actual traffic varies from the assumptions outlined above, modification of the pavement section thickness could be required.

Recommendations for pavement construction presented depend upon compliance with recommended material specifications. To assess compliance, observation and testing should be performed under the direction of the geotechnical engineer.

Asphalt concrete and aggregate base course materials should conform to the North Carolina Department of Transportation (NCDOT) “Standard Specifications for Roads and Structures”. Concrete pavement materials should conform to ACI 330.1 “Specifications for Unreinforced Parking Lots”. Concrete pavement should be air-entrained and have a minimum compressive strength of 4,000 psi after 28 days of laboratory curing per ASTM C-31. ACI 330R-01 recommendations should be followed concerning control and expansion joints, as well as other concrete pavement practices.

Pavement Drainage

Pavements should be sloped to provide rapid drainage of surface water. Water allowed to pond on or adjacent to the pavements could saturate the subgrade and contribute to premature

pavement deterioration. In addition, the pavement subgrade should be graded to provide positive drainage within the granular base section. Appropriate sub-drainage or connection to a suitable daylight outlet should be provided to remove water from the granular subbase, as needed.

Pavement Maintenance

The pavement sections represent minimum recommended thicknesses and, as such, periodic maintenance should be anticipated. Therefore, preventive maintenance should be planned and provided for through an on-going pavement management program. Maintenance activities are intended to slow the rate of pavement deterioration and to preserve the pavement investment. Maintenance consists of both localized maintenance (e.g., crack and joint sealing and patching) and global maintenance (e.g., surface sealing). Preventive maintenance is usually the priority when implementing a pavement maintenance program. Additional engineering observation is recommended to determine the type and extent of a cost-effective program. Even with periodic maintenance, some movements and related cracking may still occur, and repairs may be required.

Pavement performance is affected by its surroundings. In addition to providing preventive maintenance, the civil engineer should consider the following recommendations in the design and layout of pavements:

- Final grade adjacent to paved areas should slope down from the edges at a minimum 2%.
- Subgrade and pavement surfaces should have a minimum 2% slope to promote proper surface drainage.
- Install below pavement drainage systems surrounding areas anticipated for frequent wetting.
- Install joint sealant and seal cracks immediately.
- Seal all landscaped areas in or adjacent to pavements to reduce moisture migration to subgrade soils.
- Place compacted, low permeability backfill against the exterior side of curb and gutter.
- Place curb, gutter and/or sidewalk directly on clay subgrade soils rather than on unbound granular base course materials.

GENERAL COMMENTS

Our analysis and opinions are based upon our understanding of the project, the geotechnical conditions in the area, and the data obtained from our site exploration. Natural variations will occur between exploration point locations or due to the modifying effects of construction or weather. The nature and extent of such variations may not become evident until during or after construction. Terracon should be retained as the Geotechnical Engineer, where noted in this report, to provide observation and testing services during pertinent construction phases. If variations appear, we can provide further evaluation and supplemental recommendations. If variations are noted in the

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absence of our observation and testing services on-site, we should be immediately notified so that we can provide evaluation and supplemental recommendations.

Our Scope of Services does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

Our services and any correspondence or collaboration through this system are intended for the sole benefit and exclusive use of our client for specific application to the project discussed and are accomplished in accordance with generally accepted geotechnical engineering practices with no third-party beneficiaries intended. Any third-party access to services or correspondence is solely for information purposes to support the services provided by Terracon to our client. Reliance upon the services and any work product is limited to our client and is not intended for third parties. Any use or reliance of the provided information by third parties is done solely at their own risk. No warranties, either express or implied, are intended or made.

Site characteristics as provided are for design purposes and not to estimate excavation cost. Any use of our report in that regard is done at the sole risk of the excavating cost estimator as there may be variations on the site that are not apparent in the data that could significantly impact excavation cost. Any parties charged with estimating excavation costs should seek their own site characterization for specific purposes to obtain the specific level of detail necessary for costing. Site safety, and cost estimating including, excavation support, and dewatering requirements/design are the responsibility of others. If changes in the nature, design, or location of the project are planned, our conclusions and recommendations shall not be considered valid unless we review the changes and either verify or modify our conclusions in writing.

FIGURES

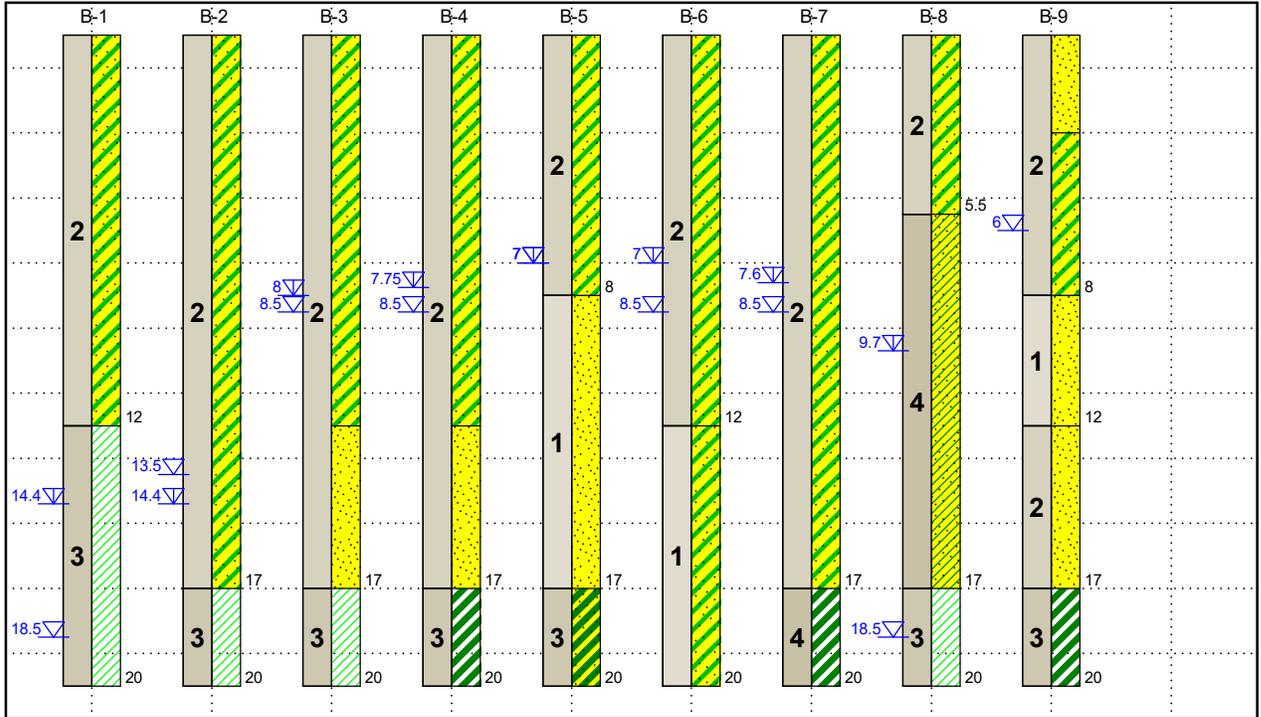
Contents:

GeoModel (2 pages)

Note: All attachments are one page unless noted above.

GEOMODEL

East Haven Apartments ■ Rocky Mount, NC
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This is not a cross section. This is intended to display the Geotechnical Model only. See individual logs for more detailed conditions.

Model Layer	Layer Name	General Description
1	LOOSER SANDS	Very loose
2	DENSER SANDS	Loose to medium dense
3	SOFTER FINE-GRAINED SOILS	Very soft
4	STIFFER FINE-GRAINED SOILS	Soft to stiff

LEGEND

- Clayey Sand
- Fat Clay
- Lean Clay
- Sandy Fat Clay
- Poorly-graded Sand
- Sandy Lean Clay

- ▽ First Water Observation
- ▽ Second Water Observation

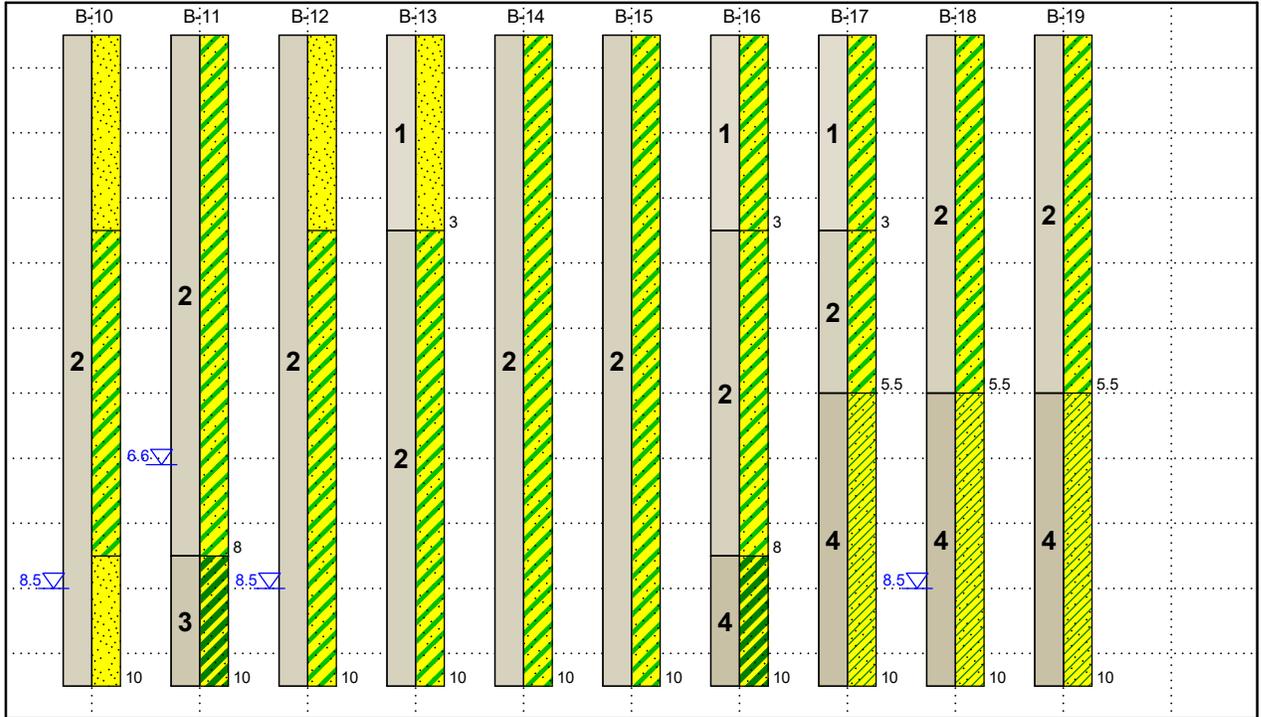
Groundwater levels are temporal. The levels shown are representative of the date and time of our exploration. Significant changes are possible over time. Water levels shown are as measured during and/or after drilling. In some cases, boring advancement methods mask the presence/absence of groundwater. See individual logs for details.

NOTES:

Layering shown on this figure has been developed by the geotechnical engineer for purposes of modeling the subsurface conditions as required for the subsequent geotechnical engineering for this project. Numbers adjacent to soil column indicate depth below ground surface.

GEOMODEL

East Haven Apartments ■ Rocky Mount, NC
Terracon Project No. 70225001



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LEGEND

- Poorly-graded Sand
- Sandy Lean Clay
- Clayey Sand
- Sandy Fat Clay

- First Water Observation
- Second Water Observation

Groundwater levels are temporal. The levels shown are representative of the date and time of our exploration. Significant changes are possible over time. Water levels shown are as measured during and/or after drilling. In some cases, boring advancement methods mask the presence/absence of groundwater. See individual logs for details.

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ATTACHMENTS

EXPLORATION AND TESTING PROCEDURES

Field Exploration

Number of Borings	Boring Depth (feet)	Location
One	20	Planned stormwater pond
Two	10	
Eight	10	Planned parking/driveway areas
Eight	20	Planned building areas

Boring Layout and Elevations: Unless otherwise noted, Terracon personnel provided the boring layout. Coordinates were obtained with a handheld GPS unit (estimated horizontal accuracy of about ± 10 feet). Path clearing was required to reach all boring locations.

Subsurface Exploration Procedures: We advanced soil borings with a track-mounted drill rig using continuous hollow-stem flight augers. Four samples were obtained in the upper 10 feet of each boring and at intervals of 5 feet thereafter. Soil sampling was performed using split-barrel sampling procedures. In the split-barrel sampling procedure, a standard 2-inch outer diameter split-barrel sampling spoon is driven into the ground by a 140-pound automatic hammer falling a distance of 30 inches. The number of blows required to advance the sampling spoon the last 12 inches of a normal 18-inch penetration is recorded as the Standard Penetration Test (SPT) resistance value. The SPT resistance values, also referred to as N-values, are indicated on the boring logs at the test depths. Soil samples were sealed and taken to our soil laboratory for testing and classified by a geotechnical engineer. In addition, we observed and recorded groundwater levels during and after drilling.

Our exploration team prepared field boring logs as part of standard drilling operations including sampling depths, penetration distances, and other relevant sampling information. Field logs include visual classifications of materials encountered during drilling, and our interpretation of subsurface conditions between samples. Final boring logs, prepared from field logs, represent the geotechnical engineer's interpretation, and include modifications based on observations and laboratory tests.

Property Disturbance: We backfilled borings with auger cuttings after completion of drilling. Our services did not include repair of the site beyond backfilling our boreholes. Because backfill material often settles below the surface after a period, we recommend boreholes be checked periodically and backfilled, if necessary.

Geotechnical Engineering Report

East Haven Apartments ■ Rocky Mount, Edgecombe County, North Carolina

March 7, 2022 ■ Terracon Project No. 70225001



Laboratory Testing

The project engineer reviewed the field data and assigned laboratory tests to understand the engineering properties of the various soil strata, as necessary, for this project. Procedural standards noted below are for reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgment. Standards noted below include reference to other, related standards. Such references are not necessarily applicable to describe the specific test performed.

- ASTM D2216 Standard Test Methods for Laboratory Determination of Water (Moisture) Content of Soil and Rock by Mass
- ASTM D4318 Standard Test Methods for Liquid Limit, Plastic Limit, and Plasticity Index of Soils
- ASTM D422 Standard Test Method for Particle-Size Analysis of Soils

The laboratory testing program often included examination of soil samples by an engineer. Based on the material's texture and plasticity, we described and classified the soil samples in accordance with the Unified Soil Classification System.

PHOTOGRAPHY LOG



Site conditions near eastern portion of site



Site conditions near western portion of site

SITE LOCATION AND EXPLORATION PLANS

Contents:

Site Location Plan

Exploration Plan

Note: All attachments are one page unless noted above.

GEOTECHNICAL ENGINEERING REPORT

East Haven Apartments ■ Rocky Mount, Edgecombe County, North Carolina

March 7, 2022 ■ Terracon Project No. 70225001

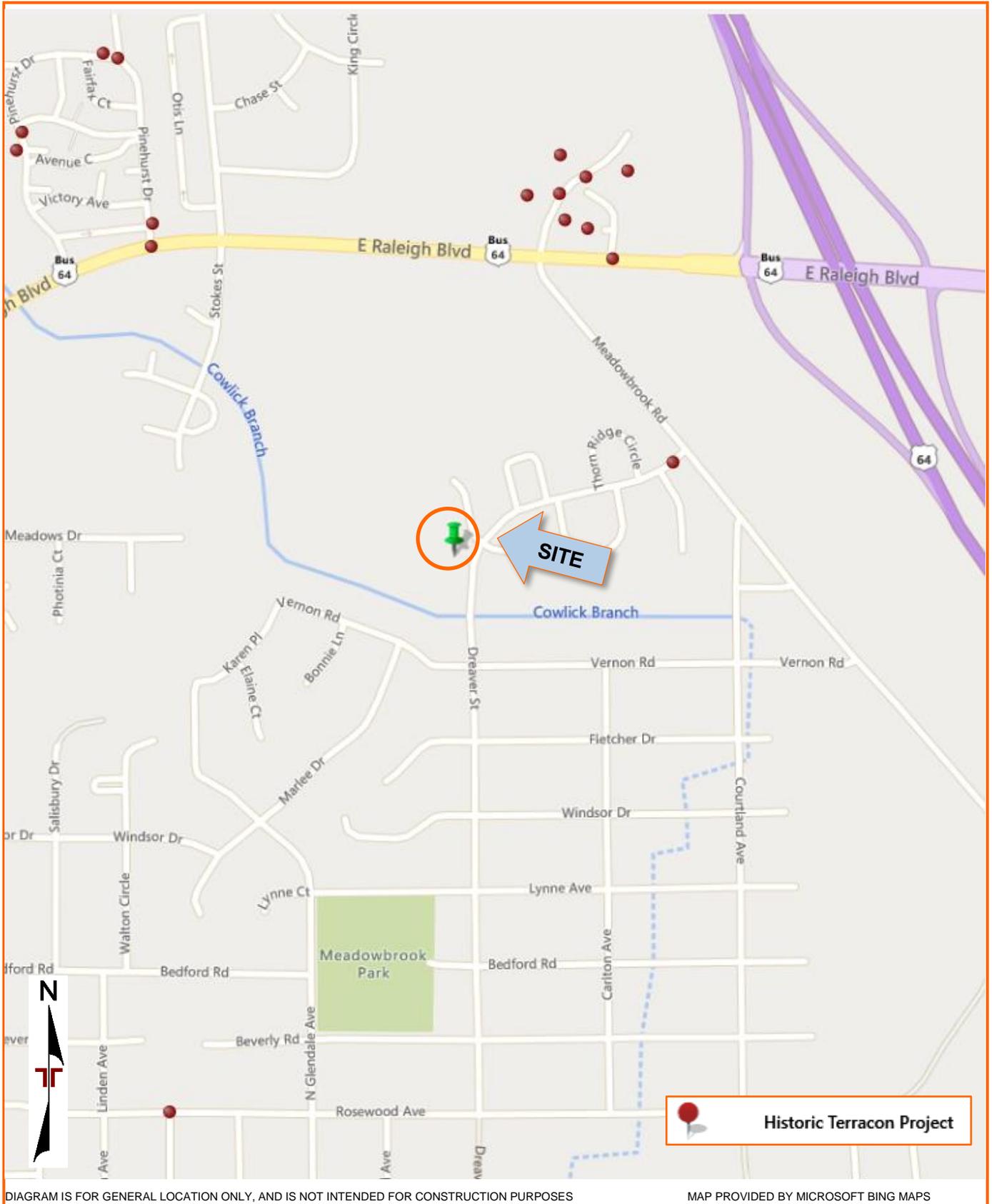


DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES

MAP PROVIDED BY MICROSOFT BING MAPS

GEOTECHNICAL ENGINEERING REPORT

East Haven Apartments ■ Rocky Mount, Edgecombe County, North Carolina

March 7, 2022 ■ Terracon Project No. 70225001

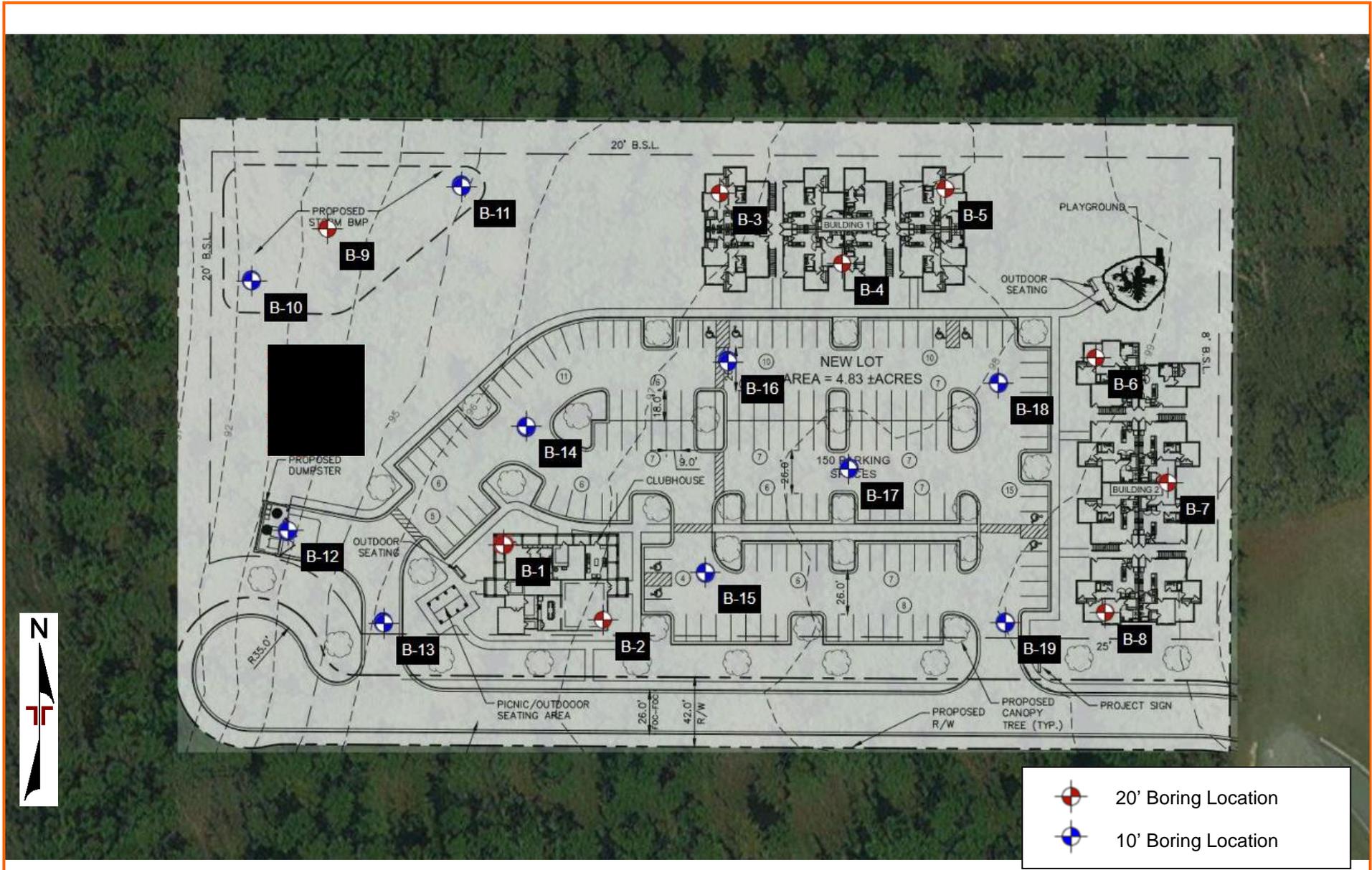


DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES

MAP PROVIDED BY MICROSOFT BING MAPS

EXPLORATION RESULTS

Contents:

Boring Logs (B-1 through B-19)

Atterberg Limits

Grain Size Distribution

Note: All attachments are one page unless noted above.

BORING LOG NO. B-1

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9432° Longitude: -77.7680°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
								LL-PL-PI		
		DEPTH								
2		CLAYEY SAND (SC) , brown and gray, loose to medium dense	5		X	2-3-5 N=8				
			6-4-8 N=12		X					
			3-3-6 N=9		X					
			2-4-5 N=9		X					
		12.0								
3		LEAN CLAY (CL) , dark gray, very soft	15	▽	X	WOH-WOH-WOH N=0				
			20.0	▽	X	WOH-WOH-WOH N=0	75.8	43-22-21		
Boring Terminated at 20 Feet			20							

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling
▽ After 24 hours

☒ Cave in depth



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-2

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9431° Longitude: -77.7678°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
		DEPTH							
2		CLAYEY SAND (SC) , brown, gray, and orange, loose to medium dense	5		X	5-7-7 N=14			
			10		X	8-5-7 N=12			
			15		X	4-5-11 N=16			
			17.0	▽	X	4-5-8 N=13			
			17.0	▽	X	1-3-5 N=8			
3		LEAN CLAY (CL) , dark gray, very soft	20		X	WOH-WOH-WOH N=0			
Boring Terminated at 20 Feet			20		X				

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

- ▽ While sampling
- ▽ After 24 hours

☒ Cave in depth



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

BORING LOG NO. B-3

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9438° Longitude: -77.7676°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
		DEPTH							
2		CLAYEY SAND (SC) , brown, gray, and orange, loose to medium dense	5			2-3-6 N=9			
			10	▽ ▽		1-3-4 N=7			
			15			2-6-5 N=11			
			20			2-1-3 N=4			
			12.0			2-2-3 N=5			
		POORLY GRADED SAND (SP) , trace clay, light gray, loose							
			17.0						
		LEAN CLAY (CL) , dark gray, very soft							
			20.0			WOH-WOH-WOH N=0			
		Boring Terminated at 20 Feet	20						

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling
▽ After 24 hours

☒ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-4

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9437° Longitude: -77.7673°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
		DEPTH							
2		CLAYEY SAND (SC) , brown and gray, loose to medium dense	5		X	2-3-3 N=6			
			5		X	3-3-4 N=7			
			5		X	4-7-7 N=14			
			10	▽	X	2-3-4 N=7			
			10	▽	X	2-2-2 N=4			
			15		X	WOH-WOH-WOH N=0			
3		FAT CLAY (CH) , brown, very soft	20		X	WOH-WOH-WOH N=0			
		Boring Terminated at 20 Feet	20		X	WOH-WOH-WOH N=0			

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling
▽ After 24 hours

☒ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-5

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9438° Longitude: -77.7671°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
								LL-PL-PI		
		DEPTH								
2		CLAYEY SAND (SC) , brown, gray, and orange, loose to medium dense	8.0	▽	X	2-2-3 N=5				
			5		X	3-5-7 N=12				
			10	▽	X	3-5-3 N=8				
1		POORLY GRADED SAND (SP) , trace clay, light gray, very loose	17.0		X	2-1-1 N=2				
			15		X	WOH-WOH-WOH N=0	36.8			
3		SANDY FAT CLAY (CH) , brown and orange, very soft	20.0		X	1-WOH-1 N=1	30.1	60-18-42		
Boring Terminated at 20 Feet			20							

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling
▽ After 24 hours

☒ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-6

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9435° Longitude: -77.7668°	DEPTH	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
									LL-PL-PI	PERCENT FINES
2		CLAYEY SAND (SC) , brown, gray, and orange, loose to medium dense		5			3-5-7 N=12			
				5	▽		2-4-6 N=10			
				10	▽		3-3-3 N=6			
				10	▽		1-1-10 N=11			
			12.0		☒					
1		CLAYEY SAND (SC) , tan, gray, and orange, very loose		15			1-1-2 N=3			
				20			1-1-2 N=3			
		Boring Terminated at 20 Feet		20						

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS	
▽	While sampling
▽	After 24 hours
☒	Cave in depth

2401 Brentwood Rd Ste 107
Raleigh, NC

Boring Started: 02-08-2022	Boring Completed: 02-08-2022
Drill Rig: Geoprobe 7822	Driller: MP
Project No.: 70225001	

BORING LOG NO. B-7

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9433° Longitude: -77.7666°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
		CLAYEY SAND (SC) , brown and gray, loose to medium dense							
			2		X	2-2-3 N=5			
			5		X	3-5-10 N=15			
			8	▽	X	3-3-5 N=8			
			10	▽	X	2-2-3 N=5			
			15	X	X	2-4-5 N=9			
		17.0							
		FAT CLAY (CH) , brown, soft							
		20.0				1-2-2 N=4			
		Boring Terminated at 20 Feet							

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling
▽ After 24 hours

☒ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

BORING LOG NO. B-8

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9431° Longitude: -77.7668°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
								LL-PL-PI		
		DEPTH								
2		CLAYEY SAND (SC) , brown and gray, loose to medium dense	5.5		X	2-3-6 N=9				
			5		X	5-11-12 N=23				
		SANDY LEAN CLAY (CL) , light gray and tan, soft to stiff			X	3-3-6 N=9	16.2	35-18-17	51	
				▽	X	1-2-2 N=4				
4					X	3-3-3 N=6				
			17.0		▽					
3		LEAN CLAY (CL) , dark gray, very soft			X	WOH-WOH-WOH N=0	53.9			
			20.0		X					
		Boring Terminated at 20 Feet								

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling
▽ After 24 hours

☒ Cave in depth



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-9

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9437° Longitude: -77.7684°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
								LL-PL-PI		
		DEPTH								
		POORLY GRADED SAND (SP) , trace clay, brown and tan, loose				3-3-2 N=5				
2		CLAYEY SAND (SC) , brown and tan, loose to medium dense	3.0			4-8-12 N=20				
		POORLY GRADED SAND (SP) , trace clay, brown and orange, very loose	8.0	▽		2-3-3 N=6				
1		POORLY GRADED SAND (SP) , trace clay, brown and orange, loose	12.0	▽		1-1-1 N=2				
2		POORLY GRADED SAND (SP) , trace clay, brown and orange, loose	17.0			1-1-3 N=4				
3		FAT CLAY (CH) , brown and orange, very soft	20.0			WOH-WOH-WOH N=0				
Boring Terminated at 20 Feet			20							

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling

☒ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-10

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9436° Longitude: -77.7685°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
DEPTH									
	●●●●●	POORLY GRADED SAND (SP) , trace clay, brown and gray, loose	3.0		X	3-3-3 N=6			
	/ / / / /	CLAYEY SAND (SC) , brown and gray, medium dense	5.0		X	8-12-10 N=22			
	●●●●●	POORLY GRADED SAND (SP) , trace clay, light gray, loose	8.0	▽	X	5-6-6 N=12			
	●●●●●	POORLY GRADED SAND (SP) , trace clay, light gray, loose	10.0	▽	X	3-3-3 N=6			
Boring Terminated at 10 Feet									

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling

■ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-11

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	PERCENT FINES
		Latitude: 35.9438° Longitude: -77.7681°						LL-PL-PI	
		DEPTH							
2		CLAYEY SAND (SC) , brown, gray, and orange, loose to medium dense	5	▽	X	5-9-12 N=21	9.5	30-19-11	29
			5	X	X	3-8-9 N=17			
			8.0	▽	X	2-3-2 N=5			
3		SANDY FAT CLAY (CH) , brown and orange, very soft	10		X	1-WOH-1 N=1			
		Boring Terminated at 10 Feet							

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling

☒ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

BORING LOG NO. B-12

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9432° Longitude: -77.7685°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
		DEPTH							
		POORLY GRADED SAND (SP) , trace clay, brown and gray, medium dense	3.0		X	3-5-7 N=12			
		CLAYEY SAND (SC) , brown and gray, loose to medium dense	5.0		X	4-5-7 N=12			
			7.5		X	4-5-8 N=13			
			9.5		X	4-4-5 N=9			
		Boring Terminated at 10 Feet	10.0						

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

While sampling

Cave in depth



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

BORING LOG NO. B-13

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9430° Longitude: -77.7683°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
								LL-PL-PI		
		DEPTH								
1		POORLY GRADED SAND (SP) , trace clay, brown and gray, very loose	3.0		X	WOH-WOH-WOH N=0				
2		CLAYEY SAND (SC) , brown, gray, and orange, loose to medium dense	10.0	5	X	2-2-3 N=5				
		Boring Terminated at 10 Feet	10		X	4-7-11 N=18				
					X	6-8-6 N=14				

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

No free water observed

Cave in depth



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-14

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	PERCENT FINES
		DEPTH						LL-PL-PI	
		CLAYEY SAND (SC) , brown, gray, and tan, loose to medium dense	2			2-2-3 N=5			
			5			2-3-4 N=7			
			10			4-6-8 N=14			
			10.0			2-2-3 N=5			
		Boring Terminated at 10 Feet							

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

No free water observed



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

Cave in depth

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

BORING LOG NO. B-15

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	PERCENT FINES
		DEPTH						LL-PL-PI	
		CLAYEY SAND (SC) , brown, gray, and tan, loose to medium dense							
2			5		X	1-2-5 N=7			
			5	X	X	3-7-10 N=17			
					X	5-6-5 N=11			
					X	1-2-3 N=5			
			10.0						
		Boring Terminated at 10 Feet							

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

No free water observed



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

Cave in depth

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

BORING LOG NO. B-16

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9435° Longitude: -77.7675°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
								LL-PL-PI		
		DEPTH								
1		CLAYEY SAND (SC) , brown, very loose	3.0		X	1-1-1 N=2				
2		CLAYEY SAND (SC) , brown, gray, and orange, medium dense	5.0	X	X	2-4-6 N=10				
4		SANDY FAT CLAY (CH) , gray, medium stiff	8.0		X	5-7-7 N=14				
		Boring Terminated at 10 Feet	10.0		X	2-2-6 N=8				

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (if any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

No free water observed

Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-17

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9433° Longitude: -77.7673°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
								LL-PL-PI		
		DEPTH								
1		CLAYEY SAND (SC) , brown and gray, very loose	3.0		X	2-1-2 N=3	14.9	38-21-17	27	
2		CLAYEY SAND (SC) , brown and gray, medium dense	5.5	5	X	2-5-9 N=14				
4		SANDY LEAN CLAY (CL) , light gray and tan, medium stiff to stiff	10.0		X	6-5-5 N=10				
		Boring Terminated at 10 Feet			X	1-3-4 N=7				

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

No free water observed

Cave in depth



Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

BORING LOG NO. B-18

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9434° Longitude: -77.7670°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
		DEPTH							
2		CLAYEY SAND (SC) , brown, loose to medium dense	5.5		X	3-3-3 N=6			
						4-8-12 N=20			
4		SANDY LEAN CLAY (CL) , light gray and tan, medium stiff to stiff	10.0		X	8-4-4 N=8			
				▽		2-6-6 N=12			
		Boring Terminated at 10 Feet	10						

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

▽ While sampling

☒ Cave in depth



Boring Started: 02-08-2022

Boring Completed: 02-08-2022

Drill Rig: Geoprobe 7822

Driller: MP

Project No.: 70225001

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

BORING LOG NO. B-19

PROJECT: East Haven Apartments

CLIENT: Kelley Development Company LLC
Raleigh, NC

SITE: 1040 Dreaver Street
Rocky Mount, NC

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 35.9430° Longitude: -77.7670°	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
								LL-PL-PI	PERCENT FINES
		DEPTH							
2		CLAYEY SAND (SC) , brown, loose	5.5		X	2-2-3 N=5			
4		SANDY LEAN CLAY (CL) , light gray and tan, soft to medium stiff	10.0		X	3-3-6 N=9			
		Boring Terminated at 10 Feet	10		X	6-4-2 N=6			
					X	1-2-1 N=3			

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
2 1/4" HSA

See [Exploration and Testing Procedures](#) for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with auger cuttings upon completion.

See [Supporting Information](#) for explanation of symbols and abbreviations.

WATER LEVEL OBSERVATIONS

No free water observed



2401 Brentwood Rd Ste 107
Raleigh, NC

Boring Started: 02-09-2022

Boring Completed: 02-09-2022

Drill Rig: Geoprobe 7822

Driller: MP

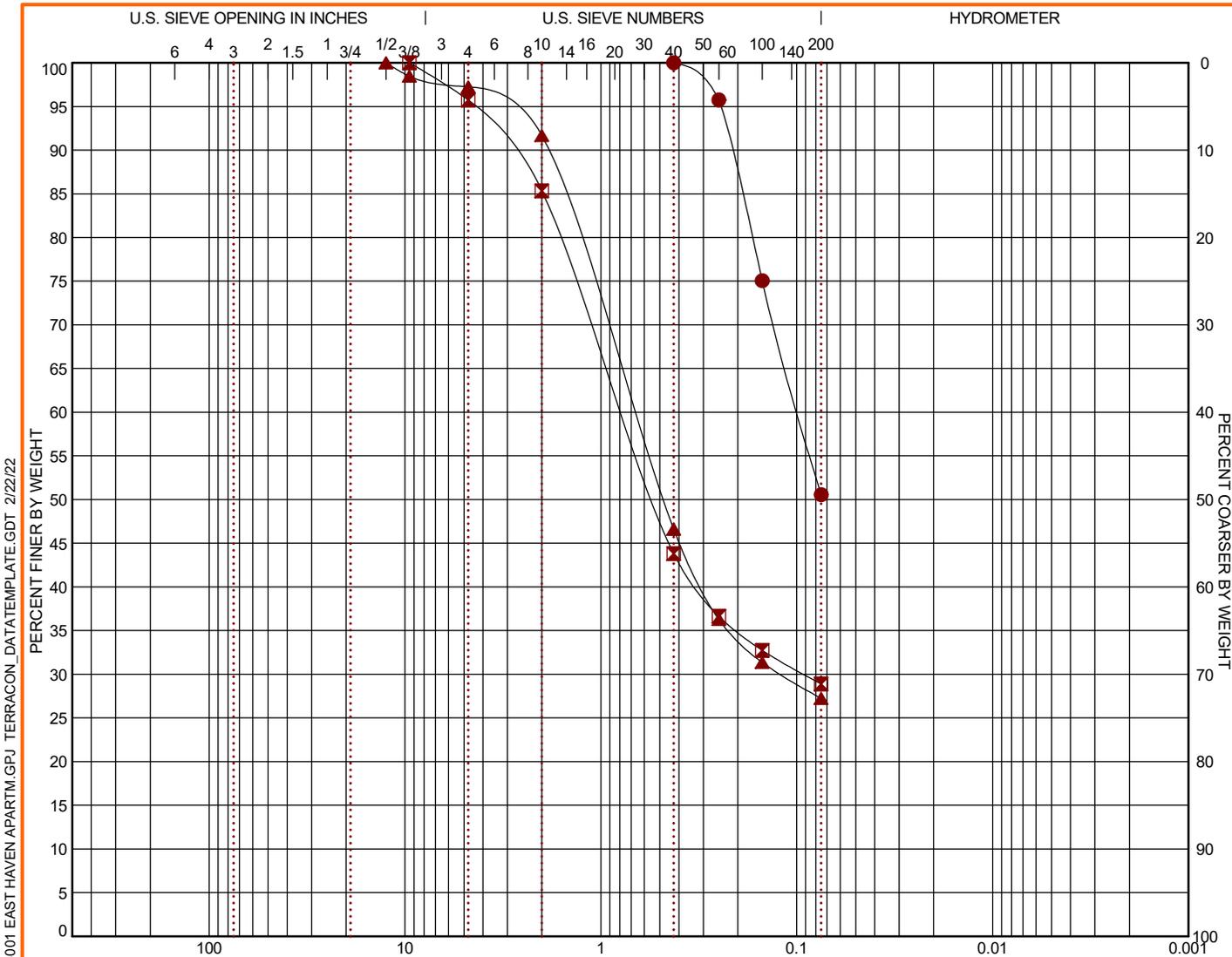
Project No.: 70225001

Cave in depth

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_ 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATATEMPLATE.GDT 2/24/22

GRAIN SIZE DISTRIBUTION

ASTM D422 / ASTM C136



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

	BORING ID	DEPTH	% COBBLES	% GRAVEL	% SAND	% SILT	% FINES	% CLAY	USCS
●	B-8	6 - 7.5	0.0	0.0	49.4		50.6		CL
☒	B-11	1 - 2.5	0.0	4.3	66.8		28.9		SC
▲	B-17	1 - 2.5	0.0	2.8	70.0		27.2		SC

GRAIN SIZE			
	●	☒	▲
D ₆₀	0.098	0.777	0.674
D ₃₀		0.092	0.119
D ₁₀			

●		☒		▲	
Sieve	% Finer	Sieve	% Finer	Sieve	% Finer
#40	100.0	3/8"	100.0	1/2"	100.0
#60	95.75	#4	95.73	3/8"	98.46
#100	75.06	#10	85.33	#4	97.24
#200	50.56	#40	43.81	#10	91.67
		#60	36.63	#40	46.6
		#100	32.74	#60	36.28
		#200	28.9	#100	31.35
				#200	27.24

SOIL DESCRIPTION	
●	SANDY LEAN CLAY (CL)
☒	CLAYEY SAND (SC)
▲	CLAYEY SAND (SC)

COEFFICIENTS			
	●	☒	▲
C _c			
C _u			

REMARKS	
●	
☒	
▲	

LABORATORY TESTS ARE NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GRAIN SIZE: USCS 1 70225001 EAST HAVEN APARTM.GPJ TERRACON_DATA TEMPLATE.GDT 2/22/22

PROJECT: East Haven Apartments

SITE: 1040 Dreaver Street
Rocky Mount, NC



PROJECT NUMBER: 70225001

CLIENT: Kelley Development Company LLC
Raleigh, NC

SUPPORTING INFORMATION

Contents:

General Notes

Unified Soil Classification System

Note: All attachments are one page unless noted above.

SAMPLING	WATER LEVEL	FIELD TESTS
 Standard Penetration Test	 Water Initially Encountered  Water Level After a Specified Period of Time  Water Level After a Specified Period of Time Water levels indicated on the soil boring logs are the levels measured in the borehole at the times indicated. Groundwater level variations will occur over time. In low permeability soils, accurate determination of groundwater levels is not possible with short term water level observations.	(N) Standard Penetration Test Resistance (Blows/Ft.) (HP) Hand Penetrometer (T) Torvane (DCP) Dynamic Cone Penetrometer (UC) Unconfined Compressive Strength (PID) Photo-ionization Detector (OVA) Organic Vapor Analyzer

DESCRIPTIVE SOIL CLASSIFICATION

Soil classification is based on the Unified Soil Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

LOCATION AND ELEVATION NOTES

Unless otherwise noted, Latitude and Longitude are approximately determined using a hand-held GPS device. The accuracy of such devices is variable. Surface elevation data annotated with +/- indicates that no actual topographical survey was conducted to confirm the surface elevation. Instead, the surface elevation was approximately determined from topographic maps of the area.

STRENGTH TERMS

RELATIVE DENSITY OF COARSE-GRAINED SOILS		CONSISTENCY OF FINE-GRAINED SOILS		
(More than 50% retained on No. 200 sieve.) Density determined by Standard Penetration Resistance		(50% or more passing the No. 200 sieve.) Consistency determined by laboratory shear strength testing, field visual-manual procedures or standard penetration resistance		
Descriptive Term (Density)	Standard Penetration or N-Value Blows/Ft.	Descriptive Term (Consistency)	Unconfined Compressive Strength Qu, (tsf)	Standard Penetration or N-Value Blows/Ft.
Very Loose	0 - 3	Very Soft	less than 0.25	0 - 1
Loose	4 - 9	Soft	0.25 to 0.50	2 - 4
Medium Dense	10 - 29	Medium Stiff	0.50 to 1.00	4 - 8
Dense	30 - 50	Stiff	1.00 to 2.00	8 - 15
Very Dense	> 50	Very Stiff	2.00 to 4.00	15 - 30
		Hard	> 4.00	> 30

RELATIVE PROPORTIONS OF SAND AND GRAVEL		RELATIVE PROPORTIONS OF FINES	
Descriptive Term(s) of other constituents	Percent of Dry Weight	Descriptive Term(s) of other constituents	Percent of Dry Weight
Trace	<15	Trace	<5
With	15-29	With	5-12
Modifier	>30	Modifier	>12

GRAIN SIZE TERMINOLOGY		PLASTICITY DESCRIPTION	
Major Component of Sample	Particle Size	Term	Plasticity Index
Boulders	Over 12 in. (300 mm)	Non-plastic	0
Cobbles	12 in. to 3 in. (300mm to 75mm)	Low	1 - 10
Gravel	3 in. to #4 sieve (75mm to 4.75 mm)	Medium	11 - 30
Sand	#4 to #200 sieve (4.75mm to 0.075mm)	High	> 30
Silt or Clay	Passing #200 sieve (0.075mm)		

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A				Soil Classification		
				Group Symbol	Group Name ^B	
Coarse-Grained Soils: More than 50% retained on No. 200 sieve	Gravels: More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels: Less than 5% fines ^C	$Cu \geq 4$ and $1 \leq Cc \leq 3$ ^E	GW	Well-graded gravel ^F	
			$Cu < 4$ and/or $[Cc < 1$ or $Cc > 3.0]$ ^E	GP	Poorly graded gravel ^F	
		Gravels with Fines: More than 12% fines ^C	Fines classify as ML or MH	GM	Silty gravel ^{F, G, H}	
			Fines classify as CL or CH	GC	Clayey gravel ^{F, G, H}	
	Sands: 50% or more of coarse fraction passes No. 4 sieve	Clean Sands: Less than 5% fines ^D	$Cu \geq 6$ and $1 \leq Cc \leq 3$ ^E	SW	Well-graded sand ^I	
			$Cu < 6$ and/or $[Cc < 1$ or $Cc > 3.0]$ ^E	SP	Poorly graded sand ^I	
		Sands with Fines: More than 12% fines ^D	Fines classify as ML or MH	SM	Silty sand ^{G, H, I}	
			Fines classify as CL or CH	SC	Clayey sand ^{G, H, I}	
Fine-Grained Soils: 50% or more passes the No. 200 sieve	Silts and Clays: Liquid limit less than 50	Inorganic:	$PI > 7$ and plots on or above "A"	CL	Lean clay ^{K, L, M}	
			$PI < 4$ or plots below "A" line ^J	ML	Silt ^{K, L, M}	
		Organic:	Liquid limit - oven dried	< 0.75	OL	Organic clay ^{K, L, M, N}
			Liquid limit - not dried			Organic silt ^{K, L, M, O}
	Silts and Clays: Liquid limit 50 or more	Inorganic:	PI plots on or above "A" line	CH	Fat clay ^{K, L, M}	
			PI plots below "A" line	MH	Elastic Silt ^{K, L, M}	
		Organic:	Liquid limit - oven dried	< 0.75	OH	Organic clay ^{K, L, M, P}
			Liquid limit - not dried			Organic silt ^{K, L, M, Q}
Highly organic soils:	Primarily organic matter, dark in color, and organic odor			PT	Peat	

^A Based on the material passing the 3-inch (75-mm) sieve.

^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^C Gravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

^D Sands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay.

^E $Cu = D_{60}/D_{10}$ $Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$

^F If soil contains $\geq 15\%$ sand, add "with sand" to group name.

^G If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^H If fines are organic, add "with organic fines" to group name.

^I If soil contains $\geq 15\%$ gravel, add "with gravel" to group name.

^J If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

^K If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

^L If soil contains $\geq 30\%$ plus No. 200 predominantly sand, add "sandy" to group name.

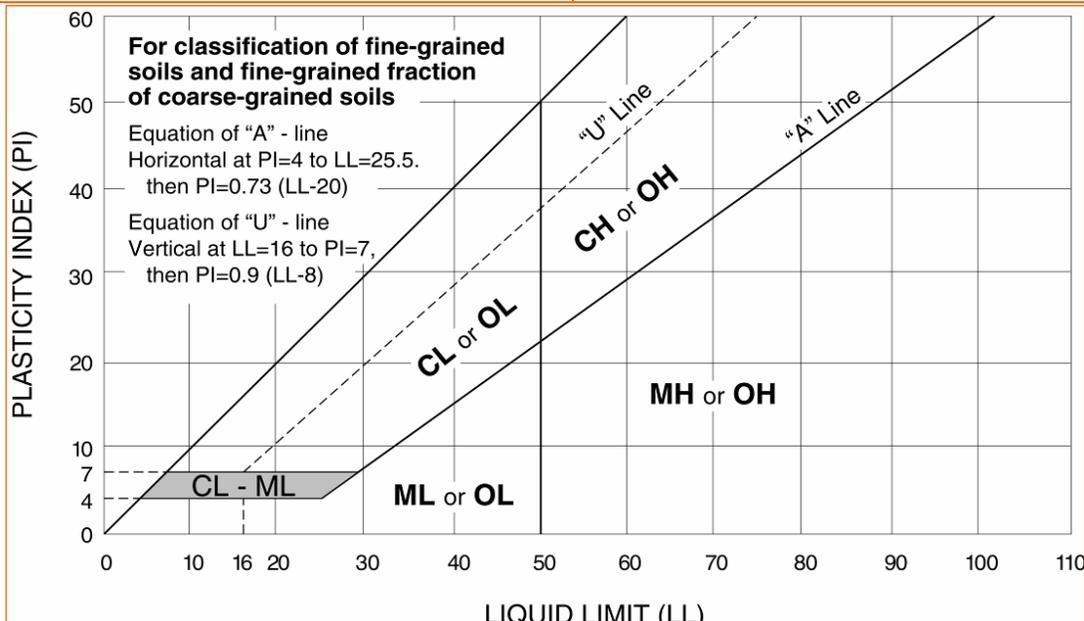
^M If soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name.

^N $PI \geq 4$ and plots on or above "A" line.

^O $PI < 4$ or plots below "A" line.

^P PI plots on or above "A" line.

^Q PI plots below "A" line.





November 29, 2021

Edgecombe County Public Schools
2311 North Main Street
Tarboro, North Carolina 27886

Attention: Dr. Valerie Bridges, Superintendent

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Dr. Bridges:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Edgecombe County Public Schools regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. To facilitate compliance with the National Environmental Policy Act of 1969 and HUD Regulations at 24 CFR Part 50, an Environmental Assessment must be completed prior to releasing funds for the East Haven Apartments project. This letter is a formal request to determine what effect(s) the proposed activity may have on operations and services provided by Edgecombe County Public Schools or resources managed by Edgecombe County Public Schools.

Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

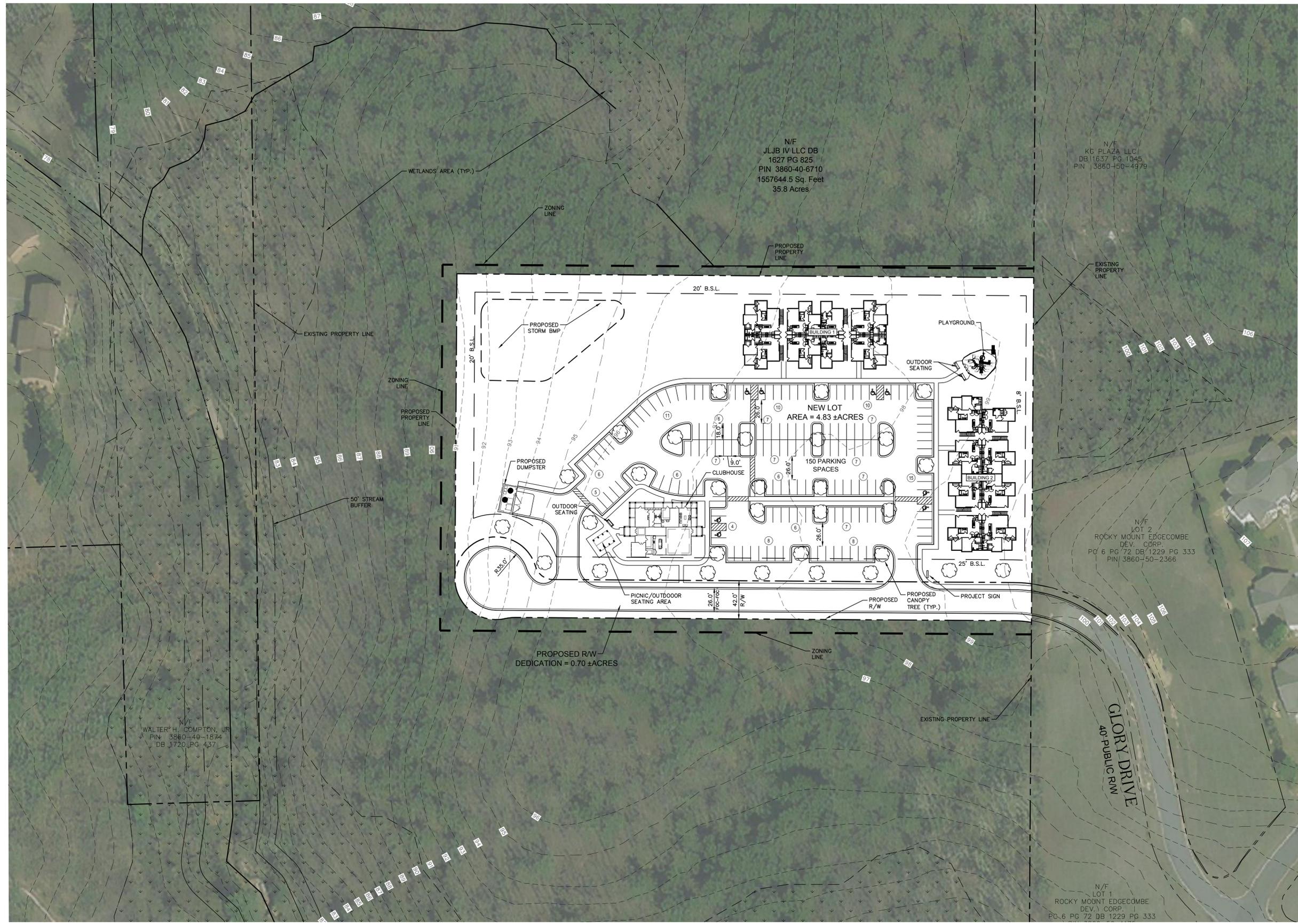
SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

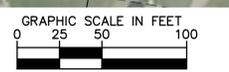
N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-150-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

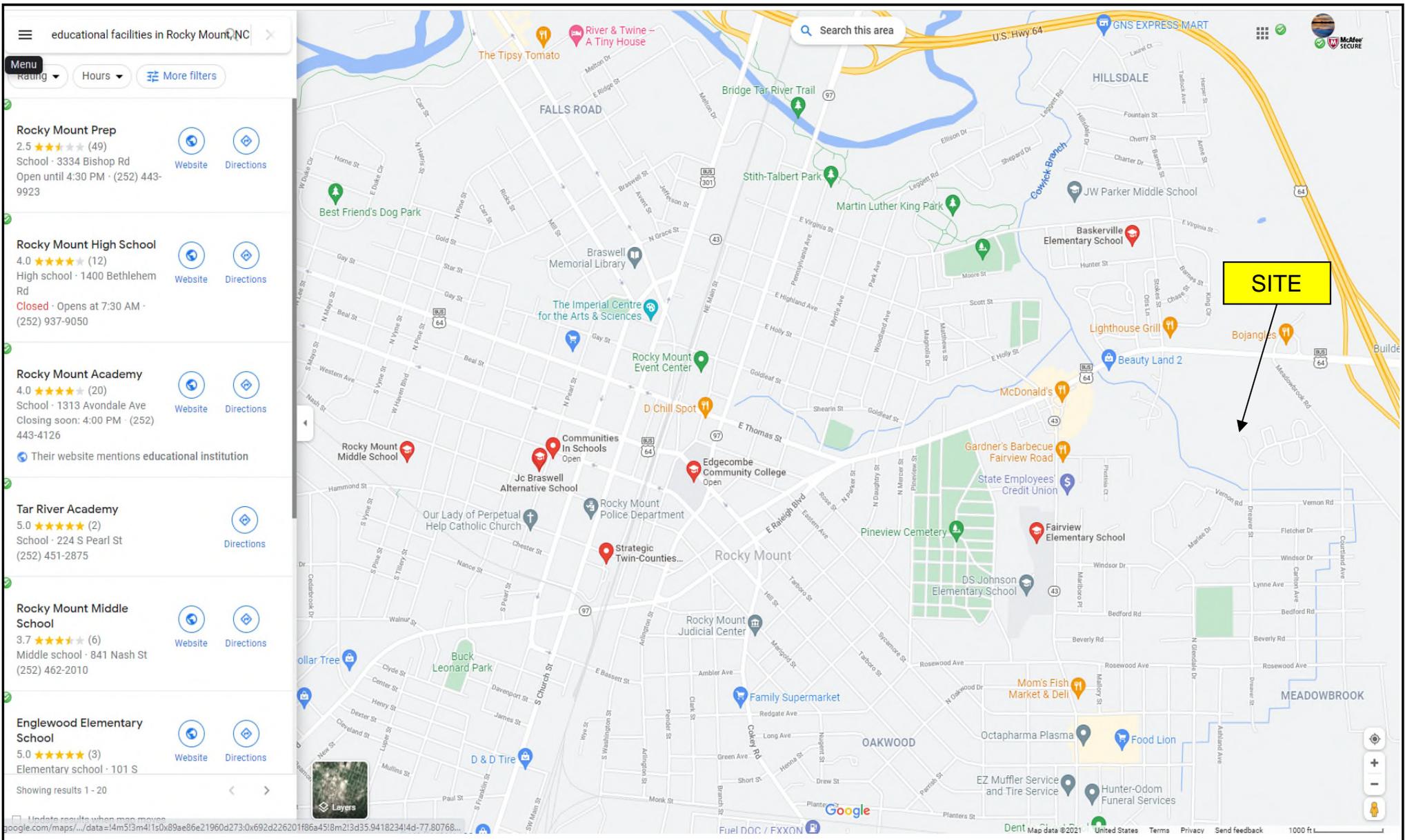
PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY



Source: googlemaps.com

SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-12-21



EDUCATIONAL FACILITIES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., SOUTH CAROLINA

PROJECT NO: **218540**



About ECPS

Edgecombe County Public Schools serves over 6,200 students in grades K-12.

Locations

We have two administrative buildings located in Tarboro North Carolina. Our Central Services Building is located at 2311 North Main Street Tarboro, NC 27886. This building used to be the former Central Services Contracting Company. We also still maintain our former Central Services building located at 2305 North Main Street Tarboro, NC 27886.

Central Services Building (Barnhill Building)

Address and Phone Number

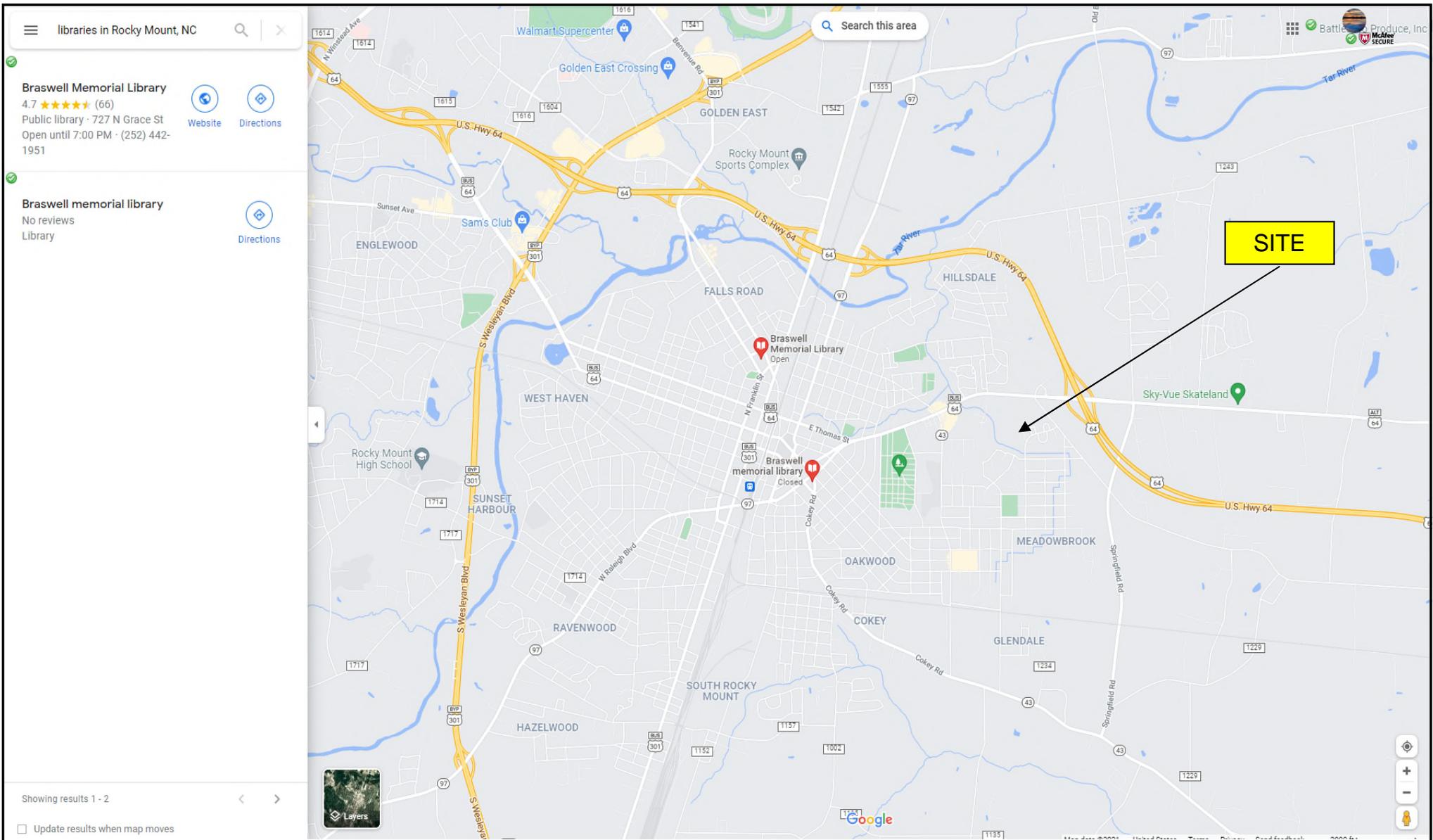
2311 North Main Street Tarboro, NC 27886
Phone: (252) 641-2600

Departments at this location:

- Accountability & Testing
- Community Relations
- Curriculum & Instruction (Elem. Middle, & High)
- Exception Children
- Finance
- Human Resources
- Innovation
- Student Support Services
- Superintendent's Office
- Wallace Grant
- Maintenance is located right beside this building at 2305 North Main Street Tarboro, NC 27886

- Bulluck
- Carver
- Coker-Wimberly
- Early College
- Martin Millennium
- North Edgecombe
- Pattillo
- Phillips
- Princeville
- South Edgecombe
- SouthWest Edgecombe
- Stocks
- Tarboro
- West Edgecombe
- ECPS Schools Directory

- About ECPS
- Futures Reimagined
- Our Path Forward
- Primary Goals



Source: googlemaps.com

SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-12-21



LIBRARIES FACILITIES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., SOUTH CAROLINA

PROJECT NO: **218540**





Braswell Memorial Library: Home

Public Web Site

- [Home](#) ▾
- [eBooks](#) 
- [Digital Resources](#)
- [Adults](#)
- [Teens](#)
- [Children](#) ▾
- [Local History](#) ▾
- [Friends](#)
- [About Us](#) ▾
- [Your Account](#) 
- [Meeting Rooms](#)
- [Branches](#)

Braswell Library Welcomes You

Hours of operation will be as follows:

Monday-Thursday 9am-8pm

Friday-Saturday 9am-5pm

Passport Services are Monday-Tuesday 10am-2pm by appointment

Library Catalog

[Library Catalog Search](#)

[Purchase Request](#)

 [View Tutorials](#)

Printing at the Library

To print to Braswell Library owned printers (printers at main library only) from your computer, smart phone, or tablet from anywhere click on the image below:

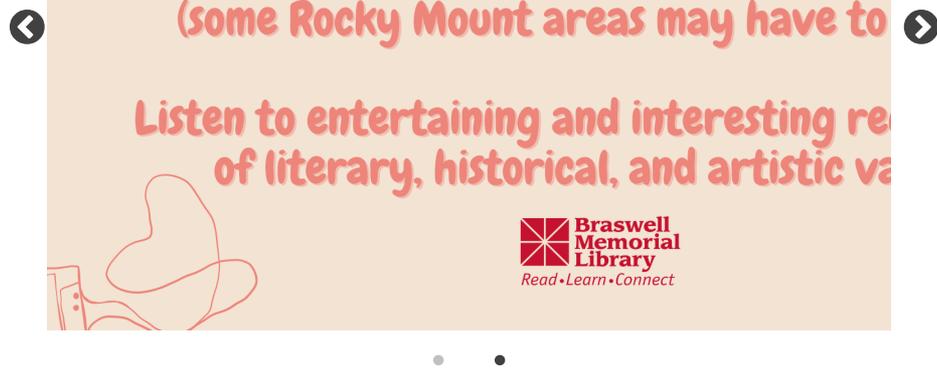


(Normal library printing charges apply)

Braswell Library on Social Media

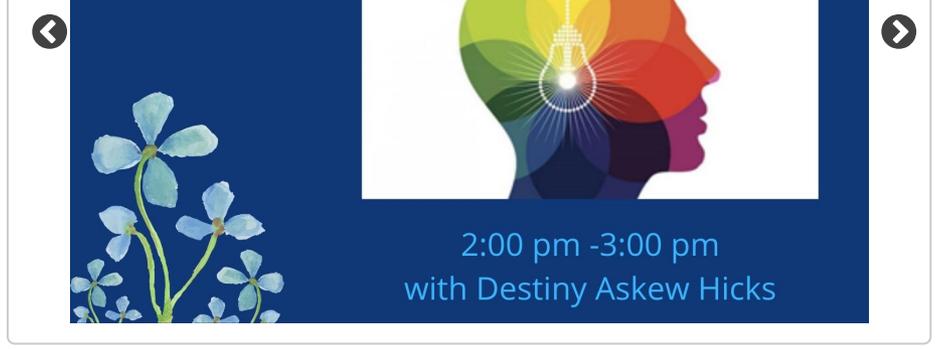
- Facebook  
- Twitter  
- Instagram  

DIAL-A-STOR
252-888-8809
(some Rocky Mount areas may have to...)
Listen to entertaining and interesting recordings of literary, historical, and artistic...
Braswell Memorial Library
Read • Learn • Connect

A promotional banner for "DIAL-A-STOR" featuring a stylized telephone handset graphic and the library's logo.

Mental Health Training Program Series

Substance Abuse
October 21
Warner Meeting Room
2:00 pm -3:00 pm
with Destiny Askew Hicks

A poster for a mental health training program. It features a stylized profile of a human head with a lightbulb inside, symbolizing thought and learning. The background is dark blue with a floral pattern at the bottom left.

Newest Arrivals



The Last Graduate: A Novel (TI



Digital Resource How-To's



OverDrive | Libby -

 View Tutorials

A vertical text label with a lightbulb icon, indicating a link to view tutorials.

Hours of Operation - Main Library

Hours:

Monday -	9:00am - 8:00pm
Thursday	9:00am - 8:00pm
Friday	9:00am - 5:00pm
Saturday	9:00am - 5:00pm
Sunday	Closed

Popular Resources

Sign up for
Free Weekly Alerts!



Click Here to Sign Up For
Our Email Newsletter

Streaming Videos on Demand



Streaming Videos on Demand

Find videos [here](#)

Use your library card number to login.

Additionally, you may check out a streaming video channel available under Extras in Libby (available for viewing through your browser or app) One checkout lasts seven days and may be streamed on demand to almost any digital device.

The Extras channels:

- **Craftsy** - basic to advanced instructional crafting videos for learning techniques for fabric and yarn crafts, baking, drawing, and more.
- **The Great Courses** - engaging and understandable lectures by esteemed professors, professionals, and experts in topics ranging from history, better living, science, language learning, and much more.
- **INDIEFLIX** - pop culture movie favorites, box office hits, award-winning feature films, documentaries, and shorts.
- **Qello Concerts by Stingray** - the world's largest collection of full-length concerts and music documentaries.

NCLive Home Grown Ebook Collection



Home Grown eBooks.

Fiction & nonfiction titles from North Carolina publishers

Brought to you by NCLive

Perfect for book clubs: Home Grown provides free, unlimited copies and access—no waiting in line—for books, many with Reader's Guides. Choose Nash County/Braswell Memorial as your library and read!



View Tutorials

Staff Only

- Remote Email Access
- TimeClock Plus (View Only)

Search NCLIVE

- NCLIVE!  [NCLIVE](#) 
Free access to ebooks, audiobooks, videos, online magazines, newspapers, journals, and more. (Select Nash County Library from the drop down box).

NewsBank



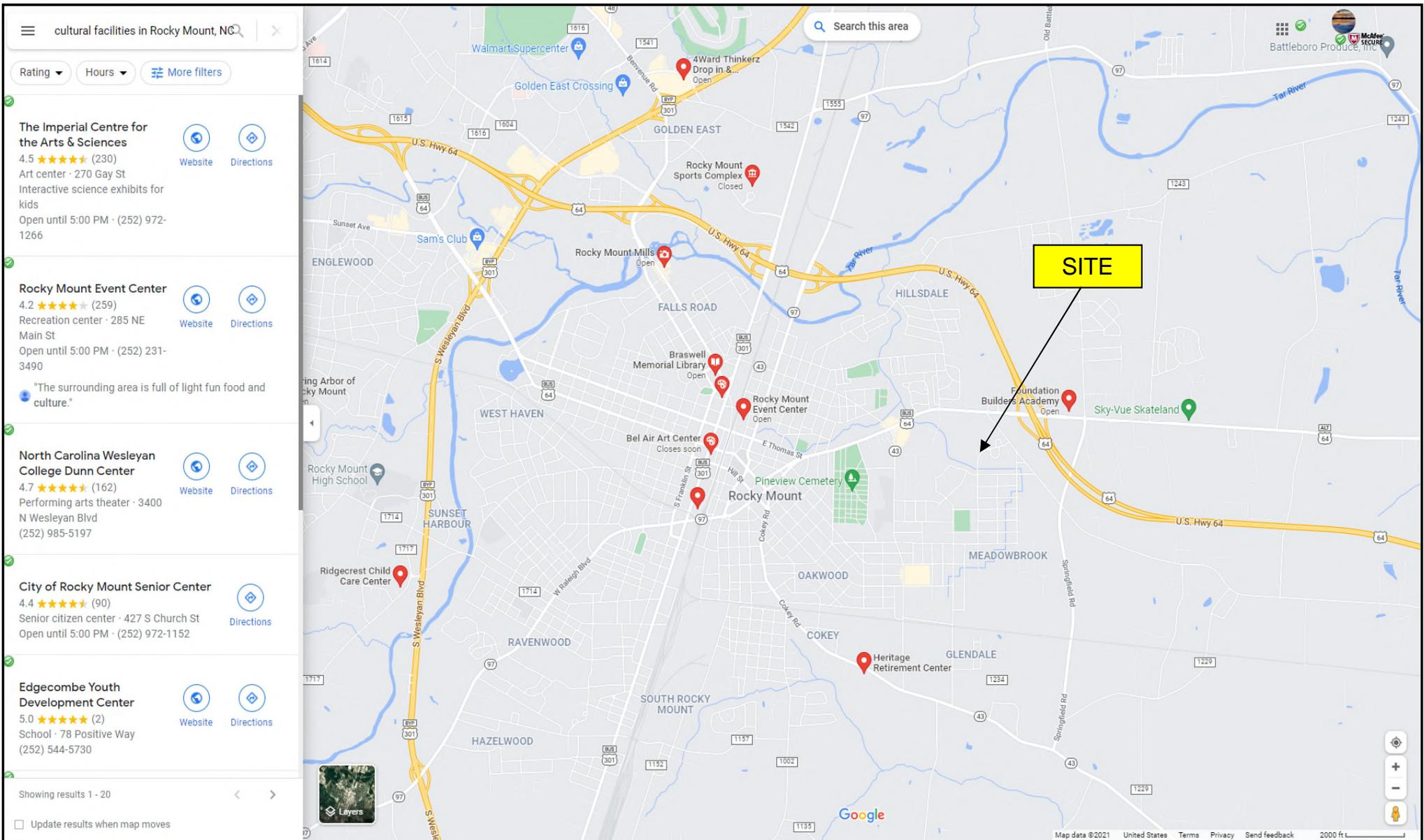
Braswell Library patrons can remotely access many local, state, and nationwide newspapers 24/7 through NewsBank. Just click the picture above and have your library card ready! For more information and links to our other digital resources [click here](#)



View Tutorials

Support Your Library!

Click here to learn how you can help support your library!



Source: googlemaps.com

SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-12-21



CULTURAL FACILITIES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., SOUTH CAROLINA

PROJECT NO: **218540**



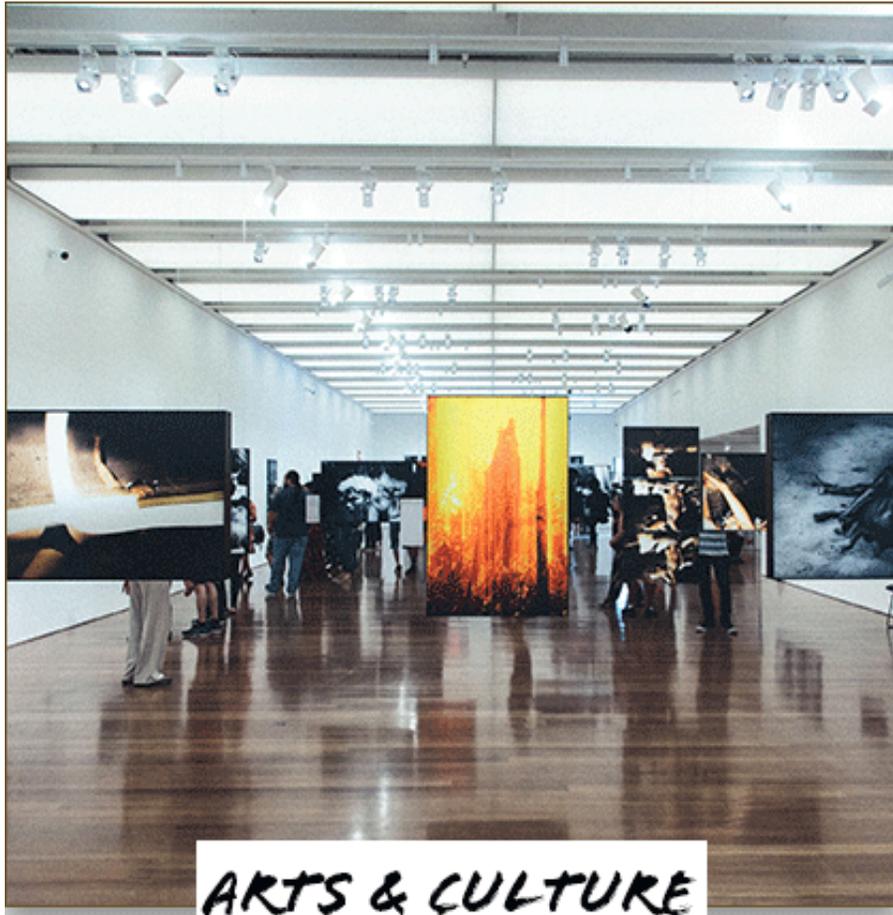
Things to Do

Plan a day trip, a weekend visit, or the big move here, there's plenty of things to do in Edgecombe County. We're home to a host of activities, happenings, sports tournaments and art museums. Stop by the Pinetops Tractor Pull and cheer for your favorite big rigged tractor. Shop and dine along the streets of downtown Tarboro for antiques, hand-made crafts, unique designs and gifts for any occasion. Pack a picnic basket and listen to the North Carolina Symphony on the Town Common or grab the kids and watch a family movie under the stars. Drive through the country and take in the picturesque views of cotton, tobacco and soybeans in the fields. Paddle the Tar River towards a new destination.



EAT & DRINK

Wherever you go
and wherever you
travel, you'll
experience the Edge
here.



Edgecombe County, North Carolina



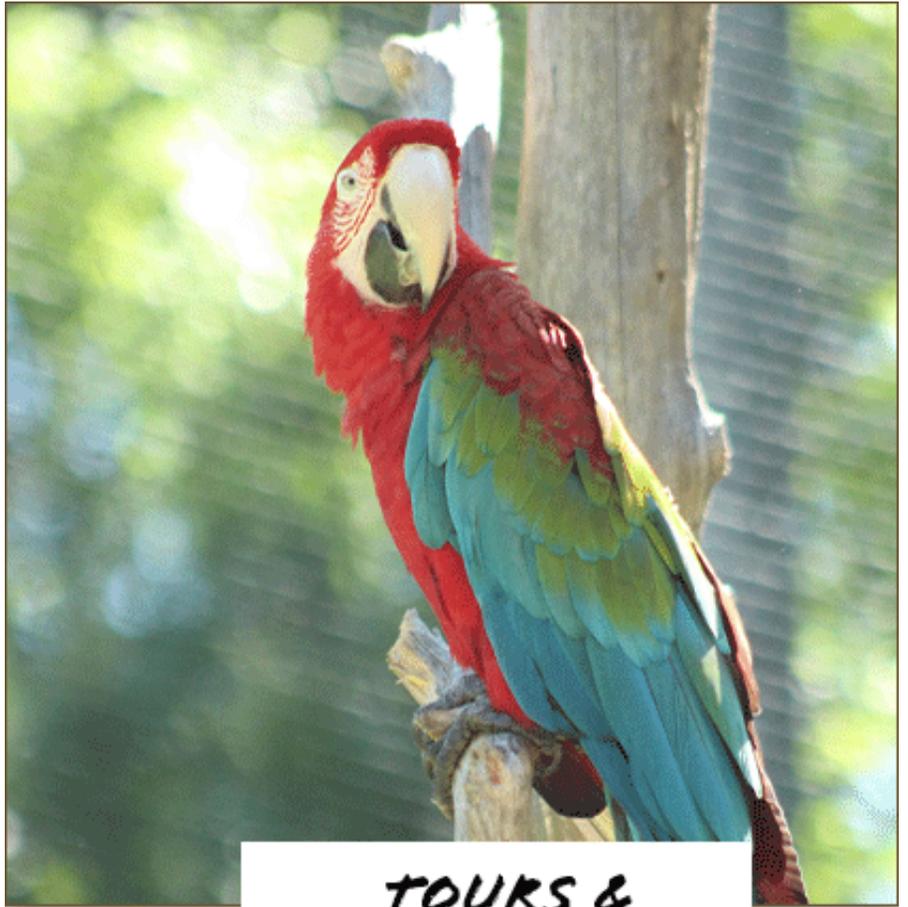
ENTERTAINMENT



**HISTORY &
HERITAGE**



SHOPPING



**TOURS &
ATTRACTIONS**

Dining and Brewery

Whether you're looking for a casual night with friends, a gathering of family around the table, or a meal on the go, Edgecombe County has the perfect dish served up for you. Traditional Southern buffets with barbeque and collards, plates of sushi rolls with chopsticks, fiestas with burritos and enchiladas, or corner stops with coffee and ice cream; we've got you covered.

Call ahead for reservations or drop in. Edgecombe County has the state's famous North Carolina barbeque to a nationally known five-star restaurant. Pull up a chair and joins us at the table.



On The Square Tarboro NC

from [Bill Goode Photography](#)

03:08 |



<u>33 Grill Oyster Shack*</u>	<u>3309 NW Hwy 33, Tarboro</u>	252-823-1948
<u>Abrams-Tarboro*</u>	<u>609 West Wilson Street, Tarboro</u>	252-823-4522
<u>Abrams-Pinetops</u>	<u>201 E Hamlet St, Pinetops</u>	252-827-5734
<u>Alimentaire Wholesome Breads*</u>	<u>609 Trade Street, Tarboro</u>	(919) 614-5319
<u>Big Jim's *</u>	<u>7564 NC HWY 33 NW, Leggett</u>	252-823-5055
<u>Bojangles</u>	<u>101 Market Centre Drive, Tarboro</u>	252-823-3450
<u>Bone's Grill*</u>	<u>129 Hamlet Street, Pinetops</u>	252-827-0454
<u>Bud's Grill</u>	<u>601 Main Street, Tarboro</u>	252-823-5665
<u>Burger King</u>	<u>1300 Western Blvd, Tarboro</u>	252-823-2299
<u>China Eight</u>	<u>1414 Western Blvd, Tarboro</u>	252-641-1000
<u>Classic Diner*</u>	<u>301 North Main Street, Tarboro</u>	252-823-3303
<u>Coastal Plains Restaurants</u>	<u>1304 Western Blvd, Tarboro</u>	252-641-4455
<u>Country Sunrise Grill</u>	<u>1029 West St. James Street, Tarboro</u>	252-823-7183
<u>Domino's Pizza*</u>	<u>1004 Western Blvd, Tarboro</u>	252-824-8005
<u>Everlean's Cafe</u>	<u>915 Sunset Ave., Tarboro</u>	252-824-9803
<u>Hardee's- Tarboro</u>	<u>700 Western Blvd, Tarboro</u>	252-641-1701
<u>Hinton's Barbecue</u>	<u>215 East Hope Lodge Street, Tarboro</u>	252-823-0892
<u>Highway 55-Tarboro</u>	<u>1006 Western Blvd, Tarboro</u>	252-641-1221
<u>Humble Knuckles Tap & Deli</u>	<u>101 East Church Street, Tarboro</u>	252-563-5638

<u>Jersey Mike's Subs*</u>	<u>150 River Oaks Drive, Tarboro</u>	252-641-4403
<u>Jin Jin Chinese Restaurant</u>	<u>402 Main Street, Tarboro</u>	252-823-5766
<u>Kentucky Fried Chicken</u>	<u>706 Western Blvd, Tarboro</u>	252-823-6766
<u>King Chef</u>	<u>112 West Hamlett Street, Pinetops</u>	252-827-5388
<u>La Fiesta Mexican</u>	<u>130 River Oaks Drive, Tarboro</u>	252-641-1122
<u>La Rancherita Grill & Tequila Bar</u>	<u>1600 West Howard Ave, Suite 7, Tarboro</u>	(919) 855-1305
<u>Lins Super Buffet</u>	<u>1406 Western Blvd, Tarboro</u>	252-641-9883
<u>Macclesfield Bar-B-Que House*</u>	<u>114 East Green Street, Macclesfield</u>	252-827-5115
<u>Mamas Pizza</u>	<u>2002 Main Street, Tarboro</u>	252-823-2991
<u>McDonald's-Tarboro</u>	<u>1500 Western Blvd, Tarboro</u>	252-823-0966
<u>Myrtle Grove Plantation</u>	<u>4226 NC 43 South, Macclesfield</u>	252-827-5115
<u>No.1 Chinese</u>	<u>Edgecombe Square, 1106 Western Blvd, Tarboro</u>	252-824-0101
<u>On the Square*</u>	<u>115 East St. James Street, Tarboro</u>	252-823-8268
<u>Pac House 2</u>	<u>510 Albemarle Avenue, Tarboro</u>	252-641-0043
<u>Papa John's- Tarboro</u>	<u>102 Rivers Oaks Dr A, Tarboro</u>	252-563-6650
<u>Pizza Hut- Tarboro</u>	<u>1502 Western Blvd, Tarboro</u>	252-641-7827
<u>Pizza Inn- Tarboro</u>	<u>2211 St. Andrew Street, Tarboro</u>	252-823-1018
<u>Ribeye Steak House and Oyster Bar*</u>	<u>1404 Western Blvd, Tarboro</u>	252-641-0865
<u>Speedy Wok Chinese Restaurant</u>	<u>4312 S Hathaway Blvd, Sharpsburg</u>	252-972-1888
<u>Smokehouse Resturant- Macclesfield</u>	<u>103 West Green Street, Macclesfield</u>	252-251-0416
<u>Subway-Tarboro</u>	<u>110 River Oak Drive, Tarboro</u>	252-641-7000
<u>Subway- Tarboro</u>	<u>1107 Western Blvd, Tarboro (Inside Walmart)</u>	252-823-7827
<u>Taco Bell- Tarboro</u>	<u>1304 Western Blvd, Tarboro</u>	252-641-4455
<u>Tarboro Brewing Company* (Food Trucks)</u>	<u>526 N Main St, Tarboro</u>	252-563-6522
<u>Tarboro Coffee House*</u>	<u>439 N Main St, Tarboro</u>	252-563-6510
<u>Tarboro Pelican Snoball</u>	<u>1717 North Main Street, Tarboro</u>	252-630-0444
<u>Triangle Grill & Market</u>	<u>4054 NC Hwy 42 West, Pinetops</u>	252-827-4545
<u>Main Street Tarboro Seafood</u>	<u>227 N Main St, Tarboro</u>	252-641-4456
<u>The Vidant Edgecombe Hospital Cafe</u>	<u>111 Hospital Drive, Tarboro</u>	252-641-7700
<u>Waffle House</u>	<u>120 Western Blvd, Tarboro</u>	252-641-1498
<u>Wendy's</u>	<u>101 River Oak Drive, Tarboro</u>	252-641-4070
<u>Which Wich of Tarboro</u>	<u>701 Western Boulevard, Tarboro</u>	252-563-3238

*** 2018 Tarboro-Edgecombe Chamber of Commerce Member**

**If you are interested in joining the Chamber please don't hesitate to call 252-823-7241
or email office@tarborochamber.com for more information. We will be glad to help in anyway!**

Arts and Museums

Admire the beauty of an original Hobson Pittman painting, pay homage to the fallen heroes of war, and learn about the culture of the oldest town chartered by blacks in America. Visit any one of our museums and see the past, present and future of Edgecombe County.



Contennial House

Corner of Third and Dunn Street, Pinetops

252-827-4435



Edgecombe County Cultural Arts Council

130 Bridgers Street, Tarboro

252-823-4159



Edgecombe County Veterans Museum

106 West Church Street, Tarboro

252-823-0891



**Franklinton
Center
at Bricks**

Franklinton Center at Bricks
281 Southbend Lane, Whitakers
800-345-1850



Hobson Pittman Museum/Pender House
130 Bridgers Street, Tarboro
252-823-4150



Imperial Centre Museum
270 Gay Street, Rocky Mount
252-972-1266



Princeville Heritage Museum
201 South Main Street, Princeville
252-823-8500

History and Heritage

We invite you to discover our rich, historic culture!



The Barracks
1858



Batts House
1880



Bracebridge Hall
Circa 1830



Blount-Bridgers House
Circa 1808



Calvary Episcopal Church
Circa 1859



Cedar Lane
1840s



Coats House
1860



Coolmore Plantation
Circa 1857



Eastern Star Baptist Church
1875



Edgemont Historic District
Circa Early 20th Century



Hart House
1909



Howell Homeplace
Circa 1900s



Lincoln Park Historic District
Circa 1948



Lone Pine Plantation
1850



Morris-Powell House
1895



D.A. Nobles House
Circa 1865



Norfleet Cotton Press
1840



Norfleet House
1850



Oakland Plantation
Circa Mid-1800s



Old Town Plantation
1785



Pender-Lanier House
Circa 1800s



Piney Prospect
1800



Pippen House
1830



Porter House
Late 18th Century



Princeville School
Circa 1935



Quigless Clinic
1946



Railroad Depot Complex
Circa 1908



Redmond-Shackelford House
1885



St. John's Episcopal Church
1891



Saint Paul's Baptist Church
1871



Tarboro Historic District
Circa 1700s



Town Common
1760



Vinedale
1855



Walston-Bulluck House
Circa 1810



Wilkinson-Dozier House
1815



William & Susan Savage House
1815

For more information on National Register go to [Preservation North Carolina](#).

Let's Shop!

Edgecombe offers a fun and sometimes unexpected shopping experience. Wander through the many antique and vintage shops peppered through the County. Tarboro and Pinetops offer unique boutiques for everyone on your gift list. Stop at Rusty's Gift Shop in Tarboro around the holidays and sample a family secret recipe of peanut brittle or Visit Off Main where you'll find artisans all under one umbrella. Furnish your home in shabby chic or furniture crafted from local artisans with highest quality. Edgecombe is a treasure seekers dream come true.

Shops & Boutiques

[Fecho Designs, Studio & Gallery](#)

[JJ's Apparel and Salon](#)

[Off The Main](#)

[Roberson & Dupree Shoe Store, Inc.](#)

[Rusty's Gift Shop](#)

[Salvation Army Family Store](#)

[Top of the Pine](#)

Furniture & Gifts

[Bulluck Furniture Company](#)

[J.E. Simmons Furniture Company, Inc.](#)

[Pretty Rugged Designs](#)

West Furniture & Appliances

Grocery Stores and Shopping Center

Piggly Wiggly Supermarket

Riverside Plaza Phase II, LLC

Walmart

Tours and Attractions

TOURS

Chamber of Commerce can help you plan your day trip, tour or weekend visit. Give us a call and we'll help you plan an itinerary full of fun, entertainment and experiences you won't forget.



Albemarle Trail



Antique Trail



Blue Star Memorial Highway
Marker Trail



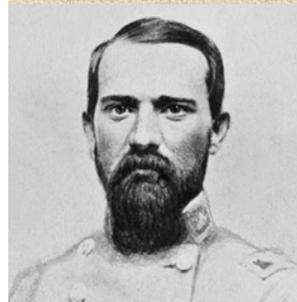
Breweries & Pubs



Cemetery Tours



Church Tours



Civil War Trail



Haunted Tours



Heritage Tours



Historic Church
Walking Tours



Historic District



Nature Trail



NC Birding Trail



Town Common
Trail

ATTRACTIONS

Country music superstars, rounds on the golf courses, cemetery tours, and much more can be found here. Paddle the Tar River Trail,

Commercial/Retail Availability Checklist

Project Name	Investigator(s)	Site Visit Date
East Haven Apartments	Chris Daves – S&ME, Inc.	10-13-2021

Residential Projects

Identify facilities that will available for residents.

Facility Type	Facility Names	Distance to closest facility
Grocery	Numerous grocery stores and food outlets within 1-mile radius. Friendly Way and 3 O's Supermarket and Grill are closest.	< 1 Mile
Pharmacy	Numerous pharmacies outlets within 1-mile radius. Oakwood Pharmacy Inc. is closest.	<1 Mile
Clothing Store	Numerous clothing stores within 3-mile radius. Citi Trends is closest.	< 1 Mile
Retail Store	Numerous retail stores within 3-mile radius. Oakwood Shopping Center closest.	< 1 Mile
Restaurants	Numerous restaurants within 3-mile radius. Bojangles and Shawty's Grill closest.	< 1 Mile
Office Space	Office spaces available within the downtown Area of Spartanburg.	Within 3 Miles
Employment Centers	Downtown Rocky Mount metro area, staffing centers, and multiple retail establishments within the area.	Within 3 Miles
Other	Numerous gas stations, library, restaurants, offices, barber shops, convenience stores, etc. located within a 3-mile radius of project area within the downtown Rocky Mount.	Within 3 Miles

****Heavy commercial areas are located within a 3-mile radius of the project area in downtown area of Rocky Mount. These shopping areas contain numerous clothing, retail, and office locations.**

If commercial/retail facilities are not available via walking or public transportation, explain how this will be addressed prior to occupancy by residents.

Commercial & Infrastructure Projects

Identify Project Type.

- Manufacturing
 Retail
 Job Training
 Recreational Services
 Social Services
 Educational Services
 Infrastructure (water, sewer, etc.)

How many residents/employers is the project intended to serve? _____

Where are the potential project users located? _____

Other Project Types

Describe the project type: Construction of residences (apartments) will lead to increase tax revenues for Rocky Mount. The project will increase the number of citizens residing in the area, which in turn will provide local businesses with a greater market base. This will also lead to increased property values of the surrounding area.

Explain how this project may affect retail/commercial services? After new residences are constructed will lead to greater revenue potential for local area businesses and services due to increased families residing in area. Increased number of citizens living in the area will lead to increased retail traffic throughout the immediate areas likely increasing revenue for local businesses.

List any additional comments/observations below:

Chris Daves

Lead Investigator's Signature

10/19/2021

Date

☰ Grocery near Rocky Mount, NC 🔍

Rating ⌵ Hours ⌵ More filters

Lidl
4.4 ★★★★★ (1,013)
Grocery store · 940 N Wesleyan Blvd
Open until 9:00 PM · (844) 747-5435
In-store shopping



ALDI
4.5 ★★★★★ (355) · \$
Supermarket · 1237 Jeffreys Rd
Grocery store chain
Open until 9:00 PM · (855) 955-2534
In-store shopping · Delivery



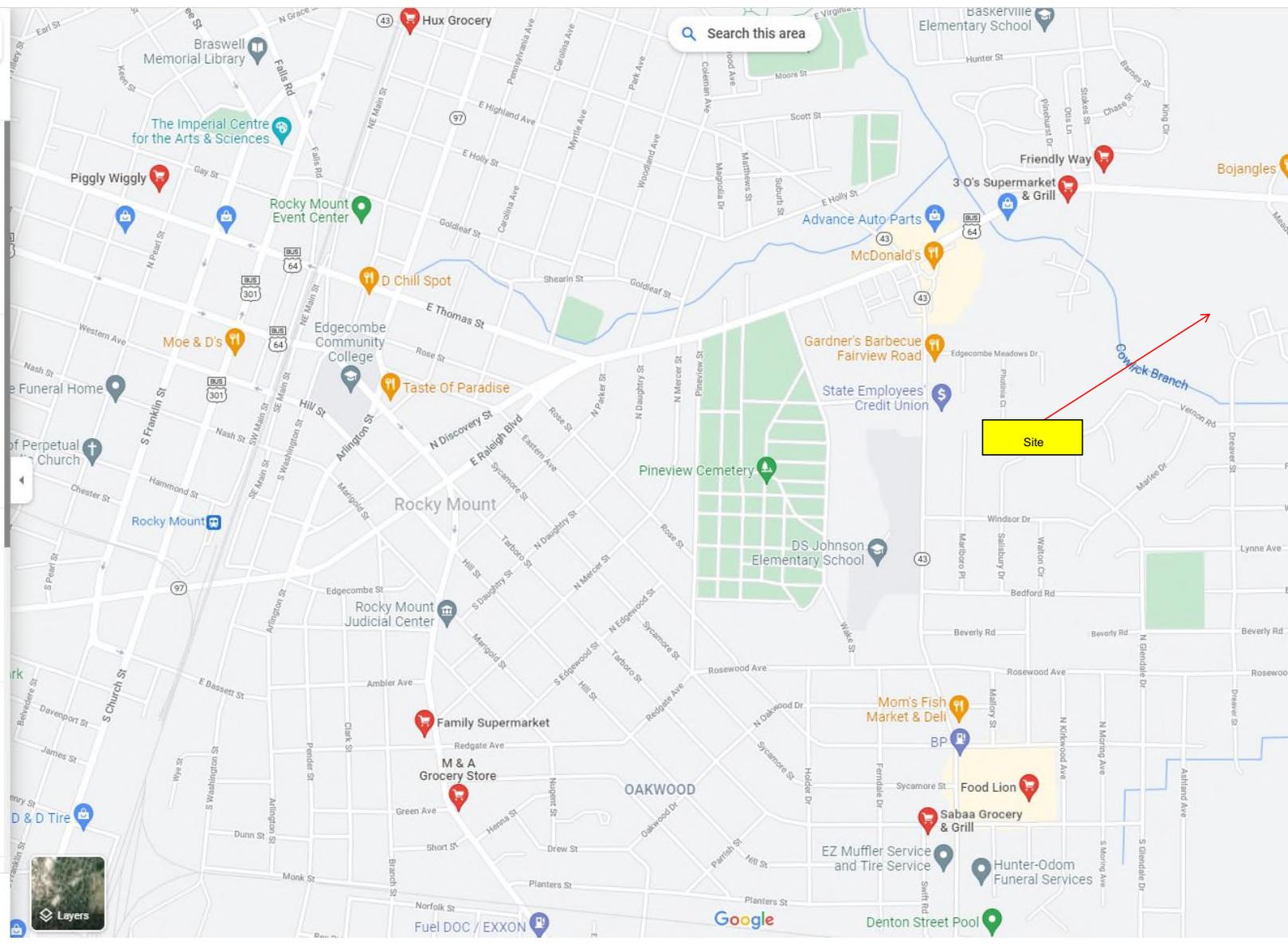
Family Supermarket
4.2 ★★★★★ (203)
Grocery store · 540 Cokey Rd
Open until 9:00 PM · (252) 446-9632
In-store shopping



Harris Teeter
4.4 ★★★★★ (1,128)
Grocery store · 3679 Sunset Ave
Open until 9:00 PM · (252) 937-2535
In-store shopping · Curbside pickup



Showing results 1 - 20 < >
 Update results when map moves



Pharmacies near Rocky Mount, NC

Hours More filters

Ad · cvs.com/pharmacy/locate
 Locate A Store Near You

CVS
 2.2 (25)
 Drug store · 2605 Sunset Ave
 Beauty supplies & home health items
 Open until 9:00 PM · (252) 443-6033
 In-store shopping · Curbside pickup · Delivery

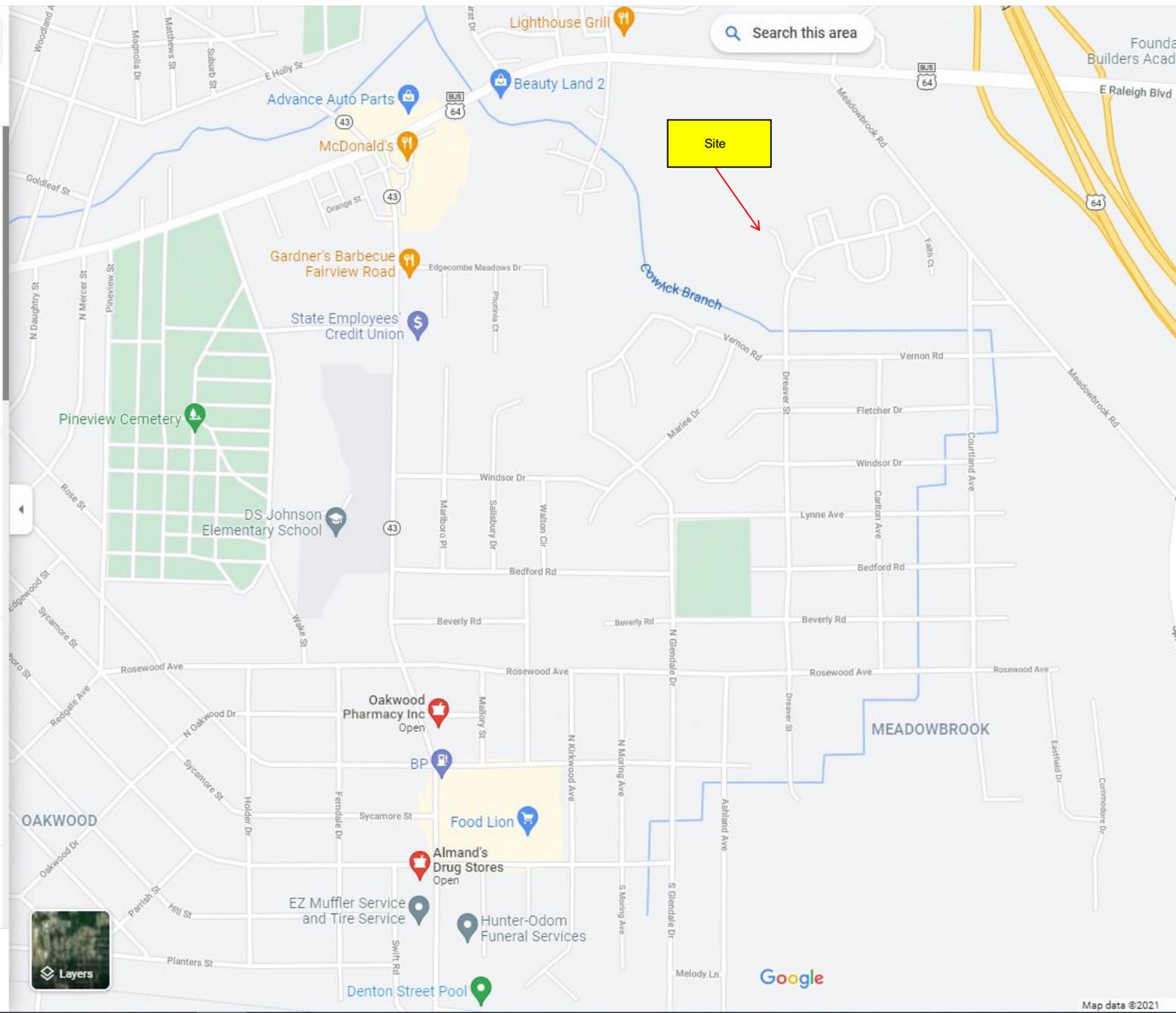
Walgreens
 Ad · 2.1 (66) · \$\$
 Drug store · 2624 Sunset Ave
 Open 24 hours · (252) 937-4999
 In-store shopping · Curbside pickup

Walgreens Pharmacy
 4.3 (10) · \$\$
 Pharmacy · 2624 Sunset Ave
 Prescription medications & more
 Open until 1:30 AM · (252) 937-4999
 In-store shopping · Curbside pickup

Rocky Mount Medical Park Pharm
 4.5 (2)

Showing results 1 - 20

Update results when map moves



☰ Clothing near Rocky Mount, NC 🔍

Menu
 Rating ▾ Hours ▾ More filters

Belk
 4.2 ★★★★★ (597) · \$\$
 Clothing store · 1100 N Wesleyan Blvd #9101
 Staple for clothes, home goods & more
 Open until 8:00 PM · (252) 977-2355
 In-store shopping · Curbside pickup

Walmart Supercenter
 3.9 ★★★★★ (3,477) · \$
 Clothing store · 1511 Benvenue Rd
 Open until 11:00 PM · (252) 985-2254
 In-store shopping · Curbside pickup · Delivery

Burkes Outlet
 4.3 ★★★★★ (199) · \$\$
 Clothing store · 1555 Benvenue Rd
 Apparel & accessories at discount prices
 Open until 9:00 PM · (252) 446-4012
 In-store shopping

JCPenney
 4.2 ★★★★★ (655) · \$\$
 Clothing store · 1100 N Wesleyan Blvd
 Retail mainstay for apparel &

Showing results 1 - 20 < >

Update results when map moves

Search this area 🔍

The map displays the Rocky Mount, NC area, including neighborhoods like Hillsdale, West Haven, Oakwood, Cokey, Ravenwood, and Meadowbrook. A yellow box labeled 'Site' is highlighted on the map, with a red arrow pointing to it from the right. The site is located east of the town center, near the intersection of U.S. Hwy 64 and E Raleigh Blvd. Other landmarks include the Tar River, Stith-Talbert Park, Rocky Mount Event Center, Edgecombe Community College, and various businesses like McDonald's, Bojangles, and Citi Trends. Major roads shown include U.S. Hwy 64, W Raleigh Blvd, S Franklin St, Hill St, and Cokey Rd. The Google logo is visible at the bottom center of the map.

Layers

Map data ©2021 United States Terms Privacy Send feedback

☰ Retail near Rocky Mount, NC 🔍 ✕

Rating ▾ Hours ▾ More filters

Small Shops Mall
4.6 ★★★★★ (87)
Clothing store · 2916 Sunset Ave
Open until 7:00 PM · (252) 210-3081
In-store shopping



Burkes Outlet
4.3 ★★★★★ (199) · \$\$
Clothing store · 1555 Benvenue Rd
Apparel & accessories at discount prices
Open until 9:00 PM · (252) 446-4012
In-store shopping



Walmart Supercenter
3.9 ★★★★★ (3,477) · \$
Clothing store · 1511 Benvenue Rd
Open until 11:00 PM · (252) 985-2254
In-store shopping · Curbside pickup · Delivery

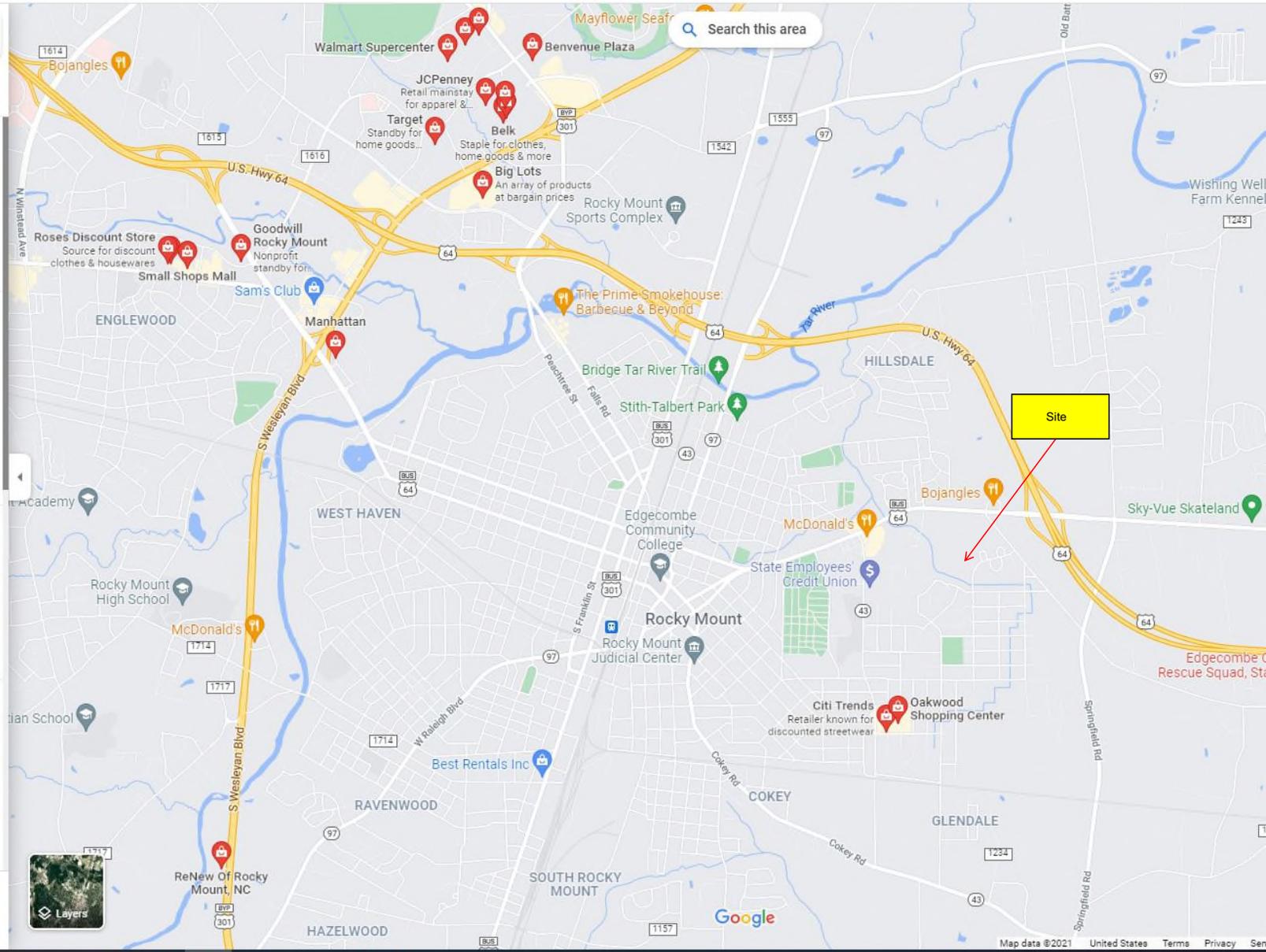


Golden East Crossing
3.8 ★★★★★ (2,159)
Shopping mall · 1100 N Wesleyan Blvd
Open until 7:00 PM · (252) 977-6464
In-store shopping



Showing results 1 - 20 < >

Update results when map moves



Restaurants near Rocky Mount, NC

Price Rating Cuisine Hours

More filters

Shawty's Grill
 4.7 ★★★★★ (12)
 Restaurant · 1620 E Raleigh Blvd
 Open until 10:00 PM



Dine-in · Takeout · No delivery

Lighthouse Grill
 4.5 ★★★★★ (24)
 Restaurant · 1620 E Raleigh Blvd
 Open until 10:00 PM



Takeout · Delivery

ORDER ONLINE

D Chill Spot
 4.7 ★★★★★ (342) · \$\$
 Jamaican · 207E E Thomas St
 Open until 8:00 PM



Dine-in · Takeout · Delivery

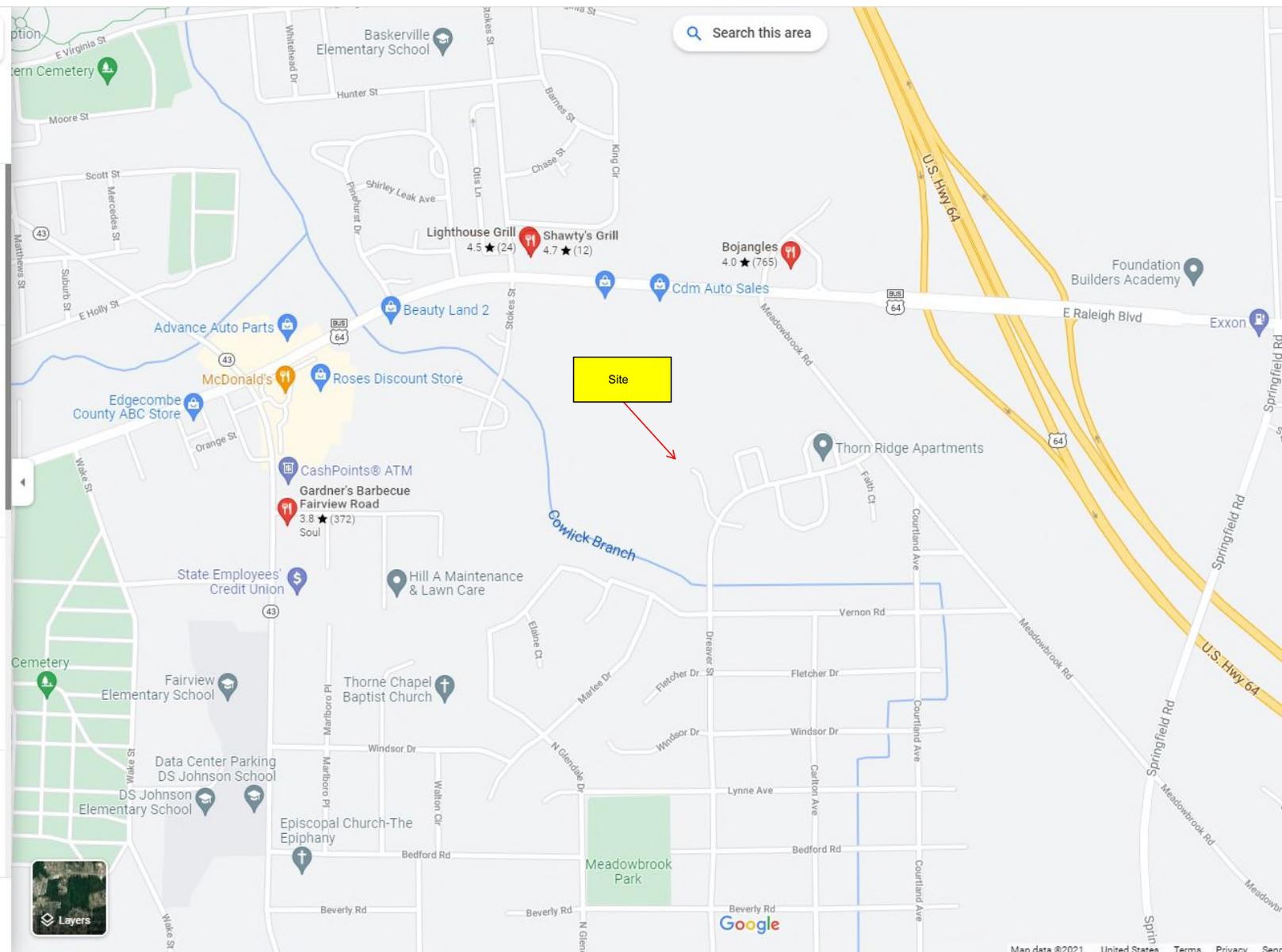
ORDER ONLINE

Brian's Barbeque
 4.6 ★★★★★ (30)
 Restaurant · 14402 US-64 ALT
 Open until 7:00 PM



Showing results 1 - 20

Update results when map moves





November 29, 2021

Edgecombe County Health Department
155 Atlantic Avenue
Rocky Mount, North Carolina 27801

Attention: Ms. Michelle Etheridge, Director

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Director Etheridge:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Edgecombe County Health Department regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. To facilitate compliance with the National Environmental Policy Act of 1969 and HUD Regulations at 24 CFR Part 50, an Environmental Assessment must be completed prior to releasing funds for the East Haven Apartments project. This letter is a formal request to determine what effect(s) the proposed activity may have on operations and services provided by Edgecombe County Health Department or resources managed by Edgecombe County Health Department.

Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

HEALTH SERVICES CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Adequate and appropriate Health Services are are not available for this project
Furthermore, available Health Services will will not be adversely affected
by this project.

Health Service/Provider organizations that may serve the project are: _____

Additional Comments/Conditions/Concerns _____

_____ Date	_____ (Officials Signature)
	_____ (Officials Name – Print or Type)
	_____ (Official’s Title)
	_____ (Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



0 2,000 4,000 FEET

 Approximate Boundary

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

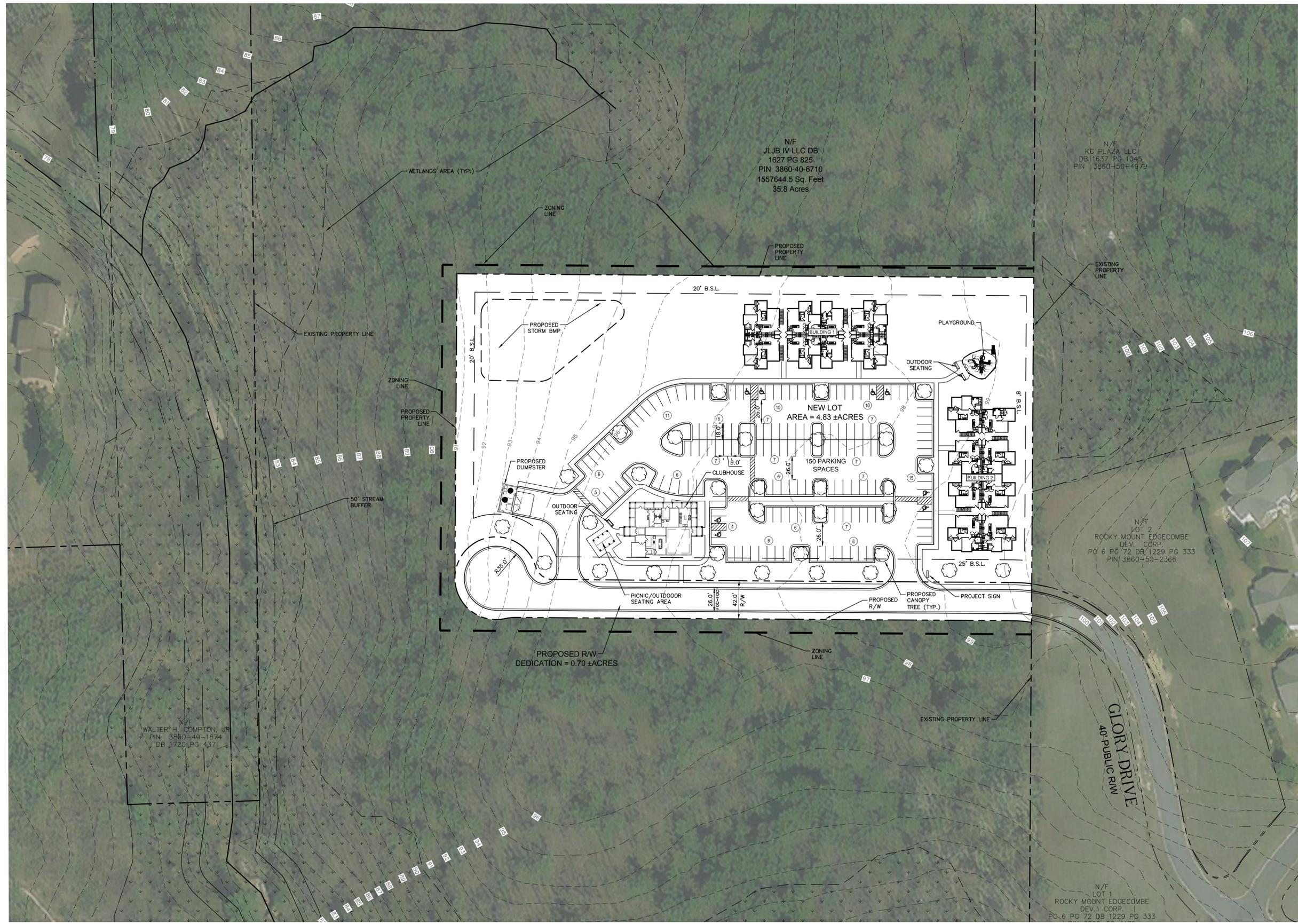
Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map



Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxds\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

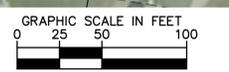
N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-150-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA



PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1



November 29, 2021

Edgecombe County Department of Social Services
Post Office Box 370
Tarboro, North Carolina 27886

Attention: Ms. Betty Battle, MPA, Director

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Director Battle:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Edgecombe County Department of Social Services regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

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Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

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The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

SOCIAL SERVICES CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Adequate and appropriate Social Services are are not available for this project
Furthermore, available Social Services will will not be adversely affected
by this project.

Social organizations that may serve the project are: _____

Additional Comments/Conditions/Concerns _____

Date (Officials Signature)

(Officials Name – Print or Type)

(Official’s Title)

(Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

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APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

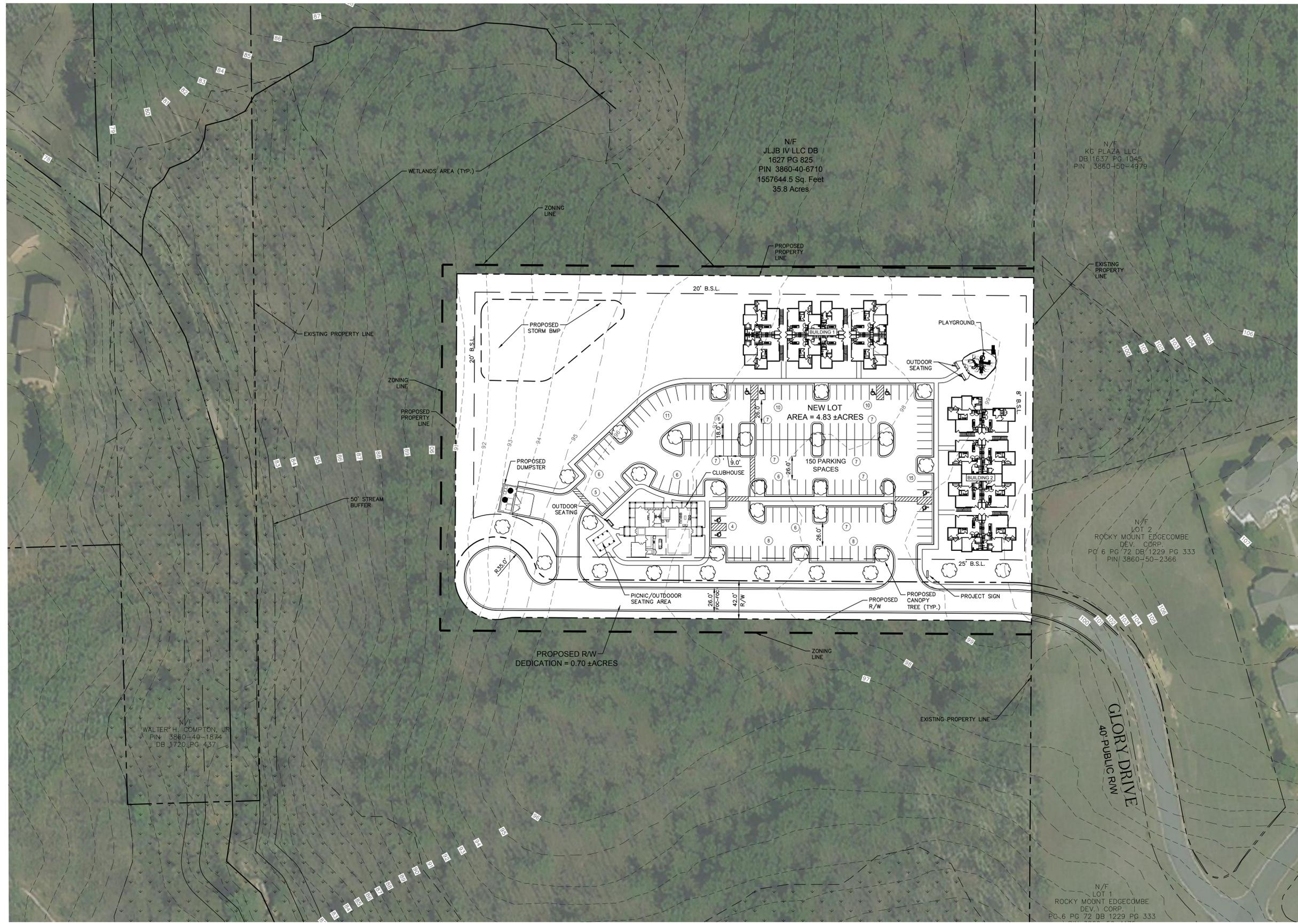
SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
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Notes: Project Summary

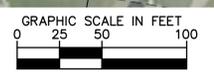
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No.	REVISIONS	DATE	BY

Kimley»Horn
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

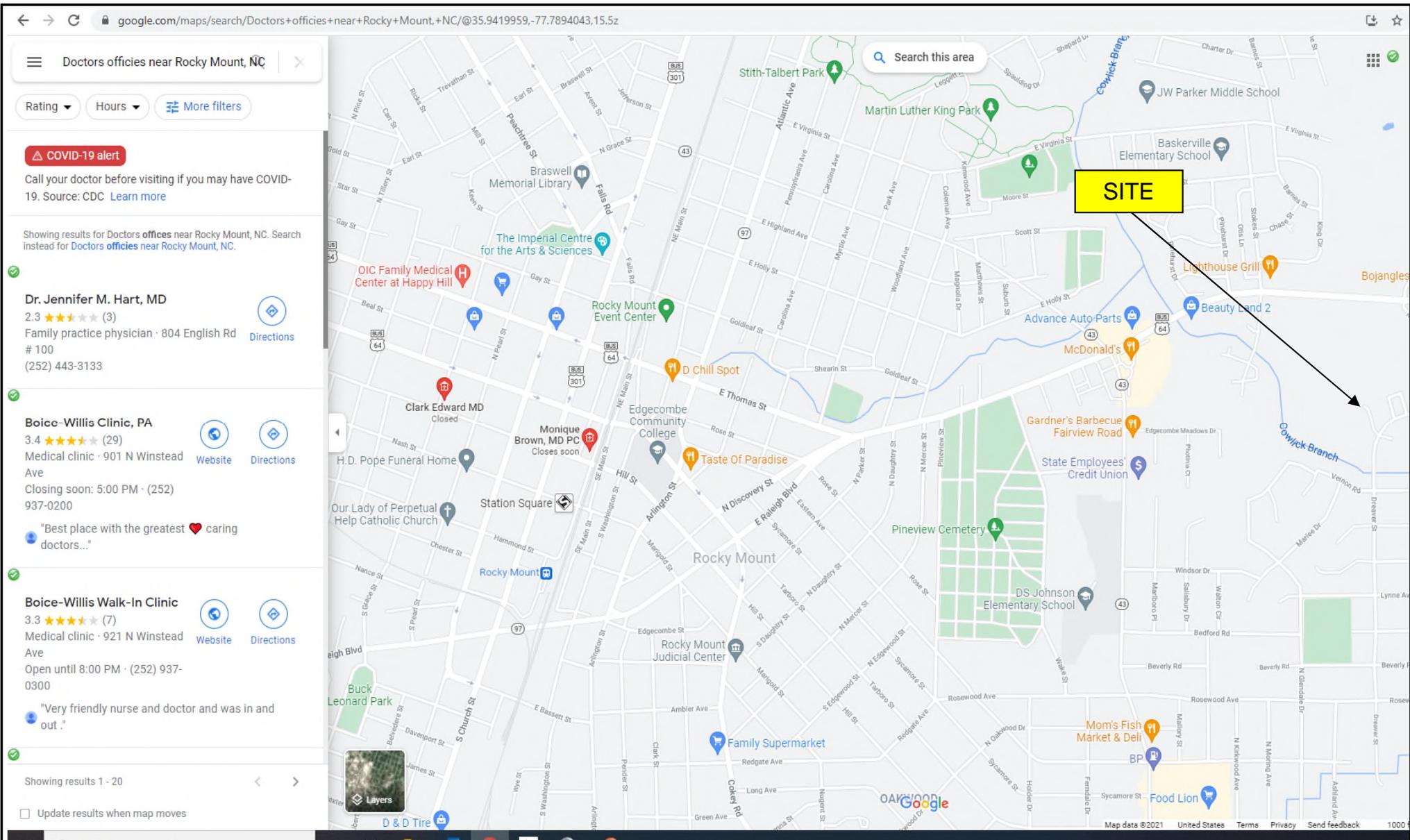
KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.
 ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER
PSL-1



Source: googlemaps.com

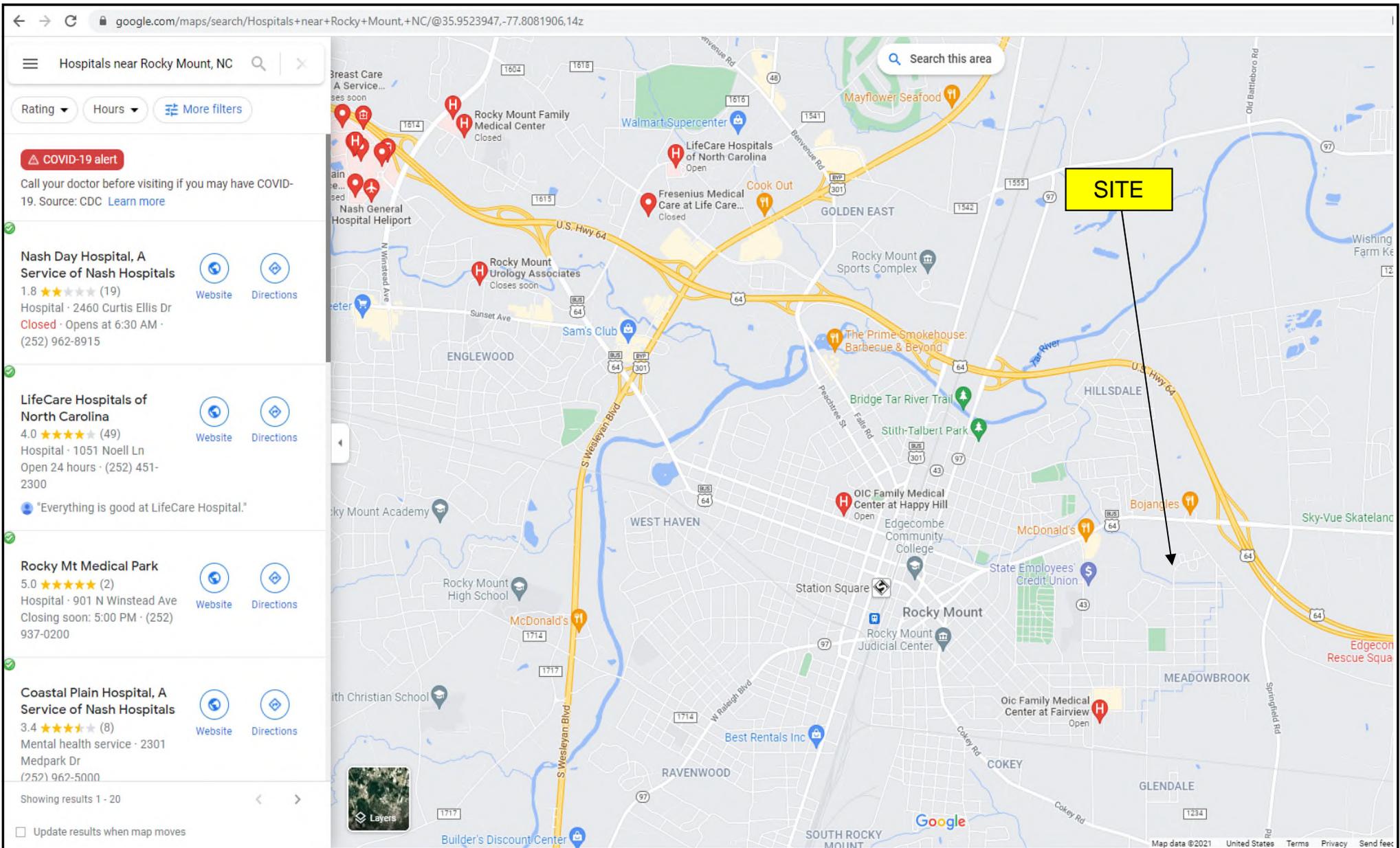
SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-19-21



MEDICAL FACILITIES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: **218540**





Source: googlemaps.com

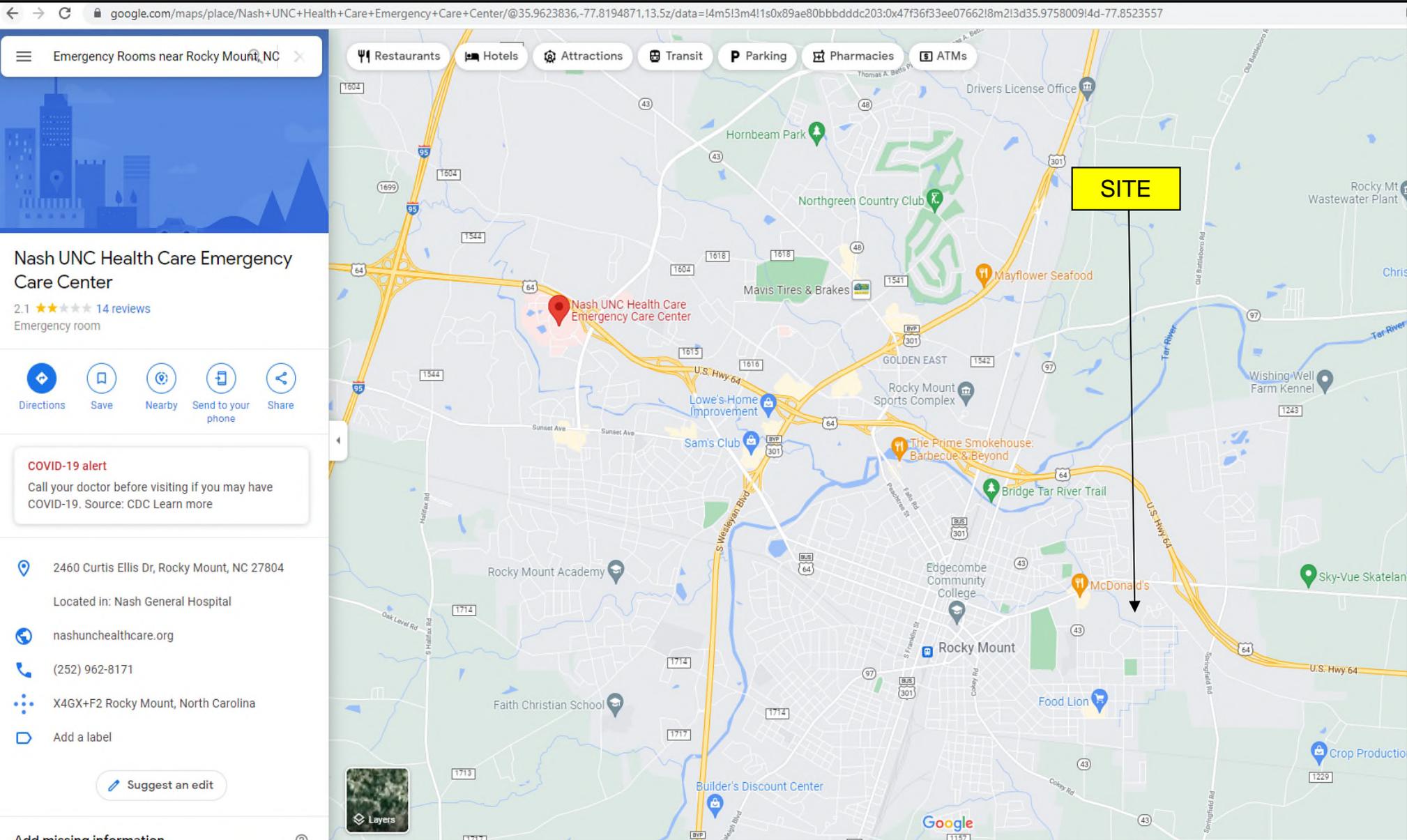
SCALE:	NTS
DRAWN BY:	WT
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MEDICAL FACILITIES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: 218540





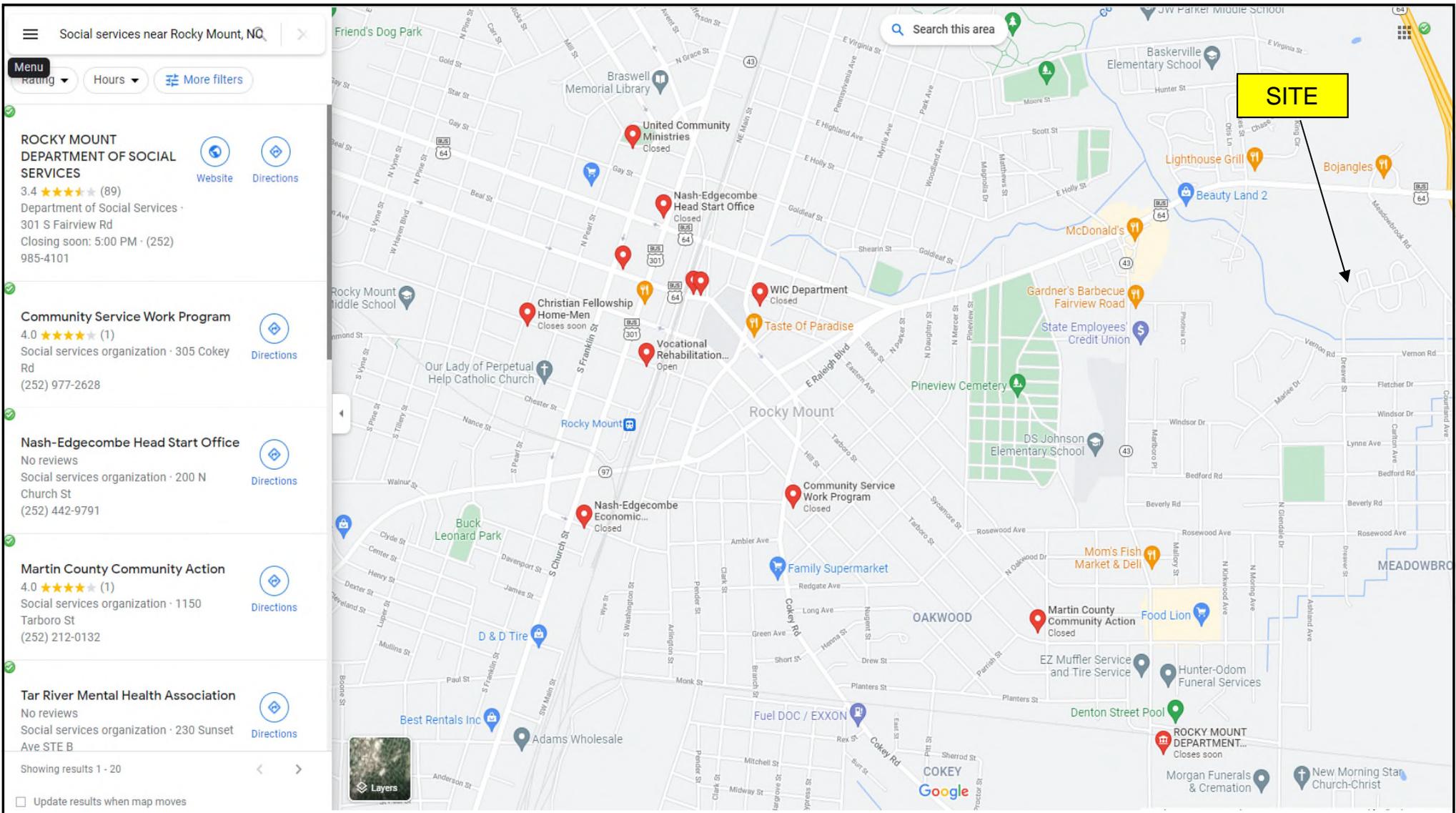
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CHECKED BY:	CD
DATE:	10-19-21



MEDICAL FACILITIES EXHIBIT
 EAST HAVEN APARTMENTS
 ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: **218540**





Source: googlemaps.com

SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-19-21



SOCIAL SERVICES FACILITIES EXHIBIT
 EAST HAVEN APARTMENTS
 ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: 218540



Social Services

COVID-19 Hours of Operation and Links to Online Applications

NCDHHS COVID-19 Information and Links to Online Applications

Social Services

Contact Us

Social Work Services

Economic Services

Child Support

Other Services

Public Notice: LIHEAP Block Grant Plan

Department of Social Services

Mission

To form partnerships with Families and Communities to enhance the Family's quality of life. Our work is Family Focused & Community Driven!

The core beliefs of the Edgecombe County Department of Social Services as excerpted from its mission statement are embodied in the following:

- We believe that the family unit is the primary and preferred resource for meeting the needs of children and adults.
- Emphasis is placed on maintaining children and disabled adults in their own homes through the provision of needed services to improve and strengthen family functioning. Out of home placement services are available when the care and safety of children/disabled adults can not be insured in their own homes.
- Community based preventative services offer the necessary support to families and disabled adults in their quest to remain at home as long as possible.
- Edgecombe County citizens will be respected and supported in their interactions with our agency.

To make a report of abuse or neglect call (252) 641-7668.

Edgecombe County Department of Social Services does not discriminate on the basis of race, color, national origin, sex, religion, age, or disability in employment or in the provision of services.

Food Stamp & Medicaid Customers Can Now Use ePass!

ePASS is short for Electronic Pre-Assessment Screening Service and is a quick and easy way for Food Stamp (Food & Nutrition Services) and Medicaid customers to get information about benefits and services that may help them. You can check your eligibility, and even complete an online application that is submitted electronically.

Applications can be completed online at: <https://epass.nc.gov/CitizenPortal/application.do>

To apply for Child Support services online visit: <https://ncchildsupport.com/ecoa/covid19.htm>

Contact Us

Betty Battle, MPA
Director

Tarboro Office
122 E. St. James Street
P. O. Box 370
Tarboro, NC 27886
Phone: (252) 641-7611
Fax: (252) 641-5816

Rocky Mount Office
301 S. Fairview Road
Rocky Mount, NC 27801
Phone: (252) 985-4101
Fax: (252) 985-1615

Hours
8am - 5pm
Monday-Friday



Social Services

Public Notice: LIHWAP Block Grant Plan

The North Carolina Department of Health and Human Services is seeking public comment on the proposed Low Income Household Water Assistance Program (LIHWAP) block grant plan, which outlines how federal LIHWAP block grant funds will be spent in North Carolina in the coming state fiscal year. LIHWAP provides assistance to low income households with their water and wastewater bills. States are given broad latitude under block grant funding to design and operate their own programs, under certain restrictions. The plan may be reviewed July 29 – August 4, 2021 at the following locations: • Any of the 100 county departments of social services • Online on the Division of Social Services website Any water or wastewater vendor interested in signing a vendor agreement to accept LIHWAP funds on behalf of customers, please contact Jasmyne Simmons at Jasmyne.Simmons@dhhs.nc.gov. Written comments will be accepted in writing no later than Thursday August 5, 2021 via: • Any agency where the plan was displayed • Mail, postmarked no later than Thursday August 5, 2021 to: RE: LIHWAP Plan Comments Susan Osborne Assistant Secretary for County Operations 2420 Mail Service Center Raleigh, NC 27699-2420.

[Grant Implementation Plan](#)

[Attendance Sheet](#)



Nash County Department of Social Services

Due to the ~~Covid-19~~ outbreak, we have made some changes to our business procedures to better serve our customers. Customers can always visit our agency during business hours to apply for services. We have made some temporary changes to our lobby to provide the recommended 6 feet distance between our customers and staff.

If you simply need to **drop off** paperwork, you can do that using the drop box located outside of our agency's **Food and Nutrition/Medicaid entrance**.

But, if you need to:

Check the status of your case?

Request a new Medicaid or EBT card?

Ask questions about your benefits or about a notice you've received?

Report a change in your household situation?

Please call (252) 459-9818 for assistance, and follow the prompts:

Food and Nutrition Services-Press 1

Adult Medicaid and all SSI Recipients -Press 2

Family and Children's Medicaid- Press 2

For other programs, please contact your worker before entering the agency. Many programs are allowing for telephone interviews during this time to follow social distancing recommendations.

For your convenience please note that the following websites can be utilized to **submit online Food and Nutrition and Medicaid** applications:

www.epass.nc.gov

www.ncdhhs.gov

Customers may **fax** completed applications or other information regarding **Food and Nutrition Services and Medicaid** to (252) 459-1373.

Functions

Nash County Department of Social Services provides economic and social work services for the entire county. The agency strives to assist families with achieving self-sufficiency, protect children from maltreatment, and help senior citizens lead independent and productive lives.

Interested in Working for the Department of Social Services?

For more information, please contact Jonee Callahan at (252) 451-8349 or email

Select Language | ▼

[Nondiscrimination Statement](#)

[Nondiscrimination Statement \(Spanish Version\)](#)

LIEAP

Low Income Energy Assistance Program

- [LIEAP Brochure 2020 English](#)
- [LIEAP Brochure Spanish](#)

Contact Us

Main Phone

252-459-9818

Medicaid

Ph: 252-459-1464

Fax: 252-459-1373

FNS

Ph: 252-459-9822

Fax: 252-459-1373

Child Support

Ph: 252-459-9864

Fax: 252-459-1467

Adult & Family Services

Fax: 252-459-9833

CPS

Fax: 252-459-1266

Adult Protective Services

Hotline: 252-462-2711

Child Protective Services

Hotline: 252-459-1293

Medicaid Transportation

Hotline: 252-462-2731

Quick Links

- [Information Packet](#)
- [AdoptUSKids.org](#)
- [Foster Child Adoption in NC](#)
- [North Carolina General Statutes, Chapter 4, Adoptions](#)
- [A Kid's Guide to Adoption](#)



This
instituti
on is an
equal

Contact Us

Nash County
120 W
Washington
Street
Suite 3072

FAQs

[Do I have to be a Nash
County Resident or US
Citizen to become
employed by Nash
County?](#)

Using This Site

[Employee
Access](#)
[Home](#)

Select Language | ▼



ROCKY MOUNT
PUBLIC WORKS
THE CENTER OF IT ALL

SOLID WASTE REMOVAL CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801
Closest street intersection or landmark: Dreaver Street at White Sell Court

Solid Waste disposal for the above project can be adequately handled by public or private collectors without adversely affecting landfill capacity, ; or Solid Waste disposal is limited due to the unavailability of collectors or adequate landfill capacity .

Additional Comments/Conditions/Concerns Per CITY ORDINANCE, DUMPSTER SERVICE WILL BE PROVIDED BY THE CITY. PROPERTY MANAGER RESPONSIBLE FOR DUMPSTER RENTAL/PURCHASE

12/8/2021
Date

[Signature]
(Officials Signature)

PAMERON PRIVOTT
(Officials Name – Print or Type)
ENVIRONMENTAL SERVICES SUPERINTENDENT
(Official's Title)
PUBLIC WORKS / ENVIRONMENTAL SERVICES DIVISION
(Department Name)

Note: Copying official letterhead onto this certification is encouraged.

Chris Daves

From: Cameron Privott <cameron.privott@rockymountnc.gov>
Sent: Friday, December 10, 2021 7:40 AM
To: Chris Daves
Subject: City of Rocky Mount -East Haven Apartments
Attachments: IMAG0076.PDF

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

please see attached



November 29, 2021

Rocky Mount Environmental Services
1221 Thorpe Road
Rocky Mount, North Carolina 27801

Attention: Mr. Cameron Privott, Superintendent

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. Privott:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Rocky Mount Environmental Services regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

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The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

SOLID WASTE REMOVAL CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Solid Waste disposal for the above project can be adequately handled by public or private collectors without adversely affecting landfill capacity, ; or Solid Waste disposal is limited due to the unavailability of collectors or adequate landfill capacity .

Additional Comments/Conditions/Concerns _____

_____ Date	_____ (Officials Signature)
	_____ (Officials Name – Print or Type)
	_____ (Official’s Title)
	_____ (Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

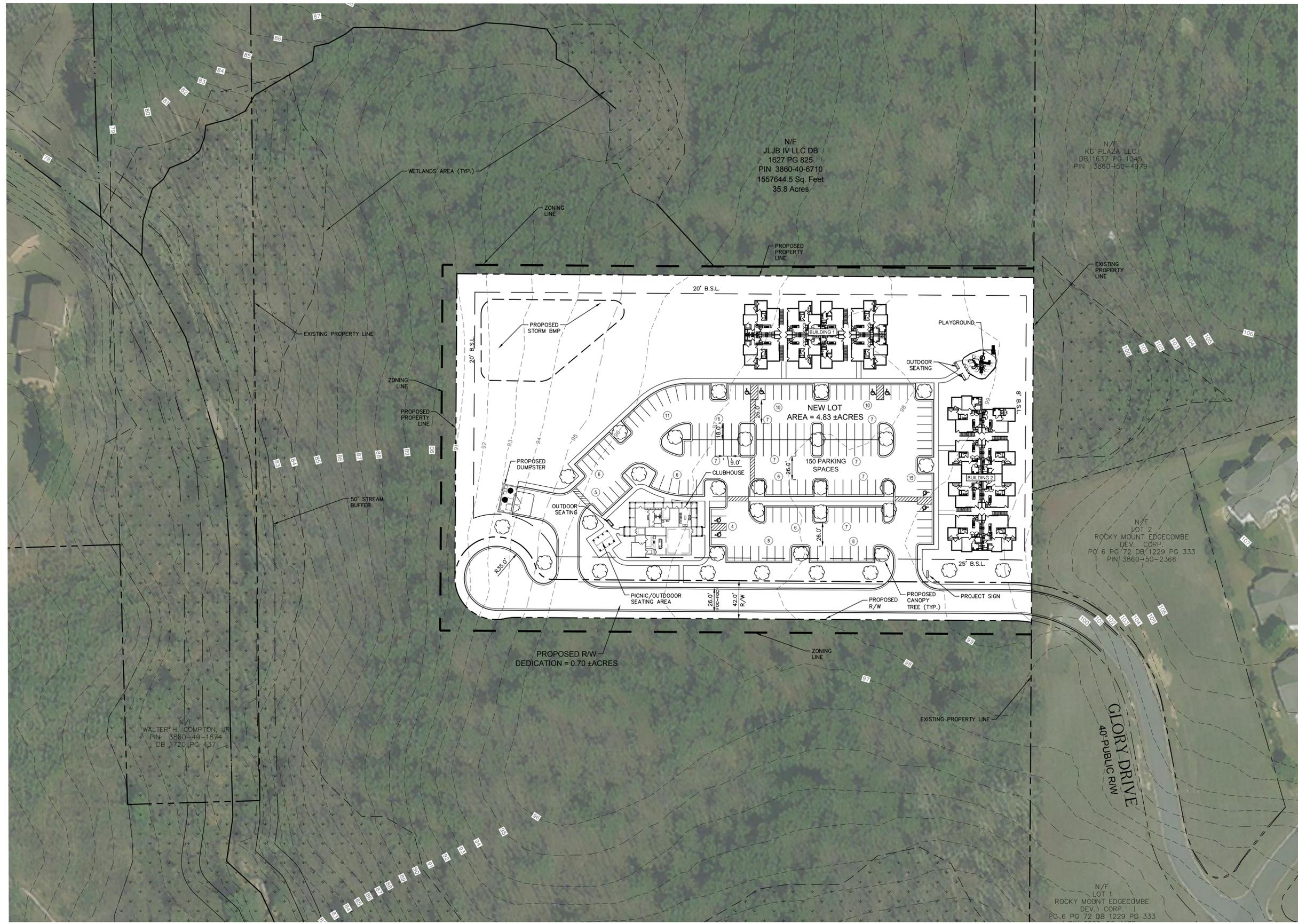
Rocky Mount, Edgecombe County, North Carolina
Source: World Street Map

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

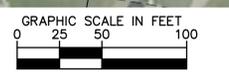
N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-40-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333

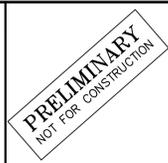


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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA



PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY

Environmental Services

Public Works Menu

[Public Works](#)

[Engineering](#)

[MPO](#)

[Environmental Services](#)

[Keep America Beautiful](#)

[Streets Maintenance](#)

[Stormwater Management](#)

The Environmental Services Division provides a wide array of solid waste and trash collection services. These services include the collection and disposal of solid waste, yard waste, bulk waste, appliances, recyclables, and dead animals within the city limits.

For more information, please contact Environmental Services at **252-467-4800, option 7.**

Cameron Privott

Superintendent

P: 252-467-4800

Rocky Mount Environmental Services
1221 Thorpe Road
Rocky Mount

Appliance Collection

Bulk Waste

Dead Animals

Loose Leaf Collection

Recycling

Rollout Carts

Debris Trailer

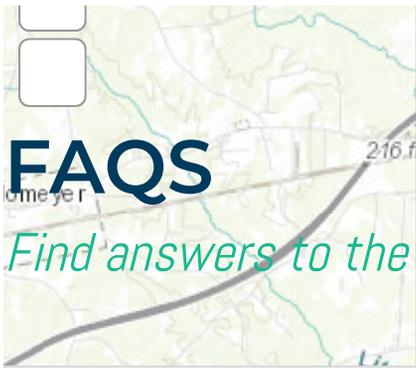
Yard Waste Collection

My Trash Services Application

Information for curbside trash, yard waste, and recycling services 24 hours a day.



	Locate Services
	Search for an address or locate on map <input type="text" value="Find address or place"/>



Find address or place

Show results within (Miles)

1

0

Find answers to the most frequently asked questions

5

Should recyclables be separated?

Recyclables need not be separated; all recyclable items can be placed together in your curbside recycling container.

Can I still use my recycling bin?



What can I do if I have too many recyclables for one recycling cart?



What should I do with the cart if I move?



How can I get a replacement recycling cart if I just moved in and my cart is missing?



What if I am physically unable to take my recycling cart to the curb for collection?



Does the City provide me with a rollout cart and recycling bin?



What do I do if I need an additional rollout cart for garbage, recycling or yard waste?



How do holidays affect my collection day?



Appliance Collection

Appliance collection from residences is provided on the same day your household trash is collected. Pickup must be scheduled two business days prior to your scheduled collection day by calling 252-467-4800, option 7.

Appliance collection is provided for homeowners or residents that purchase their own appliances. The City will not collect appliances provided by landlords or commercial establishments. We collect:

- Cook Stoves
- Ovens
- Refrigerators (remove doors or place face down)
- Dishwashers
- Washers/Dryers
- Hot Water Heaters

Appliances must be emptied and placed at the curb for collection.

Appliances must be separated from other bulky waste. Appliances should be placed away from automobiles, mailboxes, fences, low hanging wires or limbs or other items, which might hamper collection.

The City may need to designate where appliances are to be placed by residents in order to provide safe and efficient service.

Residences on corner lots will be collected from the street locations considered most serviceable for collection crews and equipment.

For additional information please contact: Environmental Services
Division

1221 Thorpe Road

P O Drawer 1180

Rocky Mount, NC 27802-1180

Phone: 252 467-4800, option 7

Fax: 252 467-4965

Bulk Waste & Furniture Collection

Bulky item service is provided to residents who have large items that are too large to be collected by rollout cart crews.

We pick up:

- Furniture/Mattresses and Box Springs
- Window/Mirrors (with glass taped and "X" marked on both sides so that it does not shatter when collected.
- Lawn Equipment (drain oil and gas from discarded lawn mowers, weed eaters)
- A maximum of two automobile tires will be collected.

We do not pick up:

- Dirt/Rocks
- Concrete/Concrete Blocks/Bricks
- Hazardous/Flammable Material
- Loose Ashes/Loose Sawdust
- Roofing Shingles
- Car Parts/Batteries

- Logs or Stumps
- Closed Containers (such as oil drums)
- Propane/Oxygen Cylinders
- Tires from Commercial Establishments
- Large Truck or Farm Tires

Bulky items that cannot be collected by rollout cart crews require special pickup. Pickup may be scheduled by calling in two-business days prior to your scheduled collection day by calling 252 467-4800, option 7.

The City may need to designate where bulky items are to be placed by residents in order to provide safe and efficient service.

Residences on corner lots will be collected from the street locations considered most serviceable for collection crews and equipment.

Bulky items should be placed away from automobiles, mailboxes, fences, low hanging wires or limbs or other items, which might hamper collection.

The City will not pick up bulky or discarded items resulting from eviction or other legal proceedings.

The City will not pickup bulk waste from commercial establishments or multifamily locations serviced by stationary containers (dumpsters).

For additional information please contact:

Environmental Services Division

1221 Thorpe Road

P O Drawer 1180

Rocky Mount, NC 27802-1180

Phone: 252 467-4800, option 7

Fax: 252 467-4965

Dead Animal Collection

Small dead animals (cats, dogs, small household pets) must be placed in a securely tied plastic bag at the curbside for collection. Do not place in your rollout cart. Disposal of animals weighing over 50 lbs. are the responsibility of the animals owner. Veterinarians and Animal Hospitals are responsible for disposal of dead animals.

To request collection of dead animals call **252-467-4800 option 7**, at night, weekends or holidays.

Loose Leaf Collection

The Street Division collects loose leaves during the months of November, December, and March on an alternating schedule. The city is subdivided into a north route and a south route. To determine which route a resident is assigned to, [refer to the loose leaf collection map](#). In addition, most residents have a decal on the rollout cart serviced by the Environmental Service Division which identifies their route assignment. Residents with questions regarding the route they are assigned to or the collection schedule can call **252 467-4906**. During months of collection, the schedule will be posted on the City's home page. During those months when

loose leaves are collected by the City, residents should rake their leaves to the back of curb, not in the street. If a resident lives on a strip paved street (no curb and gutter) with a ditch section, the leaves should be staged just behind the ditch. Leaves should not be placed in the ditch for collection as they may obstruct drainage and result in localized flooding during a rain event. To insure collection, residents are required to have their leaves at the street by 7:00 am Monday of their week of collection.

Recycling

The City of Rocky Mount collects recyclables on the same day as household trash and yard waste collection. To guarantee collection, residents should place their container at the curb no later than 7:00 am on their day of collection. Recycling for multi-family locations and businesses are provided through four (4) drop-off sites located throughout the City.

In January 2015, all residential customers were converted to twice per month collection. The goals associated with the conversion include:

- Improve the quality of service and increase residential participation by making curbside recycling more convenient.
- Increase the amount of recyclable material collected which will result in decreased waste being sent to a landfill. This will also reduce disposal costs incurred by the City.
- Make it easier for residents to take recyclable materials to the curb through offering a larger recycling container with an attached lid and wheels. Wheeled containers are easy to move;

attached lids will help keep neighborhoods cleaner by preventing recyclables from blowing.

- Allow the City to implement twice per month collection in the neighborhoods receiving the carts. The combination of larger containers and twice per month collection should result in more participation as well as lower fuel consumption.

Residential customers converted to twice per month collection have been assigned to one of two routes (green route or red route). Recycling drop off sites are located at Beaver Pond Shopping Center on Gold Rock Road, behind Wellongate Shopping Center on Jones Road, Oakwood Shopping Center on Fairview Road and River's Edge Shopping Center on Harbor West Drive. For more detailed information regarding this schedule and for the twice per month recycling program in general, download the appropriate brochure below.

- [Recycling Collection Route Map](#) (PDF)
- [Download Brochure and Collection Schedule](#) (PDF)
- [Recyclable Items \(Recycle Right NC\)](#) (PDF)

Rollout Cart/Garbage Collection

Household garbage and refuse is collected once each week on Tuesday, Wednesday, Thursday or Friday from residences located within the city limits of Rocky Mount. Your street address determines the collection day.

- Place your rollout cart at curbside (behind the edge of curb and gutter or edge of pavement) prior to 7:00 a.m. on your scheduled collection day. Remove the cart from the curb by midnight on the day of collection.
- Rollout carts which are not out when the collection equipment personnel passes your location will not be collected until your next scheduled day of collection.
- Place the rollout cart at curbside, not in the street, for collection. The cart should be placed away from obstacles such as automobiles, mailboxes, yard waste, bulky items, and telephone poles.
- Place the rollout cart at curbside with the lid opening (see cart lid) toward the street and handles of the cart toward the residence to avoid damage to the lid.
- The City may need to designate where rollout carts are to be placed by residents in order to provide safe and efficient service. Residences on corner lots will be collected from the street locations considered most serviceable for collection crews and equipment.
- An additional rollout cart designated for garbage collection may be purchased from the City. Service will be provided for a maximum of two approved City rollout containers for each residence.
- Place only garbage and household waste inside your rollout cart.
- Do not use your rollout cart designated for garbage collection for: Dead Animals, Recycling, Hot Ashes, Loose Sawdust, Yard Waste, Motor Oil, Wet Paint, Animal Waste (unless properly double bagged in plastic bags and securely tied), Human Waste, Flammable Liquids, Unprepared Medical Waste, Other Hazardous Materials.
- Building materials are not considered residential solid waste and will not be collected. Removal and disposal of these materials are the responsibility of the resident, contractor, or homeowner. Examples of building materials we do not collect include, but are

not limited to: Lumber, Bricks, Roofing Materials,
Plumbing/Electrical Materials, Carpet/Flooring,
Sheetrock/Plaster/Wallboard.

For additional information please contact: Environmental Services
Division:

1221 Thorpe Road

P O Drawer 1180

Rocky Mount, NC 27802-1180

Phone: 252 467-4800, option 7

Fax: 252 467-4965

Reserve a Trailer

An open-top refuse trailer is available for use by city residents for the cleanup of garage, attic or yard junk. The trailer may also be reserved by residents for the cleanup of yard waste (leaves, grass clippings, limbs, etc), prepared in a manner that meets city requirements. Use of the trailer is for residential use only. The trailer must be loaded by hand only. Loading by use of mechanical equipment is not allowed. Trailers must be reserved in advance, subject to availability. To schedule a trailer, call **252 467-4800, option 7.**

Yard Waste Collection

Yard waste consists of grass, weeds, leaves, tree trimmings, pruning, limbs and shrubbery no longer than 4 feet in length and 4 inches in diameter that result from homeowner maintenance of yards and gardens. A different collection crew will collect yard waste that is properly prepared and/or containerized in compliance with City regulations on the same day that your garbage and household trash are collected.

- Your yard waste crew will collect limbs, no larger than 4 feet in length and 4 inches in diameter, that have been bundled and tied up with string or twine and weigh less than 50 lbs. For pickup of large limbs and shrubbery (8 feet long by 4 feet wide by 4 feet in height), residents must call 252 467-4800, option 7 two business days prior to their scheduled collection day.
- Tree and shrub trimmings resulting from work performed by a contractor (any one you pay to do the work) will not be collected. The contractor will be responsible for removal and disposal of this debris. The City will not pick up materials resulting from land clearing, landscaping or large improvement projects involving large or multiple tree removal.
- Place all leaves, grass clippings, shrubbery and small limbs in a container (boxed, clear or transparent bags, yard waste carts purchased from the City or 32 gallon cans) for collection at the curb by 7:00 a.m. on your collection day. Containers should not weigh more than 50 lbs. Bags used for yard waste disposal should be left with top untied so that the driver can see that it is yard waste only. Yard waste will not be collected from wheelbarrows, drums, sheets, oversize bags or tarps.
- Yard waste must be containerized or properly prepared and placed at curbside for collection on the resident's property, not in the street. Rollout containers designated for yard waste disposal may be purchased from the City. Service will be provided for a maximum of two City rollout containers designated for yard waste for each residence.

- The City may need to designate where yard waste is to be placed by residents in order to provide safe and efficient service. Residences on corner lots will be collected from the street locations considered most serviceable for collection crews and equipment.
- The City will not pick up yard waste from vacant lots or abandoned structures. The City will not pick up yard waste from commercial establishments or multifamily locations serviced by stationary containers (dumpsters).

For additional information please contact: Environmental Services
Division

1221 Thorpe Road

P O Drawer 118

Rocky Mount, NC 27802-1180

Phone: 252 467-4800, option 7

Fax: 252 467-4965



**Subscribe to our
Newsletter Today!**

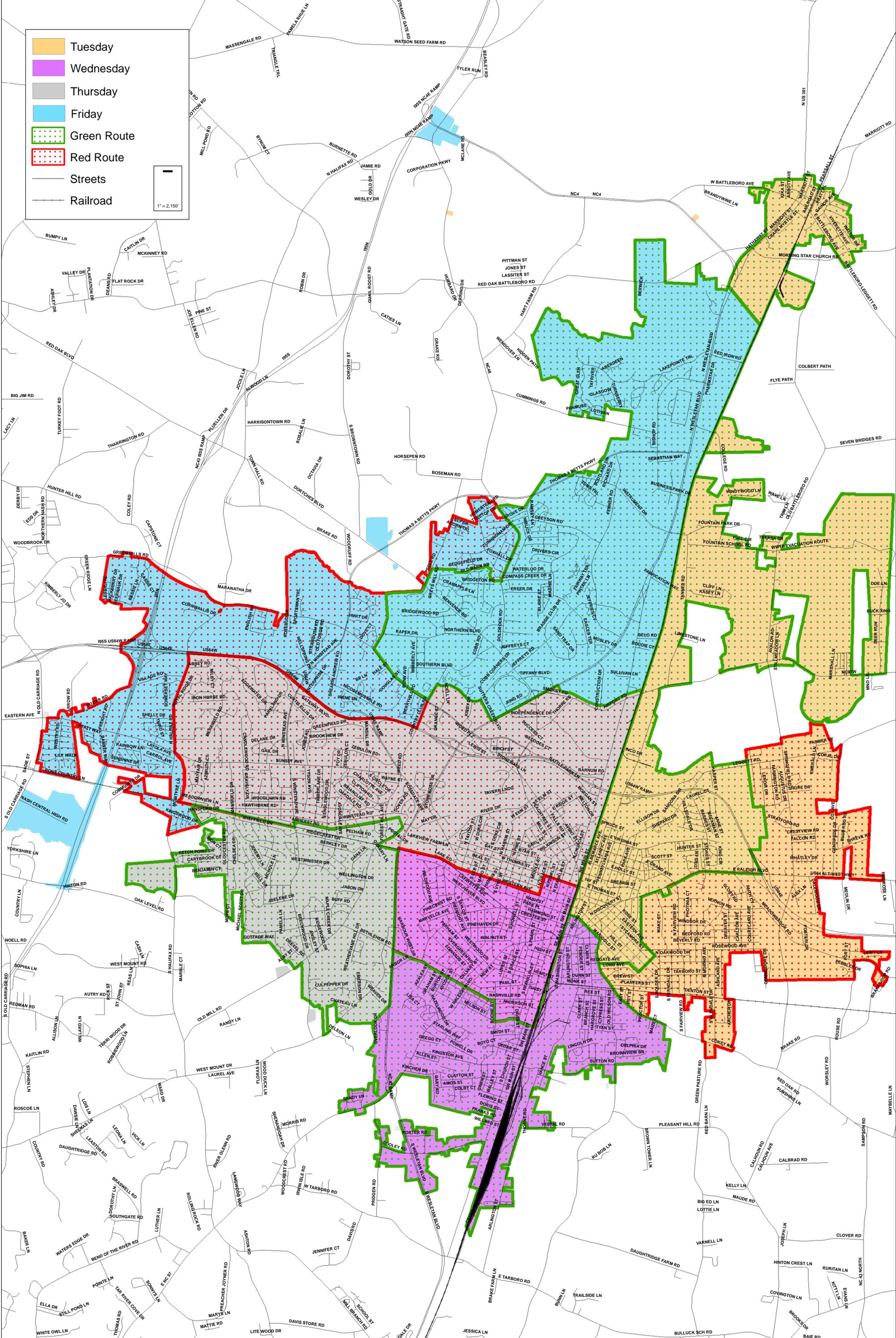
City of Rocky Mount, NC

331 S. Franklin St., PO Box 1180
Rocky Mount, NC 27802-1180

Budget Office
Business & Collections Services
City Clerk
City Manager
Communications, Marketing, &
Public Relations

- Tuesday
- Wednesday
- Thursday
- Friday
- Green Route
- Red Route
- Streets
- Railroad

1" = 2,150'



Recycling Schedule – Green & Red Routes

2021

January						
S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

February						
S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28						

March						
S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

April						
S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

May						
S	M	T	W	T	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

June						
S	M	T	W	T	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

July						
S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

August						
S	M	T	W	T	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

Recycling Schedule – Green & Red Routes

2021

September						
S	M	T	W	T	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

October						
S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

November						
S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

December						
S	M	T	W	T	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

 City Holiday—Saturday Pickup

A Message from NCDENR for N.C. residents:
Below is a list of items **banned from landfill disposal:**

- Aluminum Cans
- Antifreeze
- Appliances
- Beverage containers from ABC permitted facilities
- Lead-Acid Batteries
- Motor Oil
- Oil Filters
- Oyster Shells
- Pallets
- Plastic Bottles
- Scrap Tires
- Yard Waste



N.C. Division of Pollution Prevention & Environmental Assistance
(919) 715-6500 or (800) 763-0136
www.p2pays.org/BannedMaterials



ROCKY MOUNT
PUBLIC WORKS
AND WATER RESOURCES
THE CENTER OF IT ALL

ROCKY MOUNT
PUBLIC WORKS

ENVIRONMENTAL SERVICES DIVISION
PO Box 1180 | Rocky Mount, North Carolina 27802
252/467-4800 option 7 | <http://www.rockymountnc.gov>

important changes to curbside recycling

The City of Rocky Mount completed conversion of residential recycling collection by rollout cart. Residents received a 96 gallon cart, gray in color with a blue lid, which provided additional space for the disposal of recyclables.

Please note that your assigned day of curbside collection recycling, bulk waste and yard waste has not changed. The only change to your curbside collection is how often we will collect your recyclables. Garbage, bulk waste and yard waste will continue to be collected each week. **Curbside collection of your 96 gallon recycling cart with the blue lid now occurs bi-weekly (every other week).**



The calendar on the opposite side of this brochure shows the scheduled collection week. If your residence was collected on the **GREEN** week in 2020 you will need to follow the **GREEN** schedule. If your residence was collected on the **RED** week in 2020 then you will follow the **RED** schedule.

One of the advantages of using these larger carts for recycling is the increased capacity for recycled materials. On the opposite side of this brochure, please review the list of items that we can accept for recycling. You will also find a list of items that we are unable to accept for recycling with helpful information about other recycling resources. We encourage you to be mindful of what you throw away that ends up in a landfill and what you can recycle.

Besides being a smart move for the environment, recycling also helps to keep your monthly solid waste fee low. It costs more to take garbage to a landfill than to send items for recycling.

If you have questions, please call us at 467-4800 option 7

Should collection not occur on your scheduled day, please contact us at 467-4800 option 7.
Someone is available to take your call 24 hours per day.



accepted

Rocky Mount Public Works accepts several items & materials for recycling, both at the curb and at area drop-off centers, including:

mixed paper white, colored, & computer paper, shredded paper, file folders, brochures, catalogs, paper bags, junk mail, newspapers, magazines, phonebooks, & soft cover books

corrugated cardboard no pizza boxes or anything with food residue, please!

paperboard cereal, cake mix, tissue, shoe boxes, or other containers without a wax coating

plastic containers marked with #1 thru #7 (check bottom of container to identify)

rigid plastics buckets, plastic toys, lawn furniture, etc. (must be under 2 ft in length and under 40 lbs)

glass containers jars, bottles (clear, brown, or green)

aluminum & steel cans please, no food residue!

aluminum foil please, no food residue!

used motor oil** max. of 3 containers per collection

used automobile tires** max. of 2 tires per collection

used appliances** dishwashers, refrigerators, hot water heaters, stoves, washing machines, dryers, etc.

** used motor oil, tires, & appliances will only be collected from individual residences. To schedule collection of these items, you must call 467-4800 option 7

CURBSIDE COLLECTION CHECKLIST

- ✓ fill your recycling bin with accepted materials
- ✓ rinse & dry all containers/throw away lids & caps
- ✓ put shredded paper in a brown paper bag before placing in the bin; this keeps paper from becoming airborne litter
- ✓ flatten cardboard & paperboard boxes/ no larger than 3' X 3' in size
- ✓ place commingled recycling bin at the curbside by 6:30 am on your day of collection
- ✓ should we happen to miss your cart, call 467-4800 option 7



not accepted

Rocky Mount Public Works does NOT accept the following items or materials in curbside bins:

automotive fluids antifreeze, engine cleaners, oil filters, etc.

bagging material (news print can be placed in paper bag)

batteries of all types*

ceramics

chemicals & pesticides

coat hangers

fire extinguishers

fluorescent light bulbs**

hard cover books

household items toasters, cooking pots, pans, etc.

light bulbs

mirrors, window or auto glass

paint cans

paint, solvents, and glues

plastic antifreeze containers

plastic bags***

plastic clam shells

plastic medical waste

plastics that have come in contact with petroleum products or hazardous waste

printer cartridges—inkjet/laser ****

propane tanks

PVC pipe/tubing

styrofoam or polystyrene

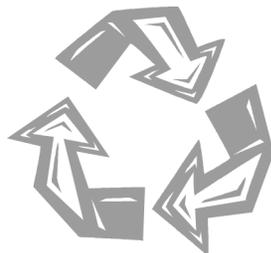
vinyl siding

*note that computers, electronic equipment, & batteries may be taken to Tri County Industries/1250 Atlantic Avenue (please call them in advance)

**compact fluorescent light (CFL) bulbs may be taken to Lowe's Home Improvement Store for recycling.

***plastic bags may be placed in receptacles at Food Lion, Harris Teeter, & Wal-Mart for recycling. Or, find a way to reuse your plastic bags, such as liners for small trash cans.

****inkjet/laser printer cartridges may be taken to Office Depot, Wal-Mart, or Walgreen's for recycling



Remember, your cart with the GRAY lid is

for garbage.

Your cart with the BLUE lid is for recycling only.

frequently asked questions

Should recyclables be separated?

Recyclables need not be separated; all recyclable items can be placed together in your curbside recycling container.

Can I still use my red recycling bin?

No, all recyclable items are to be placed in the new roll-out cart. If you have one of the 18 gallon bins, we encourage residents to keep the bin for use inside the home or garage to collect materials and then transfer them to the roll-out cart outdoors. Residents might want to use it for other purposes; it's a great storage container or tote for laundry, garden tools, etc.

What can I do if I have too many recyclables for my one recycling cart?

Place additional recyclables in a clear plastic bag on top of the cart or take some of your recycling materials to one of the City's recycling drop-off centers (see box below).

What should I do with the cart if I move?

The City-issued recycling cart is assigned to a specific address and is the property of the City of Rocky Mount. The cart is to remain in the backyard or garage when you move.

How can I get a replacement recycling cart if I just moved in and my cart is missing?

Call the Environmental Services Division at 467-4800 option 7 to request a replacement cart.

What can I do if I am physically unable to take my recycling cart to the curb for collection?

If you have a mobility impairment, please contact the Environmental Services Division at 467-4800 option 7 to arrange for assistance.

recycling drop-off centers

drop off your recyclables at these shopping centers, conveniently located throughout Rocky Mount and accessible 24 hours/day, at no charge to you!

- **Beaver Pond** on Goldrock Road
- **Wellongate** on Jones Road
- **Oakwood** on Fairview Road
- **River's Edge** on Harbour West Drive





RECYCLE RIGHT!



PLASTIC Bottles, tubs, jugs and jars



No pumps

Empty and rinse

METAL Cans



Empty and rinse

GLASS Bottles and jars



Empty and rinse

PAPER Paper, cartons and cardboard



Flatten cardboard



RECYCLE RIGHT!



KEEP THESE ITEMS OUT OF THE RECYCLING BIN!



- ⊗ Aerosol cans
- ⊗ All batteries
(car, lithium, etc.)
- ⊗ Ceramic items
- ⊗ Clothing or textiles
- ⊗ Diapers
- ⊗ Disposable cups
(plastic and paper)
- ⊗ Electronics
- ⊗ Food-tainted items
- ⊗ Hazardous waste
- ⊗ Household glass
- ⊗ Medical waste
- ⊗ Plastic bags/wrap
- ⊗ Scrap metal/wood
- ⊗ Styrofoam/peanuts
- ⊗ Tanglers
(cords, hoses, wires, etc.)
- ⊗ Tires
- ⊗ Toys

This insert was made by the N.C. DEQ's Division of Environmental Assistance and Customer Service (DEACS). For more information about recycling, call 1-877-623-6748.



RECYCLEMORENC.ORG



May 13, 2021

Ted Heilbron
Kelley Development Company
106 Muir Woods Drive
Cary, NC 27513

Re: Proposed 64 unit Multi-Family Residential Project -East Haven Apartments
White Sell Ct, Rocky Mount, NC

Dear Mr. Heilbron:

This letter acknowledges your inquiry regarding domestic water service and sanitary sewer service to serve this development. The service connections are proposed to be made as a service connecting to the City of Rocky Mount's existing water distribution system and sanitary sewer collection system.

The City of Rocky Mount's water treatment is accomplished by the Sunset and Tar River Water Plants (PWSID 04-64-010) which are permitted in combination by NCPWS at 26 MGD. The two plants are currently at less than 40% permitted production capacity. The target development will be served by an 8" potable water main on White Sell Ct which currently provides more than adequate domestic flow for the proposed development.

The City of Rocky Mount's sanitary sewer collection system is treated at the Tar River Regional Treatment Plant (WWTF Permit No. NC 0030317). The site is currently served by an 8" sewer line on White Sell Ct. The sewer line may only be accessible by pump; however, the sewer lines and treatment plant currently provide more than adequate capacity to serve the proposed development.

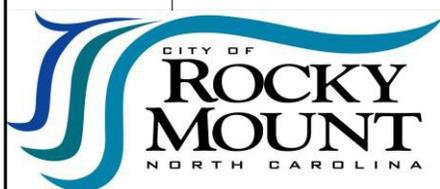
The City of Rocky Mount looks forward to the possibility of this project and to serving the water and sanitary sewer needs of this development. To this end, please see attached an estimate of the water and sewer meter, capacity, and main fees for the subject project. Should you require any additional information after having reviewed these estimates, please let me know.

Sincerely,

Donald M. Perry, P.E.
Assistant City Engineer – Water Resources

cc: Brad Kerr, PE – City of Rocky Mount Director of Public Works
Brenton Bent – City of Rocky Mount Director of Water Resources
Negrete Silver – City of Rocky Mount Engineering Technician II

Fee Verification Form



Project Name:	East Haven Apartments
Munis Number:	
PIN Number:	
Project Address:	White Sell Ct. & Dreaver St.
Date:	May 13, 2021

**Fees are subject to change based on annual fee review.

Department/Division: Engineering / Admin.

Water

Quantity	Size	Description	Cost	Total
64	3/4" domestic service	Water Meter	\$215.00	\$13,760.00
64		Water Capacity Fee	\$50.00	\$3,200.00
		Water Main Fee		\$0.00
		Water Tap/Meter & Box		\$0.00

Sewer

		Sewer Main Fee		\$0.00
64		Sewer Capacity Fee	\$75.00	\$4,800.00
		Sewer Tap		\$0.00
Totals				\$21,760.00

Comments: Cost For Water & Sewer Services per Unit.

Please make checks payable to: City of Rocky Mount

P O Box 1180

Rocky Mount, NC 27802

Attn: Negrete Silver - Public Works, Engineering Design

****FEE QUOTES ARE IN EFFECT FOR 60 DAYS****

Fee Verification Form



Project Name: East Haven Apartments
Munis Number:
PIN Number:
Project Address: White Sell Ct. & Dreaver St.
Date: May 13, 2021

**Fees are subject to change based on annual fee review.

Department/Division: Engineering / Admin.

<u>Water</u>				
Quantity	Size	Description	Cost	Total
		Water Meter		\$0.00
		Water Capacity Fee		\$0.00
1	\$25 * 41' = \$1,025 (lesser) or \$2,075 * 5 = \$10,375	Water Main Fee	\$2,500.00	\$2,500.00
		Water Tap/Meter & Box		\$0.00
<u>Sewer</u>				
		Sewer Main Fee		\$0.00
1	\$30 * 41' = \$1,230 (lesser) or \$2,490 * 5 = \$12,450	Sewer Capacity Fee	\$3,000.00	\$3,000.00
		Sewer Tap		\$0.00
			Totals	\$5,500.00

Comments: Main fees are calculated by the frontage fee or the acreage fee (lesser of the two).

**In this case the lesser of the two is less than the minimum requirement.
 Minimum charged per Policy No. X.2.9 Water / Sewer Connection Fees**

Please make checks payable to: City of Rocky Mount
P O Box 1180
Rocky Mount, NC 27802

Attn: Negrete Silver - Public Works, Engineering Design

****FEE QUOTES ARE IN EFFECT FOR 60 DAYS****



16 December 2021

Ted Heilbron
Kelley Development Company
Brad Queener
Bradley Housing Developers, LLC
East Haven Apartment Community- Rocky Mount, North Carolina

Re: Safe Drinking Water- East Haven Apartments, Rocky Mount, NC

Mr. Heilbron, Mr. Queener:

Per current Environmental Review requirements and 2021 NCHFA QAP requirements, East Haven Apartments in Rocky Mount, NC will be constructed using lead-free pipes, solder, and flux. All above and below ground water piping, fittings, components, coatings, joining materials and fixtures will meet the requirements of NSF 61 (manufacturing standard which domestic water products in North America must meet to be lead-free) and Sections 605.4 and 605.5 of the 2018 North Carolina Plumbing Code.

Please let me know if any additional information is needed.

Thank you!

Sincerely,

Michael P. Haynes, AIA
Progress Design Studio, PLLC

Water Resources

The mission of the Water Sources Department is to produce and distribute potable water for domestic and commercial use and to collect, treat, and dispose of domestic and commercial wastewater. These services provide value to the greater Rocky Mount community by promoting economic prosperity, preserving public health and safety, and ensuring a viable future through responsible utilization of natural resources.

Brenton Bent, Director of Water Resources

(252) 972-1299

Brenton.Bent@rockymountnc.gov

Water Resources Administrative Assistant

(252) 972-1290



Brenton Bent

Director of Water Resources

252-972-1299

City Hall, 331 S. Franklin St.,
Rocky Mount

Wastewater Treatment

James Costello, Superintendent

(252) 972-1401

James.Costello@rockymountnc.gov

The city of Rocky Mount operates a Biological Nutrient Removal (BNR) Wastewater Treatment Plant with a rated capacity of 21 million gallons per day. The plant operates 24 hours/365 days per year and treats on average, 10-11 million gallons of domestic and industrial wastewater per day. The combined waste stream includes city of Rocky Mount's domestic and industrial customers, resale

customers, which includes Nash and Edgecombe Counties, and four (4) surrounding municipalities. The Wastewater Plant also accepts wastewater from septic haulers whose service areas include six (6) counties. The treatment plant is located east of the city on Highway 97.

Water & Sewer

Nate Williams, Superintendent

(252) 467-4919

Nate.Williams@rockymountnc.gov

The Water and Sewer Division is responsible for the supervision and maintenance of approximately 504 miles of water distribution and 425 miles of sanitary sewer collection system mains. The water distribution system consists of seven (7) elevated water storage tanks and four (4) ground tanks with a total storage capacity of 10,000,000 gallons. The sanitary sewer collection system consists of 5,500 manholes and 36 sewer lift stations. The Water and Sewer Division is also responsible for the metering system and in conjunction with the Technical Services Division, conducts daily surveillance to ensure compliance with the city's sewer use ordinance and the Fats, Oil, and Grease (FOG) program.

Water Quality Services

Amanda James, Superintendent

(252) 972-1405

Amanda.James@rockymountnc.gov

Water Quality Services

waterqualityservices@rockymountnc.gov

The Water Quality Services Division provides analytical data & evaluation, oversee compliance of all regulatory requirements, provide technical expertise and oversight of the treatment process of both the Water and Wastewater Plants, and supports the Water & Sewer division's collection and distribution systems, all in an effort to ensure water quality to customers. Also, under their oversight is the monitoring and compliance evaluation of nine (8) Sanitary Sewer Significant Industrial User Customers and perpetual inspection responsibilities of wholesale municipal and county customers. The monitoring of Food Service Establishments (FSEs) primarily to prevent the discharge of Fats, Oils, and Grease (FOG) into the collection system is another essential function of the division.

Water Treatment

Jim Connolly, Superintendent

(252) 972-1336

Jim.Connolly@rockymountnc.gov

The city of Rocky Mount operates two (2) Water Treatment Facilities, (Sunset and Tar River Water Treatment Plants). The Water Treatment Division is responsible for the production of high-quality potable water to the city's domestic and industrial customers. The combined permitted capacity of the Plants are 30 million gallons per day (MGD) with a rated capacity of 26 MGD. Average daily demand is 10 MGD. Both plants serve approximately 80,000 customers. The Sunset Water Plant is located across from the City Lake on Sunset Avenue and the Tar River Plant is located west of the city on Leaston Rd.

Featured Links

- > [2020 Wastewater Systems Annual Performance Report](#)
- > [2020 Water Quality Report](#)

FAQs

Why are hydrants flushed?



When are hydrants in my area flushed?



Is my water safe to drink after flushing?



How can I find out when or if hydrants will be flushed in my area?





Additional Resources

[Approved RPDA Type Backflow Prevention Assemblies](#) ▶

[Cross Connection Policy](#) ▶

[Certified Backflow Testers](#) ▶

[NC Drinking Water Watch](#) ▶

[State Drought Monitor](#) ▶

[Water Shortage Response Plan](#) ▶



Subscribe to our
Newsletter Today!

FAQ

Frequently Asked Questions

Why do I get this report each year?

Community water system operators are required by federal law to provide their customers with an annual water quality report. The report helps people make informed choices about the water they drink. It lets people know what contaminants are in their drinking water and how these contaminants may affect their health. It also gives the system operators a chance to tell customers what it takes to deliver safe drinking water.

How many contaminants are regulated in drinking water?

The U.S. EPA regulates over 80 contaminants in drinking water. Some states may choose to regulate additional contaminants or to set stricter standards, but all states must have standards at least as stringent as the U.S. EPA's. The complete list can be viewed at <http://water.epa.gov/drink/contaminants/index.cfm>.

Should I be concerned about sodium in my drinking water?

The USDA recommended daily allowance (RDA) for sodium for a healthy adult is 2400 mg per day. A liter (about 4 servings) has about 33 mg which is less than 2% of the RDA. The leading sources of sodium in a typical diet include bread-like foods.

Why does my water sometimes look "milky"?

The "milky" look is caused by tiny air bubbles in the water. The water in the pipes is under pressure, and gases (the air) are dissolved and trapped in the pressurized water as it flows into your glass. As the air bubbles rise in the glass, they break free at the surface, thus clearing up the water. Although the milky appearance might be disconcerting, the air bubbles won't affect the quality or taste of the water.

Is it okay to use hot water from the tap for cooking and drinking?

No, always use cold water. Hot water is more likely to contain rust, copper, and lead from household plumbing and water heaters. These substances can dissolve into hot water faster than they do into cold water, especially when the faucet has not been used for an extended period of time.

How can I keep my pet's water bowl germ free?

Veterinarians generally recommend that water bowls be washed daily with warm, soapy water—normally when you change the water. Scour the corners, nooks and crannies of the water dish using a small scrub brush. In addition, once a week put water bowls into the dishwasher to sanitize them with hot water. In most situations, disinfectants like bleach are not needed; warm, soapy water is all you need to keep your pet's water clean and safe.



ROCKY MOUNT
WATER RESOURCES
THE CENTER OF IT ALL



For more information about your water

If you have any questions or concerns about this report or your water, please contact Jim Connolly, P.E. at jim.connolly@rockymountnc.gov or 252-972-1336. We want our valued customers to be informed about their water utility.

If you want to learn more, please attend any of our regularly scheduled Rocky Mount City Council meetings. The meetings occur on the second and fourth Mondays of the month at 7 p.m. and 4 p.m., respectively, in the George W. Dudley City Council Chamber on the third floor of the Frederick E. Turnage Municipal Building, 331 S. Franklin Street, Rocky Mount, NC.

PWS ID #0464010



ROCKY MOUNT
WATER RESOURCES
THE CENTER OF IT ALL

2020 Annual Drinking Water Quality Report

rockymountnc.gov

We are pleased to present to you the 2020 Annual Drinking Water Quality Report. This report is a snapshot of last year's water quality. Included are details about your source(s) of water, what it contains, and how it compares to standards set by regulatory agencies. Our constant goal is to provide you with a safe and dependable supply of drinking water. We want you to understand the efforts we make to continually improve the water treatment process and protect our water resources. We are committed to ensuring the quality of your water and to providing you with this information because informed customers are our best allies.

Our Drinking Water Is Regulated

This report is a summary of the quality of the water we provide our customers. The analysis covers January 1, 2020 through December 31, 2020. It was made by using the data from the most recent U.S. Environmental Protection Agency (EPA) required tests and is presented in the attached pages.

Where Do We Get Our Drinking Water?

The source of our water is the Tar River. We treat the water at either of two water treatment facilities before it is introduced into the water distribution system. One facility is located at the Tar River Reservoir, and the other is located on Sunset Avenue across from City Lake. In 2020, we treated and distributed 2.965 billion gallons of water to customers in the city of Rocky Mount and surrounding communities. To learn more about our watershed, go to U.S. EPA Surf Your Watershed Web page at www.epa.gov/surf.

Source Water Assessment

The North Carolina Department of Environmental Quality (DEQ), Public Water Supply (PWS) Section, Source Water Assessment Program (SWAP) conducted assessments for all drinking water sources across North Carolina. The purpose of the assessments was to determine the susceptibility of each drinking water source (well or surface water intake) to Potential Contaminant Sources (PCSs). The results of the assessment are available in SWAP Assessment Reports that include maps, background information and a relative susceptibility rating of Higher, Moderate or Lower.

The relative susceptibility rating of each source for the city of Rocky Mount was determined by combining the contaminant rating (the number and location of PCSs within the assessment area) and the inherent vulnerability rating (i.e., characteristics or existing conditions of the well or watershed and its delineated assessment area). The assessment findings are summarized in the table below:

Susceptibility of Source to Potential Contaminant Sources (PCSs)

Source Name	Susceptibility Rating	SWAP Report Date
Tar River Reservoir	Moderate	July 2015
Tar River near Sunset Ave.	Higher	

The complete SWAP Assessment report for the city of Rocky Mount may be viewed on the web at: www.ncwater.org/pws/swap or www.ncwater.org/files/swap/swap_reports/0464010_7_11_2015_17_22.pdf. Note that because SWAP results and reports are periodically updated by the PWS Section, the results available on this website may differ from the results that were available at the time this CCR was prepared. If you are unable to access your SWAP report on the web, you may

mail a written request for a printed copy to: Source Water Assessment Program – Report Request, 1634 Mail Service Center, Raleigh, NC 27699-1634, or email requests to swap@ncdenr.gov. Please indicate your system name (city of Rocky Mount) and number (PWS ID #0464010) and provide your name, mailing address and phone number. If you have any questions about the SWAP report, please contact the Source Water Assessment staff by phone at 919-715-2633.

It is important to understand that a susceptibility rating of “higher” does not imply poor water quality, only the system’s potential to become contaminated by PCSs in the assessment area.

Sources of Drinking Water

The sources of drinking water (both tap water and bottled water) include rivers, lakes, streams, ponds, reservoirs, springs and wells. As water travels over the surface of the land or through the ground, it dissolves naturally-occurring minerals, and in some cases, radioactive material and can pick up substances resulting from the presence of animals or from human activity.

Contaminants that may be present in source water include:

- Microbial contaminants, such as viruses and bacteria, which may come from sewage treatment plants, septic systems, agricultural livestock operations and wildlife.
- Inorganic contaminants, such as salts and metals, which can be naturally-occurring or result from urban storm water runoff, industrial or domestic wastewater discharges, oil and gas production, mining or farming.
- Pesticides and herbicides, which may come from a variety of sources such as agriculture, urban storm water runoff and residential uses.
- Organic chemical contaminants, including synthetic and volatile organic chemicals, which are by-products of industrial processes and petroleum production, and can also come from gas stations, urban storm water runoff and septic systems.
- Radioactive contaminants, which can be naturally-occurring or be the result of oil and gas production and mining activities.

All Drinking Water May Contain Contaminants

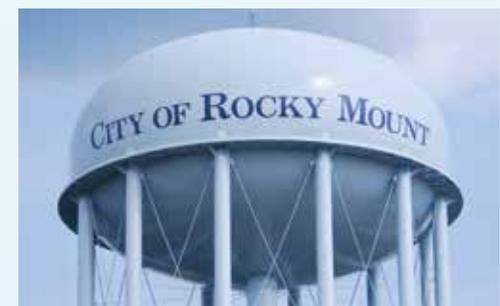
Drinking water, including bottled water, may reasonably be expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water poses a health risk. In order to ensure that tap water is safe to drink, the EPA prescribes regulations which limit the amount of certain contaminants in water provided by public water systems. Food and Drug Administration regulations establish limits for contaminants in bottled water which must provide the same protection for public health. More information about contaminants and potential health effects can be obtained by calling the EPA's Safe Drinking Water Hotline at 1-800-426-4791.

Lead and Drinking Water

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. The city of Rocky Mount is responsible for providing high quality drinking water but cannot control the variety of materials used in customer plumbing components. When your water has been sitting in the home piping for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to 2 minutes before using water for drinking or cooking. If you are concerned about lead in your water, you may wish to have your water tested. Information on lead in drinking water, testing methods and steps you can take to minimize exposure is available from the Safe Drinking Water Hotline or at www.epa.gov/safewater/lead.

Cryptosporidium Testing

Our system monitored for cryptosporidium in source water from 2015-2017. The results indicate that cryptosporidium is present in untreated river water at a concentration of 0.025 oocysts/liter. Presence of cryptosporidium at 0.075/liter or less is classified as bin#1 which is considered the lowest level of cryptosporidium hazard for river waters. Cryptosporidium is a microbial pathogen found in surface water throughout the U.S. Although filtration removes cryptosporidium, the most commonly-used filtration methods cannot guarantee 100 percent removal. Our monitoring indicates the presence of these organisms in our source water. Current test methods do not allow us to determine if the organisms are dead or if they are capable of causing disease. Ingestion of cryptosporidium may cause cryptosporidiosis, an abdominal infection. Symptoms of infection include nausea, diarrhea and abdominal cramps. Most healthy individuals can overcome the disease within a few weeks. However, immuno-compromised people, infants and small children, and the elderly are at greater risk of developing life-threatening illness. We encourage immuno-compromised individuals to consult their doctor regarding appropriate precautions to take to avoid infection. Cryptosporidium must be ingested to cause disease, and it may be spread through means other than drinking water.



2020 Test Results

We routinely monitor for over 100 contaminants in your drinking water according to Federal and State laws. The tables below list all the drinking water contaminants that we detected in the last round of sampling for each particular contaminant group. The presence of contaminants does not necessarily indicate that water poses a health risk. Unless otherwise noted, the data presented in this table is from testing done January 1 through December 31, 2020. The EPA and the State allow us to monitor for certain contaminants less than once per year because the concentrations of these contaminants are not expected to vary significantly from year to year. Some of the data, though representative of the water quality, is more than one year old.

Definitions

Action Level (AL) – the concentration of a contaminant which, if exceeded, triggers treatment or other requirements which a water system must follow.

Action Level Goal (ALG) – the level of a contaminant in drinking water below which there is no known or expected risk to health. ALGs allow for a margin of safety.

Average – Regulatory compliance with some MCLs is based on running annual average of monthly samples.

Maximum Contaminant Level (MCL) – the highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology. Secondary MCLs are unenforceable guidelines for aesthetic quality of water.

Maximum Contaminant Level Goal (MCLG) – the level of a contaminant in drinking water below which there is no known or expected risk to health. MCLGs allow for a margin of safety.

Maximum Residual Disinfectant Level (MRDL) – the highest level of a disinfectant allowed in drinking water. There is convincing evidence that addition of a disinfectant is necessary for control of microbial contaminants.

Maximum Residual Disinfectant Level Goal (MRDLG) – the level of a drinking water disinfectant below which there is no known or expected risk to health. MRDLGs do not reflect the benefits of the use of disinfectants to control microbial contaminants.

mrem – millirems per year (a measure of radiation absorbed by the body).

NA – not applicable.

ND – not detected.

NTU – Nephelometric Turbidity Units.

Parts per billion (ppb) – micrograms per liter (µg/L) or one ounce in 7,800,000 gallons of water.

Parts per million (ppm) – milligrams per liter (mg/L) or one ounce in 7,800 gallons of water.

Picocuries per liter (pCi/L) – a measure of the radioactivity in water.

Range – lowest and highest measurements

SU – standard unit

TT – treatment technique

Some people may be more vulnerable to contaminants in drinking water than the general population. Immunocompromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune system disorders, some elderly and infants can be particularly at risk from infections. These people should seek advice about drinking water from their health care providers. EPA/CDC guidelines on appropriate means to lessen the risk of infection by Cryptosporidium and other microbial contaminants are available from the Safe Drinking Water Hotline at 1-800-426-4791.

Microbiological Contaminants - Total Coliform Rule - 2020

Contaminant	Violation Y/N	Your Water	MCLG	MCL	Likely Source of Contamination
Total Coliform Bacteria (presence or absence)	N	Maximum 3%	0	5% of monthly samples are positive	Naturally present in the environment
Fecal Coliform or E. Coli	N	0	0	NA	Human and animal fecal waste

Turbidity

	Violation Y/N	Limit (Treatment Technique)	Level Detected	Major Sources in Drinking Water
Highest single measurement	N	TT=1 NTU	0.29	Soil runoff
Lowest monthly % meeting limit	N	0.3 NTU	100%	Soil runoff

Turbidity is a measurement of the cloudiness of water. We monitor it because it is a good indicator of the effectiveness of our filtration system.

Inorganic Contaminants

Contaminant (Units)	Violation Y/N	Highest Detected	Range	MCLG	MCL	Major Sources in Drinking Water
Fluoride (ppm) ¹	N	0.78	0.60 - 0.78	4	4	Erosion of natural deposits; water additive which promotes strong teeth

¹ Results from 2020.

Unregulated Inorganic Contaminants

Contaminant (Units)	Violation Y/N	Sample Date	Your water	Range	Secondary MCL
Sulfate (mg/L)	N	2020	54	<42.7-66	250

Total Organic Carbon (TOC)

The percentage of TOC removal was measured each month in 2020, and the system met all TOC removal requirements. Average TOC removal ratio was 1.57 with a range of 1.48 to 1.69.

Lead and Copper

Contaminant (Units)	Violation Y/N	Date Sampled	Your Water	# of sites above the AL	MCLG	MCL	Likely Source of Contamination
Copper (ppm) at 90th percentile	N	2020	0.095	0	1.3	AL= 1.3ppm	Erosion of natural deposits; leaching from wood preservatives; corrosion of household plumbing systems
Lead (ppb) at 90th percentile	N	2020	ND	0	0	AL= 15ppb	Corrosion of household plumbing systems; erosion of natural deposits

Disinfectants and Disinfection By-products - 2020

Contaminant (Units)	Violation Y/N	Highest Level	Range	MCLG	MCL	Likely Source of Contamination
Total Trihalomethanes (TTHM) (ppb)	Y	62	24-81	NA	80	By-product of drinking water chlorination
Haloacetic Acids (HAA5) (ppb)	N	35	0-50	NA	60	By-product of drinking water chlorination
Chloramines (ppm)	N	1.66	0-4.3	4	4	Water additive used to control microbes
Chlorine	N	1.41	0-4.1	4	4	By-product of drinking water chlorination

Some people who drink water containing trihalomethanes in excess of the MCL over many years may experience problems with their liver, kidneys, or central nervous systems, and may have an increased risk of getting cancer.

The PWS Section requires monitoring for other miscellaneous contaminants, some for which the EPA has set secondary maximum contaminant limits (SMCLs) because they may cause cosmetic or aesthetic effects (such as taste, odor, and/or color) in drinking water. The contaminants with these limits normally do not have any health or safety effects on your water.

Water Characteristic Contaminants

Contaminant (Units)	Sample Date	Average	Range	Secondary MCL	Noticeable Effects And/Or Likely Source of Contamination
Calcium (ppm)	2020	17.5	8-19.6	NA	Naturally occurring
Conductivity (umhos/cm)	2020	290.1	227-370	NA	NA
Hardness (ppm) as Calcium Carbonate	2020	42	12-88	NA	Naturally occurring calcium and magnesium
pH	2020	8.3	7.7-9.0	6.5-8.5	Erosion of natural deposits
Silica (ppm)	2020	10.4	7.9-14.5	NA	A naturally occurring compound found in sand and quartz. Used to make glass, fiber optic cables, and concrete.
Sodium (ppm)	2020	33	32.8-33.5	NA	Sodium refers to the salt present in the water and is generally naturally occurring.

Secondary Drinking Water Regulations are non-enforceable guidelines regarding contaminants that may cause cosmetic effects (such as skin or tooth discoloration) or aesthetic effects (such as taste, odor or color) in drinking water.

Unregulated Contaminant Monitoring Rule (UCMR4)

Contaminant (Units)	Year Sampled	Range	SMCL
Manganese (mg/L)	2019	0.0037 - 0.0058	0.0500
HAA6 Bromide (mg/L)	2019	0.0063	NA
HAA9 (mg/L)	2019	0.026	NA

Unregulated contaminants are those for which the EPA has not established drinking water standards. The purpose of unregulated contaminant monitoring is to assist the EPA in determining the occurrence of unregulated contaminants in drinking water and whether future regulation is warranted. Any unregulated contaminants detected are reported in this table. For additional information and data, visit <https://www.epa.gov/dwucmr/fourth-unregulated-contaminant-monitoring-rule> or call the Safe Drinking Water Hotline at (800) 426-4791.

Synthetic Organic Chemical Contaminants

Contaminant (Units)	Sample Date	Average	Range	MCLG	MCL	Likely Source of Contamination
Dalapon (ppb)	2020	2.25	ND - 2.25	200	200	Runoff from herbicide used on rights of way

NOTICE OF VIOLATION

Section .2002 of North Carolina's Rules Governing Public Water Systems requires that systems using surface water or groundwater-under-the-direct-influence of surface water as a source and provide conventional filtration or direct filtration to monitor their drinking water for residual disinfectant in the water entering the distribution system. The residual disinfectant concentration cannot be less than 1.0 mg/I for more than four consecutive hours during each month while using chlorine and ammonia as the disinfectant.

Residual disinfectant concentrations below the required threshold were recorded for a period lasting longer than four hours on September 5, 2020 and September 13, 2020. Therefore, the City of Rocky Mount violated the requirement of Section .2002. It is acknowledged that the City of Rocky Mount has since returned to compliance with subsequent residual disinfectant concentrations greater than or equal to 1.0 mg/I as required by the Rule.



ROCKY MOUNT
WATER RESOURCES
THE CENTER OF IT ALL

**City of Rocky Mount Wastewater Systems
Annual Performance Report
(January 2020 - December 2020)**

I. General Information

Facility/System Name: Tar River Regional Wastewater Treatment Facility and Collection System

Responsible Entity: Brenton F. Bent, MSML, Director of Water Resources
City of Rocky Mount

Persons in Charge: Darrell Highsmith, Wastewater Treatment Plant Chief Operator
Nathaniel Williams, Water & Sewer Services Superintendent
James K Costello, Wastewater Treatment Plant Superintendent

Applicable Permits: NPDES Permit #NC0030317
Land Application Permit #WQ0005568
Collection System Permit #WQCS00011

Description of Collection System and Treatment Process:

The city of Rocky Mount (City) maintains 436 miles of wastewater collection lines with 33 sewer lift stations. The collection system receives wastewater from five municipalities located in Nash and Edgecombe counties. The collection system discharges to the Tar River Regional Wastewater Treatment Facility. This facility is permitted to treat twenty-one (21) million gallons per day of wastewater by a pure oxygen activated sludge process using the Air Products "A2O OASES" biological nutrient removal process which provides both nitrification (conversion of ammonia to nitrates) and denitrification (conversion of nitrates to gaseous nitrogen). The effluent is filtered, disinfected and returned to the Tar River. Waste activated sludge is aerobically digested to permitted parameters and recycled through land application.

II. Performance Summary for the Reporting Period of January 2020 - December 2020

The Tar River Regional Wastewater Treatment Facility treated 5.34 billion gallons of wastewater in 2020. Removal of CBOD₅ (Carbonaceous Biochemical Oxygen Demand) contaminants was 98.66%, total suspended residue was removed at a rate of 97.87% and NH₃N (ammonia nitrogen) removal rate was 99.04%.

The following table serves as an exhibit of the Tar River Regional Wastewater Treatment Facility performance in relation to set limits within NPDES (National Pollutant Discharge Elimination System) Permit No. NC0030317 Section A.(1.)a.:

**TAR RIVER REGIONAL WASTEWATER PLANT
EFFLUENT ANALYSIS**

Parameter	Summer (Apr-Oct)		Winter (Jan-Mar & Nov-Dec)	
	NPDES Limits	Actual Values	NPDES Limits	Actual Values
pH	6 to 9	6.2 to 7.4	6 to 9	6.1 to 7.1
Residual Chlorine	0.028 mg/L	<0.020 mg/L	0.028 mg/L	<0.020 mg/L
CBOD ₅	5 mg/L	1.81 mg/L	10.0 mg/L	1.74 mg/L
Ammonia Nitrogen	2 mg/L	<0.100 mg/L	4 mg/L	0.233 mg/L
Total Suspended Residue	30 mg/L	2.22 mg/L	30 mg/L	4.57 mg/L
Fecal Coliform	200/100 ml	17.2/100 ml	200/100 ml	15.7/100 ml
Dissolved Oxygen	6.0 mg/L minimum	8.15 mg/L	6.0 mg/L minimum	8.81 mg/L
Flow	21 MGD	13.3 MGD	21 MGD	16.4 MGD

Permit Non-Compliance:

The Tar River Regional Wastewater Treatment Facility maintained full compliance for all effluent limitations and monitoring requirements as written in NPDES Permit No. NC0030317 Section A.(1.)a. for 2020.

Sanitary Sewer Overflows:

The City's Water Resources Department strives for a goal of zero (0) sanitary sewer overflows (SSOs). SSOs may result from, but are not limited to, inflow and infiltration due to high water level, restricted lines from rags, roots, grease accumulations, broken pipes from corrosion and construction activities and power failures at sewer pump stations. The City is reducing the potential for SSOs by maintaining back-up generators for pump stations, cleaning system lines and working to reduce inflow and infiltration problems. Users/Customers of the City's Collection System can help prevent SSOs by properly disposing of spent household products such as grease/oils and food scraps into solid waste containers, rather than down the drain.

There were forty-eight (48) incidents of sanitary sewer overflows within this report period as follows:

1	1/14/2020	Riverside Dr. @ RR Trestle	17	6/17/2020	Battle Park Ln.	33	6/22/2020	416 Barnum Rd.
2	1/23/2020	Bethlehem Rd. @ Tar River Bridge	18	6/17/2020	4021 Ketch Point Ln.	34	6/28/2020	3300 Cornwallis Dr.
3	2/6/2020	Riverside Dr. @ RR Trestle	19	6/17/2020	1420 Hillsdale Dr.	35	9/17/2020	Riverside Dr. @ RR Trestle
4	2/6/2020	1101 Johnson St. @ lift station	20	6/17/2020	545 E Raleigh Blvd.	36	9/30/2020	Riverside Dr. @ RR Trestle
5	2/6/2020	1701 Cooley Rd. @ lift station	21	6/17/2020	105 Wake St.	37	11/11/2020	203 Hill St.
6	2/6/2020	Cherry St.	22	6/17/2020	Olive St. & Shearin St.	38	11/11/2020	1713 Branch St.
7	2/7/2020	Old Mill Rd.	23	6/17/2020	1713 Branch St.	39	11/11/2020	691 Old Mill Rd.
8	2/8/2020	Battle Park Ln.	24	6/17/2020	200 S Englewood Dr.	40	11/11/2020	Bethlehem Rd. @ Tar River Bridge
9	3/24/2020	3324 Sunset Ave.	25	6/17/2020	2800 Westminster Dr.	41	11/11/2020	Olive St. & Shearin St.
10	3/25/2020	Riverside Dr. @ RR Trestle	26	6/17/2020	1700 Jason Dr.	42	11/11/2020	Riverside Dr. @ RR Trestle
11	4/30/2020	Riverside Dr. @ RR Trestle	27	6/17/2020	905 Tyan St.	43	11/11/2020	1101 Johnson St.
12	6/17/2020	Riverside Dr. @ RR Trestle	28	6/17/2020	1401 E Raleigh Blvd.	44	11/11/2020	107 Cooley Rd.
13	6/17/2020	1101 Johnson St.	29	6/18/2020	2471 Postal Dr.	45	11/12/2020	Battle Park Ln.
14	6/17/2020	1460 Cokey Rd.	30	6/18/2020	681 Old Mill Rd.	46	11/12/2020	Cherry St.
15	6/17/2020	824 Old Mill Rd.	31	6/18/2020	163 Spaulding Dr.	47	11/24/2020	Riverside Dr. @ RR Trestle
16	6/17/2020	930 Bethlehem Rd. @ Tar River	32	6/18/2020	1717 Branch St.	48	12/31/2020	691 Old Mill Rd.

Except for incidents # 9,14, and 34, all included sanitary sewer overflows occurred following heavy sustained rain events causing inflow into the system as documented by USGS data. Incidents #9,14, and 34, were the result of blockages caused by grease and debris build up.

Collection System Improvements:

A Supervisory Control and Data Acquisition (SCADA) system monitors all lift stations through remote monitoring. The sewer lines are inspected and cleaned daily by a full-time CCTV Crew using high pressure water jet trucks.

In 2020 the City completed in-house repairs for the following:

- Clean out caps (missing or damaged) replaced: 86
- Manholes raised or repaired: 33
- Service laterals repaired: 19
- Damaged sewer mains repaired: 7
- Mains cleaned: 31.75 Miles
- Miles of sewer main video inspected: 2.7
- Sewer main relined, 2.68 miles

III. Notification

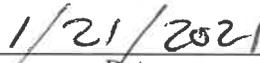
This report is available through the City's Water Resources Department webpage and can be requested from the Water Quality Services Division at (252) 972-1408.

Certification:

I certify under penalty of law that this report is complete and accurate to the best of my knowledge. I further certify that this report has been made available to the Users/Customers of the city of Rocky Mount and that those Users/Customers have been notified of its availability.



Brenton F. Bent, MSML
Director of Water Resources
City of Rocky Mount, NC



Date

Chris Daves

From: Mark Walters <mwalters@edgecombeco.com>
Sent: Tuesday, December 7, 2021 4:46 PM
To: Chris Daves
Subject: EMS Certification
Attachments: SEmergency 21120717000.pdf

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Chris,

Find attached the EMS certification form.

v/r

Mark Walters
Emergency Services Director
Edgecombe County
201 St. Andrew St. Suite 233
Tarboro, NC 27886
Office: 252-641-7843
Cell: 252-813-8214
Fax: 252-641-7887

This email message, and any attachment(s), as well as any email message(s) that may be sent in response to it, may be considered Public Record per NC General Statute §132, and may be released to third parties without prior notice.

Edgecombe County



Emergency Services

Phone: (252) 641-7843
Fax: (252) 641-7887

Post Office Box 10 • Saint Andrew Street
Tarboro, North Carolina 27886

EMERGENCY MEDICAL SERVICE CERTIFICATION

Project Name: East Haven Apartments

Proposed No. of Units: 64

Address: 1040 Dreaver Street (soon to Glory Drive)

Rocky Mount, Edgecombe Count , NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Emergency Medical Service is available and adequate for the project as the average response time of 4-5 minutes falls within the average community response time of 6 minutes; or adequate Emergency Medical Service is not available for the project. Furthermore, available Emergency Medical Service will will not be adversely affected by the project.

Additional Comments/Conditions/Concerns _____

12/7/2021

Date

Mark Walters

(Signature)

MARK WALTERS

(Officials Name — Print or Type)

DIRECTOR

(Official's Title)

EDGECOMBE Co. EMERGENCY SERVICES
(Department Name)

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

JINTAO WEN
CLEARINGHOUSE COORDINATOR
DPS - DIV OF EMERGENCY MANAGEMENT

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

The proposed project is in close vicinity of Special Flood Hazard Area (SFHA). If there is any encroachment, grading, fill or placement of equipment or materials in the SFHA, a floodplain development permit issued by City Of Rocky Mount will be required. Please coordinate with the City's Floodplain Administrator for permitting if needed.

Reviewed By: JINTAO WEN

Date: 12/13/2021



November 29, 2021

Edgecombe County Emergency Services
201 St. Andrew Street, Room 233
Tarboro, North Carolina 27886

Attention: Mr. Mark Walters, Director

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Director Walters:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Edgecombe County Emergency Services regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. To facilitate compliance with the National Environmental Policy Act of 1969 and HUD Regulations at 24 CFR Part 50, an Environmental Assessment must be completed prior to releasing funds for the East Haven Apartments project. This letter is a formal request to determine what effect(s) the proposed activity may have on operations and services provided by Edgecombe County Emergency Services or resources managed by Edgecombe County Emergency Services.

Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

EMERGENCY MEDICAL SERVICE CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Emergency Medical Service is available and adequate for the project as the average response time of ___ minutes falls within the average community response time of ___ minutes; or adequate Emergency Medical Service is not available for the project. Furthermore, available Emergency Medical Service will will not be adversely affected by the project.

Additional Comments/Conditions/Concerns _____

_____ Date	_____ (Officials Signature)
	_____ (Officials Name – Print or Type)
	_____ (Official’s Title)
	_____ (Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

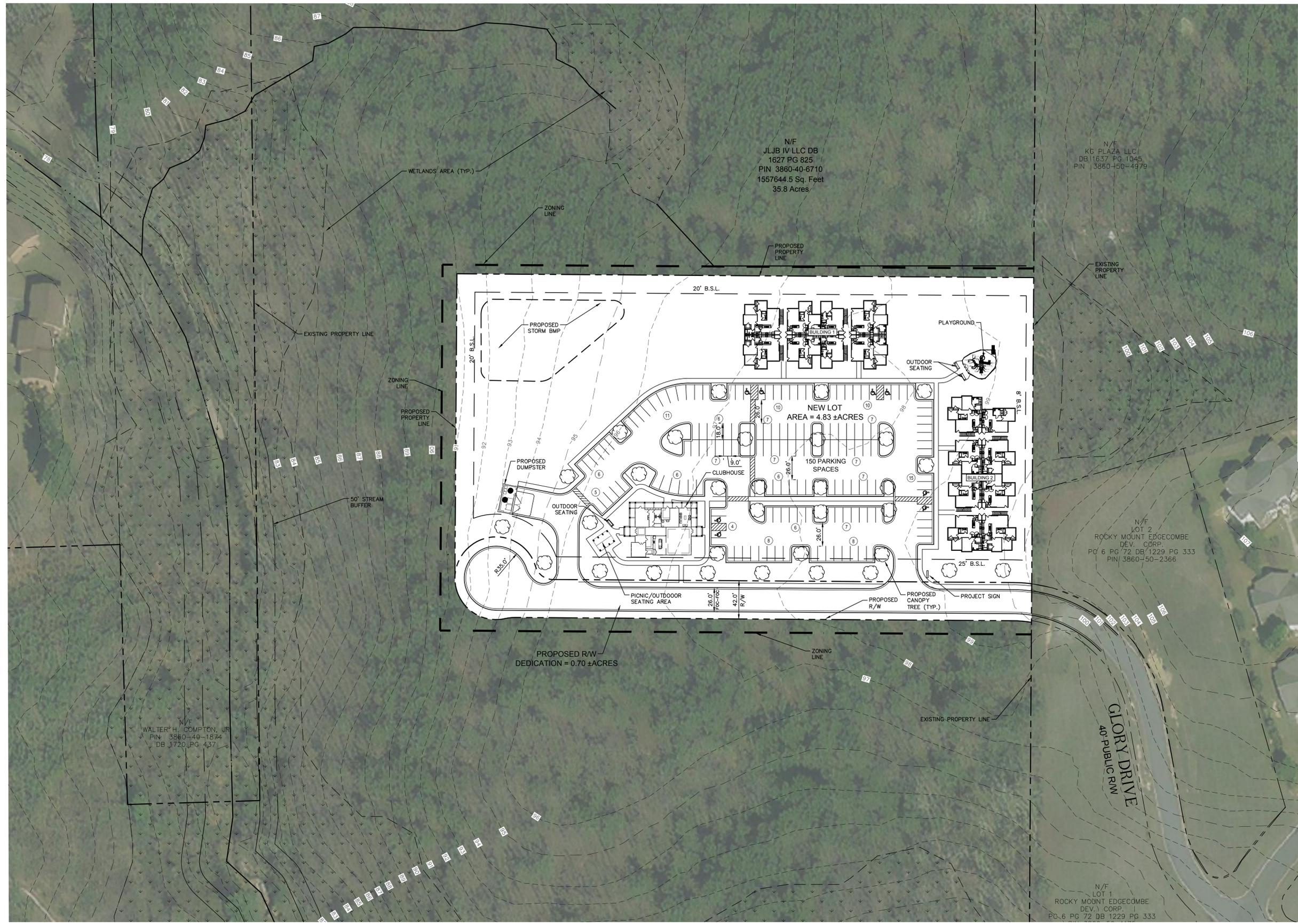
SCALE:
1 " = 2,000 '
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

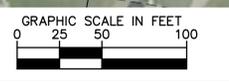
- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277



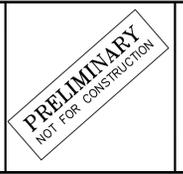
No.	REVISIONS	DATE	BY

Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT	013856000
DATE	05/13/2021
SCALE	AS SHOWN
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.
 ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA



PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER
PSL-1

Chris Daves

From: William Hale <William.Hale@rockymountnc.gov>
Sent: Wednesday, January 5, 2022 3:25 PM
To: Chris Daves
Cc: Tracey Drewery; Kimberly Wittig; Catina Phillips
Subject: Re: Dreaver St Rocky Mount NC Project 218540

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Mr. Daves,

Please see the attached information regarding the City of Rocky Mount Fire Department response times for the project area. I apologize for the delay, but wanted to ensure that we provided you correct and accurate information. Please note that the times are broken down into different segments and are 90th percentile values (not averages). This is the format that we use to report out for various requirements within the emergency services realm. For what it is worth, please note that we are an ISO/PPC Class 1 fire department and have been CPSE/CFAI accredited since 2003. Please let me know if this email will suffice for your needs or if I need to submit this information in a different format.

Thank you.

90th Percentile Values for F56, First Due, 11* Series

90th Percentile			
Alarm Processing	Turnout Time	Travel Time	Total Response Time
02:16	01:15	04:44	07:11

William W Hale

Fire Marshal
City of Rocky Mount Fire Department
(252)-972-1377 Office
(252)-343-3127 Mobile
william.hale@rockymountnc.gov

“Do the best you can until you know better. Then when you know better, do better.”

— Maya Angelou

Email sent to and from this address is subject to the North Carolina Public Records Law.

From: Chris Daves <CDaves@smeinc.com>
Sent: Wednesday, January 5, 2022 9:20 AM
To: William Hale <William.Hale@rockymountnc.gov>
Subject: RE: Dreaver St Rocky Mount NC Project 218540

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Previous year is fine.

Thanks...Chris

Chris Daves, P.W.S.

Biologist/Senior Scientist
M: 803.446.2980
cdaves@smeinc.com

From: William Hale <William.Hale@rockymountnc.gov>
Sent: Wednesday, January 5, 2022 8:04 AM
To: Chris Daves <CDaves@smeinc.com>
Subject: Re: Dreaver St Rocky Mount NC Project 218540

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Mr. Daves, what time frame would you like us to provide the data regarding response time for this area? The previous year, 2, or 3?

Thanks.

William W Hale

Fire Marshal
City of Rocky Mount Fire Department
(252)-972-1377 Office
(252)-343-3127 Mobile
william.hale@rockymountnc.gov

“Do the best you can until you know better. Then when you know better, do better.”

– Maya Angelou

Email sent to and from this address is subject to the North Carolina Public Records Law.

From: Chris Daves <CDaves@smeinc.com>
Sent: Tuesday, January 4, 2022 7:12 AM

To: William Hale <William.Hale@rockymountnc.gov>
Subject: RE: Dreaver St Rocky Mount NC Project 218540

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Mr. Hale,
I received your response to our inquiry related to the east Haven Apartments project in Rocky Mount.
Yes, response via e-mail is fine, or whatever is easiest for you to provide the information.

Thank you again...Chris

Chris Daves, P.W.S.

Biologist/Senior Scientist
M: 803.446.2980
cdaves@smeinc.com

From: William Hale <William.Hale@rockymountnc.gov>
Sent: Friday, December 31, 2021 3:22 PM
To: Chris Daves <CDaves@smeinc.com>
Subject: Dreaver St Rocky Mount NC Project 218540

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

Mr. Daves,

I wanted to reach out and let you know that I have received your inquiry regarding the property to be developed along Dreaver St in Rocky Mount NC. Please give me a call so that I can be sure you get the information that you need. I also left you a voicemail regarding this matter.

William W Hale

Fire Marshal
City of Rocky Mount Fire Department
(252)-972-1377 Office
(252)-343-3127 Mobile
william.hale@rockymountnc.gov

“Do the best you can until you know better. Then when you know better, do better.”

— Maya Angelou

Email sent to and from this address is subject to the North Carolina Public Records Law.



November 29, 2021

Rocky Mount Fire Department
375 East Raleigh Street
Rocky Mount, North Carolina 27801

Attention: Mr. Corey Mercer, Fire Chief

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Chief Mercer:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Rocky Mount Fire Department regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. To facilitate compliance with the National Environmental Policy Act of 1969 and HUD Regulations at 24 CFR Part 50, an Environmental Assessment must be completed prior to releasing funds for the East Haven Apartments project. This letter is a formal request to determine what effect(s) the proposed activity may have on operations and services provided by Rocky Mount Fire Department or resources managed by Rocky Mount Fire Department.

Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

FIRE PROTECTION CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Fire Protection is available and adequate for the project as the average response time of _____ minutes falls within the average community response time of _____ minutes; or adequate Fire Protection is not available for the project. Furthermore, available Fire Protection will will not be adversely affected by the project.

Additional Comments/Conditions/Concerns _____

_____ Date	_____ (Officials Signature)
	_____ (Officials Name – Print or Type)
	_____ (Official’s Title)
	_____ (Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

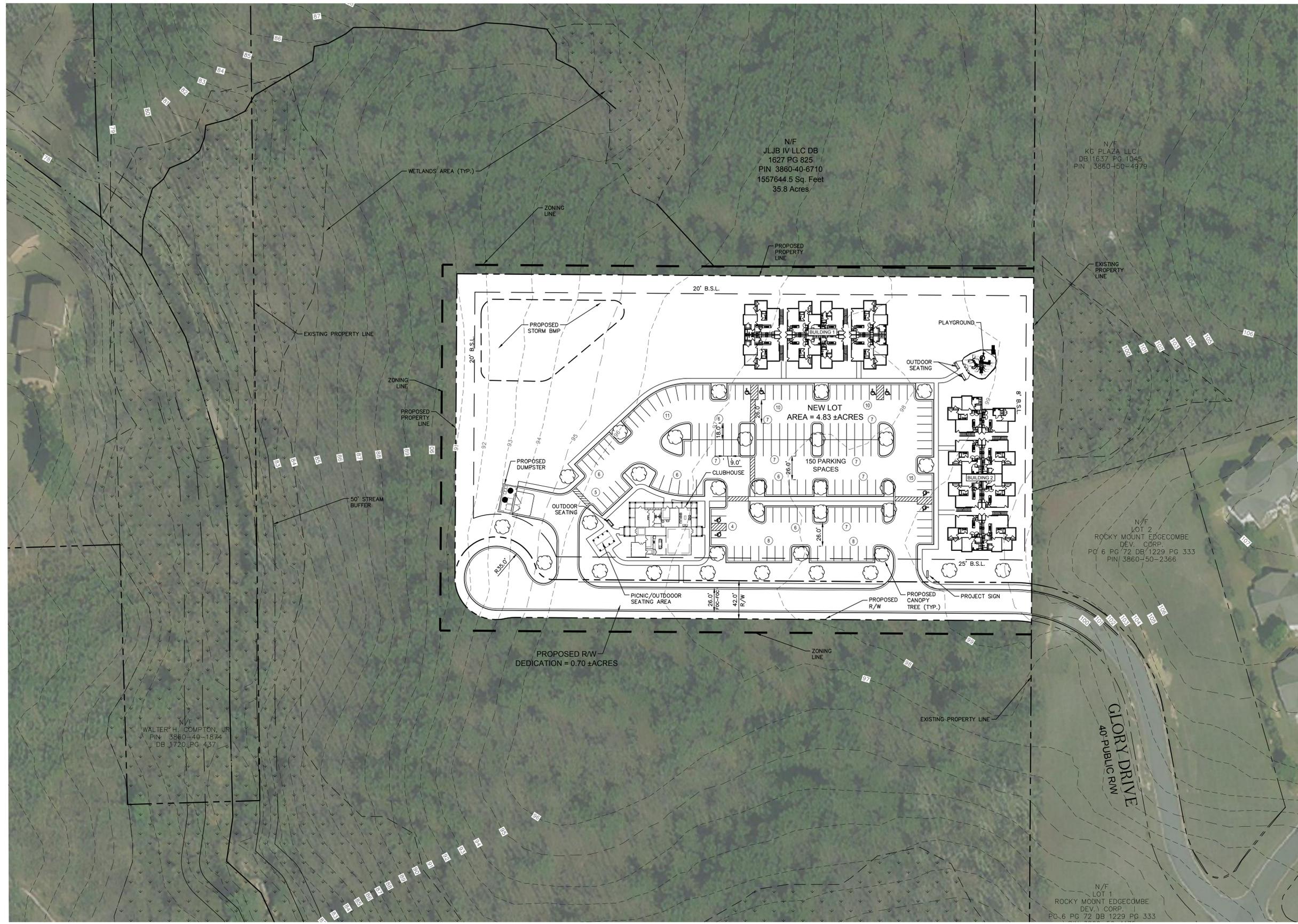
SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability for Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

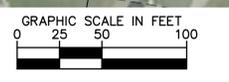
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 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-150-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT	013856000
DATE	05/13/2021
SCALE	AS SHOWN
DESIGNED BY	JCB
DRAWN BY	JCB
CHECKED BY	COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA



PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY

LAW ENFORCEMENT CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Police Service is available and adequate for the project as the average response time of 5:46 minutes falls within the average community response time of 7:48 minutes; or adequate Police Service is not available for the project. Furthermore, available Police Service will will not be adversely affected by the project.

Additional Comments/Conditions/Concerns _____

12-15-21

Date

C. L. Ballard

(Official's Signature)

C. L. BALLARD

(Official's Name - Print or Type)

CAPTAIN, SUPPORT SERVICES

(Official's Title)

ROCKY MOUNT POLICE DEPARTMENT

(Department Name)

Note: Copying official letterhead onto this certification is encouraged.



November 29, 2021

Rocky Mount Police Department
Post Office Box 1180
Rocky Mount, North Carolina 27802

Attention: Mr. Robert Hassell, Chief of Police

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Chief Hassell:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Rocky Mount Police Department regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. To facilitate compliance with the National Environmental Policy Act of 1969 and HUD Regulations at 24 CFR Part 50, an Environmental Assessment must be completed prior to releasing funds for the East Haven Apartments project. This letter is a formal request to determine what effect(s) the proposed activity may have on operations and services provided by Rocky Mount Police Department or resources managed by Rocky Mount Police Department.

Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

LAW ENFORCEMENT CERTIFICATION

Project Name: East Haven Apartments

Proposed No. of Units: 64

Address: 1040 Dreaver Street (soon to Glory Drive)

Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Police Service is available and adequate for the project as the average response time of _____ minutes falls within the average community response time of _____ minutes; or adequate Police Service is not available for the project. Furthermore, available Police Service will will not be adversely affected by the project.

Additional Comments/Conditions/Concerns _____

Date

(Official's Signature)

(Official's Name – Print or Type)

(Official's Title)

(Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

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APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**

SCALE:
1 " = 2,000 '
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

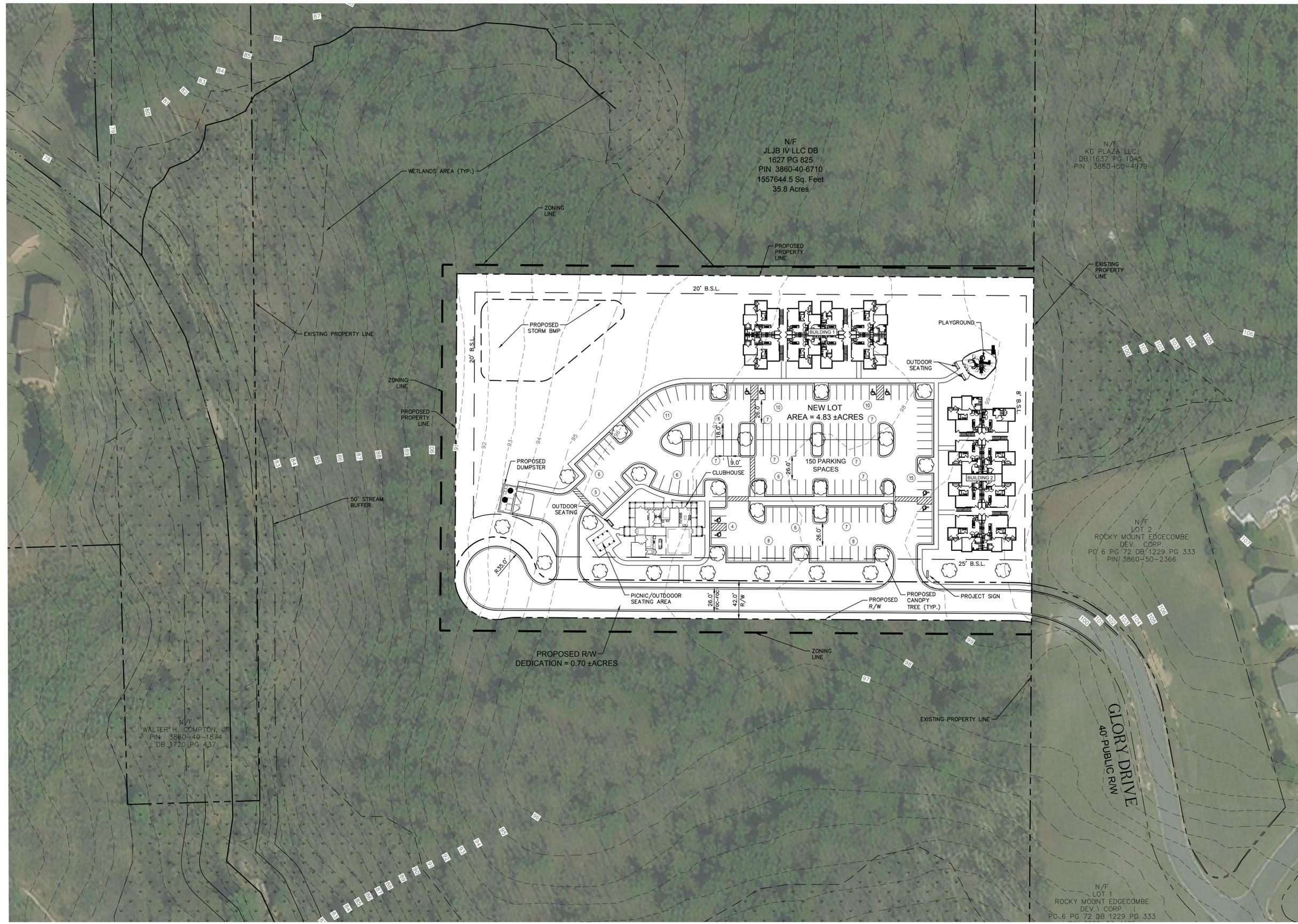
Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

Drawing Path: T:\ENVA\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021



Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
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Notes: Project Summary

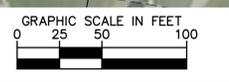
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 DEV. CORP.
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 ROCKY MOUNT EDGECOMBE
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT	013856000
DATE	05/13/2021
SCALE	AS SHOWN
DESIGNED BY	JCB
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CHECKED BY	COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

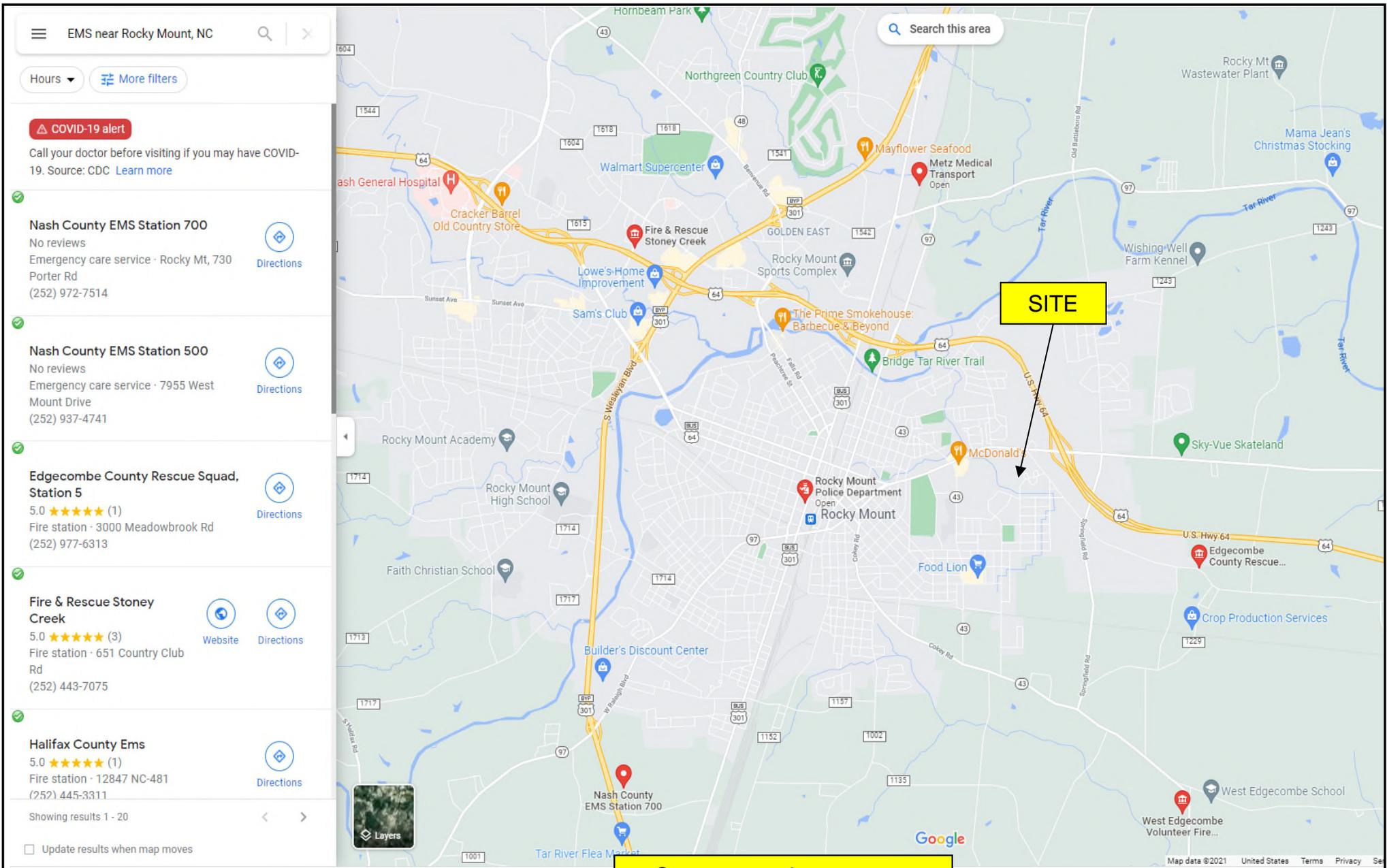


PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY



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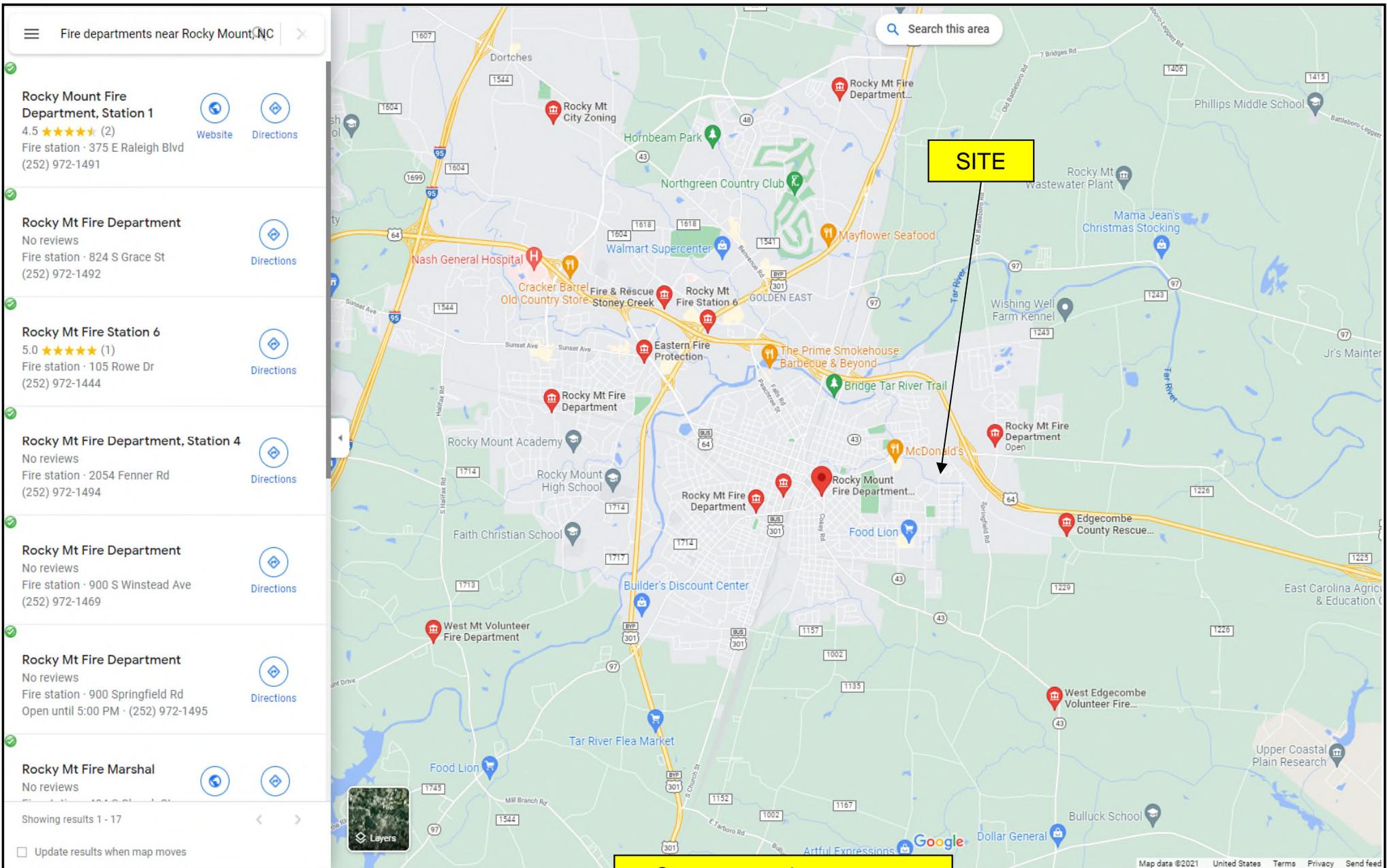
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CHECKED BY:	CD
DATE:	10-20-21



EMS SERVICES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., SOUTH CAROLINA

PROJECT NO: **218540**

EXHIBIT NO.



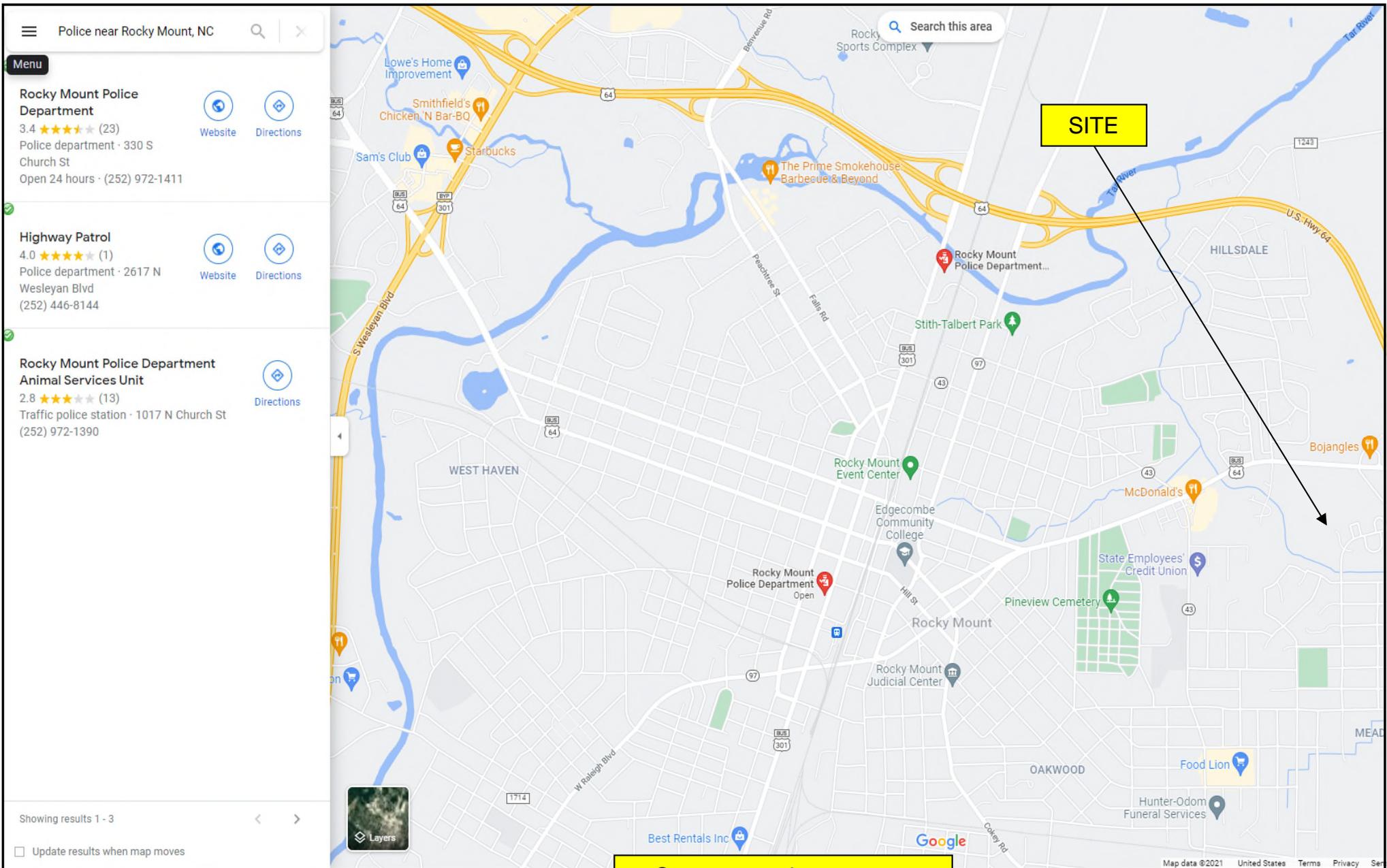
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DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-20-21



FIRE SERVICES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: **218540**





Source: googlemaps.com

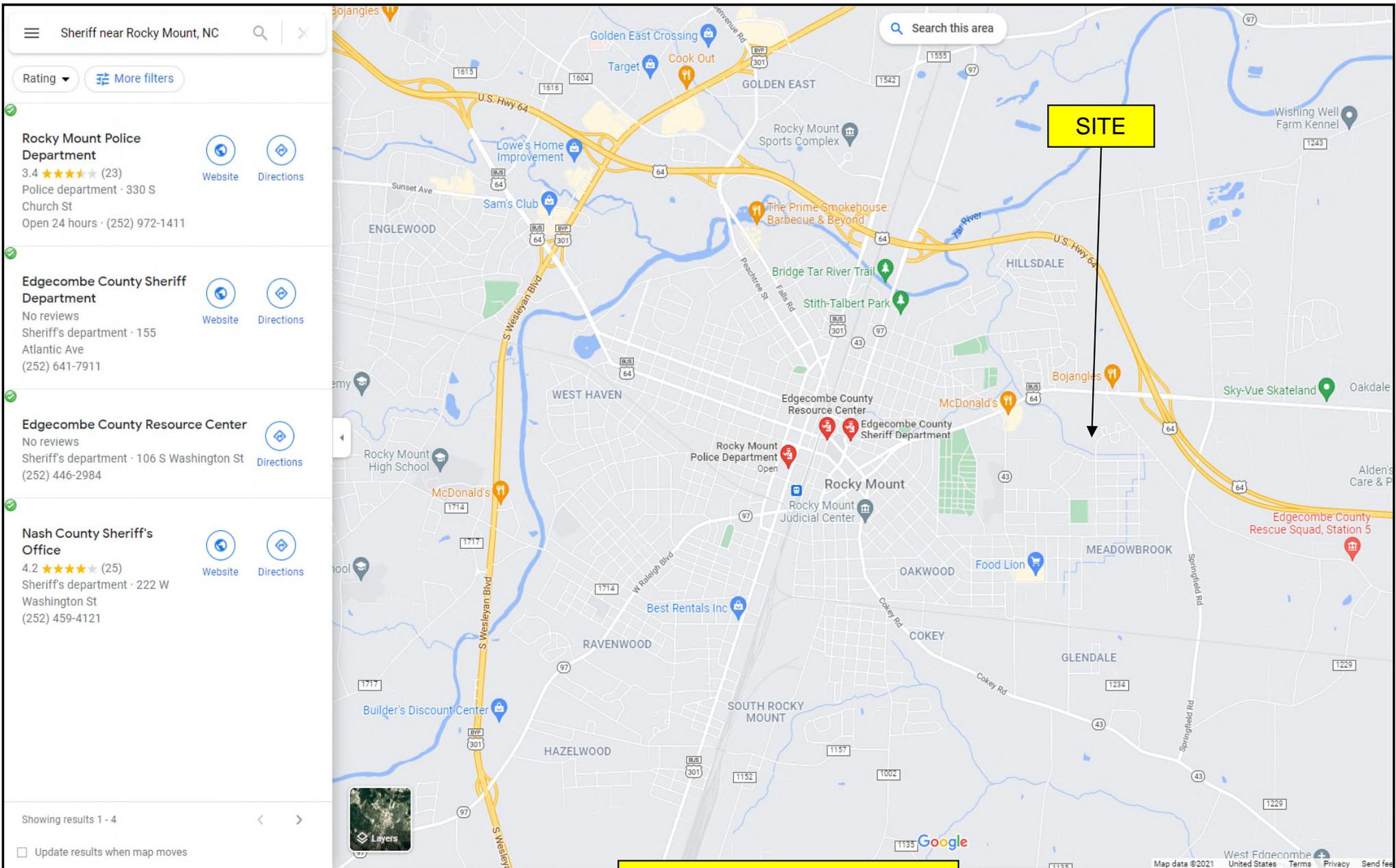
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DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-20-21



LAW ENFORCEMENT SERVICES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: **218540**





Source: googlemaps.com

SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-20-21



LAW ENFORCEMENT SERVICES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: **218540**





Highway Patrol

4.0 ★★★★★ 1 review
Police department

- Directions
- Save
- Nearby
- Send to your phone
- Share

2617 N Wesleyan Blvd, Rocky Mount, NC 27804

ncdps.gov

(252) 446-8144

262G+M9 Rocky Mount, North Carolina

Add a label

Suggest an edit

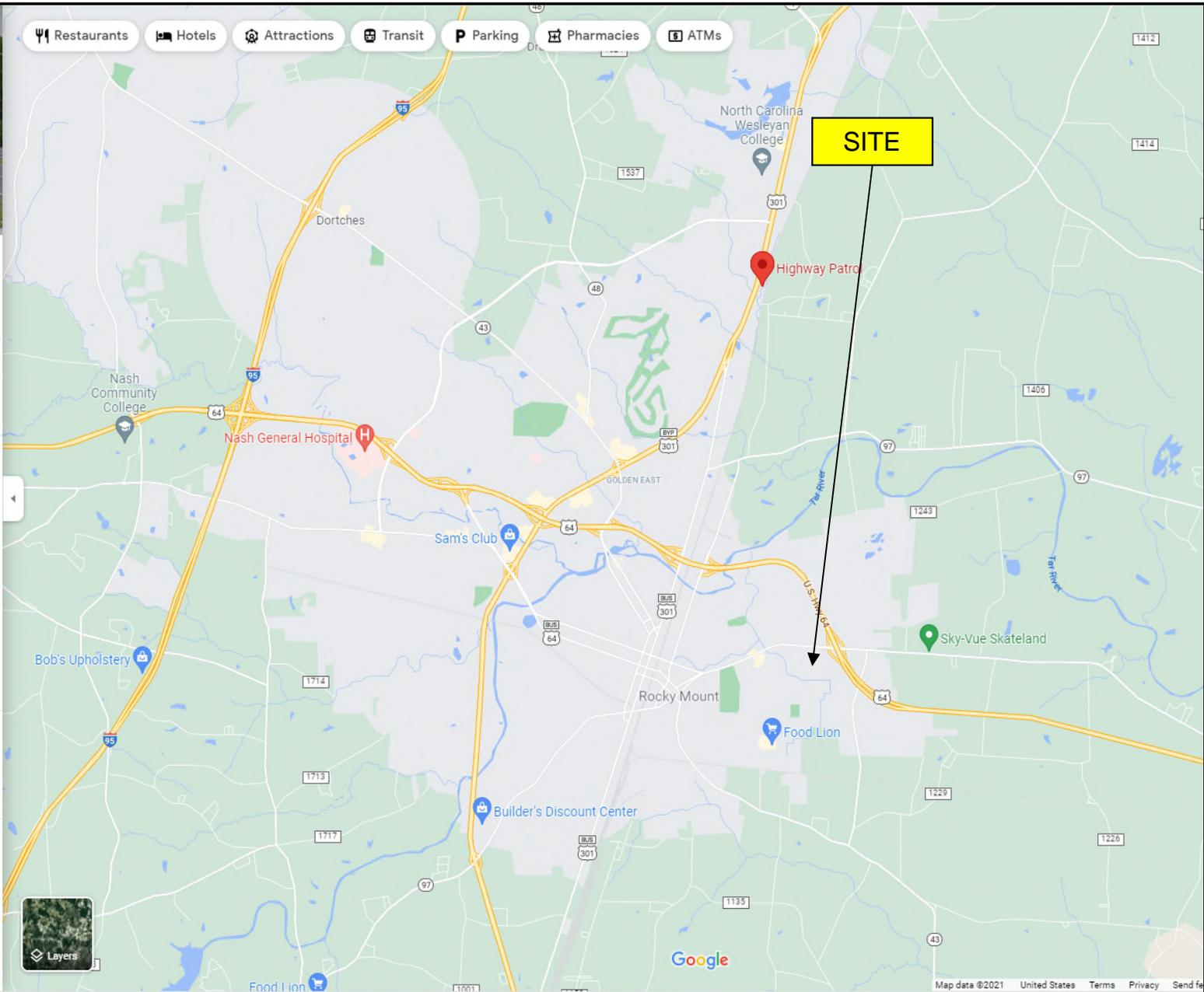
Add missing information

Add hours

Photos



Street View &



Source: googlemaps.com

SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-20-21



LAW ENFORCEMENT SERVICES EXHIBIT
EAST HAVEN APARTMENTS
ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: **218540**





November 29, 2021

Rocky Mount Parks and Recreation
313 South Franklin Street
Rocky Mount, North Carolina 27802

Attention: Mr. Joel Dunn, Director

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. Dunn:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from Rocky Mount Parks and Recreation regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

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Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

RECREATIONAL SERVICES CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801
Closest street intersection or landmark: Dreaver Street at White Sell Court

Adequate and appropriate Recreational Services and Facilities are are not available for this project. Furthermore, available Recreational Services and Facilities will will not be adversely affected by this project.

Recreational facilities and organization that may serve the project are: _____

Additional Comments/Conditions/Concerns _____

Date

(Officials Signature)

(Officials Name – Print or Type)

(Official's Title)

(Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

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APPROXIMATE SITE LOCATION
35.9435, -77.7684



0 2,000 4,000 FEET

 **Approximate Boundary**

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
1

Vicinity Exhibit

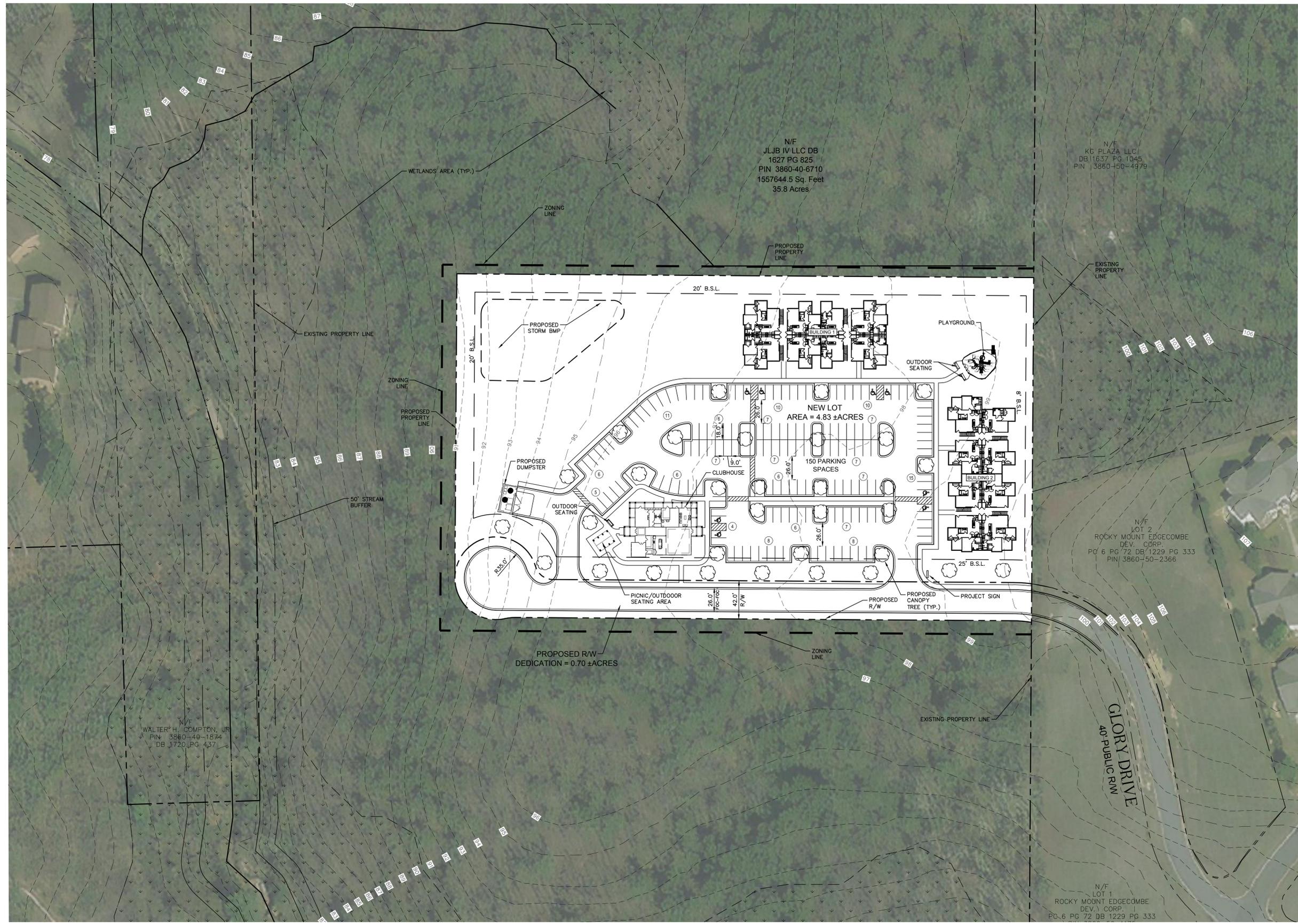
East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Street Map

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021



Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
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Notes: Project Summary

- 64 Total Units
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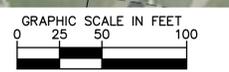
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

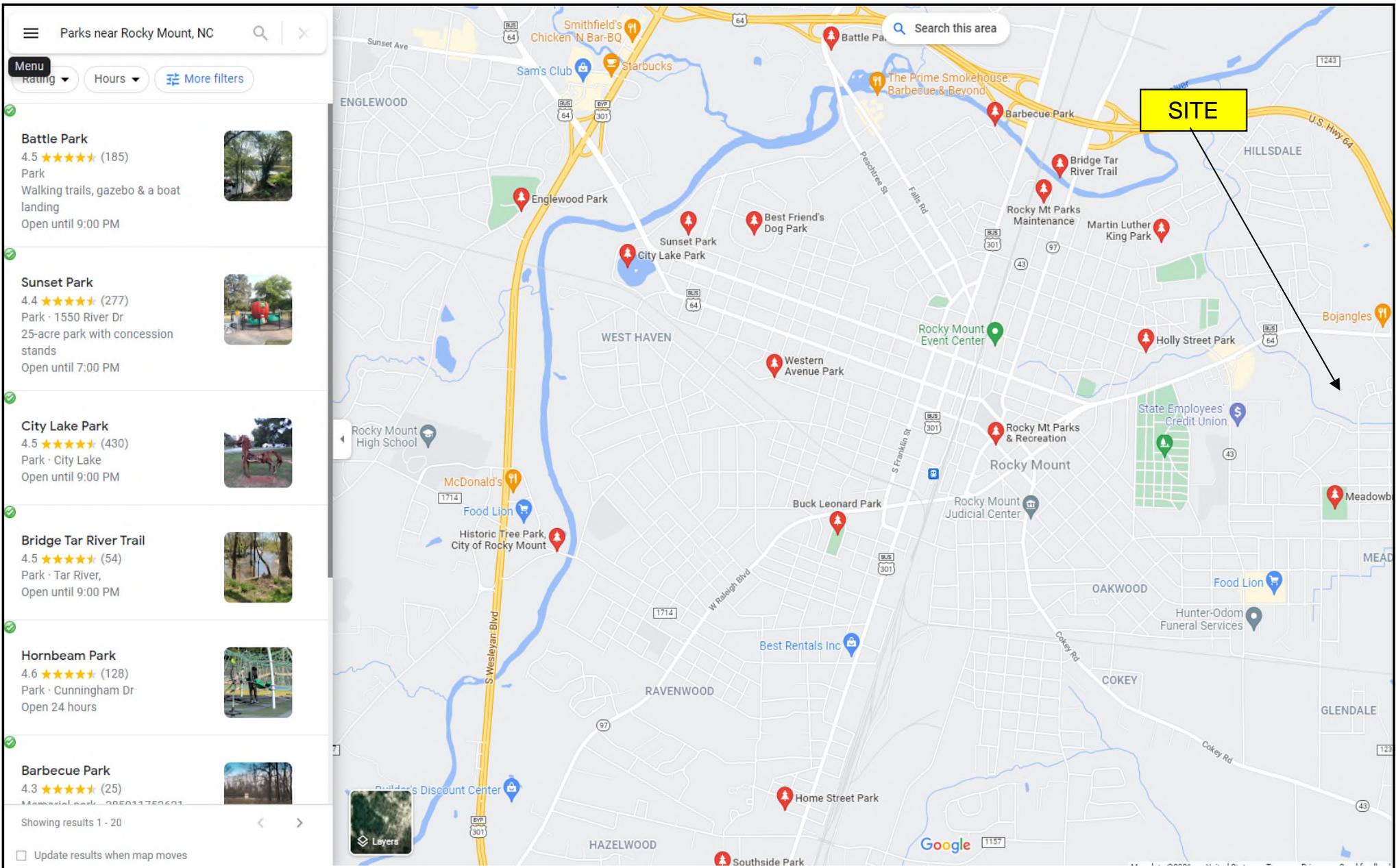
PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY



Source: googlemaps.com

SCALE:	NTS
DRAWN BY:	WT
CHECKED BY:	CD
DATE:	10-20-21



PARKS EXHIBIT
 EAST HAVEN APARTMENTS
 ROCKY MOUNT, EDGECOMBE CO., NORTH CAROLINA

PROJECT NO: 218540





Parks & Recreation

Parks & Recreation Menu

[Parks & Recreation](#)

[Athletics](#)

[Denton Street Pool](#)

[Park Maintenance Request](#)

[Park Planning](#)

[Trails](#)

NOTICE: Effective Monday, March 15, 2021, Parks and Recreation facilities including the Rocky Mount Senior Center, the Imperial Centre for the Arts and Sciences, South Rocky Mount Community Center and the Booker T.

Washington Community Center are open to the public. [Shelters and Party Packs are now available for online reservation.](#)

The Rocky Mount Parks and Recreation Department's mission is to advance the quality of life by providing positive, inclusive experiences through: People, Parks, and Programs. Click the following links for more information on the following locations: [Best Friend's Dog Park](#), [Sunset Park](#), [Veterans Memorial](#), and [City Lake](#)

Contact Us

Administration: [252-972-1151](#) | **Athletics:** [252-972-1160](#) | **Shelter Reservations:** [252-972-1151](#)

| **The Imperial Centre/Box Office:** [252-972-1266](#) | **BTW Community Center:** [252-467-4925](#)

| **Senior Center:** [252-972-1284](#) | **SRM Community Center:** [252-972-1169](#) | **Parks Maintenance:** [252-467-4922](#) | **Fax:** [252-972-1232](#)



Joel Dunn

Director of Parks & Recreation

P: 252-972-1151

331 S. Franklin St.,
Rocky Mount,
NC 27802

Parks

Best Friend's Dog Park

The Rocky Mount Dog Park is an off-leash area operated and maintained by the Rocky Mount Parks and Recreation Department. Rocky Mount's Off Leash Dog Park offers a recreation and park setting for dog lovers and dog owners to enjoy.

Find us at 480 N Lee Street, Rocky Mount, NC 27802. Reach us by phone at 252-972-1151.

The park consists of nine acres divided into three fenced areas: one for small dogs and two for large dogs.

- Small dog area: 2.11 acres devoted to small dogs weighing less than 25 pounds.
- Large dog area: 3.09 acres designed for active dogs weighing more than 25 pounds.
- Large dog flex area: 3.44 acres designed for active dogs weighing more than 25 pounds.

The off-leash area is open from dawn to dusk except for scheduled maintenance.

Your First Visit



Rules & Etiquette



If a Fight Happens





Downloads

- [Memorial Marker & Contribution Form](#)
- [City Animal Ordinance](#) (6MB PDF)

Local Resources

- [Edgecombe County Animal Control](#)
- [Nash County Animal Shelter](#)

Sunset Park

This 25 acre park is located off Sunset Avenue on Taylor Street and River Drive (1550 River Drive) beside the Tar River. Sunset Park is one of the crown jewels of the City's Parks and Recreation park system. It features lighted basketball and tennis courts, sand volleyball courts, boat ramp access to the Tar River, [18](#)

hole disc golf course, Little league baseball/softball field, skate board park, 4 picnic shelters, playground, and a concession stand serving ice cream, snow cones and a variety of summer time refreshments.

The park also features an Amusement Center with a historic miniature train, antique carousel, spray play water park, and bug kiddie ride (for guest under 40" tall). The amusement center entrance is located inside the park concession stand.

Admission to the Amusement Center is \$5.00 per person. This fee is for EACH INDIVIDUAL who enters the amusement center and includes unlimited access to spray park, train, carousel and bug ride. All children must be accompanied by an adult at all times while inside the amusement center. Children 4 and under are admitted free.



Operating Season

The office can be reached at 252-446-0500. Hours for the concession stand and the amusement center are:

- Early Season Open weekends only starting on Memorial weekend. Memorial Monday and Saturdays 1-7PM. Sunday 1-5PM.
- Summer Season Begins when Nash Rocky Mount School system year ends. Open Monday – Saturdays 1-7PM. Sundays 1-5PM.

- Late Season Open Labor Day weekend. Saturday 1-7 PM. Sundays 1-5 PM. Monday 1-7 PM. Closed after Labor Day Weekend.

No refunds are allowed. Daily opening and operational hours could be affected by inclement weather. Spray play water park hours may be affected by water restrictions. Train operating hours will be 1:00-2:00, 2:30-3:30, 4:00-5:00 & 5:30-6:30 PM. Participants admitted during the final 30 minutes of the day may not be able to enjoy all features of the amusement center. (Please give yourself plenty of time to enjoy all features of the park).

Sunset Party Packs

Have your child's party at Sunset Park!! Party Packs are two hour sessions (9:00am-11:00am or 11:00am-1:00pm).

Party Packs are two hour sessions (9:00am – 11:00am or 11:00am – 1:00pm). Party Packs are available to reserve starting April 1 through Labor Day. A Party Pack reservation guarantees access to the Sunset Park Amusement Center's Outdoor Picnic Area or the Inside Picnic Area during inclement weather (Only). Weather permitting, a Party pack reservation will include access to the Amusement Rides (Carousel, Miniature Train & Bug Ride) and Spray Park.

A typical Party Pack includes 3 separate timed sessions. 1) Picnic Session 2) Amusement Ride Session 3) Spray Park Session. When you arrive on site you can determine the length of each session. Your Picnic Session can overlap any other sessions, but for groups smaller than 75, the Amusement Session and Spray Park Session can not overlap each other. Our experienced Party Supervisor on duty can help you plan your sessions on site to maximize the fun.

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Party Pack pricing is as follows:

Up to 25 Participants

- City Residents: **\$105.00**
- Non-City Residents: **\$157.50**
- Nash/Rocky Mount Schools (payment must be from Nash Rocky Mount Schools): **\$110.00**

Additional Participants

- City residents: **\$3.00**
- Non-residents: **\$5.00**
- Nash Rocky Mount Schools: **\$4.00**

Notice

In fairness to all scheduled groups and activities at the amusement center, a properly scheduled group who arrives during another group's scheduled Party Pack session, will NOT be admitted into the amusement center until the beginning time of their scheduled session. Groups arriving late for a scheduled session will have their session shortened. Individual guest arriving late for a party pack group session, must be approved for admittance by the group's "responsible party."

Sunset Park Shelters and Party Pack rentals are now [available online](#), please contact the Parks and Recreation Department with any questions at 252-972-1151.

The park will close for the season after labor day weekend.

Veterans Memorial at Jack Laughery Park

The City of Rocky Mount worked with a citizen committee to develop plans for a veterans memorial on the site of the former Hardee's #1 at 321 North Church Street. The Rocky Mount Veterans Memorial at Jack Laughery Park is a lasting tribute to all who have served in the United States Armed Forces. The project is a joint effort of the City of Rocky Mount, local veterans, and friends of Jack Laughery.

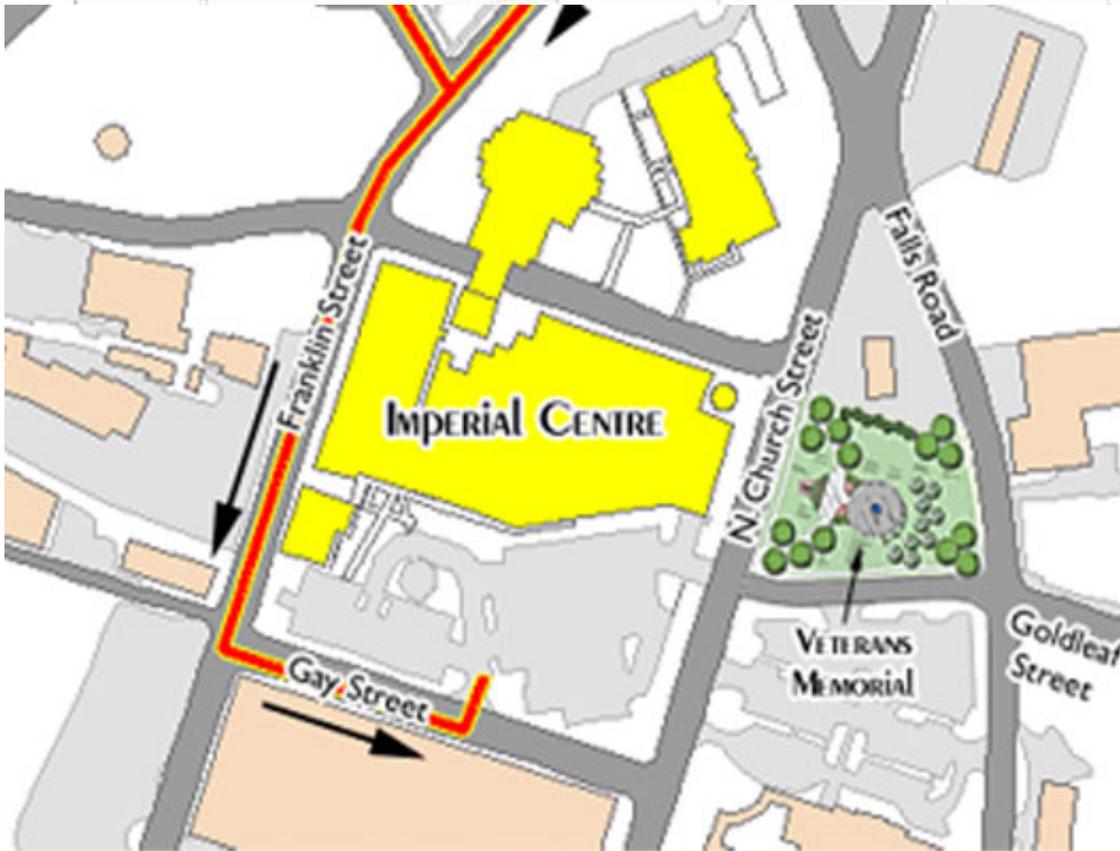
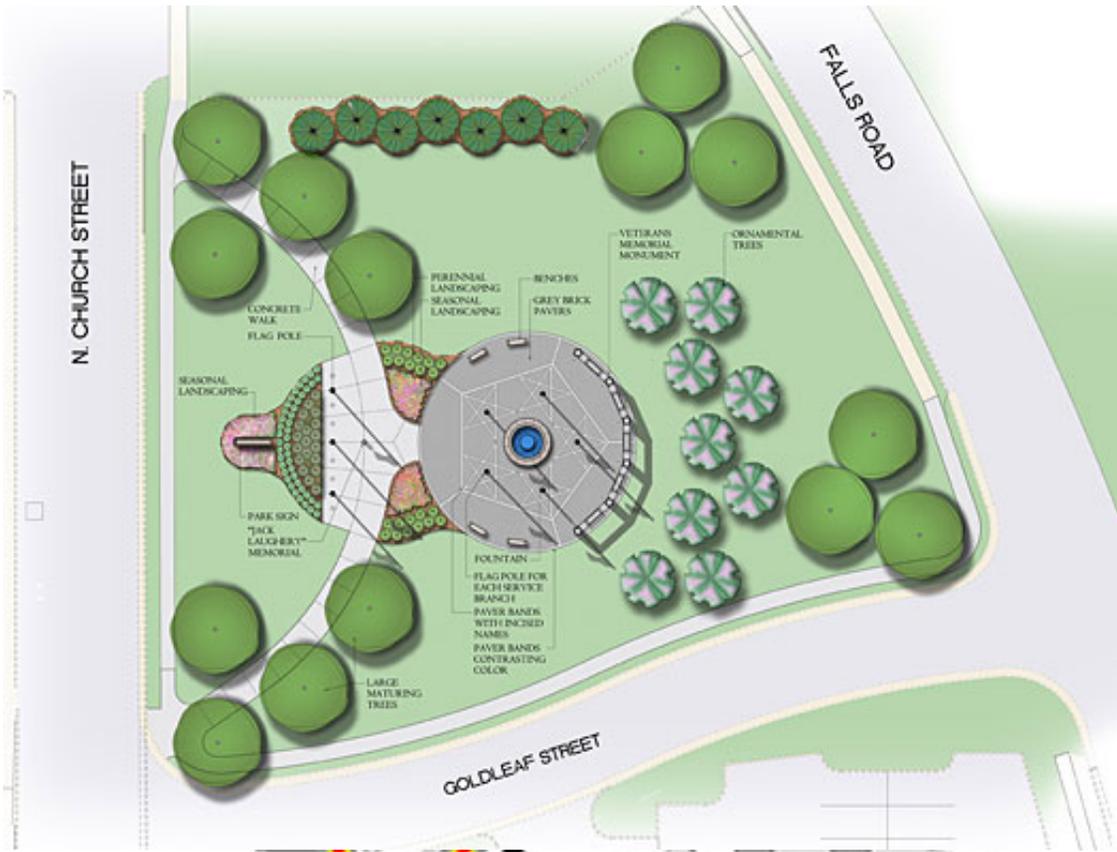
The memorial includes a series of five stone columns, commemorating each branch of the armed forces. The park has a water feature, park benches, and flagpoles for the colors of our nation, state, and city. Customized lighting and thoughtful landscaping of plants and trees creates a meditative setting for visitors.

Residents now have the opportunity to contribute to the Rocky Mount Veterans Memorial at Jack Laughery Park. The park features customized bricks for the walkways. Individuals have the opportunity to personalize a brick to be included in the walkways. All contributions to the Veterans Memorial are tax deductible.

- [Download a Contribution Form](#)

The City officially unveiled the memorial and park at a special dedication ceremony on Veterans Day, November 11, 2007. For more information on the memorial, please call 972-1151.





City Lake

City Lake, located off Sunset Avenue at the Tar River, was first constructed as a Works Progress Administration project under President Franklin D. Roosevelt's administration in 1937. The lake has undergone many face lifts over the years, with a complete beautification project concluded in 1993. Joggers and walkers make a trek around a half-mile concrete path surrounding the lake, while others relax under the tall hardwoods and pines to feed the exotic waterfowl living around the famous site. Other amenities include a gazebo, piers, a bridge to the island, and a fountain. By day or night, City Lake is one of the most beautiful sites in the two counties. Called "a place for us to come together," City Lake has become a symbol of the Rocky Mount area.

Shelters

NOTICE: Shelters and Party Packs are now available for [online reservation](#).

[Click Here for information on Shelter Addresses](#)

Picnic Shelters, up to 45 People

- Shelter Rentals available all year, not more than 6 months in advance.
- Half Day Rate (7am-2pm or 3pm-11pm): City-\$70.00 Non-City-\$90.00
- Full Day Rate (7 am-11 pm): City \$150.00 Non-City- \$225.00

Large Shelters- Sunset Shelter A or Sports Complex, up to 85 People

- Half Day Rate (7am-2pm or 3pm-11pm): City-\$90.00 Non-City-\$135.00
- Full Day Rate (7 am-11 pm): City \$175.00 Non-City-\$263.00

Gazebo for Weddings only @ City Lake/Battle Park

- 2hr min: City-\$140.00 and \$70.00 per additional hr., Non-City \$210.00 and \$105.00 per addition hr.
- No Reception
- No Chairs
- Hand tie decorations only
- Up to 25ppl

Park Rules

- No Alcohol
- No Refunds
- Hand tie decorations only
- Permit for amplified sound
- Bouncy house, or feeding the community require a 1-million-dollar liability policy, and the city listed as the second policyholder



Parks & Recreation

Parks & Recreation Menu

[Parks & Recreation](#)

[Athletics](#)

[Denton Street Pool](#)

[Park Maintenance Request](#)

[Park Planning](#)

[Trails](#)

Athletics

The Athletics Division offers a year-round line up of Youth and Adult athletic leagues and sporting special events. The division serves nearly 40,000 sport participants each year. In addition, over 100,000 spectators enjoy Rocky Mount athletic division sponsored leagues and sporting events each year. The Athletics Division is located at the RM Wilson Athletic Center, 311 Hill Street.

[Visit us on Facebook!](#)

For the Rocky Mount Sports Complex Inclement Weather Hotline, please call 252-467-6484.

Staff Contact

Devonte Speller, *Athletics Specialist*, [252-972-1560](#)

Alexis Rodriguez, *Athletics Specialist*, [252-972-1161](#)

Kimberly Lamm, *Administrative & Program Assistant*, [252-972-1160](#)

Alex Langley

Supervisor

P: 252-972-1162

F: 252-972-1685

Rocky Mount Athletic Center
311 Hill Street
Rocky Mount, NC 27801

Quick Links

- ▶ [Register Online](#)
- ▶ [Registration Forms](#)
- ▶ [Adults Sports](#)
- ▶ [League Schedules](#)
- ▶ [Sports Policy Manual](#)
- ▶ [Volunteer](#)
- ▶ [Youth Sports](#)

Adult Sports



Basketball

Registration: November

Season: December – February

Game Nights: Weeknights

Game Site: RM Event Center

Registration Fee: \$200.00 per team



Co-ed Indoor Volleyball

Registration: November

Season: December – February

Game Nights: Weeknights

Game Site: RM Event Center

Individual Registration Fee: City resident/\$20.00; Non-resident/\$30.00



Co-ed Kickball

Registration: August

Season: September – October

Game Nights: Weeknights

Game Site: Rocky Mount Sports Complex

Registration Fee: Individual Registration Fee: city resident/\$20; non-city resident/ \$30



Co-ed Sand Volleyball

Registration: July

Season: August – September

Game Nights: Weeknights

Games Site: Sunset Park Volleyball Courts

Individual Registration Fee: City Resident/\$20; non-city resident/\$30



Futsal

Registration: November

Season: December – February

Game Nights: Weeknights

Game Site: RM Wilson Gym

Individual Registration Fee: City resident/\$30.00; Non-resident/\$45.00



Soccer

Registration: May

Divisions: Classic A, Classic B, Premier

Season: June-July

Game Nights: Weeknights

Game Site: Rocky Mount Sports Complex

Individual Registration Fee: City resident/\$30; non-city resident/\$45.00



Softball

Registration: March

Divisions: Men's Church, Co-ed, and Senior (50+)

Season: April – June

Game Nights: Weeknights

Game Site: Rocky Mount Sports Complex

Registration Fee: Spring – \$200.00 per team

Youth Sports



Rocky Mount Little League Softball

Registration: January & February; registration received after deadline is not guaranteed

Age Divisions: 7-8 (Machine Pitch), 9-10, 11-12, 13-14

Season: April – June (12U and 14U divisions will start late April/early May)

Game Nights: Mondays, Tuesdays, Wednesdays, and Thursdays

Game Site: Rocky Mount Sports Complex and other Nash/Edgecombe County fields

Registration Fees: City Resident: \$30; Non-city resident: \$45



Basketball

Registration: September – October

Season: December – February

Age Divisions: 3-4, 5-6, 7-8, 9-10, 11-12, 13-15

Practice/Game Nights: Weeknights and Saturdays

Game Sites: Rocky Mount Event Center

Registration Fees: City Resident \$30; Non-resident \$45

[Download Youth Basketball Coaches Manual](#)



Cheerleading

Registration: June – July (Fall)

Season: Fall: August – October; Winter: December – February

Age Divisions: 5-12

Practice/Game Days: Weeknights and Saturdays

Games Site: Rocky Mount Sports Complex (home games)

Registration Fees: City Residents \$30.00; Non-residents \$45.00



Cross Country

Registration: August

Season: September – November

Ages: 5-17

Meets: Weekends (travel required)

Registration Fees: City Residents \$30.00; Non-residents \$40.00



Hot Shot Soccer

Registration: Spring (January – February); Fall (July-August)

Age Divisions: 4U, 6U, 8U, 10U, 12U, 15U

Season: March – May (Spring), August – October (Fall)

Game Days: Occasional weeknights, majority on Saturdays

Game Site: Rocky Mount Sports Complex

Registration Fees: City Residents \$30.00; Non-Residents \$45.00



NFL Youth Flag Football

Registration: January – February

Season: March – May

Age Divisions: 7-9, 10-12

Game Days: occasional weeknights; majority on Saturdays

Games Site: Rocky Mount Sports Complex

Registration Fees: City Residents \$30.00; Non-Residents \$45.00



Rocky Mount Little League Baseball

Registration: January – February (Spring); July – August (Fall)

Season: April – June (Spring); Sept – Oct (Fall)

Age Divisions: 3-4 (Minor T-Ball), 5-6 (Major T-Ball), 7-8 (Machine Pitch), 9-12 (Minor and Major player pitch)

Game Nights: Mondays, Tuesday, Wednesday, Thursday

Game Site: Rocky Mount Sports Complex

Registration Fees:

Ages 3-8: City Residents \$30; Non-resident \$45

Ages 9-12: City Resident \$35; Non-resident \$45



Tackle Football

Registration: June – July

Season: August – October

Age Divisions: 7-8, 9-10, 11-12

Game Days: Saturdays

Games Site: Rocky Mount Sports Complex (home games)

Registration Fees: City Residents \$50.00; Non-residents \$75.00



Track and Field

Registration: March

Season: April – June

Ages: 5-17

Meets: Weekends (travel required)

Registration Fees: City Resident: \$30; Non-city resident \$45

Fall 2021 League Schedules

Hot Shot Soccer

- ▶ 4U Hot Shot Soccer Schedule
- ▶ 6U Hot Shot Soccer Schedule
- ▶ 8U Hot Shot Soccer Schedule
- ▶ 10U Hot Shot Soccer Schedule
- ▶ 12U Hot Shot Soccer Schedule
- ▶ 15U Hot Shot Soccer Schedule

Softball

- ▶ 8U Softball Schedule
- ▶ 10U Softball Schedule
- ▶ 12U Softball Schedule

Baseball

- ▶ 4U Tball Schedule
- ▶ 6U Baseball Schedule

- ▶ 8U Baseball Schedule
- ▶ Fall Majors (9-12) Schedule

Football

- ▶ Little Gryphons Football Schedule (Rookie, JV, & Varsity)

Registration Forms

Youth

- ▶ 2021 Youth Basketball



Parks & Recreation

Parks & Recreation Menu

[Parks & Recreation](#)

[Athletics](#)

[Denton Street Pool](#)

[Park Maintenance Request](#)

[Park Planning](#)

[Trails](#)

Paddle and Walking Trails

Disclaimer of Responsibility: The cooperating organizations and individuals accept no responsibility for inaccuracies in the information provided on this page nor do they accept liability for injury or property damage arising from the use of this trail guide.

David Griffin

Supervisor

P: 252-972-1235

Outdoor Recreation

PO Box 1180

Rocky Mount, NC, 27802-1180

Tar River Trail

The Rocky Mount the Parks & Recreation Department oversees a system of parks and trails near the center of Rocky Mount. The 7.1 mile City Trail System links several large parks comprising nearly 300 acres of parkland. Starting in Sunset Park and following the

Tar River through Battle Park, crossing the river into Stith-Talbert Park, the trails travels into Dr. Martin Luther King, Jr. Park. Near South Church Street, a connector trail travels north to the Rocky Mount Sports Complex and Athletic Stadium.

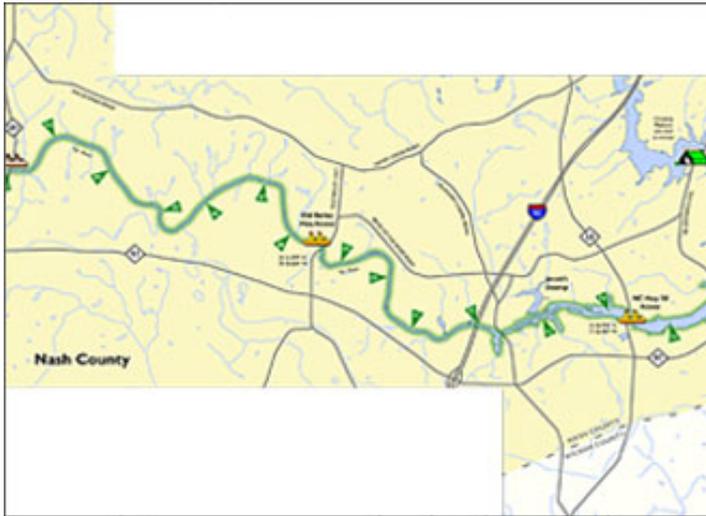
- [Download map](#) (800 KB PDF)

Tar River Paddle Trail

Explore the waterways of Rocky Mount on the Tar River Paddle Trail. The trail is comprised of ten canoe and kayak access locations that connect over 55 miles of the Tar River and Stony Creek.



The green rectangles marked NC, UT, LT, and TT on the map above correspond to the large trail maps noted as Nash County, Upper Tar, Lower Tar, and Tarboro respectively (shown below). The red rectangle shown on the large maps marks the exclusion zone above the Tar Falls dam. See the map legend for details.



Nash County Section



Upper Tar River Section



Rocky Mount Mills Dam Exclusion Zone



Lower Tar River Section





CITY TRAIL SYSTEM

F IMPERIAL CENTRE FOR THE ARTS & SCIENCES

Formerly the old Imperial Tobacco Factory site in downtown Rocky Mount, this historic building, along with the adjacent former Braswell Memorial Library site, now serves as the permanent location for the City's Arts Center and Children's Museum & Science Center. The complex also features a new state-of-the-art performing arts theatre and planetarium theatre.

15 MARTIN LUTHER KING, JR. PARK

The 28.42-acre park includes the Martin Luther King, Jr. Memorial, a playground, swings and spring toys, benches, picnic shelters, grills, picnic tables, and a multipurpose field for recreation activities, and a ten-foot wide loop path around the perimeter of the park.



13 SIRIH TALBERT PARK

This 28.33 acre park located on the Tar River at Spruce Street and Atlantic Avenue has playground equipment, picnic shelters, grills, lights and electrical outlets, two lighted basketball courts, concession stand, lighted tennis courts, a fishing pier, a Little League field, a lighted baseball field, and a lighted soccer field.

9 BATTLE PARK

This beautiful natural 56.5 acre park is located on Falls Road and the Tar River. Rocky Mount's first post office, theatre and the "rocky mounds" where Rocky Mount got its name, are located in the confines of the park. The park has a greenway, a boat landing, 3 picnic shelters, an overlook, playground equipment, 4 parking lots, 2 islands, and a gazebo.

17 ROCKY MOUNT SPORTS COMPLEX

Located on Centura Parkway and Independence Drive near US Highway 64, the 143-acre multi-use facility offers an assortment of recreational programming options, including six youth baseball fields, four interchangeable baseball/softball fields, one championship baseball field, two outdoor basketball courts, six soccer fields, a disc golf course, and walking trails. The complex hosts local Parks and Recreation leagues, as well as a full slate of regional, state and national sporting events.

3 SUNSET PARK

This 25 acre park located off Sunset Avenue on Taylor Street and River Drive beside the Tar River is the city's main park. It features a miniature train, carousel, concession stands, basketball courts, boat ramp, picnic shelters, little league field, tennis courts, sprayground, and skate park.

1 CITY LAKE

Located off Sunset Avenue at the Tar River near downtown Rocky Mount, City Lake was first constructed as a Works Progress Administration project under President Franklin D. Roosevelt's administration in 1937. The lake has undergone many facelifts over the years, with a complete beautification project concluded in 1993. Joggers and walkers make a trek around a half-mile concrete path surrounding the lake, while others relax under the tall hardwoods and pines to feed the exotic waterfowl living around the famous site. Other amenities include a gazebo, piers, a bridge to the island, and a fountain. By day or night, City Lake is one of the most beautiful sites in the two counties. Called "a place for us to come together", City Lake has become a symbol of the Rocky Mount area.



CITY TRAIL SYSTEM

Near the center of Rocky Mount the Parks & Recreation Department oversees a system of parks, trails, and arts and recreational facilities. The 3.1 mile Tar River Trail runs along its namesake river from Sunset Park in the west to Martin Luther King, Jr. Park in the east. In between, the trail passes through several city landmarks, including Battle Park. To the north of the river near the junction of US Highway 64 and N. Church Street is the Rocky Mount Sports Complex and Athletic Stadium. South of the river on Church Street is the Imperial Centre for the Arts & Sciences and the Veterans Memorial at Jack Laughery Park.

POINTS OF INTEREST

City Trail System

- 1 City Lake
- 2 VIETNAM WAR MEMORIAL
- 3 SUNSET PARK
- 4 SUNSET PARK BOAT RAMP
- 5 MOUTH OF STONY CREEK
- 6 RAISED BOARDWALK THROUGH SCENIC WETLANDS
- 7 SNAKE ISLAND
- 8 FALLS OF THE TAR RIVER
- 9 BATTLE PARK
- 10 PANTHER ISLAND
- 11 BATTLE PARK BOAT RAMP
- 12 SCENIC PEDESTRIAN BRIDGE ACROSS TAR RIVER
- 13 SIRIH-TALBERT PARK
- 14 BOOKER T WASHINGTON COMMUNITY CENTER
- 15 MARTIN LUTHER KING, JR. PARK
- 16 MARTIN LUTHER KING, JR. MEMORIAL
- 17 ROCKY MOUNT SPORTS COMPLEX
- 18 ATHLETIC STADIUM

OTHER POINTS OF INTEREST

- A POWER PLANT
- B WATER TREATMENT PLANT
- C HISTORIC STONEWALL MANOR
- D ROCKY MOUNT MILLS - BUILT 1817
- E HISTORIC MILL VILLAGE HOMES
- F IMPERIAL CENTRE FOR THE ARTS & SCIENCES
- G VETERANS MEMORIAL AT JACK LAUGHERY PARK
- H BRASWELL MEMORIAL LIBRARY

City Trail System

- City Lake Loop
- Sports Complex
- Future Loop
- Martin Luther King Jr. Park
- Hillsdale Connector
- Tar River Trail
- Trail Access / Parking
- You Are Here

IN CASE OF EMERGENCY:

- Call 911
- Tell the operator the color of the trail center line, or your general location (Sports Complex, City Lake, etc.)
- Remain on the phone.

NON-EMERGENCY POLICE:
252-972-1411

PARK MAINTENANCE:
252-467-4927

PUBLIC TRANSPORTATION CERTIFICATION

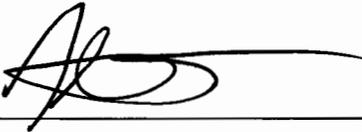
Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Public transportation is or is not available to serve the above project.
If available, Public transportation includes: bus train cab other

Additional Comments/Conditions/Concerns _____

12/14/21
Date



(Officials Signature)

Todd Gardner
(Officials Name – Print or Type)
Transit System Manager
(Official's Title)

Public Works - Tar River Transit
(Department Name)

Note: Copying official letterhead onto this certification is encouraged.

Chris Daves

From: Bob League <bob.league@rockymountnc.gov>
Sent: Friday, December 31, 2021 9:38 AM
To: Chris Daves
Cc: Jordan Reedy; Todd Gardner
Subject: Comments for East Haven Apartments
Attachments: Comments East Haven Transit.pdf; Comments on East Haven Apratments - December 2021.doc

This message originated outside of S&ME. Please report this as phishing if it implies it is from an S&ME employee.

I have attached two files for your use. If you have questions in the future, I have included emails for Jordan and Todd. These gentlemen will help you. I retire February 1 and will not be available.

Bob League, AICP
City of Rocky Mount
Principal Transportation Planner
252 972-1129
bob.league@rockymountnc.gov

Comments on East Haven Apartments – December 2021

Prepared by CRM Public Works Department, Engineering/Traffic Division

1. East Haven Apartments – 1040 Dreaver Street

KB Rocky Mount LLC plans to develop an apartment complex on 1040 Dreaver Street, which is to become Glory Drive. The following is offered for use in a U.S. Department of Housing and Urban Development Environmental Assessment.

The proposed development consists of 64 dwelling units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom units). At capacity a population on the order of 200 to 300 persons may be anticipated on this property of 5.53 acres. Approximately 500 to 600 vehicle trips may be estimated to enter the development daily. The local street network of Dreaver Street and Meadowbrook Road is capable to accommodate the anticipated traffic. There are no significant transportation improvement projects planned or scheduled in this vicinity.

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

JEANNE STONE
CLEARINGHOUSE COORDINATOR
DEPT OF TRANSPORTATION

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JEANNE STONE

Date: 12/8/2021



November 29, 2021

City of Rocky Mount – Tar River Transit
Post Office Box 1180
Rocky Mount, North Carolina 27802

Attention: Mr. Todd Gardner, Transit Administrator

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. Gardner:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from City of Rocky Mount – Tar River Transit regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. To facilitate compliance with the National Environmental Policy Act of 1969 and HUD Regulations at 24 CFR Part 50, an Environmental Assessment must be completed prior to releasing funds for the East Haven Apartments project. This letter is a formal request to determine what effect(s) the proposed activity may have on operations and services provided by City of Rocky Mount – Tar River Transit or resources managed by City of Rocky Mount – Tar River Transit.

Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

PUBLIC TRANSPORTATION CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Public transportation is or is not available to serve the above project.
If available, Public transportation includes: bus train cab other

Additional Comments/Conditions/Concerns _____

Date (Officials Signature)

(Officials Name – Print or Type)

(Official’s Title)

(Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



0 2,000 4,000 FEET

 **Approximate Boundary**

SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.
1

Vicinity Exhibit

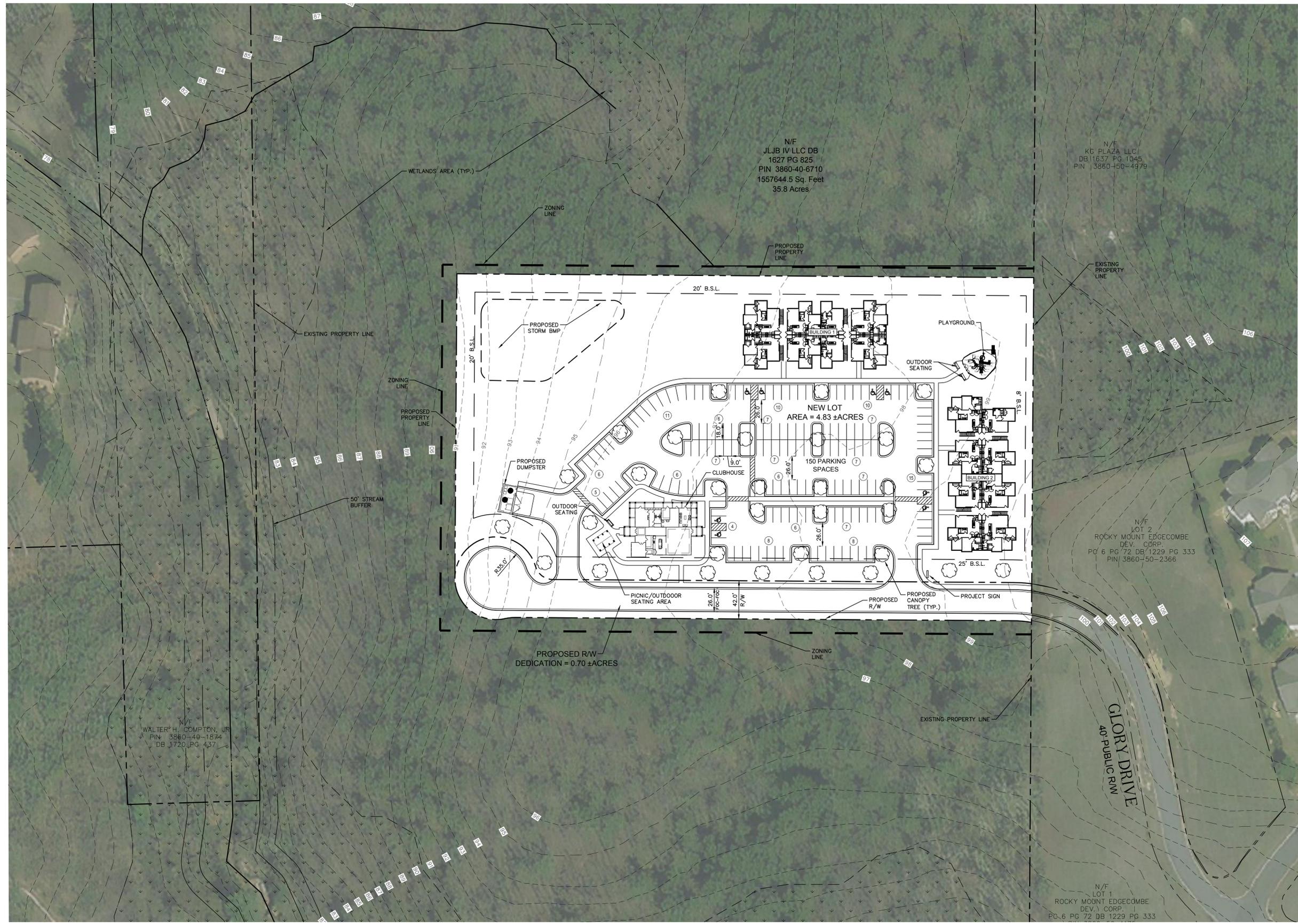
East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina
Source: World Street Map

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021



Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-40-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY



November 29, 2021

City of Rocky Mount – Metropolitan Planning Organization (MPO)
331 South Franklin Street
Rocky Mount, North Carolina 27802

Attention: Mr. Bob League, Principal Transportation Planner

Reference: **Request for Comments**
East Haven Apartments
Rocky Mount, Edgecombe County, North Carolina
S&ME Project No. 218540

Dear Mr. League:

On behalf of KB Rocky Mount, LLC (recipient), S&ME, Inc. (S&ME) is currently seeking information necessary for the completion of a U.S. Department of Housing and Urban Development (HUD) Environmental Assessment. Please accept this letter as a request for comments from City of Rocky Mount – Metropolitan Planning Organization (MPO) regarding the above-referenced project located in Rocky Mount, Edgecombe County, North Carolina.

◆ Project Introduction

KB Rocky Mount, LLC is seeking Community Block Development Grant-Disaster Recovery Program (CBDG-DR) federal funding to complete the project. To facilitate compliance with the National Environmental Policy Act of 1969 and HUD Regulations at 24 CFR Part 50, an Environmental Assessment must be completed prior to releasing funds for the East Haven Apartments project. This letter is a formal request to determine what effect(s) the proposed activity may have on operations and services provided by City of Rocky Mount MPO or resources managed by City of Rocky Mount MPO.

Using your area of expertise as a guide, please indicate within 30 days of receipt of this letter which of the type of impact(s) your agency anticipates due to the proposed activity by completing the **Certification Form for Local Resource Agency Analysis**, attaching necessary documentation, and returning this form to S&ME.

◆ Project Description

The project area is located at 1040 Dreaver Street (soon to be Glory Drive) in Rocky Mount, Edgecombe County, North Carolina. The site is comprised of 5.53 acres of wooded land and is represented by Edgecombe County tax parcel number 386040671000.

The proposed project involves the construction of 64 apartment units (12 one-bedroom, 24 two-bedroom, and 28 three-bedroom) in two buildings, a playground, a clubhouse, parking, and a detention pond. The community will sit adjacent to recently built LIHTC apartments and single-family homes by Rocky Mount Edgecombe County



Development Corporation. The location of the proposed project area is shown on **Exhibits** and **Site Plan** attached to this scoping letter.

Closing

Thank you for your assistance in this project. We look forward to receiving your agency's comments. If you have questions or need additional information, please contact me at 803-561-9024 or cdaves@smeinc.com.

Sincerely,

S&ME

A handwritten signature in black ink that reads "Chris Daves".

Chris Daves, P.W.S.
Senior Scientist
cdaves@smeinc.com

Enclosures

Enclosures

Certification Form for Local Resource Agency Analysis

Vicinity Exhibit

Site Plan

PUBLIC TRANSPORTATION CERTIFICATION

Project Name: East Haven Apartments
Proposed No. of Units: 64
Address: 1040 Dreaver Street (soon to Glory Drive)
Rocky Mount, Edgecombe County, NC 27801

Closest street intersection or landmark: Dreaver Street at White Sell Court

Public transportation is or is not available to serve the above project.
If available, Public transportation includes: bus train cab other

Additional Comments/Conditions/Concerns _____

Date (Officials Signature)

(Officials Name – Print or Type)

(Official's Title)

(Department Name)

Note: Copying official letterhead onto this certification is encouraged.

REFERENCE:

PLEASE NOTE THIS EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT MEANT FOR DESIGN, LEGAL, OR SURVEY USES. THERE ARE NO GUARANTEES ABOUT ITS ACCURACY. S&M, INC. ASSUMES NO RESPONSIBILITY FOR ANY DECISION MADE OR ANY ACTIONS TAKEN BY THE USER BASED UPON THIS EXHIBIT.



APPROXIMATE SITE LOCATION
35.9435, -77.7684



Rocky Mount



 **Approximate Boundary**



Vicinity Exhibit

East Haven Apartments +/- 5.53 Acres

Rocky Mount, Edgecombe County, North Carolina

Source: World Street Map

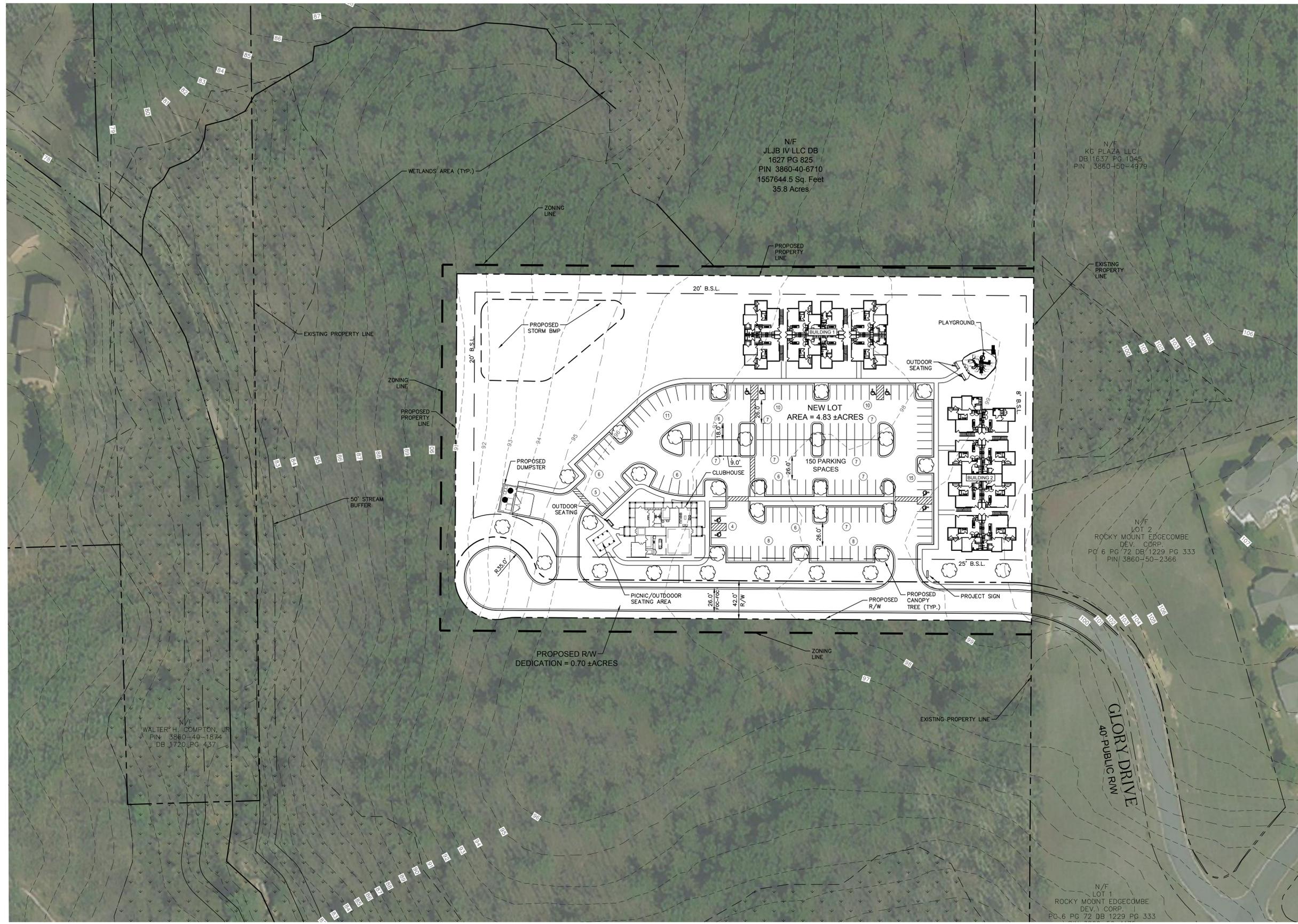
SCALE:
1" = 2,000'
DATE:
10-8-21
PROJECT NUMBER
218540

EXHIBIT NO.

1

Drawing Path: T:\ENV\Projects\2021\218540 Bradley Housing Developers_East Haven Apts_Rocky Mt., NC\GIS\mxd\East Haven Apartments Vicinity Exhibit.mxd plotted by chandley 10-08-2021

Plotted By: Bell, J. Sheet: Settable Springs Retail - Layout: PSL-1 Preliminary Site Layout - May 13, 2021 04:44:46pm K:\REAL\DEVA_Marketing\Proposals\Kelley_Development\Rocky Mount - MF Site Planning Phase 15 - CAD Files\Exhibits\2021-05-13 Preliminary Site Layout\PSL-1 Preliminary Site Layout.dwg
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Notes: Project Summary

- 64 Total Units
- (1) 32- Unit Building (Building 1)
- (1) 32- Unit Building (Building 2)
- (1) Community Building
- (1) Picnic Area
- (1) Playground Area
- (1) Trash Enclosure
- (3) Seating Areas w/ benches
- Unit Mix:
 - 1-Bed Units (12)
 - 2-Bed Units (24)
 - 3-Bed Units (28)

Unit Summary

Unit	Unit Type	# of Units	Net Heated Area
A1	1 Bed/ 1 Bath	8	755
A1-End	1 Bed/ 1 Bath	3	771
A1 Type A	1 Bed/ 1 Bath	1	771
B1	2 Bed/ 2 Bath	20	1,040
B1 Type A	2 Bed/ 2 Bath	4	1,040
C1	3 Bed/ 2 Bath	24	1,207
C1 Type A	3 Bed/ 2 Bath	4	1,207
Total		64	

Building Summary

Building	Heated Total Square Footage	Total Square Footage
1	33,672	40,140
2	34,208	40,752
CH	3,183	4,277

N/F
 WALTER H. COMPTON, JR.
 PIN 3860-40-1874
 DB J720.PG 437

N/F
 JLJB IV LLC DB
 1627 PG 825
 PIN 3860-40-6710
 1557644.5 Sq. Feet
 35.8 Acres

N/F
 KG PLAZA LLC/
 DB 1637 PG 1045
 PIN 3860-150-4979

N/F
 LOT 2
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333
 PIN 3860-50-2366

N/F
 LOT 1
 ROCKY MOUNT EDGECOMBE
 DEV. CORP.
 PG 6 PG 72 DB 1229 PG 333



Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 013856000
 DATE
 05/13/2021
 SCALE AS SHOWN
 DESIGNED BY JCB
 DRAWN BY JCB
 CHECKED BY COB

EAST HAVEN APARTMENTS
 GLORY DRIVE AND DREAYER ST.

ROCKY MOUNT EDGECOMBE COUNTY NORTH CAROLINA

PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY SITE LAYOUT
 PREPARED FOR
BRADLEY HOUSING DEVELOPERS, LLC.

SHEET NUMBER

PSL-1

No.	REVISIONS	DATE	BY

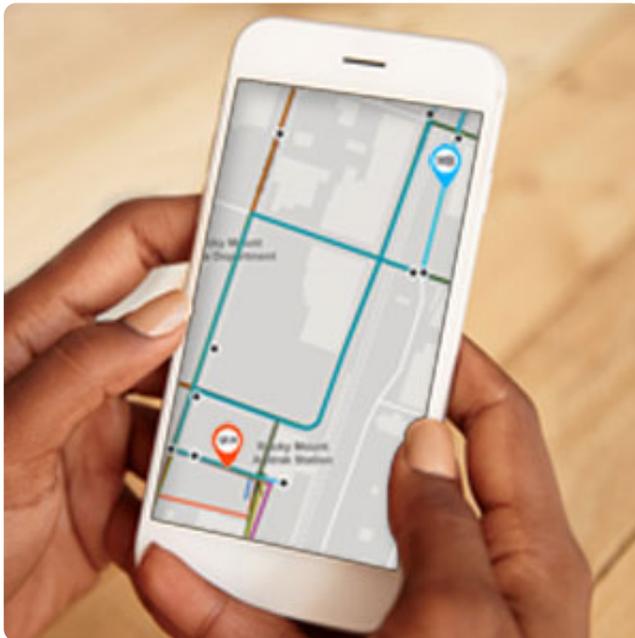


(//www.tarrivertransit.org)



Welcome Aboard Rocky Mount's Tar River Transit

Tar River Transit is a public transportation service providing affordable fixed-route bus service throughout the City of Rocky Mount, North Carolina and Rural General Public para-transit transportation for Nash and Edgecombe counties.

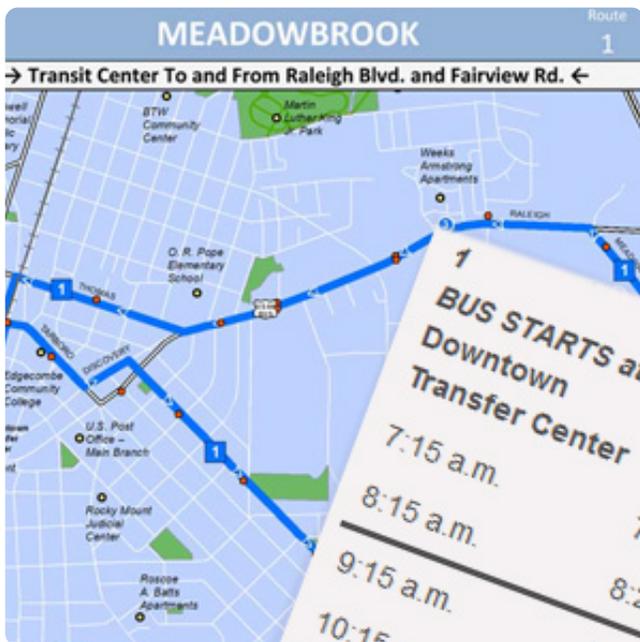


(/index.asp?page=bus-tracker)

Live Bus Tracker

View location and download the app.

[View Bus Tracker \(/index.asp?page=bus-tracker\)](/index.asp?page=bus-tracker)



(/index.asp?page=general-service)

Routes & Schedules

Bus stops, times, routes, and maps.

[View System Map \(/index.asp?page=general-service\)](/index.asp?page=general-service)



(/index.asp?page=dial-a-ride-transportation-services)

Dial-a-Ride

Call for ADA accommodation.

[Click to Call Dail-a-Ride \(tel:252-972-1174\)](tel:252-972-1174)

Service Alerts

Ticket Sales ALERT

Due to ongoing COVID-19 concerns, Tar River Transit will **NOT** begin selling tickets until the Transit office is fully equipped with the proper Personal Protective Equipment. We appreciate your patience.

Fares for Fixed Route and Para-Transit Program

Starting July 1, 2021, Tar River Transit will re-start charging transit fares for both Fixed Route and Para-Transit programs.

Read more (<https://www.tarrivertransit.org/index.asp?page=news>). View Tickets Page (<https://www.tarrivertransit.org/index.asp?page=tickets>).

Face Masks Required to Ride Transit

Read more on **COVID-19 safety and Fares below** and on the **News page**.

(<https://www.tarrivertransit.org/index.asp?page=news>)

[View All News \(/index.asp?page=news\)](/index.asp?page=news)

Plan Your Trip

Starting Location / Place / Intersection

Ending Location / Place / Intersection



Face Masks Required on Transit

Per the governor's updated executive order, wearing a mask on transit vehicles is required. Up until this order, passengers were encouraged to wear masks, but may have been refused transportation if not wearing a mask. This updated order requires Tar River Transit to refuse transport to any passengers without masks covering their nose and mouth.

Coronavirus Awareness and Prevention

Tar River Transit Is Taking Active Measures to Maintain a Safe Environment

We are committed to keeping our customers and employees safe and will follow all recommendations from health officials. We encourage our community to seek out and follow updates and instructions from the Nash and Edgecombe County Public Health Department to protect themselves and their loved ones.

Read the full notice (in PDF) to learn how Tar River Transit is maintaining a safe environment and your role to prevent the spread of communicable diseases (<http://www.tarrivertransit.org/cmsv3/assets/documents/20-CoronaVirus-Alert.pdf>)

Read information for updates on COVID-19

(<https://www.ncdhhs.gov/divisions/public-health/coronavirus-disease-2019-covid-19-response-north-carolina>)

News & Updates

Suspension of Fares Ended

Tar River Transit Began to Charge Fares for Fixed Route and Para-Transit Program Again

Starting July 1, 2021, Tar River Transit re-started charging transit fares for both Fixed Route and Para-Transit programs.

Passengers may purchase tickets or tokens at the Transit office located in the downtown Train Station (one person at a time allowed), 3rd floor, Suite 315 **beginning June 14, 2021.**

[View Fare Details \(https://www.tarrivertransit.org/index.asp?page=news\)](https://www.tarrivertransit.org/index.asp?page=news)

[Fares/Tickets Page \(https://www.tarrivertransit.org/index.asp?page=tickets\)](https://www.tarrivertransit.org/index.asp?page=tickets)

No Cost Transportation To get the COVID-19 Vaccine

Available to and from COVID-19 vaccination appointments in Nash and Edgecombe Counties
Monday-Saturday 8 a.m. - 5 p.m.

Call one day in advance to schedule a pick-up:

252-972-1174 (tel:252-972-1174)

252-972-1514 (tel:252-972-1514)

252-972-1515 (tel:252-972-1515)

252-972-1516 (tel:252-972-1516)

252-972-1517 (tel:252-972-1517)

Available Now!

[View All News \(/index.asp?page=news\)](/index.asp?page=news)

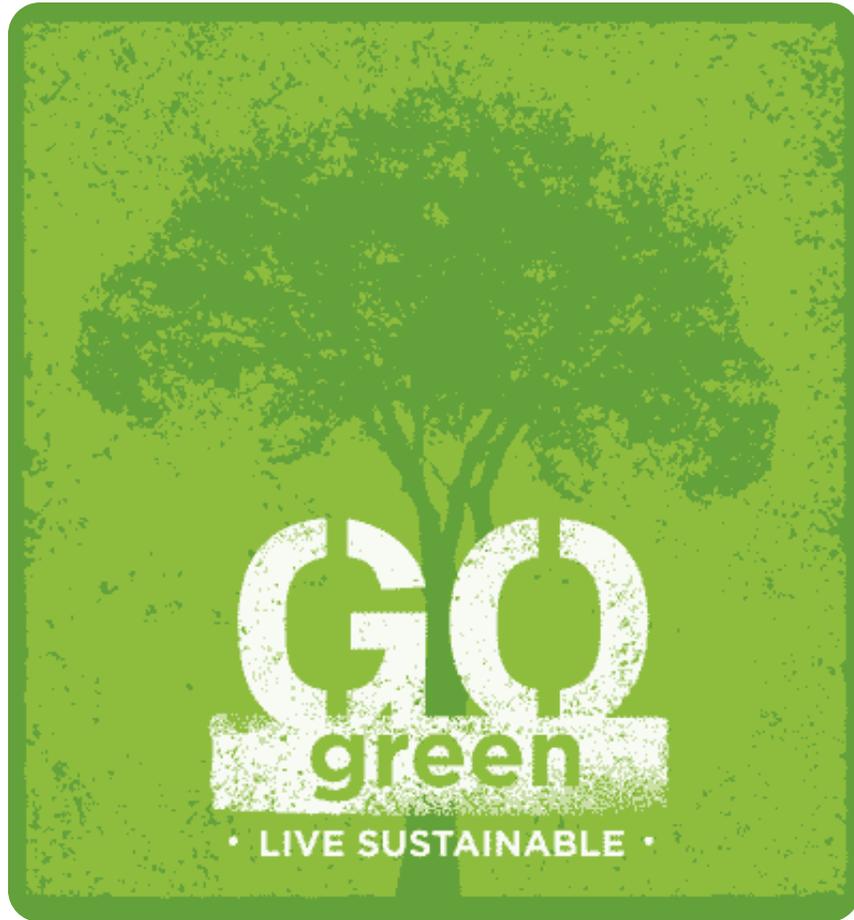
Catch a Ride and Go Green!

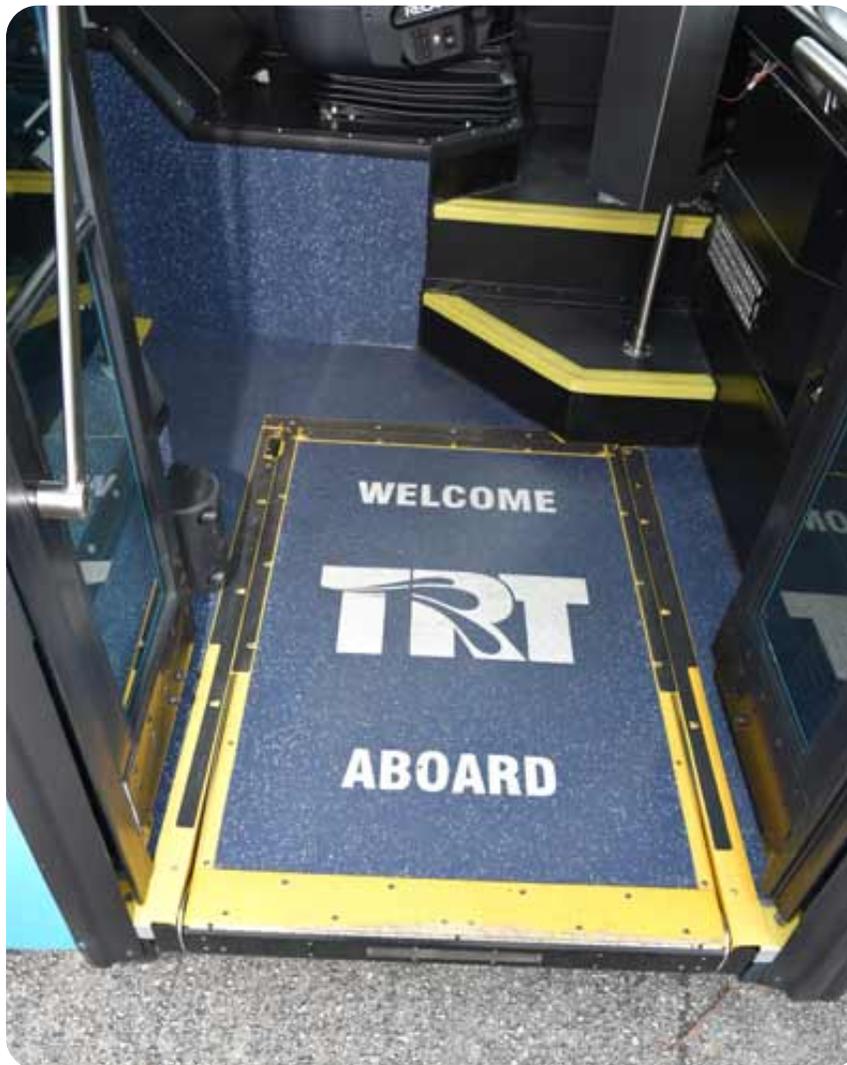
Did you know?

By using transit, you help the environment by reducing emissions which are a significant cause of poor air and water quality?

Transportation in the United States is responsible for 29 percent of greenhouse gas emissions. The use of public transportation reduces greenhouse gas emissions along with the emissions caused by gridlock and also saves fuel. Data demonstrate that public transportation produces significantly lower greenhouse gas emissions per passenger mile than private vehicles. (Source: Federal Transit Administration)

Learn More (<https://www.transit.dot.gov/regulations-and-guidance/environmental-programs/transit-environmental-sustainability/transit-role>)





Title VI Policy

Tar River Transit gives public notice of its policy to assure full compliance with Title VI of the Civil Rights Act of 1964, the Civil Rights Restoration Act of 1987, and all related statutes. Title VI and related statutes prohibiting discrimination in Federally assisted programs require that no person in the United States of America shall, on the grounds of race, color, national origin, sex, age, or disability be excluded from the participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity receiving Federal assistance.

View the entire public notice and contact information for the Title VI coordinator:

[Learn More \(/index.asp?page=public-notice\)](/index.asp?page=public-notice)

Shipping Address

Tar River Transit
100 Coastline Street, Suite 315
Rocky Mount, NC 27802

Postal Address

Tar River Transit
PO Box 1180
Rocky Mount, NC 27802

Reach Out

TRT@rockymountnc.gov (mailto:TRT@rockymountnc.gov)

252-972-1174 (tel:252-972-1174)



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(<https://www.statcounter.com/>)



(//www.tarrivertransit.org)



Routes & Schedules

[Home \(/index.asp\)](#) / [Routes & Schedules \(/index.asp?page=routes-schedules\)](#) / [General Service Hours & Map \(/index.asp?page=general-service\)](#)

Routes and Schedules

General Service Hours

Monday - Friday:

6:45 a.m. to 6:45 p.m.

Saturday:

9:15 a.m. to 5:45 p.m.

Holiday Schedule

There is no service on the following holidays:

- New Years Day
- Martin Luther King, Jr. Day
- Memorial Day
- Independence Day
- Labor Day
- Thanksgiving Day
- Christmas Day

Certification is required for curb-to-curb DARTS Service.

To view fares, please go to the Tickets page ([?page=tickets](#)).

SCROLL DOWN to see our NEW interactive System Map!

Bus Schedule

Complete Tar River Transit bus schedule information, as well as a detailed map for each bus route.

To see a schedule and/or map for a specific route, click on the desired route name on the left or from the drop down menu.

Route No.	Route Name	Area Served
1	MEADOWBROOK (? page=meadowbrook)	Edgecombe Community College, Eastern Avenue Park, Oakwood Shopping Center, Thorne Ridge Apartments, Weeks Armstrong Apartments, Rite Aid Corner, Downtown Rocky Mount
2	OAKWOOD (? page=oakwood)	US Post Office/Main Branch, Oakwood Shopping Center, Branch Street, Lancaster Street, Downtown Rocky Mount
3	SOUTH ROCKY MOUNT (? page=south-rocky-mount)	S. Church Street, Kingston Avenue, West Raleigh Blvd., Rolling Meadows Apartments
4	HILLSDALE (? page=hillsdale)	O.R. Pope Elementary, Edgecombe Shopping Center, Fairview Road - East Grand Avenue - East Raleigh Blvd., Weeks Armstrong Apartments, Martin Luther King Park, Leggett Road, Downtown Rocky Mount
5	GOLDEN EAST (? page=golden-east)	UEC Theaters, Hunter Hill Plaza, Golden East Mall, Wal-Mart, Boice Willis Clinic, Rocky Mount Kidney Center, Social Security Building, Golden Corral, Big Lots, K-Mart, Braswell Memorial Library
6	RAVENWOOD (? page=ravenwood)	W. Raleigh Blvd, West End Terrace Apartments, Burton Street, Ravenwood Drive, Kingston Avenue, S. Church Street
7	SUNSET (? page=sunset)	Sunset Avenue, Bojangles, Lowe's, Sam's Club, Doubletree, Gateway, Holiday Inn, Rocky Mount Medical Center, Nash General Hospital, Boice Willis Clinic, Rocky Mount Kidney Center
8	NASH COMMUNITY COLLEGE (NCC)/LITTLE EASONBURG SHUTTLE (? page=nash-community-college)	Rocky Mount High School, Edwards Middle School, Little Easonburg, McIntyre Acres, Nash Community College, Rivers Edge Shopping Center

9	BATTLEBORO/ GOLDROCK SHUTTLE (? page=battleboro- goldrock-shuttle)	Downtown Rocky Mount, TCI, Wal-Mart, Golden East Mall, Hospira, Battleboro Community Center, Goldrock
10	ROCKY MOUNT EAST (?page=rocky- mount-east)	Downtown Rocky Mount, US Post Office/Main Branch, Rocky Mount Judicial Center, Woodhawk Apartments, Cokey Road Apartments, Rollinwood Manor, Denton Street Pool, East Rocky Mount Kidney Center, Edgecombe DSS, OIC Medical Center, Employment Security Commission, Oakwood Shopping Center, Downtown Rocky Mount

Rural General Pubic Routes

Tar River Transit has in place two Rural General Public routes that provide transportation for any citizen living in Nash and Edgecombe counties. For a fare of \$4.00, residents that live in county areas such as Nashville, Spring Hope, Castalia, Middlesex, Tarboro, Pinetops, Conetoe, and Whitakers can ride to and from these areas from within the city limits of Rocky Mount. These routes are available Monday - Friday and also follow the same holiday schedule as the regular fixed route buses. The origination of each route is at the downtown bus station located at 111 Coastline Drive in Rocky Mount. Each route leaves from the downtown bus station at the following times:

- 8:15 a.m.
- 10:15 a.m.
- 1:15 p.m.
- 3:15 p.m.

Brochures for these routes are available in the downtown bus station and for download on the Rural General Public Shuttle Page (?page=rural-general-public-shuttle). All vehicles that provide transportation for both Nash and Edgecombe counties are wheelchair accessible.

Go to: Rural General Public Shuttle Page for schedules (?page=rural-general-public-shuttle)

SYSTEM MAP

HIDE ALL

SHOW ALL

1: Meadowbrook

[see schedule](#)

2: Oakwood

[see schedule](#)

3: South Rocky Mount

[see schedule](#)

4: ...

[see schedule](#)

4: Hillsdale

[see schedule](#)

5: Golden East

[see schedule](#)

© Mapbox © OpenStreetMap

[Go Back](#)

Shipping Address

Tar River Transit
100 Coastline Street, Suite 315
Rocky Mount, NC 27802

Postal Address

Tar River Transit
PO Box 1180
Rocky Mount, NC 27802

Reach Out

TRT@rockymountnc.gov (mailto:TRT@rockymountnc.gov)
252-972-1174 (tel:252-972-1174)



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(<https://www.statcounter.com/>)



SYSTEM MAP

HIDE ALL

SHOW ALL



1: Meadowbrook

[see schedule](#)



2: Oakwood

[see schedule](#)



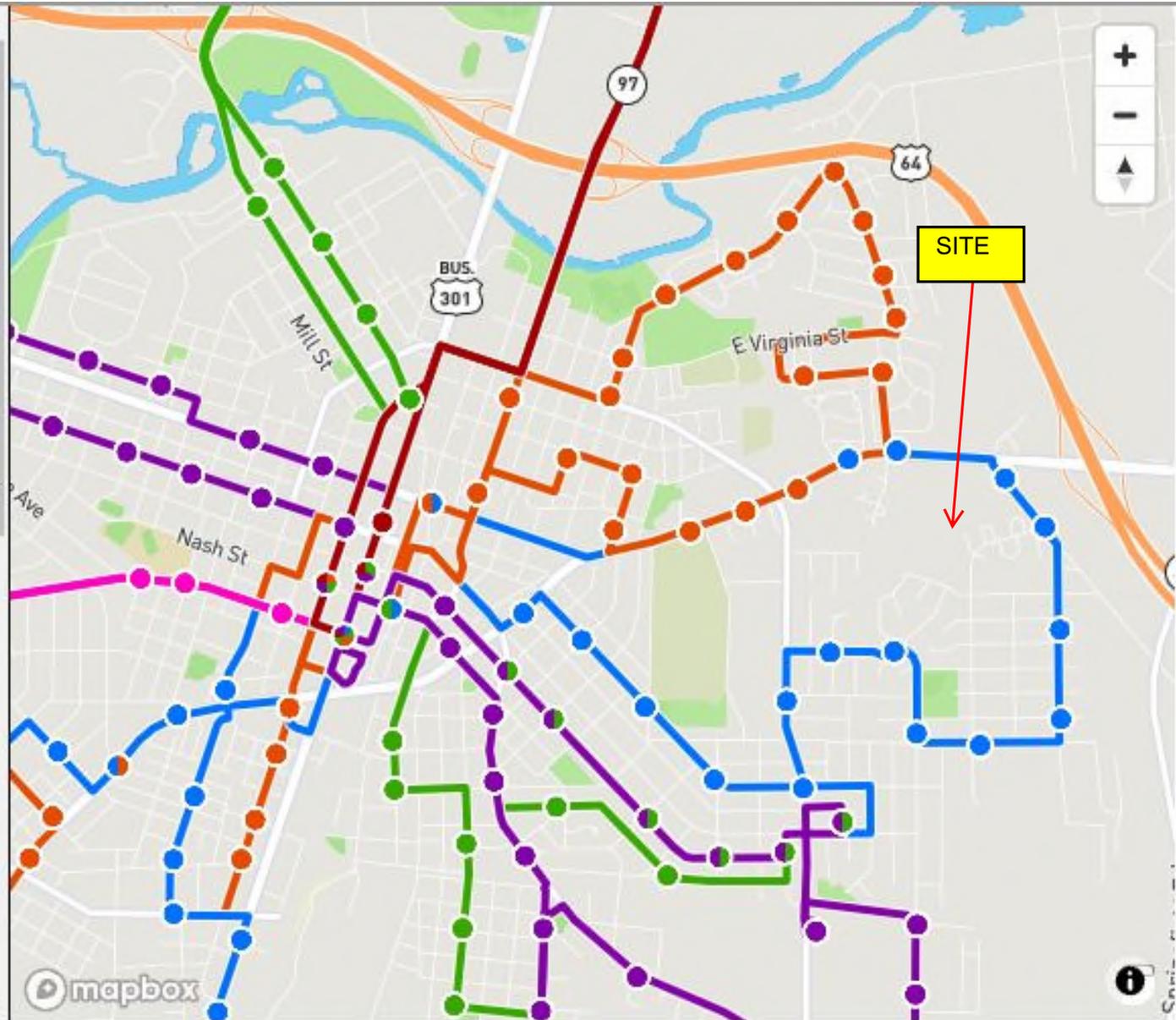
3: South Rocky Mount

[see schedule](#)



4: Hillsdale

[see schedule](#)





(//www.tarrivertransit.org)



Ride Guide

[Home \(/index.asp\)](#) / [Ride Guide \(/index.asp?page=ride-guide\)](#) / [Tickets \(/index.asp?page=tickets\)](#)

Tickets and Fares

Tar River Transit fare structure is identified below.

Transit tickets may be purchased from the:

- **Transit Office** located in the downtown train station on the 3rd floor in Suite 315.
- **City of Rocky Mount Business Office** located at 224 South Franklin Street during regular business hours.

All ticket purchases are nonrefundable.



Please have the EXACT FARE ready when you board. Drivers carry no change.

- Base Fare: \$1.25
- Half-Fare Discount: \$.60 (For Those That Qualify)
- Tokens (1): \$1.15
- 10-Ride Tickets: \$11.25
- 20-Ride Tickets: \$22.00
- 40-Ride Tickets: \$45.00
- Ten-Ride Half-Fare Tickets: \$6.00 (For Eligible Half-Fare Passengers Only)
- Children under 42": Free (Only 3 children per paying passenger)
- Transfers: FREE. Passenger must request transfer immediately upon boarding bus. All transfers must be used within 1 hour of receipt.

[Go Back](#)

Shipping Address

Tar River Transit
100 Coastline Street, Suite 315
Rocky Mount, NC 27802

Postal Address

Tar River Transit
PO Box 1180
Rocky Mount, NC 27802

Reach Out

TRT@rockymountnc.gov (mailto:TRT@rockymountnc.gov)

252-972-1174 (tel:252-972-1174)





STATE OF NORTH CAROLINA
DEPARTMENT OF ADMINISTRATION

Roy Cooper
GOVERNOR

Pamela B. Cashwell
Secretary

December 21, 2021

Andrea Gievers
East Haven Apartments
c/o NC Department of Public Safety
Office of Recovery and Resiliency
Durham, NC 27709-

Re: SCH File # 22-E-4600-0114 Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

Dear Andrea Gievers:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act. Attached to this letter for your consideration are comments made by the agencies in the review of this document.

If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

Should you have any questions, please do not hesitate to call.

Sincerely,

CRYSTAL BEST
State Environmental Review Clearinghouse

Attachments

Mailing Address:
NC DEPARTMENT OF ADMINISTRATION
1301 MAIL SERVICE CENTER
RALEIGH, NC 27699-1301

Telephone: (919)807-2425
Fax: (919)733-9571
COURIER: #51-01-00
Email: state.clearinghouse@doa.nc.gov
Website: www.ncadmin.nc.gov

Location:
116 WEST JONES STREET
RALEIGH, NORTH CAROLINA

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

LYN HARDISON
CLEARINGHOUSE COORDINATOR
DEPT OF ENVIRONMENTAL QUALITY

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: LYN HARDISON

Date: 12/20/2021



NORTH CAROLINA
Environmental Quality

ROY COOPER
Governor

ELIZABETH S. BISER
Secretary

To: Crystal Best
State Clearinghouse
NC Department of Administration

From: Lyn Hardison
Division of Environmental Assistance and Customer Service
Washington Regional Office

RE: 22-0114
Scoping - Proposed project is for the construction of East Haven Apartments which will include the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.
Edgecombe County

Date: December 20, 2021

The Department of Environment Quality has reviewed the proposal for the referenced project. Based on the information provided, four (4) contamination site were identified within one mile of the project site. In addition, several of our agencies have identified permits that may be required and offered some valuable guidance. The comments are attached for the applicant's review.

The Department will continue to be available to assist the applicant with any question or concerns.

Thank you for the opportunity to respond.

Attachments



North Carolina Department of Environmental Quality

217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601

919.707.8600

ROY COOPER
Governor
ELIZABETH S. BISER
Secretary
MICHAEL SCOTT
Director



Date: December 16, 2021

To: Michael Scott, Director
Division of Waste Management

Through: Janet Macdonald
Inactive Hazardous Sites Branch – Special Projects Unit

From: Bonnie S. Ware
Inactive Hazardous Sites Branch

Subject: NEPA Project # 22-0114, East Haven Apartments/- HUD CDBG-DR, Edgecombe County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the East Haven Apartments/- HUD CDBG-DR project. Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

Four (4) Superfund Section sites were identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



North Carolina Department of Environmental Quality | Division of Waste Management
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646
919.707.8200

Superfund Section Sites Only : 22-0114 Edgecombe County

Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	2	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	1	N/A	N/A
Pre-Regulatory Landfill Sites	1	N/A	N/A
Brownfields Program Sites	0	N/A	N/A

Certified DSCA Sites

#	Site_ID	Site_Name	Count
1	DC330002	Thorne's Dry Cleaners	1
2	DC330003	Prestige Cleaners	1

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NONCD0002522	JIFFY MART	1

Pre-Regulatory Landfill Sites

#	EPAID	SITENAME	Count
1	NONCD0000299	Old Rocky Mount LF	1

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director



NORTH CAROLINA
Environmental Quality

MEMORANDUM

TO: Michael Scott, Division Director through Sharon Brinkley

FROM: Drew Hammonds, Eastern District Supervisor - Solid Waste Section

DATE: December 17, 2021

SUBJECT: Review: SW 22-0114 – Edgecombe County (Scoping – East Haven Apartments – Proposed project is for the construction of East Haven Apartments)

The Division of Waste Management, Solid Waste Section (Section) has reviewed the documents submitted for the subject project in Edgecombe County, NC. Based on the information provided in these documents, the Section at this time does not see an adverse impact on the surrounding communities and likewise knows of no situations in the communities, which would affect this project.

As always for any planned or proposed projects, it is recommended that during any land clearing, demolition, and construction, East Haven Apartments and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. **Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that East Haven Apartments require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.**

Permitted solid waste management facilities are listed on the Division of Waste Management, Solid Waste Section portal site at: <https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/solid-waste-management-annual-reports/solid-waste-permitted-facility-list>

Questions regarding solid waste management for this project should be directed to Mr. John College, Environmental Senior Specialist, Solid Waste Section, at (919) 268-1524.

cc: John College, Environmental Senior Specialist



North Carolina Department of Environmental Quality | Division of Waste Management
Fayetteville Regional Office | 225 Green Street, Suite 714 | Fayetteville, North Carolina 28301
910.433.3300

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Raleigh
 Project Number: 22-0114 Due Date: 12/16/2021
 County: Edgecombe

After review of this project it has been determined that the DEQ permit(s) and/or approvals indicated may need to be obtained in order for this project to comply with North Carolina Law. Questions regarding these permits should be addressed to the Regional Office indicated on the reverse of the form. All applications, information and guidelines relative to these plans and permits are available from the same Regional Office.

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Permit to construct & operate wastewater treatment facilities, non-standard sewer system extensions & sewer systems that do not discharge into state surface waters.	Application 90 days before begins construction or award of construction contracts. On-site inspection may be required. Post-application technical conference usual.	30 days (90 days)
<input type="checkbox"/>	Permit to construct & operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system	Fast-Track Permitting program consists of the submittal of an application and an engineer's certification that the project meets all applicable State rules and Division Minimum Design Criteria.	30 days (N/A)
<input type="checkbox"/>	NPDES - permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters.	Application 180 days before begins activity. On-site inspection. Pre-application conference usual. Additionally, obtain permit to construct wastewater treatment facility-granted after NPDES. Reply time, 30 days after receipt of plans or issue of NPDES permit-whichever is later.	90-120 days (N/A)
<input type="checkbox"/>	Water Use Permit	Pre-application technical conference usually necessary.	30 days (N/A)
<input type="checkbox"/>	Well Construction Permit	Complete application must be received and permit issued prior to the installation of a groundwater monitoring well located on property not owned by the applicant, and for a large capacity (>100,000 gallons per day) water supply well.	7 days (15 days)
<input type="checkbox"/>	Dredge and Fill Permit	Application copy must be served on each adjacent riparian property owner. On-site inspection. Pre-application conference usual. Filling may require Easement to Fill from N.C. Department of Administration and Federal Dredge and Fill Permit.	55 days (90 days)
<input type="checkbox"/>	Permit to construct & operate Air Pollution Abatement facilities and/or Emission Sources as per 15 A NCAC (2Q.0100 thru 2Q.0300)	Application must be submitted and permit received prior to construction and operation of the source. If a permit is required in an area without local zoning, then there are additional requirements and timelines (2Q.0113).	90 days
<input checked="" type="checkbox"/>	Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900	N/A	60 days (90 days)
<input checked="" type="checkbox"/>	Demolition or renovations of structures containing asbestos material must be in compliance with 15 A NCAC 20.1110 (a) (1) which requires notification and removal prior to demolition. Contact Asbestos Control Group 919-707-5950	Please Note - The Health Hazards Control Unit (HHCU) of the N.C. Department of Health and Human Services, must be notified of plans to demolish a building, including residences for commercial or industrial expansion, even if no asbestos is present in the building.	60 days (90 days)
<input checked="" type="checkbox"/>	The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. A fee of \$65 for the first acre or any part of an acre. An express review option is available with additional fees.		20 days (30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with NCDOT's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		(30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with _____ Local Government's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		Based on Local Program
<input type="checkbox"/>	Compliance with 15A NCAC 2H .0126 - NPDES Stormwater Program which regulates three types of activities: Industrial, Municipal Separate Storm Sewer System & Construction activities that disturb ≥1 acre.		30-60 days (90 days)
<input type="checkbox"/>	Compliance with 15A NCAC 2H 1000 -State Stormwater Permitting Programs regulate site development and post-construction stormwater runoff control. Areas subject to these permit programs include all 20 coastal counties, and various other counties and watersheds throughout the state.		45 days (90 days)

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Raleigh
 Project Number: 22-0114 Due Date: 12/16/2021
 County: Edgecombe

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Mining Permit	On-site inspection usual. Surety bond filed with DEQ Bond amount varies with type mine and number of acres of affected land. Affected area greater than one acre must be permitted. The appropriate bond must be received before the permit can be issued.	30 days (60 days)
<input type="checkbox"/>	Dam Safety Permit	If permit required, application 60 days before begin construction. Applicant must hire N.C. qualified engineer to: prepare plans, inspect construction, and certify construction is according to DEQ approved plans. May also require a permit under mosquito control program. And a 404 permit from Corps of Engineers. An inspection of site is necessary to verify Hazard Classification. A minimum fee of \$200.00 must accompany the application. An additional processing fee based on a percentage or the total project cost will be required upon completion.	30 days (60 days)
<input type="checkbox"/>	Oil Refining Facilities	N/A	90-120 days (N/A)
<input type="checkbox"/>	Permit to drill exploratory oil or gas well	File surety bond of \$5,000 with DEQ running to State of NC conditional that any well opened by drill operator shall, upon abandonment, be plugged according to DEQ rules and regulations.	10 days N/A
<input type="checkbox"/>	Geophysical Exploration Permit	Application filed with DEQ at least 10 days prior to issue of permit. Application by letter. No standard application form.	10 days N/A
<input type="checkbox"/>	State Lakes Construction Permit	Application fee based on structure size is charged. Must include descriptions & drawings of structure & proof of ownership of riparian property	15-20 days N/A
<input checked="" type="checkbox"/>	401 Water Quality Certification	Compliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.	60 days (130 days)
<input checked="" type="checkbox"/>	Compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required. Buffer requirements: http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program		
<input type="checkbox"/>	Nutrient Offset: Loading requirements for nitrogen and phosphorus in the Neuse and Tar-Pamlico River basins, and in the Jordan and Falls Lake watersheds, as part of the nutrient-management strategies in these areas. DWR nutrient offset information: http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information		
<input type="checkbox"/>	CAMA Permit for MAJOR development	\$250.00 - \$475.00 fee must accompany application	75 days (150 days)
<input type="checkbox"/>	CAMA Permit for MINOR development	\$100.00 fee must accompany application	22 days (25 days)
<input type="checkbox"/>	Abandonment of any wells, if required must be in accordance with Title 15A. Subchapter 2C.0100.		
<input type="checkbox"/>	Notification of the proper regional office is requested if "orphan" underground storage tanks (USTS) are discovered during any excavation operation.		
<input checked="" type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq., Plans and specifications should be submitted to 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. All public water supply systems must comply with state and federal drinking water monitoring requirements. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input checked="" type="checkbox"/>	If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section at 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of the _____ water system must be approved through the _____ delegated plan approval authority. Please contact them at _____ for further information.		

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: Raleigh
 Project Number: 22-0114 Due Date: 12/16/2021
 County: Edgecombe

Other Comments (attach additional pages as necessary, being certain to comment authority)

Division	Initials	No comment	Comments	Date Review
DAQ	MRFL	<input type="checkbox"/>	See checked boxes above.	11/23/2021
DWR-WQROS (Aquifer & Surface)	JSB &	<input type="checkbox"/>	See checked boxes above. &	11/30/2021
DWR-PWS	SG	<input type="checkbox"/>	See checked boxes above.	12/13/2021
DEMLR (LQ & SW)	CDA	<input type="checkbox"/>		12/15/2021
DWM – UST	SNH	<input type="checkbox"/>	See attached comments	12/8/2021
Other Comments		<input type="checkbox"/>		/ /

REGIONAL OFFICES

Questions regarding these permits should be addressed to the Regional Office marked below.

- | | | |
|--|---|---|
| <input type="checkbox"/> Asheville Regional Office
2090 U.S. 70 Highway
Swannanoa, NC 28778-8211
Phone: 828-296-4500
Fax: 828-299-7043 | <input type="checkbox"/> Fayetteville Regional Office
225 Green Street, Suite 714,
Fayetteville, NC 28301-5043
Phone: 910-433-3300
Fax: 910-486-0707 | <input type="checkbox"/> Mooresville Regional Office
610 East Center Avenue, Suite 301,
Mooresville, NC 28115
Phone: 704-663-1699
Fax: 704-663-6040 |
| <input checked="" type="checkbox"/> Raleigh Regional Office
3800 Barrett Drive,
Raleigh, NC 27609
Phone: 919-791-4200
Fax: 919-571-4718 | <input type="checkbox"/> Washington Regional Office
943 Washington Square Mall,
Washington, NC 27889
Phone: 252-946-6481
Fax: 252-975-3716 | <input type="checkbox"/> Wilmington Regional Office
127 Cardinal Drive Ext.,
Wilmington, NC 28405
Phone: 910-796-7215
Fax: 910-350-2004 |
| | <input type="checkbox"/> Winston-Salem Regional Office
450 Hanes Mill Road, Suite 300,
Winston-Salem, NC 27105
Phone: 336-776-9800
Fax: 336-776-9797 | |

ROY COOPER
Governor
ELIZABETH S. BISER
Secretary
MICHAEL SCOTT
Director



TO: Lyn Hardison, Environmental Coordinator

FROM: Sylvia Newsom-Hunneke, Regional UST Supervisor

COPY: Scott Bullock, Corrective Action Branch Head

COPY: Sharon Brinkley, Administrative Secretary

DATE: December 8, 2021

RE: Environmental Review – Project Number 22-0114– Proposed project is for the construction of East Haven Apartments – 64 units within two buildings, a playground, clubhouse, parking and detention pond in Rocky Mount, Edgecombe County.

I searched the Petroleum Underground Storage Tank (UST) and Non-UST Databases and review of those databases did not indicate any petroleum releases within the proposed project area. I reviewed the above proposal and determined that this project should not have any adverse impact upon groundwater. The following comments are pertinent to my review:

1. The Washington Regional Office (WaRO) UST Section recommends removal of any abandoned or out-of-use petroleum USTs or petroleum above ground storage tanks (ASTs) within the project area. The UST Section should be contacted regarding use of any proposed or on-site petroleum USTs or ASTs. We may be reached at (252) 946-6481.
2. Any petroleum USTs or ASTs must be installed and maintained in accordance with applicable local, state, and federal regulations. For additional information on petroleum ASTs, it is advisable that the North Carolina Department of Insurance at (919) 661-5880 ext. 239, USEPA (404) 562-8761, local fire department, and Local Building Inspectors be contacted.
3. Any petroleum spills must be contained, and the area of impact must be properly restored. Petroleum spills of significant quantity must be reported to the North Carolina Department of Environmental Quality – Division of Waste Management Underground Storage Tank Section in the Washington Regional Office at (252) 946-6481
4. Any soils excavated during demolition or construction that show evidence of petroleum contamination, such as stained soil, odors, or free product must be reported immediately to the local Fire Marshall to determine whether explosive or inhalation hazards exist. Also, notify the UST Section of the Washington Regional Office at (252) 946-6481. Petroleum contaminated soils must be handled in accordance with all applicable regulations.
5. Any questions or concerns regarding spills from petroleum USTs, ASTs, or vehicles should be directed to the UST Section at (252) 946-6481.



North Carolina Department of Environmental Quality | Division of Waste Management | UST Section
Washington Regional Office | 943 Washington Square Mall | Washington, NC 27889 | (252) 946-6481

Department of Environmental Quality Project Review Form

Project Number: 22-0114

County: Edgecombe

Date Received: 11-19-2021

Due Date: 12-16-2021

Project Description: *Scoping - Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input checked="" type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM <u>WaRO UST</u>	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> <u>Wildlife Maria</u>
<input type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: 12/14/21	In-House Reviewer/Agency: Melodi Deaver, Hazardous Waste Section
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Response (check all applicable)

No objection to project as proposed.
 No Comment

Insufficient information to complete review
 Other (specify or attach comments)

If you have any questions, please contact:
Lyn Hardison at lyn.hardison@ncdenr.gov or (252) 948-3842
943 Washington Square Mall Washington NC 27889
Courier No. 16-04-01

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

JEANNE STONE
CLEARINGHOUSE COORDINATOR
DEPT OF TRANSPORTATION

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JEANNE STONE

Date: 12/8/2021

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

DEVON BORGARDT
CLEARINGHOUSE COORDINATOR
DEPT OF NATURAL & CULTURAL
RESOURCE

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: DEVON BORGARDT

Date: 11/24/2021

Control No.: 22-E-4600-0114

Date Received: 11/19/2021

County.: EDGECOMBE

Agency Response: 12/20/2021

Review Closed: 12/20/2021

JINTAO WEN
CLEARINGHOUSE COORDINATOR
DPS - DIV OF EMERGENCY MANAGEMENT

Project Information

Type: National Environmental Policy Act ping

Applicant: East Haven Apartments

Project Desc.: Proposed project is for the construction of East Haven Apartments. The proposed project involves the construction of 64 apartment units consisting of 12 one-bedroom, 24 two bedroom, and 28 three-bedroom units in two buildings, a playground, a clubhouse, parking, and a detention pond.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

The proposed project is in close vicinity of Special Flood Hazard Area (SFHA). If there is any encroachment, grading, fill or placement of equipment or materials in the SFHA, a floodplain development permit issued by City Of Rocky Mount will be required. Please coordinate with the City's Floodplain Administrator for permitting if needed.

Reviewed By: JINTAO WEN

Date: 12/13/2021