



**U.S. Department of Housing and Urban
Development**

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Washington, DC 20410
www.hud.gov

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Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Information

Project Name: Love Mill Apartments

Project Location: 181 West Love Mill Road, Whiteville, NC 28472

Federal Agency: U.S. Department of Housing & Urban Development (HUD)

Responsible Entity: North Carolina Office of Recovery and Resiliency (NCORR)

Project Administrator: North Carolina Housing Finance Agency (NCHFA)

Grant Recipient: Love Mill NC LLC

State/Local Identifier: B-19-DV-37-0001 and B-19-DV-37-0002

Preparer: Andrea Gievers, Environmental SME, NCORR

Certifying Officer Name and Title: Laura Hogshead, Director, NCORR

Consultant: Ryan Kramer, Pyramid Environmental & Engineering, P.C.

Direct Comments to:

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Project Location:

The proposed project is located at 181 West Love Mill Road in Whiteville, Columbus County, North Carolina 28472. The two parcels are recorded at the Columbus County Tax Office as Parcel Number #5751 & 77993.

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

Love Mill Apartments (proposed project) is a multifamily, affordable housing construction project consisting of 2 three-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multi-purpose room, exercise room, playground, covered picnic area and resident computer center. The community will have a mix of one-, two-, and three-bedroom units targeted for low- and moderate-income families. The garden-style buildings will have brick and hardi-plank siding. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.

The proposed project site is currently wooded and undeveloped sitting on 6.3 acres. The location is in close proximity to many services and yet has a residential setting. The site sits between a single-family residential area and a commercial corridor making this an ideal site for multifamily development.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The Love Mill Apartments proposed project will construct a 60-unit affordable multifamily apartment complex in a rapidly developing area of the City of Whiteville which has been identified as an area underserved with affordable rental housing. The City is seeking affordable housing to address the shortage in inventory exacerbated by the effects of the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). The availability of housing affordable to lower income families was reduced by flooding effects of the storm which disproportionately affected older, more affordable housing stock, leaving it uninhabitable. The proposed units will help fulfill the housing needs of the population of the Whiteville community.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The proposed project site consists of two unimproved and wooded parcels on 6.3 acres. The site is situated just south of West Love Mill Road, and west of South JK Powell Boulevard. The proposed project site is located in an area predominantly used for residential and commercial purposes south of downtown Whiteville, North Carolina. The property to the south is developed as a commercial parcel (Walmart). The properties to the east are developed as commercial properties (Big Lots, Tractor Supply, Co. Chase Menswear, Belk, Citi Trends and Ray's Grill). The property to the north is an apartment complex called Copperstone Apartments. The western portion of the site is bounded by residential single-family dwellings.

The Love Mill Apartments will be compatible with the surrounding land use and will fulfill a need for quality, new affordable housing for families of Whiteville and Columbus County. The property is conveniently located within three miles of downtown Whiteville and is within one-half to one mile of many of the necessary services required by individuals and families including schools, churches, shopping centers, health care facilities, pharmacies, and recreation centers.

The property is located in a rapidly developing area of Whiteville. As such, it is likely that, in the absence of the development of the proposed project, the site would likely be ultimately developed. Based on the surrounding area, it would likely be developed for commercial, residential, or institutional purposes, or a combination thereof. The topographic map, tax map and the 2020 aerial photograph for the proposed project is included in **Figures 1-3**. The site plans for the Love Mill Apartments including the site plan, erosion control plan, grading and drainage plan, sanitary sewer plan, water plan, fire protection plan, ADA accessible route plan, and construction details are included in the Figures section.

Funding Information

Grant Number	HUD Program	Funding Amount
B-19-DV-37-0001 and B-19-DV-37-0002	CDBG-DR	\$2,500,000.00

Estimated Total HUD Funded Amount: \$2,500,000.00

Non-HUD Funding Source: RPP Loan HTF SA

Non-HUD Funding Amount: \$800,000.00

Non-HUD Funding Source: Federal LIHTC

Non-HUD Funding Amount: \$6,298,169.00

Non-HUD Funding Source: RD 538 Loan

Non-HUD Funding Amount: \$1,974,395.00

Estimated Total Non-HUD Funded Amount: \$9,072,564.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$11,572,564.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The proposed project site is not located within 15,000 feet of a military airport. Civilian, commercial service airports are not located within 2,500 feet of the proposed project site.</p> <p>The nearest airport to the site is the Columbus County Municipal Airport (KCPC), which is publicly owned and open to the public. The KCPC is approximately 2.1 miles (11,008 feet) south of the proposed site. The AirNav report for this airport indicates an average of 46 aircraft operations per day with 22% local general aviation, 60% transient aviation, and 13% air taxi with approximately 17 single-engine planes and one multi-engine plane based on the field. Carolina Bay Airport is the only the nearby airport approximately 11 miles south, but only reports one single-engine airplane based on the field. See attached Google Earth map, which shows known airports within 15 miles of the site. Based on the distance of the airports from the proposed site (greater than three miles/15,840 feet), no airport hazards are anticipated to impact the proposed project.</p> <p>The project is in compliance with Airport Hazards requirements. See Attachment A for airport hazard documentation.</p>
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>This proposed project is not located in or in proximity to a Coastal Barrier Resources System (CBRS) unit. See attached map, generated at the U.S. Fish & Wildlife Service (USFWS) website, which shows the proposed project site in relation to the known Coastal Barrier Resources System (CBRS) units for North Carolina. Additionally, a certified USFWS statement is included which states that the site, as mapped, is not within the CBRS. Therefore, this project has no potential to impact a CBRS Unit and is in compliance with the</p>

		Coastal Barrier Resources Act. See Attachment B for CBRS documentation.
<p>Flood Insurance</p> <p>Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the FEMA National Flood Hazard Layer FIRMette Map, generated at the FEMA Flood Map Service Center website (https://msc.fema.gov/portal/home), no structure, portions of structures, or insurable property of the proposed project will be located in a FEMA-designated Special Flood Hazard Area. The map indicates that all portions of the proposed project site will be within Zone X (Areas of Minimal Flood Hazard). There are no Preliminary FIRMs available at the FEMA Flood Map Service Center for the proposed project site.</p> <p>Therefore, flood insurance is not required for the proposed project. While flood insurance is not mandatory for this project, HUD strongly recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The proposed project is in compliance with flood insurance requirements.</p> <p>A copy of the FEMA National Flood Hazard Layer FIRMette Map, Panel 3720028000J (eff. 6/2/2006), is attached for reference. See Attachment C for Flood Insurance documentation.</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5</p>		
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to information reviewed on the EPA Green Book website (https://www.epa.gov/green-book), Columbus County is not listed in Nonattainment or Maintenance status for any criteria pollutants. A copy of the Nonattainment/Maintenance Status List for North Carolina and copies of the supporting map documents are attached for reference.</p> <p>Emission information is not required because the project meets the conditions for exemption from air quality permit requirements. The project does not include any actions that require an air permit; therefore, the project is automatically exempted from air quality permit requirements. Since the project is exempted from air quality permit requirements, the projects emissions are automatically considered de minimis (40 CFR s. 93.153(c)(2)) and the project is considered</p>

		<p>compliant with the State Implementation Plan, regardless of the County’s air quality status.</p> <p>In order to mitigate the generation of fugitive dust from land clearing activities, the following techniques will be utilized. Vegetative cover will be maintained as much as possible around cleared areas. Access roads and storage areas that are heavily travelled will have a water truck to stabilize potential dust during high traffic times or high wind days. Construction vehicles and machinery will operate at reduced speeds to reduce soil disturbance and fugitive dust potential. In order to mitigate the generation of emissions during construction, vehicles and other machinery will be limited to construction hours only and will not be present once construction is completed.</p> <p>See Attachment D for Air Quality documentation.</p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the Coastal Zone Management Act (CZMA) Map and the NC DEQ Division of Coastal Management's list of North Carolina counties subject to the Coastal Area Management Act (CAMA), Columbus County, where the proposed site is located, is not a CAMA County. The proposed project is in compliance with the Coastal Zone Management Act. Copies of the CZMA Map and NC DEQ Division of Coastal Management's CAMA Counties list are attached. See Attachment E for CZMA documentation.</p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A Phase I ESA was conducted for the proposed subject site by Pyramid Environmental & Engineering, P.C. on October 15, 2021. During the investigation, a site inspection, regulatory records review, and correspondence with local Fire Department were completed. Based on the results of the reviews and interviews, no contamination or toxic substances were observed or discovered in connection with the proposed subject site. No on-site or nearby (off-site) toxic, hazardous, or radioactive substances were found that could affect the health and safety of project occupants or conflict with the intended use of the property. No RECs were identified during the Phase I ESA investigation. Additionally, NC DEQ commented that “per a search of the UST Section databases, no reported petroleum releases are known to exist at this location, nor are there</p>

		<p>any records of registered USTs at this location.” (See State Environmental Clearinghouse Comments attached.) According to the NC DEQ DWM, one Superfund inactive hazardous site, Packer Property, is located within one-mile of the proposed project location. The Packer Property is reviewed in the Phase I ESA attached and was not found to potentially affect the health and safety of project occupants or conflict with the intended use of the property.</p> <p>In addition, the proposed project site is not listed on an EPA Superfund National Priorities or Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) list or equivalent State list and is not located within 3,000 feet of a toxic or solid waste landfill site. This ensures compliance with HUD’s toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). The Division of Waste Management (DWM) Site Locator Tool was used to review the surrounding areas waste management sites. The DWM tool provides easy access to currently available information about the sites that DWM manages, permits, and inventories. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The proposed project is in compliance with contamination and toxic substances requirements.</p> <p>A copy of the Phase I ESA, dated October 15, 2021, including ERIS Government Records Radius Report and analysis, is included in Attachment F.</p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the results of the Information for Planning and Consultation (IPaC) report, generated at the U.S. Fish and Wildlife Service’s (USF&WS) Information for Planning and Consultation website (https://ecos.fws.gov/ipac/), there is a total of six threatened, endangered, or candidate species identified for the project area.</p> <p>No critical habitats for the any of the listed species have been defined; however, the Northern Long-eared Bat (NLEB) profile shows that this species does include ranges of occupation that occur within the project area.</p>

Using the IPaC Determination Key, on September 20, 2021, the USF&WS indicated in a Verification Letter that the Action (development of the project) “may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o).” The letter also states: “This letter verifies that the PBO [Programmatic Biological Opinion] satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.” The IPaC Determination Key also states that “unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.” The proposed project is not located within 150 feet of a documented maternity roost or within 0.25 miles of a documented hibernaculum; therefore, the Pyramid has determined that the project is in compliance with the Endangered Species Act and can proceed without time of year restrictions for the NLEB. The letter was submitted to the USF&WS on September 20, 2021.

On October 25, 2021 and November 23, 2021, the USF&WS provided comment on the proposed project via email. The USF&WS response concurred with Pyramid’s determination that the proposed project can proceed without mitigation for threatened or endangered species and should be in compliance with the Endangered Species Act. The email stated “the biologist that reviewed your submission agreed with your determinations.” The updated site plan was submitted to USF&WS for review on January 11, 2022 and, on March 22, 2022, USF&WS responded it had “no concerns with the proposed revision.”

On February 22, 2022, Judith Ratcliffe with the NC Department of Natural and Cultural Resources issued an emailed response regarding the NLEB. The response stated, “there are no documented Northern Long-eared Bat maternity roost trees within 150 feet of this project boundary. There are no documented Northern

		<p>Long-eared Bat hibernacula within 0.25 mile of this project boundary.” The letter and the NC Natural Heritage Program (NHP) Database Query Report are included in Attachment G. This project is in compliance with the Endangered Species Act without mitigation.</p> <p>Copies of the official IPaC Report, species profiles for the listed threatened or endangered species, Verification Letter for the NLEB, NC NHP Database Query Report, and correspondence with the USF&WS are included in Attachment G.</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the investigation of the proposed project site conducted as part of the Phase I Environmental Site Assessment, dated October 15, 2021, and the site inspection, which occurred on October 6, 2021, no current or planned stationary aboveground storage containers were discovered that are covered by 24 CFR 51C within one mile of the project site. As indicated in the Phase I ESA, the proposed project site consists of mostly wooded/undeveloped land.</p> <p>The surrounding areas include land that is predominantly undeveloped or used for residential, agricultural and commercial purposes. The nearest gas station, BP Gas station at 1707 S. Madison Street, is approximately 1,000 feet east of the site and all tanks are USTs. Copies of the site maps and Phase I ESA Executive Summary are attached. Additionally, a signed and completed Thermal & Explosive Hazards Checklist is attached and indicates no hazards were observed at the time of the site inspection on October 6, 2021. See Attachment H for Explosive and Flammable Hazards documentation.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The proposed project includes activities that could convert agricultural land to a non-agricultural use. "Prime farmland," "unique farmland," or "farmland of statewide or local importance" regulated under the Farmland Protection Policy Act occurs on the proposed project site. Form AD-1006, "Land Evaluation and Site Assessment" has been completed. The proposed project may proceed without mitigation and be in compliance with the Farmland Protection Policy Act.</p>

The proposed project site was reviewed in accordance with the Farmland Protection Policy Act (FPPA) to determine the potential presence of important farmlands. A USDA Soil Survey Report was generated using the USDA Natural Resource Conservation Service's (NRCS) Web Soil Survey (WSS). The USDA Soil Survey Report indicates that the proposed site includes Lynchburg fine sandy loam - 0-2 percent slopes (LyA) classified as "Prime farmland if drained; Norfolk loamy fine sand - 0-2 percent slopes (NoA) classified as "all areas are prime farmland"; Rains fine sandy loam, 0 to 2 percent slopes (RaA) classified as "Prime farmland if drained"; and Wagram loamy fine sand (WaB) which are classified as "Farmland of statewide importance."

The FPPA recognizes that if an area is already committed to urban development, as indicated by the most recent US Census Bureau "Urbanized Areas" data, the project can proceed without considering the effects of the development on prime farmlands. Therefore, Pyramid generated an "Urbanized Areas" map using EPA's NEPAassist online mapping application. The map indicates that the site is partially located within the "Urbanized Areas" of Whiteville, which is already committed to urban development and, therefore, is excluded from consideration under the Farmland Protection Policy Act.

On October 22, 2021, Pyramid issued a letter to the USDA for comments regarding the proposed project and the if the proposed project was on land regulated by the FPPA.

On October 25, 2021, Laurie Muzzy, Resource Soil Scientist with the USDA issued a letter commenting on Pyramid's request for comments regarding the FPPA. According to Ms. Muzzy, "The area in question does include land classified as Prime Farmland. In accordance with the Code of Federal Regulations 7CFR 658, Farmland Protection Policy Act, the AD-1006 was initiated. NRCS has completed Parts II, IV, V of the form, and returned for completion by the requesting agency". The USDA also completed the Farmland Conversion Impact Ratings form. The response letter and form are included in **Attachment I**.

		No prime, unique, or local important farmlands will be impacted as part of this proposed development. See Attachment I for Farmlands Protection documentation.
Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	According to the FEMA National Flood Hazard Layer FIRMette Map, generated at the FEMA Flood Map Service Center website (https://msc.fema.gov/portal/home), the proposed project site is not located in a floodplain area. The map indicates that all portions of the proposed project area will be within Zone X (Areas of Minimal Flood Hazard). A copy of the FEMA National Flood Hazard Layer FIRMette Map, Panel 3720028000J (eff. 06/2/06), is attached for reference. See Attachment J for Floodplain Management documentation.
Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>We have defined the Area of Potential Effect (APE) as the boundary of the proposed project site consisting of two parcels #5751 & #77993, located at 181 West Love Mill Road, Whiteville, NC 28472. Based on our research of the proposed project site in the National Register of Historic Places, North Carolina State Historic Preservation Office’s HPOWEB, and site review performed by Pyramid Environmental & Engineering, P.C., no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State and National Register of Historic Places are located on or adjacent to the proposed project site. On January 11, 2022, NCORR consulted with the NC State Historic Preservation Office (SHPO) on the proposed project. On February 1, 2022, the NC SHPO concurred with NCORR’s Finding of “No Historic Properties Affected” pursuant to 36 CFR 800.4(d)(1) for the proposed project.</p> <p>According to the HUD Tribal Directory Assessment Tool (TDAT), the Catawba Indian Nation is the only tribe with interests in Columbus County, North Carolina. On January 14, 2022, NCORR consulted with the Catawba Indian Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. On February 14, 2022, the Catawba Indian Nation’s Tribal Historic Preservation Office (THPO) responded that “[t]he Catawba have no immediate concerns with regard</p>

		<p>to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.”</p> <p>Copies of the NCORR correspondence with SHPO and the Catawba Indian Nation are included in Attachment K.</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the preliminary screening of the surrounding area of the proposed project site, no noise generators were discovered within the prescribed search distances set forth by HUD.</p> <p>The research conducted by Pyramid did not reveal any noise sources within the prescribed search distances set forth by HUD that were required to be used in the noise calculations. No highways, railroads or airports are located within the respective designated radius of the proposed project site. In addition, a U.S. Department of Transportation National Transportation Noise Map was generated, which shows that the proposed site location is outside the noise contours of the nearest airports. A copy of this map is also attached. See Attachment L for Noise Abatement and Control documentation. Based on the findings of the DNL calculations, no further consideration of noise is warranted since the levels are well below the acceptable DNL set forth by HUD.</p> <p>Short-term construction work will adhere to local noise control standards/regulations. Construction noise will be limited to daytime hours. Construction equipment will be required to meet sound control requirements. The proposed project is in compliance with HUD's Noise regulation.</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the EPA's Interactive Map of Sole Source Aquifers online, the proposed site is not located in an area served by a sole-source aquifer. A map generated using the interactive online map application is attached showing the proposed subject site in relation to the nearest sole source aquifer. See Attachment M for Sole Source Aquifers documentation.</p>
<p>Wetlands Protection</p>	<p>Yes No</p>	<p>On February 18, 2022, a Jurisdiction Determination was issued by the United States</p>

<p>Executive Order 11990, particularly sections 2 and 5</p>	<p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Army Corps. of Engineers (USACE). The USACE made a determination that no wetlands are located on the proposed project site. According to Thomas Charles with the USACE, “There are no waters of the U.S., to include wetlands, present on the above-described project area which are subject to the permit requirements of Section 404 of the Clean Water Act (33 USC 1344). Unless there is a change in the law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.” The determination letter signed by Thomas Charles with the USACE is included in Attachment N.</p> <p>Based on the National Wetlands Inventory (NWI) Map, curated by the U.S. Fish & Wildlife Service, there are no designated wetlands located on the proposed project site.</p> <p>A recent property survey completed by Anderson Surveying does not show designated wetlands on the proposed project site.</p> <p>Based on conditions observed at the site during the proposed Love Mill Apts. Phase I ESA project site inspection on October 6, 2021, the proposed site is located in a wooded area between two developed parcels. A dried intermittent tributary was observed during the site inspection. The USDA-NRCS Web Soil Survey report for the proposed site location indicates that the primary soil units at the site include Lynchburg fine sandy loam (LyA), 0 to 2 percent slopes, Southern Coastal Plain; Norfolk loamy fine sane (NoA), 0 to 2 percent slopes, Rains fine sandy loam (RaA), 0 to 2 percent slopes, Southern Coastal Plain, Wagram loamy fine sane, 0 to 6 percent slopes. All soil units are well-drained with a very high to medium run-off class, are not prone to flooding or pooling, and are classified as non-hydric.</p> <p>According to NC DEQ Division of Water Resources, it is “recommended to schedule a site visit with 401 Water quality staff to discuss the proposal and to ensure compliance will be maintained per 401 surface Water requirements, and surface water standards. If wetland, riparian buffers or stream impacts are proposed, this project will need to comply with/secure a 404 permit from the USACE, obtain a 401 Water Quality Certification authorization.” In addition,</p>
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		<p>“[c]ompliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.” Attachment – State Environmental Clearinghouse Comments</p> <p>No surface water or NWI-mapped wetlands are located on or adjacent to the proposed project site. The Erosion control plan, including groundwater and public water use, is included in the site plans – Attachment I. Therefore, the proposed project will not have impacts to wetlands located on or offsite.</p> <p>The referenced wetlands maps, surveys and soil reports are included in Attachment N.</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A map generated using the National Park Service – Wild and Scenic Rivers Program Interactive Map (https://www.nps.gov/orgs/1912/plan-your-visit.htm) indicates that there are no designated wild and scenic rivers in proximity of the project area. The Department of Interior (DOI) Nationwide Rivers Inventory Map, generated using the NEPAAssist online assessment tool (https://www.epa.gov/nepa/nepassist), indicates that there are no DOI classified rivers in proximity of the project area that possess one or more remarkable values. A Scenic Rivers Map generated using the https://www.rivers.gov/river-app/index.html?state=NC) indicates that the proposed site is not located near a Designated Scenic River. No Wild and Scenic Rivers, Study Rivers, or Nationwide Rivers Inventory Rivers are anticipated to be impacted by the proposed project. The proposed project is not within proximity of a NWSRS river. The proposed project is in compliance with the Wild and Scenic Rivers Act. Copies of the referenced NPS Wild and Scenic Rivers Program map, DOI Nationwide Rivers Inventory Map and NEPA Assist Map are included as Attachment O.</p>
<p>ENVIRONMENTAL JUSTICE</p>		
<p>Environmental Justice</p> <p>Executive Order 12898</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to information reviewed using the EPA EJSCREEN Environmental Justice Screening and Mapping Tool (https://www.epa.gov/environmentaljustice), the area of the proposed site is generally consistent with or lower than most of the State of North Carolina and EPA regional (Region 4) averages in</p>

	<p>the selected environmental indicators. The average value for the Lead Paint Indicator in the proposed project area (0.14%) was lower than the state average (0.16%) and the regional average (0.15%). This data point indicates the average percentage of housing that was built prior to 1960 in the area.</p> <p>Demographic indicators from the EPA EJSCREEN report show that the minority population in the proposed project area is approximately 35%, which is lower than the state average of 37% and regional average of 39%. Additionally, the area is reported to have 47% low-income population, which is higher than the state average of 36% and the regional average of 36%. The population with less than high school education in the project area (14%) is higher than the state (13%) or regional averages (13%). Other demographic indicators, such as linguistic isolation and population under 5 years of age are fairly consistent with state averages. The population of people over 64 years of age is higher in the project area at 20% as compared to the state average of 15% and regional average of 17%.</p> <p>No adverse environmental impacts were identified in any other compliance review portion of this project's total environmental review. The proposed project does not facilitate development which would result in disproportionate adverse environmental impacts on low-income or minority populations. Rather, the proposed project will benefit low- and moderate-income residents through the construction of 60 units of affordable residential rental housing.</p> <p>Copies of the reports generated using the EPA EJSCREEN Environmental Justice Screening and Mapping Tool are attached for reference. See Attachment P for Environmental Justice documentation.</p>
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Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable, and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is

attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	<p>The proposed project will be an affordable multifamily apartment complex. The zoning has changed from Highway Serving Business (B-3) to Residential Multi-Family (R6-MF) with the City of Whiteville. This allows the proposed project site to conform to the R6-MF zoning requirements. A copy of the current Columbus County Zoning Map and City of Whiteville Zoning Verification Letter is included as Attachment Q.</p> <p>The proposed project site is located within walking distance to commercial uses, including a grocery store (Food Lion) and retail stores. Whiteville is located just south of US Hwy 74, major thoroughfare which provides direct access to Charlotte to the west and Wilmington to the east. High occupancy rates reported by market rate and affordable properties are within the Whiteville, NC area. The site will have frontage on W. Love Mill Road and is located adjacent to other commercial uses found at White Crossing Plaza, just south of the site. There are additional commercial uses just north, south and west including a Walmart Supercenter. The site location will fit into the surrounding areas well with the abundant multifamily housing amenities.</p> <p>Lack of barriers to entry to the local market and an abundance of available land as the outward growth continues to expand in the greater Whiteville market area. In addition, this project will develop an underutilized and vacant site that will benefit the low- and moderate-income citizens of the Whiteville, NC area.</p> <p>The site plans for the proposed Love Mill Apartments detailing the land development are included in Attachment I.</p>
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	<p>The soils and existing slopes of the site are suitable for the proposed project. The mapped soil unit for the portions of the site that will be graded for the building includes fine sand and sandy loam, 0 to 2 percent slopes. The soils are well-drained, not prone to flooding or pooling, and are classified as non-hydric (see attached USDA Soil Survey Report with descriptions and ratings</p>

		<p>in Attachment I). The range of elevation at the site is approximately 85 - 90 feet above mean sea level. Surface water run-off from the subject site generally flows to the north and is directed by open ditches and surface topography. Erosion control and drainage features will be incorporated into the construction design. The site plans for the proposed property include an Erosion control plan detailing the slope, grading/excavation, fill, soil removed, SWPPP. The site will connect to a public street and drainage system and will not adversely affect the infrastructure. The site plans are included in Attachment I.</p> <p>According to NC DEQ comments, the “Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements.”</p> <p>Attachment – State Environmental Clearinghouse Comments</p>
<p>Hazards and Nuisances including Site Safety and Noise</p>	<p>2</p>	<p>No environmental hazards or nuisances were identified that may affect site safety (see Phase I ESA, dated October 15, 2021 in Attachment F and Housing Requirements partner worksheet with hazard and nuisance analysis in Attachment R). Noise analysis was conducted at the site and the documentation is included in Attachment L. Based on the preliminary screening of the surrounding area of the proposed project site, no noise generators were discovered within the prescribed search distances set forth by HUD.</p> <p>Short-term impacts due to construction activities would result in intermittent and varying levels of construction noise. Average noise levels associated with various construction phases where all pertinent equipment is present and operating at a reference distance of 15 meters (50 feet) are:</p> <p>Ground Clearing 84±6 dBA Excavations 89±6 dBA Foundations 78±3 dBA Erection of Structures 85±5 dBA Finishing (i.e., Paving) 89±6 dBA (Ref: Bolt, et. al. for the Environmental Protection Agency, 1971)</p> <p>No long-term noise impacts were found in the area. Since there are no major highways within 1,000 feet, railroads within 3,000 feet or airports within 15 miles, no noise evaluation will be required.</p>

	<p>Construction noise will be limited to normal daylight hours, Monday – Friday, except in emergency situations. Short-term construction work will adhere to local noise control standards/regulations. Construction equipment will be required to meet sound control requirements.</p> <p>The proposed development on the proposed project site will not release or generate hazardous materials, substances or wastes during operation of the proposed facility. However, the NC DEQ recommends that all solid wastes generated at the site be reduced at the source, reused, or recycled. All hazardous wastes should be minimized.</p> <p>All solid wastes, hazardous wastes, and hazardous materials, including construction and demolition (C&D) wastes and universal wastes (batteries, fluorescent lights, refrigerants, mercury switches, mercury thermostats, etc.), must be managed in accordance with all applicable federal, state, and local environmental regulations. The generation of hazardous wastes should be minimized and solid wastes generated at the site should be reduced at the source, reused, or recycled. NC DEQ encourages the management of certain organic wastes by on-site composting or reuse as animal feed or soil amendment. Also, if any improperly disposed solid or hazardous wastes, or petroleum contaminated soils are encountered, then NC DEQ will be contacted.</p>
<p>Energy Consumption</p>	<p>2</p> <p>The developer will use energy efficient construction materials, and the units will be certified Energy Star and NAHB Green Building Standard to minimize energy consumption. According to the developer, energy compliance measures for the building such as HVAC and appliances will be included per NC Housing requirements - ENERGY STAR Multifamily New Construction.</p> <p>The proposed project will cause an increase in energy use as compared to the current use. However, the proposed project will be connected into an existing grid and will not require additional infrastructure. The existing power infrastructure can support the proposed project.</p> <p>Public transportation options in the vicinity of the proposed project site include the Columbus County Transportation. The bus system also offers accessible ADA paratransit services for individuals with disabilities and is available for paratransit riders in Whiteville. Related information regarding the Columbus County Transportation is included in Attachment S. Additional information can be found at the website: https://columbusco.org/Departments/Public-Transportation</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	2	<p>The current employment and income patterns of the Whiteville area are adequate to support the proposed project. Several commercial businesses and shopping centers are near the proposed project site that would provide employment opportunities (See attached Figures 1-4). The CDC Report for Columbus County (see Attachment P) indicates that the average household income is \$36,862, which is somewhat lower than the North Carolina average of \$53,922.</p> <p>The proposed project will not adversely impact traffic during construction or operation. New temporary construction jobs will be created as a result of this development. Local public transportation will be available near the property to allow easy access for residents to jobs in the area.</p>
Demographic Character Changes, Displacement	2	<p>The proposed project site is located in an area of Whiteville that is rapidly developing and predominately used for residential, commercial, and agricultural purposes. The proposed project site was wooded and undeveloped at the time of this investigation, so there will be no displacement. The proposed development of the site is compatible with the surrounding area and no demographic character changes or displacement should occur in connection with the development. Additionally, residents are expected to come from the surrounding communities and should not contribute to demographic character changes.</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	<p>Adequate educational and cultural facilities are located within one mile of the proposed project site. For the surrounding community of Whiteville, NC, the nearby schools include the Whiteville City Elementary Middle and High School. The schools will have availability for students at the proposed development and will not adversely impact the schools. It is anticipated that residents of the proposed project will be from within the community and potentially already enrolled in the school system. The North Carolina Museum of Natural Sciences at Whiteville is located near the proposed development and will not be adversely impacted.</p>
Commercial Facilities	2	<p>Adequate commercial facilities are located within one mile of the proposed project site including shopping centers, restaurants, and pharmacies. The proposed project site is located within walking distance to commercial uses, including a grocery store (Food</p>

		Lion) Walmart, Big Lots, Tractor Supply and other chain retail stores located within ½ mile. All these businesses may be revitalized as a result of this development.
Health Care and Social Services	2	Adequate health care and social services are located within three miles of the proposed project site. The Columbus Regional HealthCare System and Columbus County Social Services serves the local area with a mile of the property. The facilities will have sufficient resources to provide services to residents. It is anticipated that residents of the proposed project will be from within the community and potentially already served by these health care and social services. Therefore, there should only be a negligible increase in demand for services.
Solid Waste Disposal / Recycling	2	<p>Municipal solid waste and recycling services are available to the proposed project site through the City of Whiteville, NC and will be available for the proposed development. The Columbus County Landfill will serve the property and has the capacity for the new development. The increased tax base from this proposed project will support the landfill / and waste disposal. Construction and demolition debris, and any documented or undocumented hazardous materials, will be appropriately disposed of by a licensed professional in the Columbus County Landfill.</p> <p>The NC DEQ DWM, Solid Waste Section (Section) stated in its comments that “it is recommended that during any land clearing, demolition, and construction, Love Mill NC LLC and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that Love Mill NC LLC require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.” NC DEQ also noted that “Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900.”</p> <p>Attachment – State Environmental Clearinghouse Comments</p>
Waste Water / Sanitary Sewers	2	Municipal wastewater and sanitary services are available through the City of Whiteville, NC. According to the developer, water, sewer, electric, telephone and cable are all available to the site and the capacity is sufficient.
Water Supply	2	<p>Municipal water services are available through the City of Whiteville, NC. According to the developer, water services are all available to the site and the capacity is sufficient.</p> <p>According to NC DEQ comments, “[p]lans and specifications for the construction, expansion, or alteration of a public water system</p>

		<p>must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq. All public water supply systems must comply with state and federal drinking water monitoring requirements.”</p> <p>Attachment – State Environmental Clearinghouse Comments</p>
Public Safety - Police, Fire and Emergency Medical	2	<p>Adequate Public Safety, Police, Fire and Emergency Services are available to the proposed project site through the City of Whiteville. It is anticipated that residents of the proposed project will be from within the community and there will be a negligible increased demand for services. These services are available and adequate for the proposed project. The Fire, Police and Urgent Care/ERs are all located within 1 mile from the site and response times are within 5 minutes.</p>
Parks, Open Space and Recreation	2	<p>Open space, parks and recreation centers are located within two miles of the proposed project site. The closest NC State Park is the Lake Waccamaw State Park located 20 miles away (https://www.ncparks.gov/find-a-park). County and city parks are located within 2 miles: Whiteville Park, Columbus County Parks and Recreation & Veterans Memorial Park are available to the proposed project site without adversely impacting the facilities. In addition, the proposed development includes a one-story clubhouse, playground, and covered picnic area for the residents.</p>
Transportation and Accessibility	2	<p>Public transportation is available in the vicinity of the proposed project site area via the Columbus County Transportation. The bus system also offers accessible ADA paratransit services for individuals with disabilities and is available for paratransit riders in Whiteville. Related information regarding the Columbus County Transportation is included in Attachment S. Additional information can be found at the website: https://columbusco.org/Departments/Public-Transportation</p> <p>The proposed project will have little to no effect on local traffic. According to the NCDOT Annual Average Daily Traffic Mapping Application, W. Love Mill Road (NCDOT_AADT_Stations:0240000069) has between 2,000 to 4,999 vehicles per day. The current traffic congestion in area on W. Love Mill Road will not be affected by the proposed project site - a 60-unit affordable multifamily housing facility.</p> <p>The NC DOT recommends referring to the Draft Columbus County Comprehensive Transportation Plan (CTP) at https://connect.ncdot.gov/projects/planning/Pages/CTP-Details.aspx?study_id=Columbus+County. NC DOT further notes that proposed upgrades in the CTP include: US 701/NC 130 to boulevard standards; a small portion of Leslie Newsome Ave to major thoroughfare standards; a bus route along US 701/NC 130 and US 701 Bus and into the Walmart Plaza; and bicycle</p>

	lanes/routes and sidewalks along US 701/NC 130, US 701 Bus and W. Hay Street (see State Environmental Clearinghouse Comments).
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Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	<p>No unique natural features or water resources are located on or near the proposed project site that will be adversely affected by the proposed project. Pyramid Environmental visited the property in October 2021 to conduct a Phase I ESA site inspection. No unique natural features or water resources were noted during the site inspection. According to the NC NHP Database Query Report, there are no Unique or Managed Areas located within one mile of the proposed project location – Attachment G.</p> <p>No surface water was located on or adjacent to the proposed project site. The Erosion control plan, including groundwater and public water use, is included in the site plans – Attachment I. According to NC DEQ Division of Water Resources, it is “recommended to schedule a site visit with 401 Water quality staff to discuss the proposal and to ensure compliance will be maintained per 401 surface Water requirements, and surface water standards. If wetland, riparian buffers or stream impacts are proposed, this project will need to comply with/secure a 404 permit from the USACE, obtain a 401 Water Quality Certification authorization.” In addition, “[c]ompliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.”</p> <p>Attachment – State Environmental Clearinghouse Comments</p>
Vegetation, Wildlife	2	<p>Based on the results of the IPaC report, generated at the USF&WS Information for Planning and Consultation website (https://ecos.fws.gov/ipac/), there is a total of six threatened, endangered, or candidate species identified for the project area.</p> <p>No critical habitats for the any of the listed species have been defined; however, the Northern Long-eared Bat (NLEB) profile shows that this species does include ranges of occupation that occur within the project area.</p> <p>Using the IPaC Determination Key, on September 20, 2021, the USF&WS indicated in a Verification Letter that the Action (development of the project) “may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o).” The letter also states: “This letter verifies that the PBO [Programmatic Biological Opinion] satisfies</p>

		<p>and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.” The IPaC Determination Key also states that “unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.” The proposed project is not located within 150 feet of a documented maternity roost or within 0.25 miles of a documented hibernaculum; therefore, the Pyramid has determined that the project is in compliance with the Endangered Species Act and can proceed without time of year restrictions for the NLEB. The letter was submitted to the USF&WS on September 20, 2021.</p> <p>On October 25, 2021 and November 23, 2021, the USF&WS provided comment on the proposed project via email. The USF&WS response concurred with Pyramid’s determination that the proposed project can proceed without mitigation for threatened or endangered species and should be in compliance with the Endangered Species Act. The email stated “the biologist that reviewed your submission agreed with your determinations.” The updated site plan was submitted to USF&WS for review on January 11, 2022 and, on March 22, 2022, USF&WS responded it had “no concerns with the proposed revision.”</p> <p>On February 22, 2022, Judith Ratcliffe with the NC Department of Natural and Cultural Resources issued an emailed response regarding the NLEB. The response stated, “there are no documented Northern Long-eared Bat maternity roost trees within 150 feet of this project boundary. There are no documented Northern Long-eared Bat hibernacula within 0.25 mile of this project boundary.” The letter and the NC NHP Database Query Report are included in Attachment G. This project is in compliance with the Endangered Species Act without mitigation.</p> <p>In addition, the developer will be using native grass and plantings in landscaping.</p> <p>Copies of the official IPaC Report, species profiles for the listed threatened or endangered species, Verification Letter for the NLEB, NC NHP Database Query Report, and correspondence with the USF&WS are included in Attachment G.</p>
Other Factors	2	No other factors were identified which would be impacted by the proposed project.

Additional Studies Performed:

- ASTM 1527-13 Phase I Environmental Site Assessment performed by Pyramid Environmental & Engineering, P.C., dated October 15, 2021.

Field Inspection (Date and completed by):

- On October 6, 2021, Ryan Kramer with Pyramid Environmental & Engineering, P.C. conducted the field inspection.

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

Agencies & Persons Consulted:

- USDA National Resource Conservation Service (NRCS) – Laurie F. Muzzy, Soil Scientist
- North Carolina Fish and Wildlife Office, Leigh Mann
- State of NC Documentation Sources for HUD Environmental Reviews, Lenwood Smith, Environmental Protection Specialist

Sources (including attachments):

- AirNav Aviation Information online, <https://www.AirNav.com>
- American Geosciences Institute National Pipeline Mapping System Interactive Map online, <https://pvnpm.phmsa.dot.gov/PublicViewer/>
- CBRS Mapper Interactive Map online, <https://www.fws.gov/cbra/maps/Mapper.html>
- Center for Disease Control and Prevention National Environmental Public Health Tracking Network online, <http://ephtracking.cdc.gov/showHome.action>
- Columbus County, NC, accessed online at <https://columbusco.org/Departments/Public-Transportation>
- Columbus County Zoning Maps, accessed online at <https://mangomap.com/columbusmis/maps/20702/zoning#>
- EPA Environmental Justice Screen Mapper online, <https://ejscreen.epa.gov/mapper/>
- EPA Green Book National Ambient Air Quality Standards online, <https://www.epa.gov/green-book>
- EPA Map of Radon Zones in North Carolina, accessed online at <https://www.epa.gov/radon/state-maps-radon-zones>
- EPA NEPAassist Tool online, <https://nepassisttool.epa.gov/nepassist/nepamap.aspx>
- EPA Sole Source Aquifer Map online, <https://epa.maps.arcgis.com/apps/webappviewer/index.html>
- FEMA Flood Map Service Center online, <http://msc.fema.gov/portal/home>
- Federal Railroad Administration (FRA)-Safety Map and Crossing Inventory Reports online, <http://fragis.fra.dot.gov/gisfrasafety/>

- HUD Tribal Directory Assessment Tool online, <https://egis.hud.gov/tdat/>
- National Park Service – National Register of Historic Places Interactive Map online, <https://www.nps.gov/maps/full.html>
- National Park Service - Nationwide Rivers Inventory online, <https://www.nps.gov/subjects/rivers/north-carolina.htm>
- National Park Service - Wild and Scenic Rivers Program Interactive Map online, <https://www.nps.gov/orgs/1912/plan-your-visit.htm>
- National Transportation Noise Map online, <https://maps.bts.dot.gov/arcgis/apps/webappviewer/index.html>
- National Wetland Inventory Wetlands Mapper online, curated by the U.S. Fish and Wildlife Service, <http://www.fws.gov/wetlands/Data/Mapper.html>
- North Carolina Department of Environmental Quality – Division of Coastal Management Interactive Map Viewer online, <https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html>
- North Carolina DOT Annual Average Daily Traffic (AADT) Mapping Applications online, <https://www.arcgis.com/apps/webappviewer/index.html> and <https://connect.ncdot.gov/resources/State-Mapping/Pages/Traffic-Survey-GIS-Data.aspx>
- North Carolina State Parks, <https://www.ncparks.gov/find-a-park>
- North Carolina Historic Preservation Office (NCHPO) web mapping service, <https://nc.maps.arcgis.com/apps/webappviewer/index.html>
- North Carolina Oil and Gas Wells Map, obtained from the NC DEQ Oil and Gas Program website, <https://deq.nc.gov/about/divisions/energy-mineral-land-resources/energy-group/oil-gas-program>
- North Carolina State Environmental Clearinghouse Comments, <https://clearinghouse.nc.gov/SCH/EnvironmentalReview>
- USDA Web Soil Survey online, <https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>
- U.S. Fish & Wildlife Service Information for Planning and Consultation (IPaC) Tool online, <https://ecos.fws.gov/ipac/>
- USGS Topographic Map, Whiteville, NC Quadrangle, dated 2019

List of Permits To Be Obtained (later identified permits will be added to the ERR):

All applicable federal, State and local permits will be identified and obtained prior to starting construction. Permits that might be required include, but are not limited, to:

- Local Building Permit
- NPDES Construction Stormwater permit (NCG010000)
- Wastewater extension permit
- Water Supply extension permit
- NC DEQ Erosion Control permit
- NC DOT Driveway permit

Public Outreach [24 CFR 50.23 & 58.43]:

- Whiteville City Council, Public Hearing regarding annexation and rezoning for the proposed project, April 20, 2021
- Whiteville Planning Board, recommendation regarding annexation and rezoning for the proposed project, March 8, 2021

Cumulative Impact Analysis [24 CFR 58.32]:

The proposed project will be an affordable multifamily housing complex that will provide new, safe housing that is needed in the area. The proposed project site was found to be a very suitable site for the development with no on-site or nearby recognized environmental conditions that would adversely affect the proposed project. No negative cumulative impacts to the environment were discovered as part of this Environmental Assessment.

The benefits of this proposed project to the local economy and low-income community cannot be understated. The proposed development is in walking distance to commercial uses, including a grocery store (Food Lion) and retail stores. Whiteville is located just south of US Hwy 74, a major thoroughfare, which provides direct access to Charlotte to the west and Wilmington to the east. High occupancy rates of affordable properties within the Whiteville, NC area conclude this proposed project will have a positive effect on the community.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

No alternatives or alternative sites were considered. According to the developer, choosing the proposed project site was an 8-Step Decisioning Making Process.

No Action Alternative [24 CFR 58.40(e)]:

If the proposed project site is not developed as proposed, it would present less inventory for affordable housing options within the community, and the site would remain vacant or likely be developed for commercial use. The local economy would not be afforded the benefit from the proposed development.

Summary of Findings and Conclusions:

The preceding Statutory Checklist and Environmental Assessment Checklist, and the discussion below, document that the proposed work will comply with regulations in 24 CFR part 58 and that there are no direct or cumulative adverse environmental impacts anticipated as a result of the proposed action.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Any change to the approved scope of work will require re-evaluation by the Certifying Officer for compliance with NEPA and other laws and Executive Orders.

This review does not address all federal, state, and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state, and local environmental permits and clearances may jeopardize federal funding. Guidelines, recommendations, and requirements identified during the State Environmental Clearinghouse inter-agency review shall be considered and required, where applicable.

Law, Authority, or Factor	Mitigation Measure
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>In order to mitigate the generation of fugitive dust from land clearing activities, the following techniques will be utilized. Vegetative cover will be maintained as much as possible around cleared areas. Access roads and storage areas that are heavily travelled will have a water truck to stabilize potential dust during high traffic times or high wind days. Construction vehicles and machinery will operate at reduced speeds to reduce soil disturbance and fugitive dust potential. In order to mitigate the generation of emissions during construction, vehicles and other machinery will be limited to construction hours only and will not be present once construction is completed.</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p> <p>Hazards and Nuisances including Site Safety and Site-Generated Noise</p>	<p>Construction noise will be limited to normal daylight hours, Monday – Friday, except in emergency situations. Short-term construction work will adhere to local noise control standards/regulations. Construction equipment will be required to meet sound control requirements.</p>

Determination:

Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.27]

The project will not result in a significant impact on the quality of the human environment.

Finding of Significant Impact [24 CFR 58.40(g)(2); 40 CFR 1508.27]
The project may significantly affect the quality of the human environment.

Preparer Signature: Andrea Siivers Date: 4/6/22

Name/Title/Organization: Andrea Gievers, Environmental SME, NCORR

Certifying Officer Signature:  Date: 4/7/2022
D8561D53476B499...

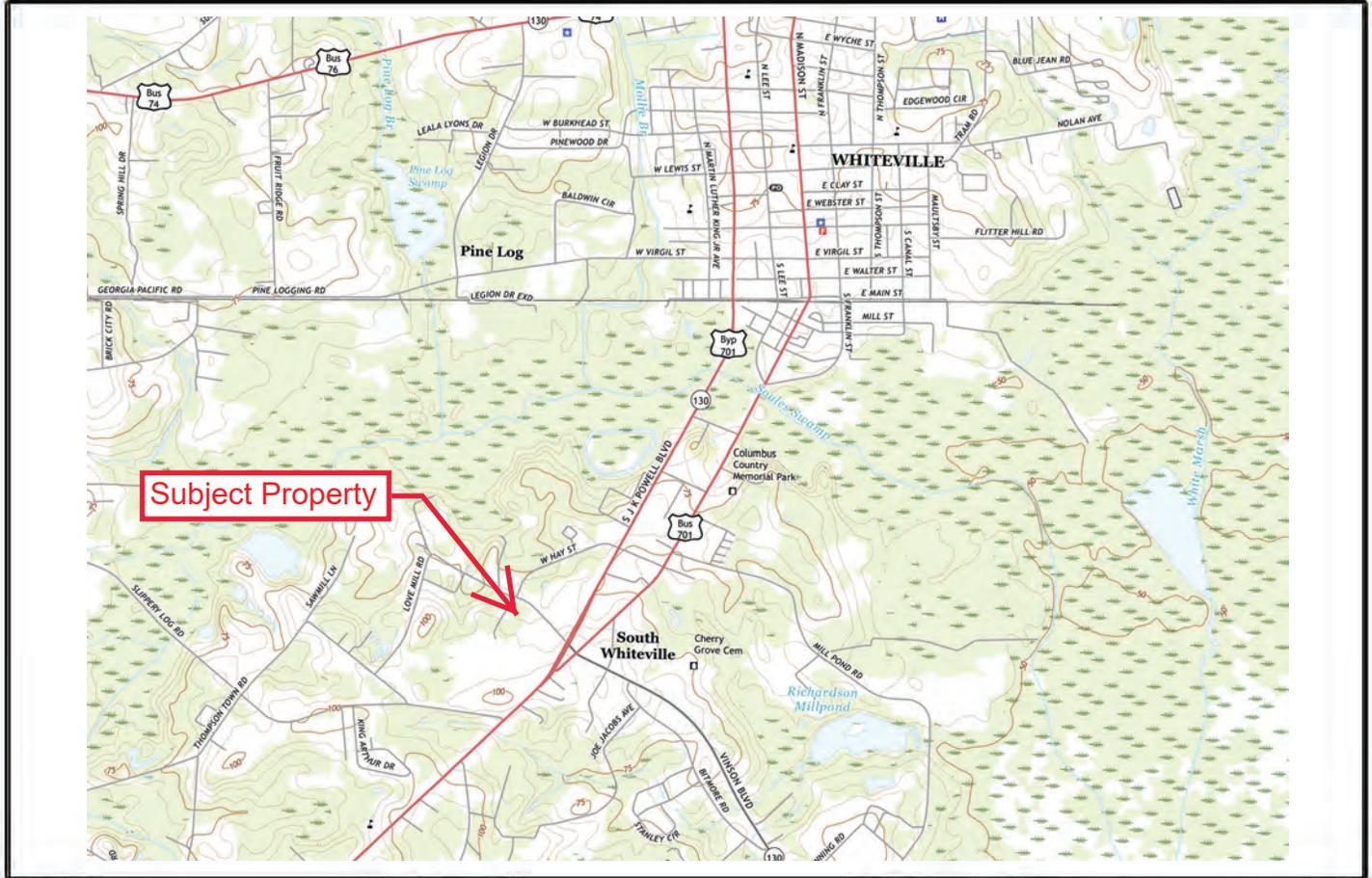
Name/Title: Laura H. Hogshhead, Director, NCORR

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

USGS TOPOGRAPHIC MAP

SITE: Love Mill Apartments

LOCATION: 181 W. Love Mill Rd., Whiteville, NC



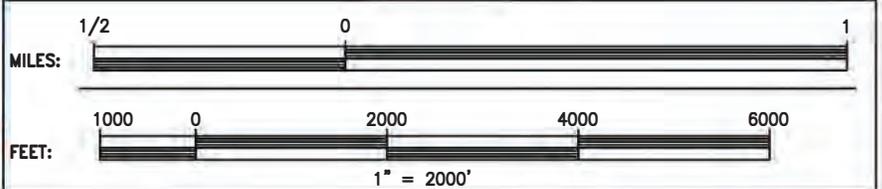
Subject Property

USGS IDENTIFICATION

USGS 7.5 MINUTE MAP	Whiteville, NC
ORIGINAL DATE:	2019
PHOTOREVISION DATE:	N/A

	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

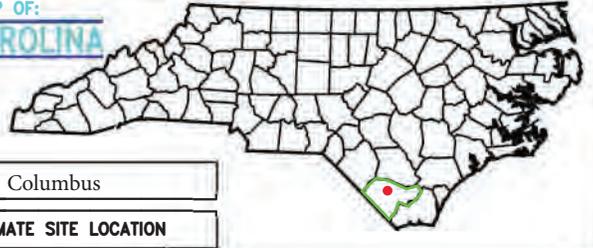
SCALES



NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 20 FEET
 ► PHOTOREVISIONS DENOTED IN PURPLE



COUNTY MAP OF: NORTH CAROLINA

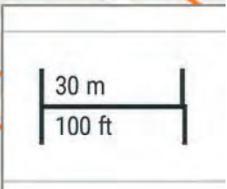


	COUNTY: Columbus
	APPROXIMATE SITE LOCATION

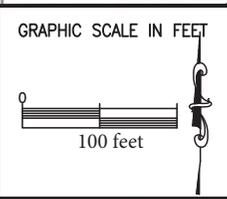


CLIENT: Flatiron Partners	SCALE: 1" = 2,000'
PROJECT NAME: Love Mill Apts. - 181 W. Love Mill Rd.	DRAWN BY: TC
CITY: Whiteville STATE: North Carolina	CHECK BY: RK
TITLE: Topographic Map	DATE: 9/14/21
	JOB NO.: 2021-266
	TYPE: PHASE I
	DRAWING NAME: USGSTOPO
	FIGURE NUMBER: 1

NOTES
 TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON, VIRGINIA.
 THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	TAX-ID	#5751 & 77993
CITY	Whiteville	STATE	North Carolina
TITLE	Tax Map	DWG	Tax-Map
		L-NO	2021-266
		FIGURE	2



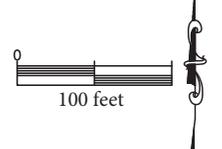


PYRAMID

ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	DATE	9/14/2021
CITY	Whiteville	STATE	North Carolina
TITLE	2020 Aerial Photograph	FIGURE	Figure 3

GRAPHIC SCALE IN FEET



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT
 Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
 Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roller erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roller erosion control products with grass seed

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
 - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
 - Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
 - Provide ponding area for containment of treated Stormwater before discharging offsite.
 - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

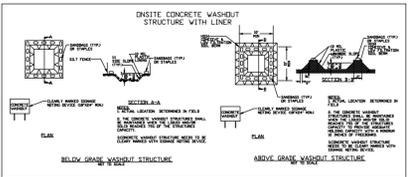
- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
 - Provide drip pans under any stored equipment.
 - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
 - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
 - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
 - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers.
 - Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
 - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
 - Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
 - Anchor all lightweight items in waste containers during times of high winds.
 - Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
 - Dispose waste off-site at an approved disposal facility.
 - On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
 - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Contain liquid wastes in a controlled area.
 - Containment must be labeled, sized and placed appropriately for the needs of site.
 - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
 - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
 - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
 - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
 - Provide stable stone access point when feasible.
 - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



- CONCRETE WASHOUTS**
- Do not discharge concrete or cement slurry from the site.
 - Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
 - Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
 - Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
 - Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
 - Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
 - Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
 - Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
 - Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
 - At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
 - Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
 - Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater, ground water or surface water. If a spill occurs, clean area immediately.
 - Do not stockpile these materials onsite.

- HAZARDOUS AND TOXIC WASTE**
- Create designated hazardous waste collection areas on-site.
 - Place hazardous waste containers under cover or in secondary containment.
 - Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION
 Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un-attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a report of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading/installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING
1. E&SC Plan Documentation
 The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site
 In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years
 All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

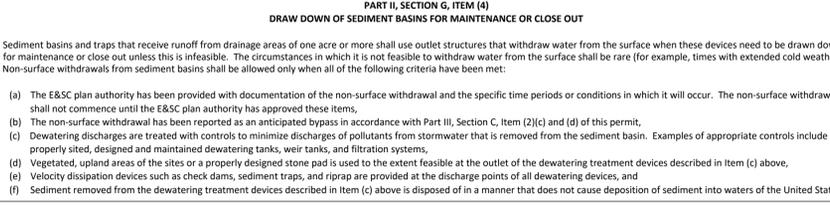
PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING
1. Occurrences that Must be Reported
 Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
 After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0358.

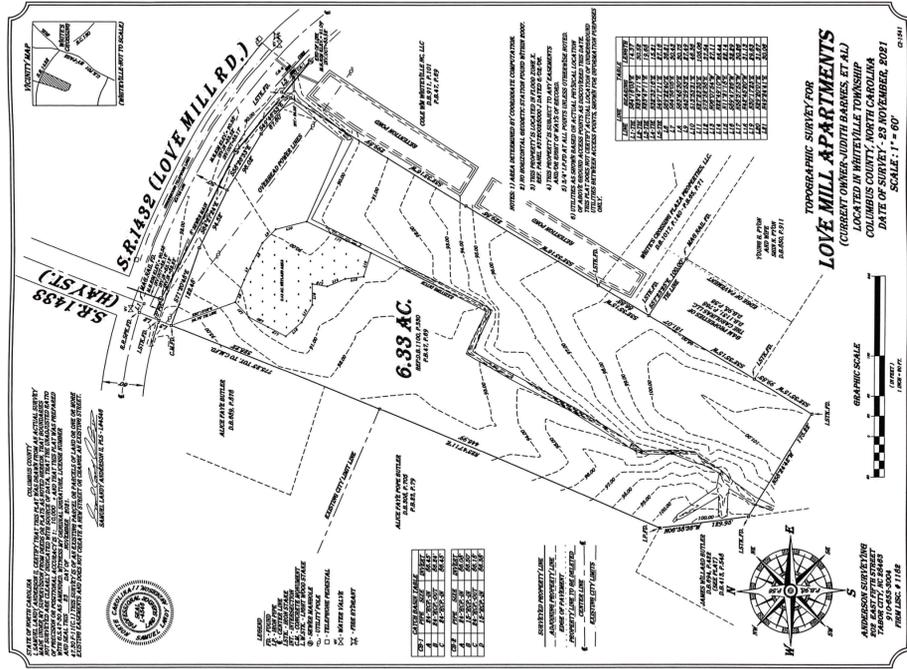
Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the [NC 302.4] [1] as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(n)(7))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(n)(8)). Division staff may waive the requirement for a written report on a case-by-case basis.



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

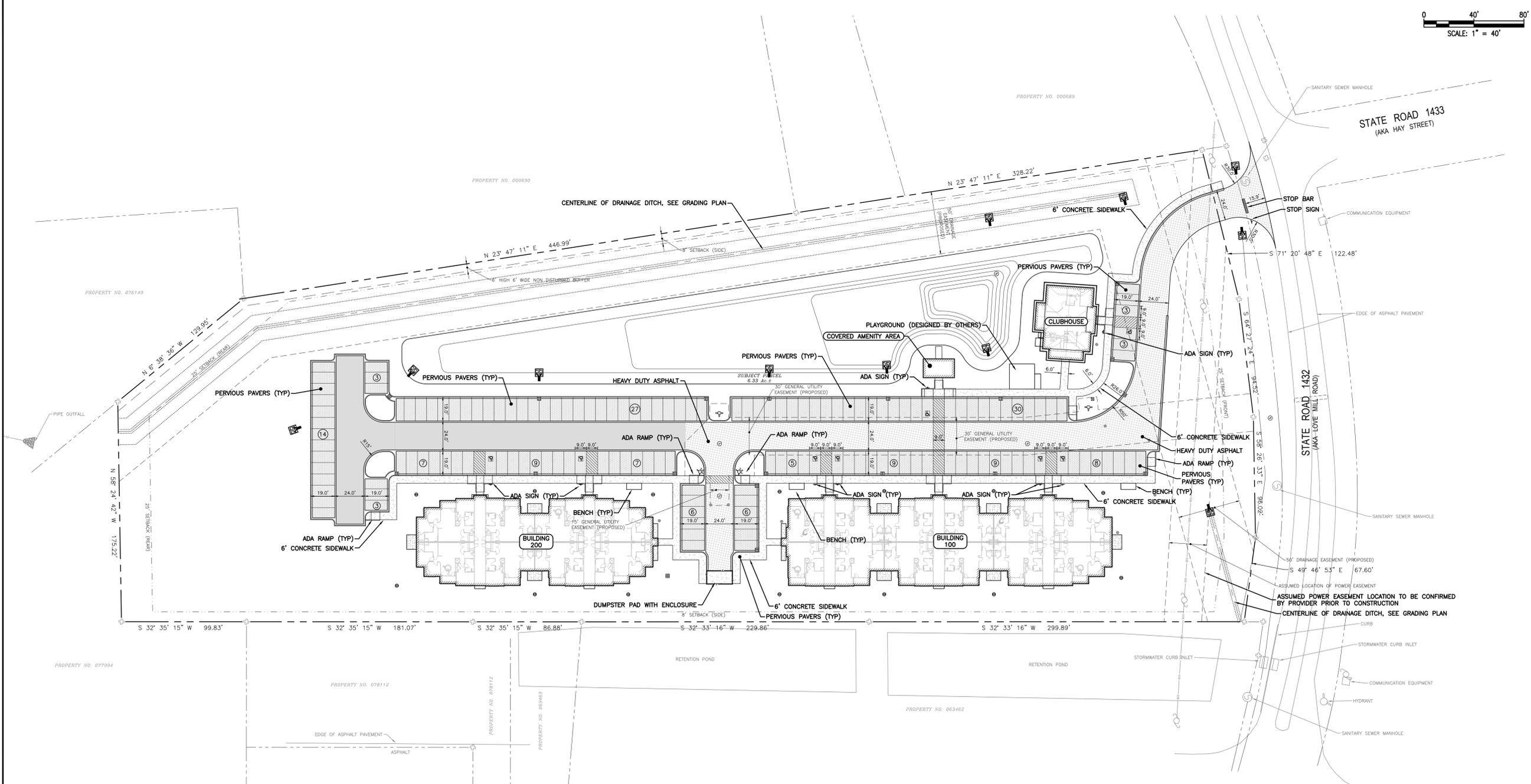
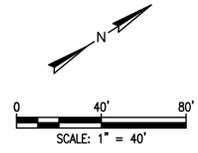
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FIRM NUMBER C-4384
CLINE ENGINEERING
 PROFESSIONAL DESIGN CONSULTING
 181 W. LIVE MILL ROAD
 CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA
 LOVE MILL APARTMENTS
 PROJECT MANAGER: MEO
 DRAWN BY: AJJ/AR
 PROJECT DATE: SEPT 2017
 FOR NUMBER: 2103
 SHEET NUMBER
G-4
 DESCRIPTION: DATE: REV: APPV:



SAFETY NOTE TO CONTRACTOR
THE CONTRACTOR SHALL STAKE, TRENCH EXCAVATION AND USE PIPE BOX TO COMPLY WITH ALL OSHA SAFETY REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE JOB SITE SAFETY AND COMPLY WITH ALL SAFETY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR HIS MEANS AND METHODS OF CONSTRUCTION.

UTILITY NOTE TO CONTRACTOR
THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



Love Mill Apartments Unit Matrix
Whiteville, NC 2021-006

Units	P-P SF	Net SF	Bldg #		Total
			#100	#200	
1BR/1BA					
A(a)	843	889	1	0	1
A(as)(av)	843	889	1	0	1
A(b)	843	889	0	0	0
A	843	889	4	0	4
A2(b)	1059	1112	1	0	1
A2	1059	1112	2	0	2
B(a)	1059	1112	0	1	1
B(as)(av)	1059	1112	1	0	1
B(b)	1059	1112	6	3	9
B	1059	1112	14	8	22
2BR/2BA					
C(a)	1277	1220	1	0	1
C(as)	1277	1220	0	1	1
C(b)	1277	1220	1	3	4
C	1277	1220	4	8	12
Total Units			36	24	60
Unit Paint-Paint SF	38,136	28,032			66,168
Building Net (Heated) SF	39,342	27,984			67,326
Bldg. Gross (Under Roof) SF	48,010	34,198			82,208

- NOTES**
- ALL ADA ACCESS ROUTES SHALL BE 5.00% MAX. LONGITUDINAL SLOPE WITH MAX. 2.00% CROSS SLOPE ON SIDEWALKS. MAX. 2.00% SLOPE IN PARKING AREA. CONTRACTOR TO MAINTAIN CONFORMANCE TO THE ADAAG.
 - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, SIDEWALKS, CANOPIES, EXTERIOR COLUMNS, DRIVE THROUGH UTILITY CONNECTIONS, ETC.
 - CONTRACTOR TO PROTECT EXISTING SIDEWALK WITHIN RIGHT-OF-WAY DURING CONSTRUCTION AND ENSURE THAT ALL SIDEWALKS ADJACENT TO SITE ARE SAFE AND ACCESSIBLE FOR PEDESTRIANS. REMOVE VEGETATION OVERGROWTH AND MAKE REPAIRS TO ANY DAMAGED PORTIONS OF EXISTING SIDEWALK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS. CONTRACTOR TO ENSURE ANY SIDEWALK REPAIRS MEET OR EXCEED NCDOT STANDARDS.
 - COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER FACILITIES FORM AND AS-BUILT DRAWINGS FOR STORMWATER MANAGEMENT FACILITIES MUST BE COMPLETED IN ACCORDANCE WITH NCDOT SPECIFICATIONS BEFORE A NOTICE OF TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL BE APPROVED.
 - CONSTRUCTION DEBRIS AND OTHER WASTE SHALL BE CONTAINED IN A DUMPSTER OR COVERED WITH PLASTIC.
 - CHEMICALS, PAINTS, SOLVENTS AND OTHER MATERIALS SHALL BE STORED SUCH THAT EXPOSURE RISK TO PRECIPITATION AND STORMWATER RUN-ON IS LOW.
 - CONCRETE WASH WATER SHALL BE DISPOSED IN AN AREA OF SOIL AWAY FROM SURFACE WATERS WHERE SOIL CAN ACT AS A FILTER OR EVAPORATE THE WATER. REMAINING CEMENT SHALL BE DISPOSED OF IN A DUMPSTER OR OTHERWISE REMOVED FROM THE SITE.

SITE DATA TABLE

TAX MAP INFORMATION	PROPERTY #077993 PROPERTY #005751
SUBJECT PARCEL(S) ZONING	R-BMF
SUBJECT PARCEL(S) AREA	6.33 Ac.± TOTAL
BUILDING AREA - EXISTING	NONE
BUILDING AREA - PROPOSED	CLUB HOUSE = 2,372 SF± FOOTPRINT BUILDING 100 = 16,691 SF± FOOTPRINT BUILDING 200 = 11,893 SF± FOOTPRINT COVERED AMENITY AREA = 375 SF± FOOTPRINT
BUILDING SETBACK REQUIREMENTS	FRONT = 25' SIDE = 8' REAR = 25'
SITE BUFFER REQUIREMENTS	WEST = 6' HIGH 6' WIDE NON DISTURBED BUFFER
SITE PARKING REQUIREMENTS	2 SPACES FOR EACH RESIDENTIAL UNIT PLUS 1 ADDITIONAL SPACE FOR EACH 3 RESIDENTIAL UNITS PLUS 1 SPACE FOR EACH EMPLOYEE IN THE LARGEST SHIFT 60 UNITS * 2 SPACES PER UNIT = 120 SPACES 60 UNITS / 3 UNITS = 20 SPACES 2 EMPLOYEES = 2 SPACES 120 SPACES + 18 SPACES + 2 SPACES = 142 SPACES
PARKING PROVIDED	149 SPACES (INCLUDES HANDICAP 8 SPACES)
FLOOD ZONE	"X" MAP NUMBER 372002000J EFFECTIVE JUNE 2, 2006

REV.	DATE	DESCRIPTION	DRAWN	APPV.

FIRM NUMBER C-4384

CLINE
ENGINEERING
PROFESSIONAL DESIGN CONSULTING

LOVE MILL APARTMENTS

SITE PLAN

181 W LOVE MILL ROAD
CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

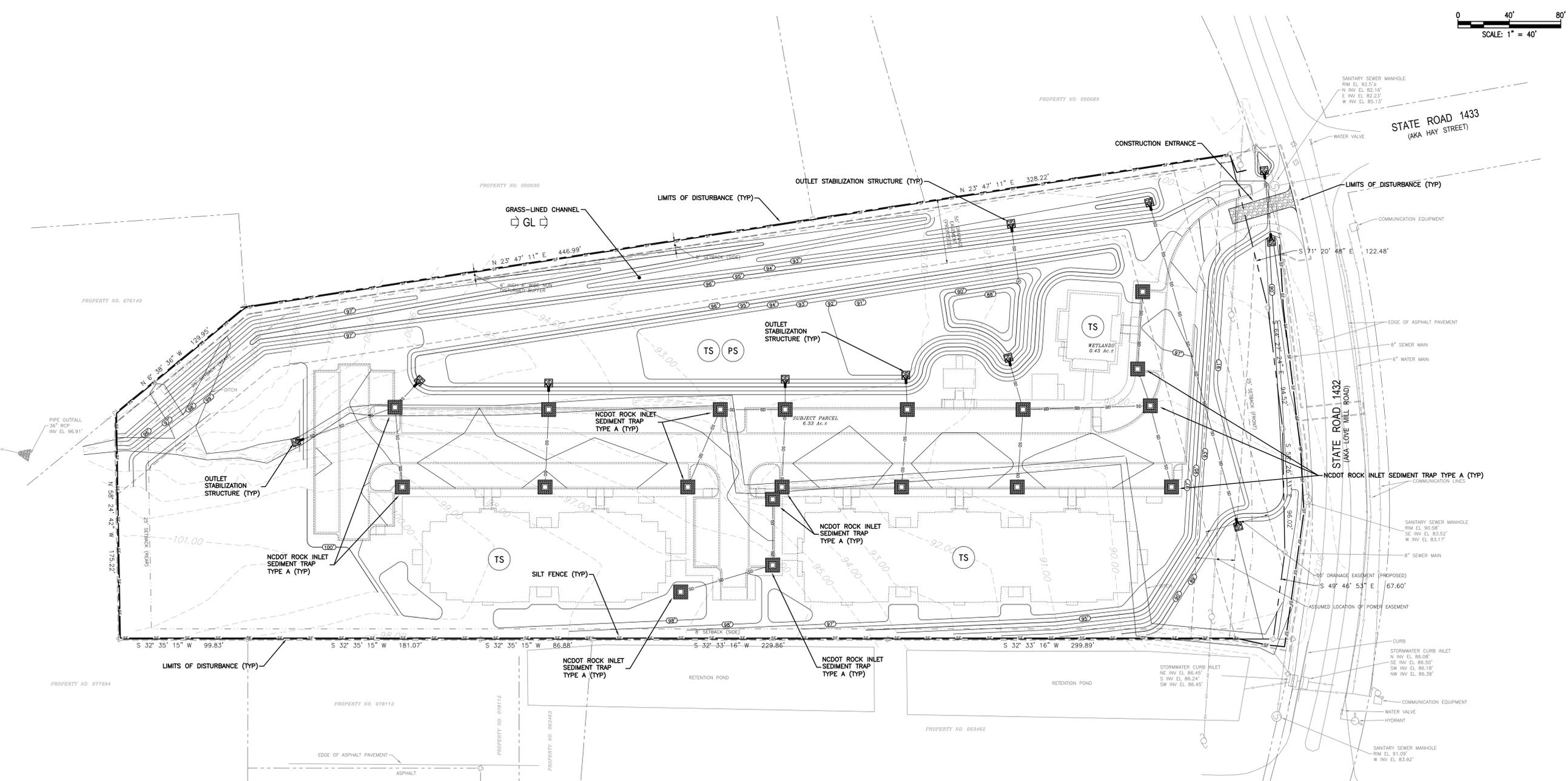
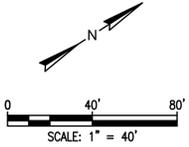
PROJECT MANAGER: MDC
DRAWN BY: AJJ/AR
PROJECT DATE: SEPT 2021
FOR NUMBER: 2103

SHEET NUMBER

C-1

SAFETY NOTE TO CONTRACTOR
THE CONTRACTOR SHALL SHORE, TRENCH EXCAVATION AND USE PIPE BOX TO COMPLY WITH ALL OSHA SAFETY REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE JOB SITE SAFETY AND COMPLY WITH ALL SAFETY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR HIS MEANS AND METHODS OF CONSTRUCTION.

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EROSION CONTROL LEGEND	
SYMBOL	DESCRIPTION
(TS)	TEMPORARY SEEDING
(PS)	PERMANENT SEEDING
(S)	SODDING
(GC)	TREE, SHRUBS, VINES & GC
(M)	MULCHING
(RR)	RIPRAP
GL	GRASS-LINED CHANNEL
[Square with dots]	NCDOT ROCK INLET SEDIMENT TRAP A
[Square with horizontal lines]	NCDOT ROCK INLET SEDIMENT TRAP B
[Square with diagonal lines]	OUTLET STABILIZATION STRUCTURE

PARTIAL LEGEND PROVIDED FOR BMP. SEE GENERAL NOTE PLANS FOR COMPLETE LEGEND. THERE MAY BE ADDITIONAL SYMBOLS USED IN THESE PLANS. PLEASE CONTACT ENGINEER IF ANY SYMBOL IS UNDEFINED OR UNCLEAR.

REV.	DATE	DESCRIPTION	DRAWN	APPV.

FIRM NUMBER C-4384

CLINE
ENGINEERING
PROFESSIONAL DESIGN CONSULTING

LOVE MILL APARTMENTS

EROSION CONTROL PLAN

181 W LOVE MILL ROAD
CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

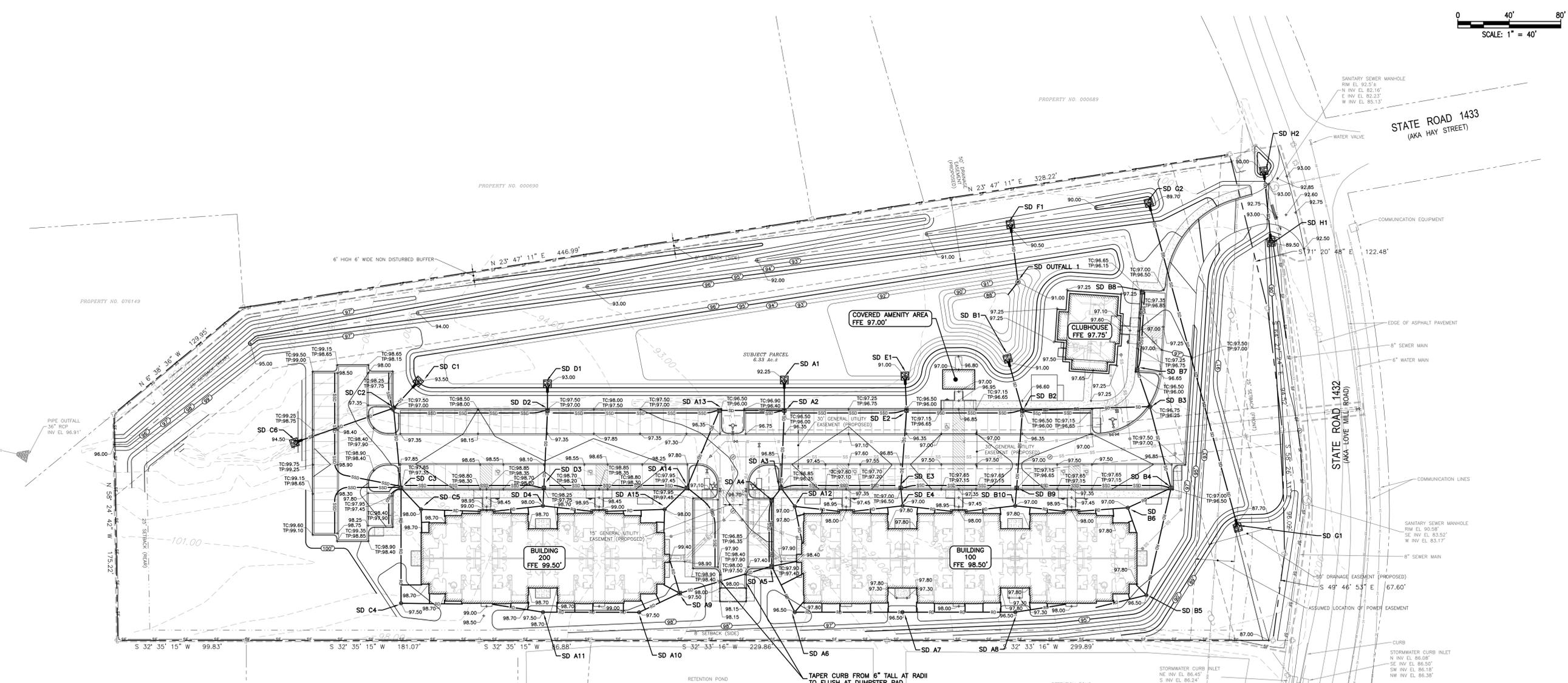
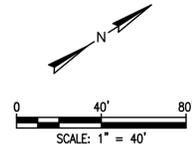
PROJECT MANAGER	MEC
DRAWN BY	AJJ/AR
PROJECT DATE	SEPT 2023
DWG NUMBER	2103

SHEET NUMBER

C-2

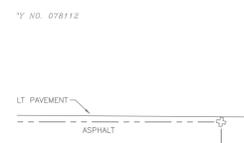
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STORM DRAIN SCHEDULE						
FROM	TO	R.C.P.	DIA.	SLOPE	INVERT ELEVATION	EFF. END
		LENGTH			INFL. END	
A15	A14	24	12	0.83	94.00	93.80
A14	A13	65	12	0.62	93.80	93.40
A13	A2	49	12	3.37	93.40	91.75
A12	A3	17	12	5.29	93.00	92.10
A11	A10	75	12	0.53	93.50	93.10
A10	A09	35	15	0.57	93.10	92.80
A09	A08	75	15	0.67	92.80	92.40
A08	A07	88	15	0.51	93.50	93.05
A07	A06	84	15	0.54	93.05	92.80
A06	A05	40	15	0.50	92.80	92.40
A05	A04	50	15	0.56	92.40	92.15
A04	A03	8	18	0.63	92.15	92.10
A03	A02	80	24	0.58	92.10	91.75
A02	A01	35	24	0.71	91.75	91.50
B10	B09	12	12	0.83	93.00	92.80
B09	B08	60	12	2.83	92.80	91.30
B08	B07	60	12	0.42	92.15	91.80
B07	B03	30	12	0.87	91.80	91.70
B06	B04	37	12	1.35	93.00	92.50
B05	B04	85	12	0.68	93.00	92.50
B04	B03	65	12	1.23	92.50	91.70
B03	B02	100	18	0.50	91.70	91.20
B02	B01	39	24	0.51	91.20	91.00
C08	C02	76	12	0.66	94.50	94.00
C08	C03	20	12	1.25	93.00	94.75
C04	C03	87	18	0.57	95.25	94.75
C03	C02	59	18	1.27	94.75	94.00
C02	C01	24	18	2.08	94.00	93.50
D04	D03	14	12	0.71	94.00	93.80
D03	D02	61	12	1.48	93.80	93.00
D02	D01	18	12	2.78	93.00	92.50
E4	E3	13	12	1.92	93.50	93.25
E3	E2	68	12	0.68	93.25	92.75
E2	E1	28	12	0.75	92.75	91.00
OUTLET	F1	#				
G2	G1	254	42	0.78	89.70	87.70
H2	H1	85	18	0.77	90.00	89.50

STRUCTURE						
NO.	TYPE	TOP	WEIR	BTM		
		ELEV.	ELEV.	ELEV.	INVERT	DEPTH
A15	MANHOLE	96.50	96.50	96.00	4.00	
A14	TYPE-T	97.95	97.45	96.40	4.15	
A13	TYPE-T	98.50	98.00	96.40	3.10	
A12	MANHOLE	97.00	97.00	96.00	4.00	
A11	MANHOLE	97.50	97.50	96.50	4.00	
A10	MANHOLE	97.50	97.50	96.10	4.40	
A09	TYPE-T	98.00	97.80	96.50	5.10	
A08	MANHOLE	98.50	98.50	97.00	3.00	
A07	MANHOLE	98.50	98.00	96.25	3.45	
A06	MANHOLE	98.50	98.50	96.50	2.00	
A05	TYPE-T	97.50	97.40	95.40	2.50	
A04	TYPE-T	96.85	96.35	95.15	4.70	
A03	TYPE-T	98.15	98.25	96.10	4.75	
A02	TYPE-T	98.00	96.00	92.75	4.75	
A01	OUTFALL	96.00	96.00			
B10	TYPE-T	97.50	97.00	96.00	4.50	
B09	TYPE-T	97.85	96.85	95.00	4.25	
B08	TYPE-T	96.85	96.15	95.15	4.50	
B07	TYPE-T	96.50	96.00	95.30	4.60	
B06	MANHOLE	97.00	97.00	96.00	4.00	
B05	MANHOLE	98.50	98.50	97.00	3.50	
B04	TYPE-T	97.00	96.50	95.50	4.50	
B03	TYPE-T	96.75	96.25	95.10	5.05	
B02	TYPE-T	96.00	96.00	95.25	3.50	
B01	OUTFALL	91.00				
C08	INLET	94.50				
C08	MANHOLE	96.50	96.50	96.00	3.00	
C04	MANHOLE	97.50	97.50	96.25	2.25	
C03	TYPE-T	97.85	97.35	96.75	3.10	
C02	TYPE-T	97.50	97.00	96.00	3.00	
C01	OUTFALL	93.00				
D04	MANHOLE	98.00	98.00	96.00	4.00	
D03	TYPE-T	98.25	97.75	96.00	4.25	
D02	TYPE-T	97.00	97.00	96.00	4.50	
D01	OUTFALL	92.50				
E4	MANHOLE	97.00	97.00	96.50	3.50	
E3	TYPE-T	97.00	96.50	95.75	3.75	
E2	TYPE-T	96.50	96.00	95.75	3.75	
E1	OUTFALL	91.00				
OUTFALL	F1	97.00				
G2	INLET	89.7				
G1	OUTFALL	89.7				
H2	INLET	90.0				
H1	OUTFALL	89.5				



STORM DRAINAGE NOTES

1. CALCULATIONS BASED ON ESTIMATED PIPE LENGTHS. CONTRACTOR SHALL VERIFY ALL PIPE LENGTHS. ALL LENGTHS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR COST OF PIPING DUE TO FIELD VARIANCES.
2. ALL PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP), CLASS III UNLESS OTHERWISE NOTED.
3. ALL CLASS V RCP SHALL HAVE O-RING JOINTS, NO SUBSTITUTIONS.
4. ALL OUTLET PIPES SHALL BE O-RING RCP WITH AN ANTI-SEEP COLLAR.
5. ALL PIPE BENEATH PAVED AREAS TO BE CLASS V.
6. PIPE NETWORK HAS BEEN SIZED USING THE RATIONAL METHOD.

REV.	DATE	DESCRIPTION	DRAWN	APPV.

FIRM NUMBER C-4384

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LOVE MILL APARTMENTS

GRADING AND DRAINAGE PLAN

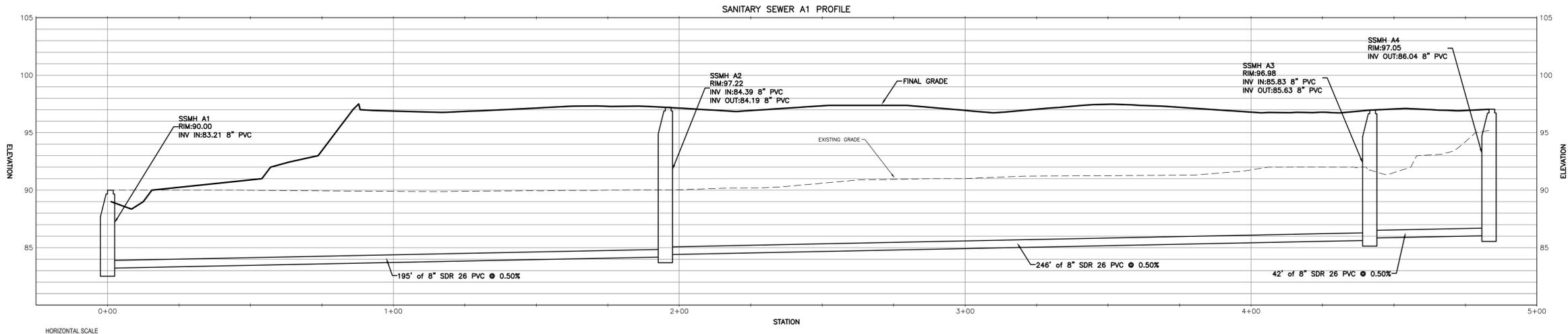
181 W LOVE MILL ROAD
CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

PROJECT MANAGER: MDC
DRAWN BY: AJJ/AR
PROJECT DATE: SEPT 2021
FOR NUMBER: 2021

SHEET NUMBER

C-3

PLOT DATE: 2/10/2023 10:59 AM FILE LOCATION: X:\2023\2023\PROJECTS\DRAWINGS\2023



HORIZONTAL SCALE
 1" = 20'
 VERTICAL SCALE
 1" = 5'

REV.	DATE	DESCRIPTION	DRAWN	APPV.

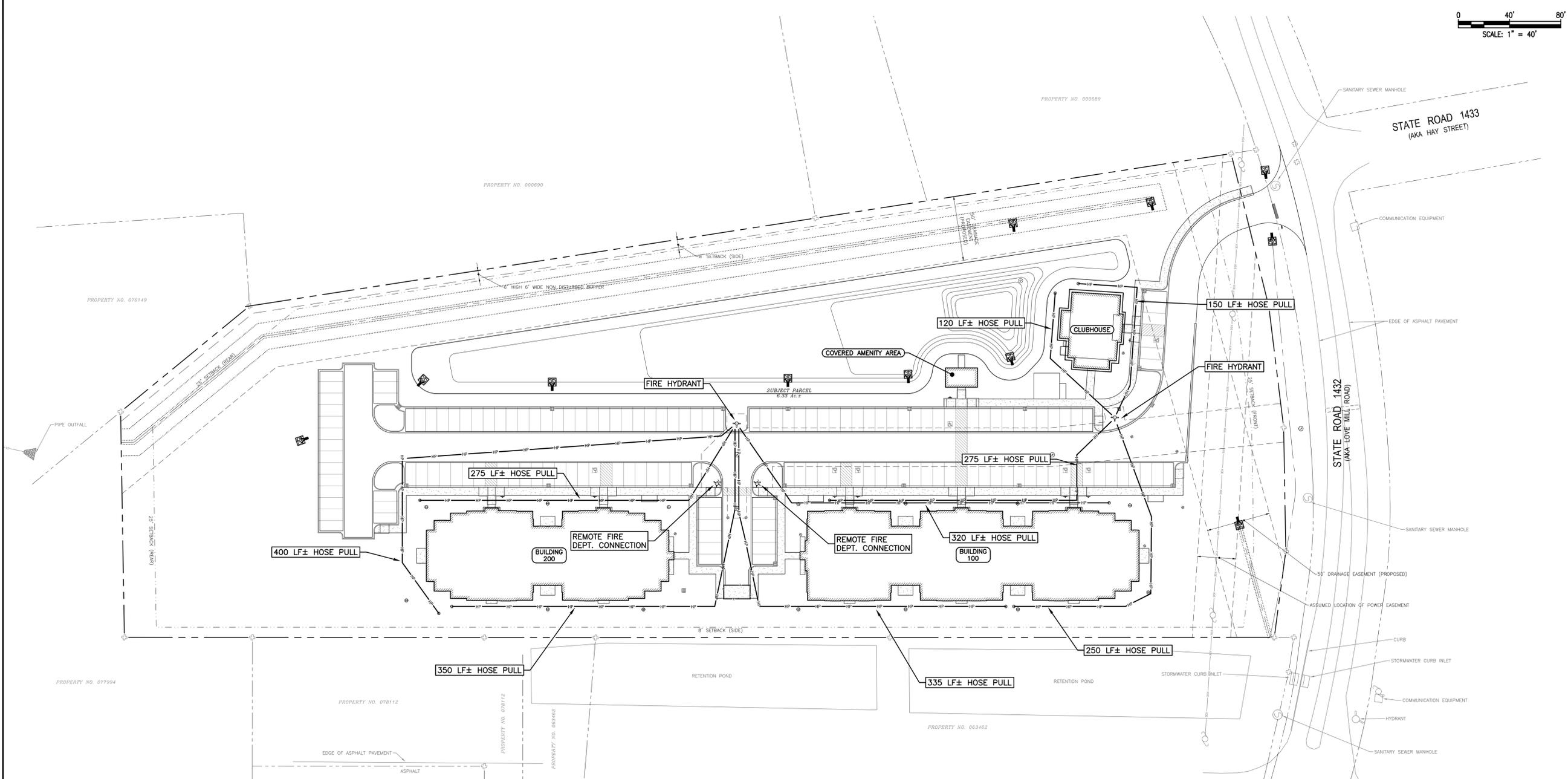
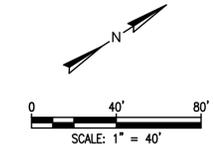
FIRM NUMBER C-4384
CLINE
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LOVE MILL APARTMENTS
SANITARY SEWER PROFILES
 181 W LOVE MILL ROAD
 CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

PROJECT MANAGER	MEC
DRAWN BY	AJ/AR
PROJECT DATE	SEPT 2023
SHEET NUMBER	2/5
SHEET NUMBER	
C-5	

SAFETY NOTE TO CONTRACTOR
THE CONTRACTOR SHALL SHORE, TRENCH EXCAVATION AND USE PIPE BOX TO COMPLY WITH ALL OSHA SAFETY REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE JOB SITE SAFETY AND COMPLY WITH ALL SAFETY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR HIS MEANS AND METHODS OF CONSTRUCTION.

UTILITY NOTE TO CONTRACTOR
THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



ACCESS	
QUESTION	ANSWER
FIRE APPARATUS ACCESS ROAD IN ACCORDANCE WITH IFC 2006 SECTION 503. IT MAY BE NECESSARY TO PROVIDE A VEHICLE OVERLAY TO VERIFY TURN RADIUS - UTILIZE A TEMPLATE FOR A 40' STRAIGHT FRAME VEHICLE	ACCESS ROAD IS DRIVEWAY OFF OF LOVE MILL ROAD.
ACCESS ROADS MUST BE PROVIDED WITHIN 150 FEET OF ALL POINTS OF THE STRUCTURE AND THE MINIMUM ROAD WIDTH OF 20' FOR ALL FIRE ACCESS LANES. ANY DEVIATIONS MUST BE APPROVED	ACCESS ROAD SHOWN FOR REVIEW AND APPROVAL
ACCESS ROADS MUST BE DESIGNED TO MEET THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE CONSTRUCTED OF AN ALL-WEATHER DRIVING SURFACE. FIRE APPARATUS DESIGN WEIGHT SHALL BE 75,000 LBS. ALL FIRE ACCESS ROADS SHALL BE INSPECTED BY A THIRD PARTY INSPECTOR APPROVED BY THE CHARLESTON FIRE MARSHAL OFFICE	ACCESS ROAD IS LOVE MILL ROAD WITH DRIVEWAY ACCESS ON SITE.
INDICATE ANY SUBSTANTIAL GRADE CHANGES ALONG A FIRE APPARATUS ACCESS ROUTE	SPOT GRADES SHOWN ON GRADING PLAN FOR REVIEW
PROVIDE AN APPROVED TURN AROUND FOR ANY ACCESS ROADS GREATER THAN 150 FEET	ACCESS ROADS WITH DRIVEWAYS ARE WITHIN 150'
FIRE LANE SIGNS AND STRIPPING WILL BE REQUIRED IN FRONT SITE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, OR OTHER CRITICAL AREAS SUBJECT TO OBSTRUCTIONS. INDICATE ALL ANTICIPATED FIRE LANES ON THE PLAN. CONTRACTORS SHOULD RECEIVE APPROVAL FOR STRIPPING AND SIGNAGE PRIOR TO INITIATING WORK	NOT APPLICABLE

HYDRANTS	
QUESTION	ANSWER
INDICATE ALL EXISTING HYDRANTS IN THE AREA OR AT LEAST WITHIN 500' OF THE PROJECT. FIRE HYDRANT QUANTITIES AND SPACING MUST BE APPROVED. GUIDANCE MAY BE FOUND IN THE APPENDIX OF THE IFC. HYDRANTS LOCATED OUTSIDE OF DRAWING AREA MAY BE INDICATED BY A MEASUREMENT FROM A KNOWN REFERENCE POINT	SHOWN ON PLAN SCALED FROM AERIAL
INDICATE THE SIZE AND TYPE OF WATER MAINS SERVING THE FIRE PROTECTION (HYDRANTS, SPRINKLER, ETC.)	FIRE SPRINKLER SYSTEM PROVIDED AS SHOWN ON THE WATER PLAN
PROVIDE THE AVAILABLE FIRE FLOW AT THE SITE, MEASURED AT 20 PSI RESIDUAL PRESSURE, AVAILABLE FOR FIRE FIGHTING	TO BE PROVIDED
INDICATE THE REQUIRED FIRE FLOW IN ACCORDANCE WITH AN ACCEPTABLE CALCULATION METHOD. BASIC GUIDANCE MAY BE FOUND IN THE APPENDIX OF THE IFC. FLOW RATE REDUCTIONS MUST BE SUBMITTED FOR REVIEW AND APPROVAL	2018 IFC (APPENDIX B) 30,101 - 35,200 = 3,250 GPM
HYDRANTS SHALL BE CLEARLY IDENTIFIED AND COLOR CODED. PRIVATE HYDRANTS SHALL BE PAINTED RED, PUBLIC HYDRANTS SHALL BE PAINTED YELLOW. PRIVATE HYDRANTS SHALL HAVE THE BONNET AND CAPS COLOR CODED IN ACCORDANCE WITH NFPA 291 AFTER VERIFICATION FLOW TESTING HAS BEEN COMPLETED	PROPOSED HYDRANT SHOWN ON WATER PLAN

BUILDING INFORMATION	
QUESTION	ANSWER
PROVIDE THE CONSTRUCTION TYPE (IBC), TOTAL SQUARE FOOTAGE, STORES ABOVE AND BELOW GRADE	TYPE V-A, 31,331 SF FOOTPRINT TOTAL
WILL THE PROJECT INCLUDE A FIRE SPRINKLER SYSTEM?	YES
INDICATE OR DESCRIBE ANY ANTICIPATED FIRE SEPARATIONS OR FIRE WALLS	NONE
INDICATE THE LOCATION OF ANY FUEL STORAGE TANKS, VAULTS, OR PITS	NONE

KEY BOX	
QUESTION	ANSWER
A KEY BOX FOR FIRE DEPARTMENT USE WILL BE REQUIRED ON BUILDINGS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER OR FIRE ALARM SYSTEM. A KEY OVERRIDE SYSTEM SHALL BE PROVIDED FOR SECURED GATES ALONG FIRE APPARATUS ACCESS ROUTES. THE CHARLESTON FIRE DEPARTMENT UTILIZES THE "KNOX" KEY SYSTEM	N/A

REV.	DATE	DESCRIPTION	DRAWN	APPV.

FIRM NUMBER C-4384

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LOVE MILL APARTMENTS

FIRE PROTECTION PLAN

181 W LOVE MILL ROAD
CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

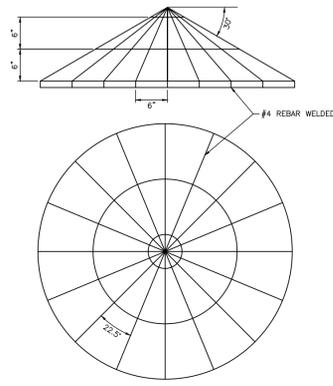
PROJECT MANAGER	MEC
DRAWN BY	AJJ/JS
PROJECT DATE	SEPT 2023
DWG NUMBER	2103

SHEET NUMBER

C-7

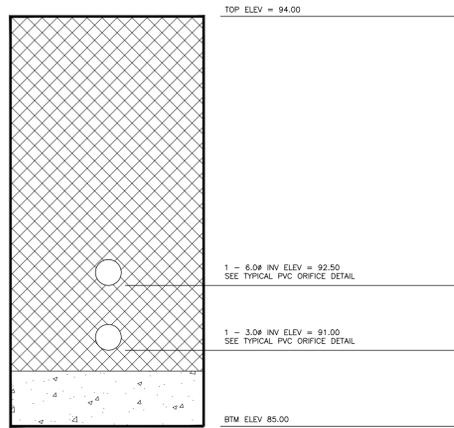
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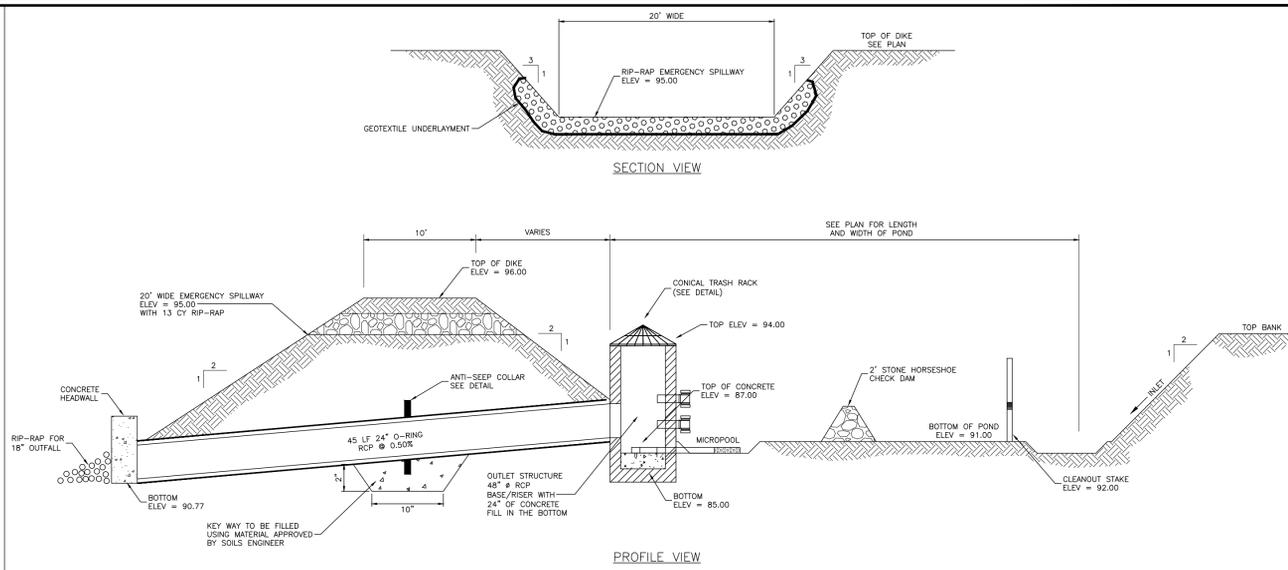


NOTE:
PRE-FABRICATED EQUIVALENTS MUST BE APPROVED

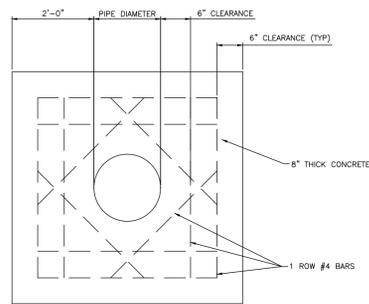
TYPICAL CONICAL TRASH RACK DETAIL
NOT TO SCALE



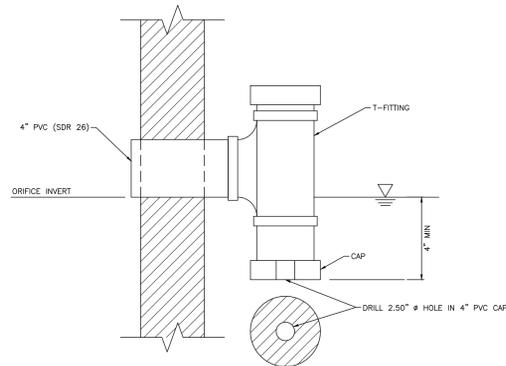
ORIFICE CONFIGURATION DETAIL
NOT TO SCALE



DETENTION POND DETAIL
NOT TO SCALE

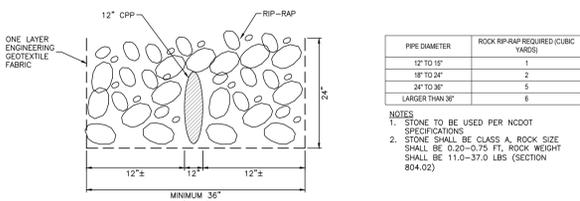
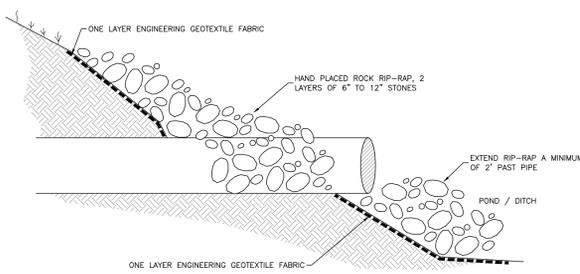


ANTISEEP COLLAR DETAIL
NOT TO SCALE



NOTES:
1. HOLE IN OUTLET STRUCTURE MUST BE CUT LARGE ENOUGH FOR THE 4" PVC (SDR 26) PIPE.
2. SEAL HOLE BY USING WATER-PROOF GROUT.

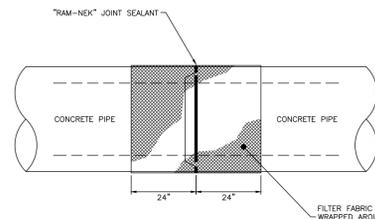
TYPICAL REVERSE SLOPED ORIFICE
NOT TO SCALE



PIPE DIAMETER	ROCK RIP-RAP REQUIRED (CUBIC YARDS)
12" TO 18"	1
18" TO 24"	2
24" TO 30"	5
LARGER THAN 30"	6

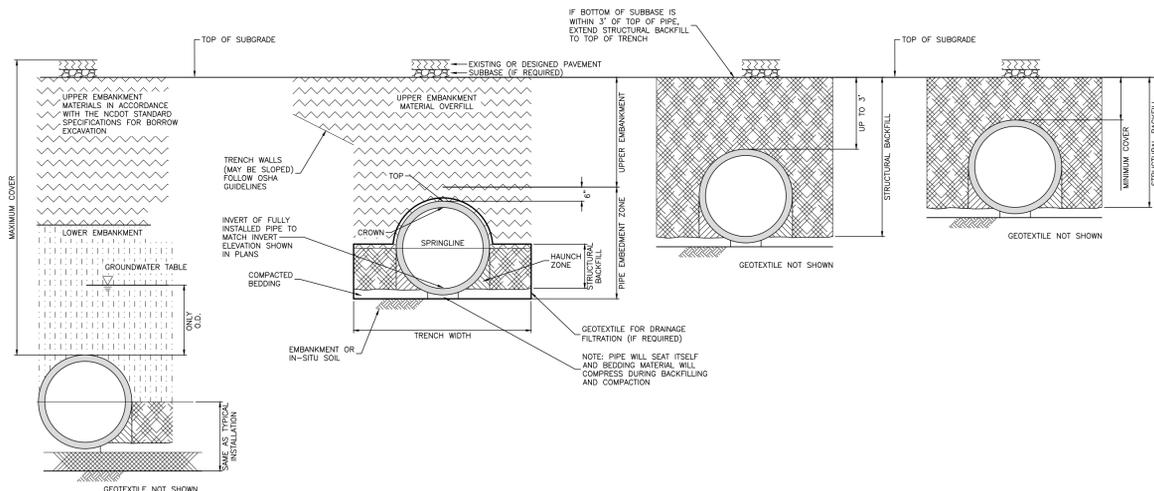
NOTES:
1. STONE TO BE USED PER NCDOT SPECIFICATIONS
2. STONE SHALL BE CLASS A. ROCK SIZE SHALL BE 0.20-0.75 FT. ROCK WEIGHT SHALL BE 11.0-37.0 LBS (SECTION 804.02)

OUTLET STABILIZER DETAIL
NOT TO SCALE



CONCRETE PIPE JOINT DETAIL
NOT TO SCALE

*** NEEDS TO MEET OR EXCEED MINIMUM TECHNICAL STANDARDS PER NCDOT STANDARD DRAWINGS LATEST REVISION ***



STANDARD TRENCH DETAIL
NOT TO SCALE

REV	DATE	DESCRIPTION	DRAWN	APPV

FIRM NUMBER C-4384

CLINE ENGINEERING
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LOVE MILL APARTMENTS

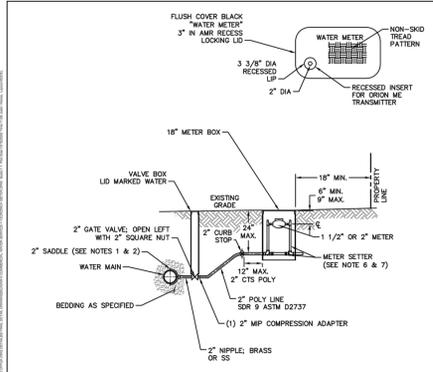
CONSTRUCTION DETAILS

181 W LOVE MILL ROAD
CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

PROJECT MANAGER: MDC
DRAWN BY: AJJ/AR
PROJECT DATE: SEPT 2021
SHEET NUMBER: 2/13

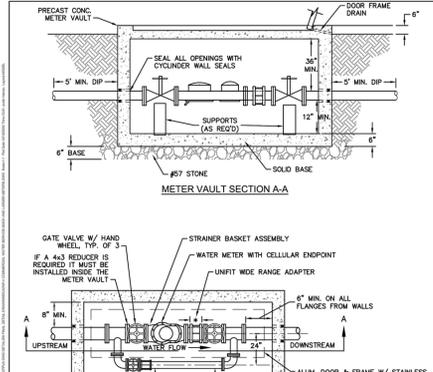
C-13

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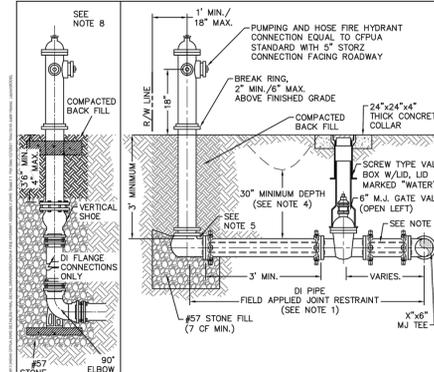
- NOTES:**
1. WATER SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE THE RIGHT-OF-WAY LINE.
 2. SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
 3. METER BOXES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS.
 4. NON-TRAFFIC METER BOXES SHALL BE PER CFPWA STANDARD MATERIAL.
 5. 3" CLEAN FILL REQUIRED ALL AROUND 2" POLY SERVICE LINE.
 6. 1 1/2" MEETER - NL METER SETTER SHALL BE PER CFPWA STANDARD MATERIAL.
 7. 2" METER - NL METER SETTER SHALL BE PER CFPWA STANDARD MATERIAL.
 8. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNERS.
 9. SERVICE PIPING AND METER SETTER TO BE CENTERED IN THE METER BOX.

DETAIL: COMMERCIAL WATER SERVICE - 1 1/2 OR 2-INCH METERS	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship. Sustainability. Service.	DETAIL NO: W-3 SHEET NO: *
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 01/01/02		



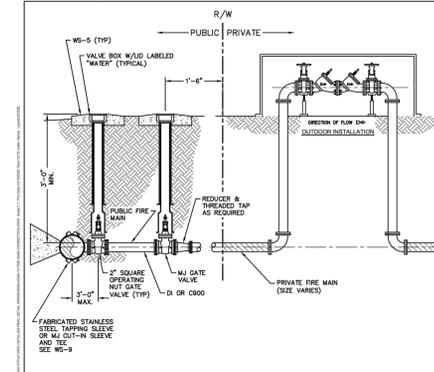
- METER VAULT PLAN**
- REFER TO MSW FOR SPECIFICATIONS RELATED TO WATER METER, STRAINER AND CELLULAR ENDPOINT
- * UNFIT WIDE RANGE ADAPTER IS BOLTED DIRECTLY TO METER, ONLY ONE FULLY PIECE THAT IS 3 TIMES THE PIPE DIAMETER.

DETAIL: COMMERCIAL WATER SERVICE - 3-INCH AND LARGER METERS	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship. Sustainability. Service.	DETAIL NO: W-4 SHEET NO: *
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 01/01/02		



- NOTES:**
1. JOINT RESTRAINT SYSTEMS SHALL BE WEDGE ACTION STYLE FOR DI.
 2. WHEN HYDRANT LEGS REQUIRE FULL LENGTH PIPE SECTIONS, OVER BELL RESTRAINT SYSTEM SHALL HAVE 316 STAINLESS STEEL HARNESS AND FASTENERS.
 3. CONTINUOUS 316 STAINLESS STEEL RODS (TEE TO VALVE AND VALVE TO HYDRANT) MAY BE USED WITH COR-BLUE MJ T-BOLT AND GASKET KITS, AS AN ALTERNATIVE.
 4. HYDRANT AND VALVE SHALL BE PLACED OUTSIDE DITCH LIMITS.
 5. WEEP HOLES OPEN AND UNBLOCKED TO DRAIN.
 6. MJ TEE SHALL BE RESTRAINED ON EACH SIDE OF MAIN PLUS MAIN VALVES, FITTING, OR JOINTS WITHIN 10'-FEET OF MJ TEE.
 7. TRACING WIRE SHALL EXTEND ALONG HYDRANT LATERAL AND UP TO FINISHED GRADE WITH 2'-FEET EXTENDED ABOVE THE BREAK RING OF HYDRANT.
 8. HYDRANT TO UTILIZE A VERTICAL SHOE WHEN INSTALLED 5' IN DEPTH OR GREATER.

DETAIL: FIRE HYDRANT ASSEMBLY	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship. Sustainability. Service.	DETAIL NO: W-9 SHEET NO: *
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 01/01/02		



- NOTES:**
1. A GATE VALVE IS REQUIRED AT THE CFPWA FIRE MAIN TAP LOCATION.
 2. WHEN THE FIRE MAIN IS FROM OPPOSITE SIDE OF NC-DOT ROAD OR CITY STREET, A SECOND VALVE IS REQUIRED 18" INSIDE PUBLIC R/W.
 3. IF TAPPING VALVE IS LESS THAN 5'-FEET FROM R/W THEN SECOND VALVE AT R/W IS NOT REQUIRED.

DETAIL: FIRE MAIN CONNECTION	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship. Sustainability. Service.	DETAIL NO: W-10 SHEET NO: *
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 01/01/02		

REV.	DATE	DESCRIPTION	DRAWN	APPV.

FIRM NUMBER C-4384

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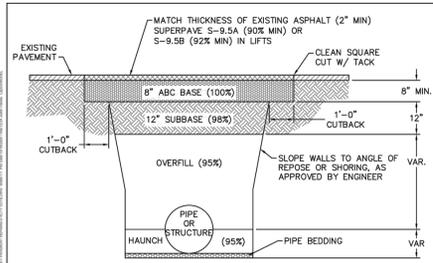
LOVE MILL APARTMENTS

CONSTRUCTION DETAILS
 181 W LOVE MILL ROAD
 CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

PROJECT MANAGER	MEC
DRAWN BY	AJ/AR
PROJECT DATE	SEPT 2021
FOR NUMBER	2103

SHEET NUMBER

C-15



- NOTES:**
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 - FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBO, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 - SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57 STONE, ABC, CRUSHED LESTONITE, CLEAN SAND, FLOWABLE FILL, ETC).
 - SOIL SHALL BE INSTALLED IN 6\"/>

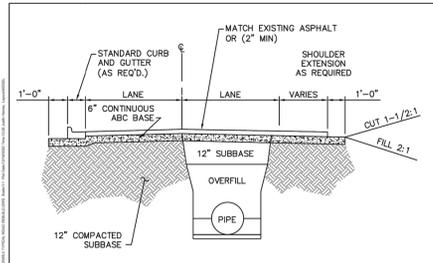
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-1**
SHEET NO. -

CITY OF WILMINGTON
PAVEMENT REPAIRS-UTILITY CUTS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- PAVEMENT RESTORATION DESIGN IS DEPENDENT ON CITY OF WILMINGTON STREET CUT POLICY AND PERMITTED CONDITIONS.
 - PIPE TRENCH AND COMPACTION REQUIREMENTS PER SPECIFICATIONS. SEE WS-1.

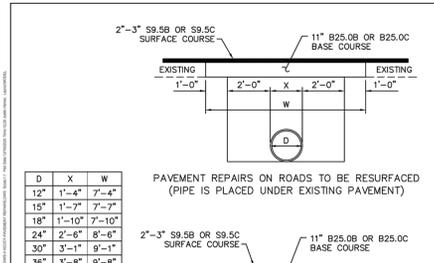
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-2**
SHEET NO. -

CITY OF WILMINGTON
TYPICAL ROAD REBUILD

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTE:**
- FOR REFERENCE, SEE NCDOT STANDARD 654.01

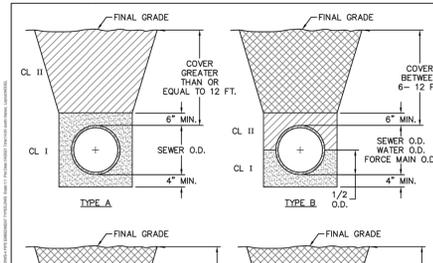
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-3**
SHEET NO. -

NC DOT-PAVEMENT REPAIRS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- COMPACTION NOTES:**
- ALL ZONES: 95% STD EFFORT PER ASTM D698, EXCEPT AS STATED IN COMPACTION NOTE 2.
 - 12\"/>

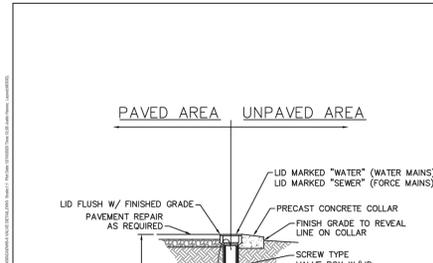
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-4**
SHEET NO. -

PIPE EMBEDMENT TYPES

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- TRACER WIRE SHALL PENETRATE VALVE BOX THROUGH DRILLED HOLE APPROX. 6\"/>

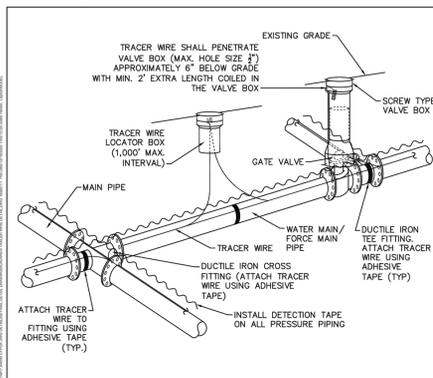
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-5**
SHEET NO. -

VALVE DETAIL

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- TRACER WIRE SHALL BE INSTALLED PER THE CPFAA MSM.
 - WIRE SHALL BE STRAPPED TO ALL PVC PIPING WITH ADHESIVE TAPE AT 12 FOOT INTERVALS.
 - SECURE WIRE TO ALL TEE AND CROSS FITTINGS WITH ADHESIVE TAPE.
 - ALL SPLICES IN THE WIRE SHALL BE MADE WITH 3M DFR DIRECT BURY SPLICE KITS.

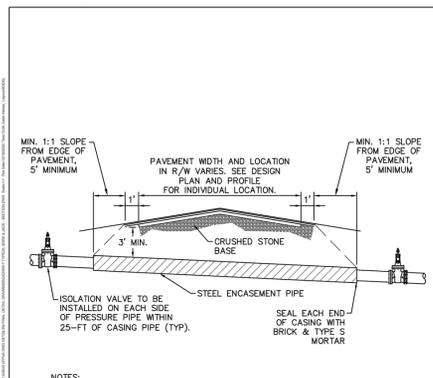
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-6**
SHEET NO. -

TRACER WIRE DETAIL

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- CASING WILL BE INSTALLED AT LINE AND GRADE SHOWN ON INDIVIDUAL PROFILE FOR EACH CROSSING. BORING/JACKING TO LINE AND GRADE IS REQUIRED.
 - TRACER WIRE SHALL BE TAPED AT 12\"/>

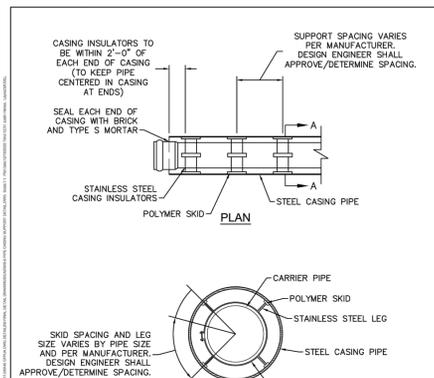
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-7**
SHEET NO. -

TYPICAL BORING & JACKING DETAIL

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- PIPE SUPPORTS TO BE PLACED TO PROVIDE PROPER SPACING, ALIGNMENT, AND GRADE AS SPECIFIED. OIL, GREASE, OR PETROLEUM PRODUCT MAY NOT BE USED AS LUBRICANT.

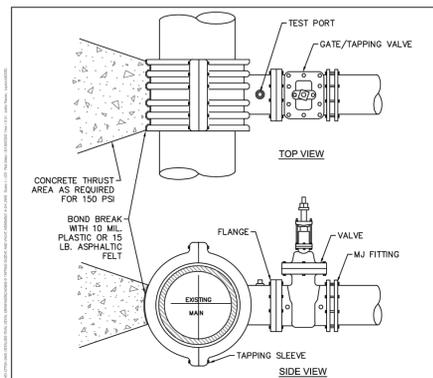
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-8**
SHEET NO. -

PIPE CASING SUPPORT DETAIL

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
 - PIPE & FITTING TO BE WRAPPED IN 10 ML PLASTIC OR 15 LB. ASPHALTIC FELT PRIOR TO THRUST BLOCK BEING POURED.
 - TEST PRESSURE SHALL NOT BE APPLIED FOR A MINIMUM OF 7 DAYS AFTER THRUST BLOCK PLACEMENT.
 - BRANCH SHALL NOT EQUAL RUN DIAMETER UNLESS APPROVED BY CPFAA ENGINEERING.

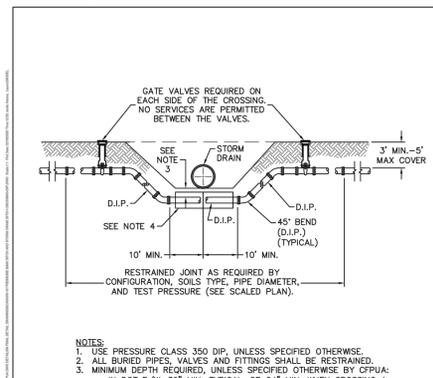
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-9**
SHEET NO. -

TAPPING SLEEVE AND VALVE ASSEMBLY (4\"/>

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- USE PRESSURE CLASS 350 DIP, UNLESS SPECIFIED OTHERWISE.
 - ALL BURIED PIPES, VALVES AND FITTINGS SHALL BE RESTRAINED.
 - MINIMUM DEPTH REQUIRED, UNLESS SPECIFIED OTHERWISE BY CPFAA:
 - a. IN DOT R/W, 36\"/>
 - INSTALL CASING PIPE (PER WS-8) AT THE CROSSING IF THE TOP OF THE MAIN IS 6\"/>

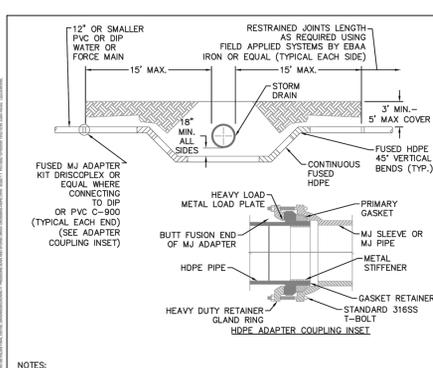
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-10**
SHEET NO. -

PRESSURE MAIN DITCH AND STORM DRAIN DITCH CROSSING DIP

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- MAY BE USED AS AN ALTERNATIVE TO CPFAA STANDARD DETAIL WS-10 (STORM CROSSING) WITH APPROVAL BY CPFAA. SHALL NOT BE USED FOR DITCH CROSSINGS.
 - NO SERVICE CONNECTIONS, VALVES, TEES, ADDITIONAL FITTINGS OR APPURTENANCES SHALL BE INSTALLED ON HOPE.
 - 45\"/>

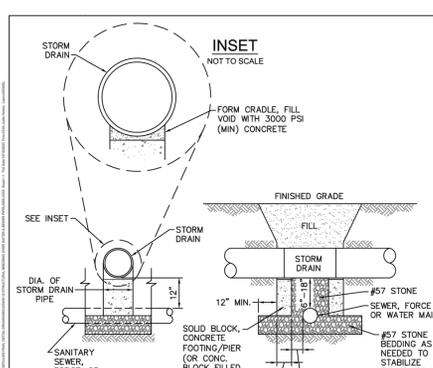
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-11**
SHEET NO. -

PRESSURE MAIN AND STORM DRAIN CROSSING-HOPE

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- PIPELINE BRIDGING REQUIRED FOR VERTICAL SEPARATION LESS THAN 18\"/>

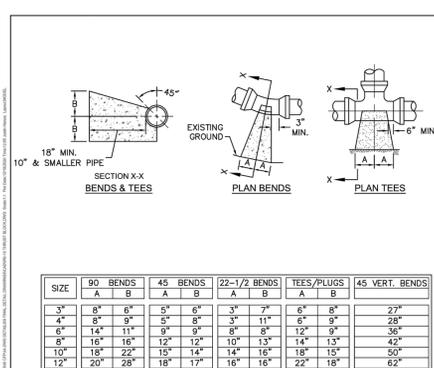
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-12**
SHEET NO. -

STRUCTURAL BRIDGING OVER WATER & PIERS

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- NOTES:**
- THRUST BLOCKING IS NOT PERMITTED EXCEPT IN SPECIAL INSTALLATIONS WHERE DESIGNED BY ENGINEER AND APPROVED BY CPFAA.
 - ALLOW 7-DAY MINIMUM CONCRETE CURE TIME BEFORE PLACING LOAD ON THRUST BLOCK.
 - BASED ON 160 PSI TEST PRESSURE AND 2,000 PSF SOIL BEARING CAPACITY.
 - ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.
 - PIPE & FITTINGS TO BE WRAPPED IN 10 ML PLASTIC OR 15 LB. ASPHALTIC FELT.

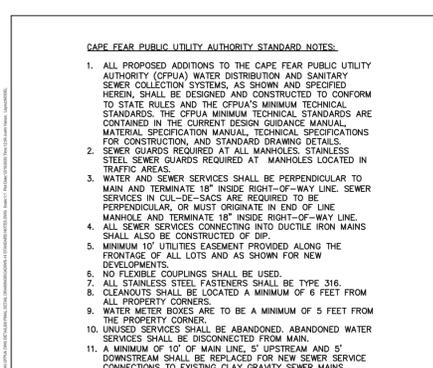
FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-13**
SHEET NO. -

THRUST BLOCK

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021



- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:**
- ALL PROPOSED ADDITIONS TO THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFAA) WATER DISTRIBUTION AND SANITARY SERVICE COLLECTION SYSTEMS, AS SHOWN AND SPECIFIED HEREIN, SHALL BE DESIGNED, CONSTRUCTED TO CONFORM TO STATE RULES AND THE CPFAA'S MINIMUM TECHNICAL STANDARDS. THE CPFAA MINIMUM TECHNICAL STANDARDS ARE CONTAINED IN THE CURRENT DESIGN GUIDANCE MANUAL, MATERIAL SPECIFICATION MANUAL, TECHNICAL SPECIFICATIONS FOR CONSTRUCTION, AND STANDARD DRAWING DETAILS.
 - SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
 - WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE 18\"/>

FOR PRIVATE ROADS AND PAVED AREAS, CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS

DETAIL NO. **WS-14**
SHEET NO. -

STANDARD NOTES (REGARDING PIPES)

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-6560

SCALE: NOT TO SCALE
DATE: 01/01/2021

REV.	DATE	DESCRIPTION	DRAWN	APPV.

REV.	DATE	DESCRIPTION	DRAWN	APPV.

FIRM NUMBER C-4384

CLINE
ENGINEERING

PROFESSIONAL DESIGN CONSULTING

LOVE MILL APARTMENTS

CONSTRUCTION DETAILS

181 W LOVE MILL ROAD
CITY OF WHITEVILLE, COLUMBUS COUNTY, NORTH CAROLINA

PROJECT MANAGER: MDC
DRAWN BY: AJL/AR
PROJECT DATE: SEPT 2020
FOR NUMBER: 2020

SHEET NUMBER

C-16



Photo 1. For sale sign off Love Mill Road frontage.



Photo 2. Love Mill Road – property on the left.



Photo 3. Across Love Mill Road facing subject property.



Photo 4. Property boundary on the northwest extent.



Photo 5. Wooded area on the northern portion of site.



Photo 6. Typical debris – cans and bottles.



Photo 7. Wood pallet near the center of the property.



Photo 8. Typical wooded area on the property.



Photo 9. Small pond located on the northeast section.



Photo 10. Another photo of the small pond.



Photo 11. Wooded area on the southern boundary facing east.



Photo 12. Facing north on the southern boundary of the subject property.

ATTACHMENT A

Airport Hazards



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Airport Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/airport-hazards>

1. To ensure compatible land use development, you must determine your site’s proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within the applicable distances to a military or civilian airport.*

Yes → *Continue to Question 2.*

2. Is your project located within a Runway Potential Zone/Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ)?

Yes, project is in an APZ → *Continue to Question 3.*

Yes, project is an RPZ/CZ → *Project cannot proceed at this location.*

No, project is not within an APZ or RPZ/CZ

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.*

3. Is the project in conformance with DOD guidelines for APZ?

Yes, project is consistent with DOD guidelines without further action.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

No, the project cannot be brought into conformance with DOD guidelines and has not been approved. → *Project cannot proceed at this location.*

If mitigation measures have been or will be taken, explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

Click here to enter text.

→ *Work with the RE/HUD to develop mitigation measures. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

The proposed project is not located within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The nearest airport to the site is the Columbus County Municipal Airport (KCPC), which is publicly owned and open to the public. The KCPC is approximately 5 miles south of the proposed site. The AirNav report for this airport indicates an average of 46 aircraft operations per day with 22% local general aviation, 60% transient aviation, and 13% air taxi with approximately 17 single-engine planes and one multi-engine plane based on the field. Carolina Bay Airport is the only the nearby airport approximately 11 miles south, but only reports one single-engine airplane based on the field.

See attached Google Earth map, which shows known airports within 15 miles of the site. Based on the distance of the airports from the proposed site (greater than three miles/15,840 feet), no airport hazards are anticipated to impact the proposed project.

Airports

Nav aids

Airspace Fixes

Aviation Fuel

Hotels

iPhone App

My AirNav

1616 users online [LOGIN](#)

KCPC Columbus County Municipal Airport

Whiteville, North Carolina, USA



GOING TO WHITEVILLE?



[Reserve a Hotel Room](#)

FAA INFORMATION EFFECTIVE 09 SEPTEMBER 2021

Location

FAA Identifier: CPC

Lat/Long: 34-16-22.3340N 078-42-53.9540W
 34-16.372233N 078-42.899233W
 34.2728706,-78.7149872
 (estimated)

Elevation: 99.4 ft. / 30.3 m (surveyed)

Variation: 07W (1985)

From city: 3 miles S of WHITEVILLE, NC

Time zone: UTC -4 (UTC -5 during Standard Time)

Zip code: 28472

Airport Operations

Airport use: Open to the public

Control tower: no

ARTCC: JACKSONVILLE CENTER

FSS: RALEIGH FLIGHT SERVICE STATION

NOTAMs facility: CPC (NOTAM-D service available)

Attendance: MON-SAT 0800-1800, ALL SUN 0900-1800

FOR EMERGENCY SERVICE AFTER HRS CALL 910-654-
 3389 OR 910-625-5489.

Wind indicator: lighted

Segmented circle: yes

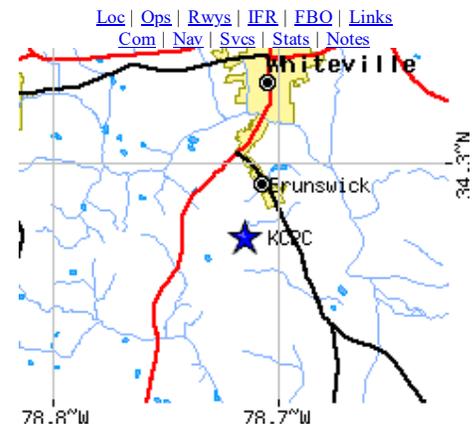
Lights: ACTVT MIRL RWY 6/24, REIL RWY 6 & 24 - CTAF. PAPI
 RWY 6 & 24 ON CONSLY.

Beacon: white-green (lighted land airport)

Operates sunset to sunrise.

Airport Communications

CTAF/UNICOM: 122.8

Road maps at: [MapQuest](#) [Bing](#) [Google](#)

Aerial photo

WARNING: Photo may not be current or correct



Photo by King Martin
 Photo taken 25-Jan-2016
 looking northeast.

Do you have a better or more recent aerial photo of Columbus County Municipal Airport that you would like to share? If so, please [send us your photo](#).

Sectional chart

runway, 466 ft. left of centerline, 19:1 slope to clear	runway, 223 ft. left of centerline, 25:1 slope to clear
---	---

Airport Ownership and Management from official FAA records

Ownership: Publicly-owned

Owner: COLUMBUS COUNTY
111 WASHINGTON ST
WHITEVILLE, NC 28472
Phone 910-640-6601

Manager: PHIL EDWARDS
467 AIRPORT ROAD
WHITEVILLE, NC 28472
Phone 910-642-6187

Airport Operational Statistics

Aircraft based on the field: 31	Aircraft operations: avg 46/day *
Single engine airplanes: 17	60% transient general aviation
Multi engine airplanes: 1	22% local general aviation
Helicopters: 13	13% air taxi
	6% military
	* for 12-month period ending 12 June 2021

Additional Remarks

- DEER AND TURKEYS ON INVOF ARPT.
- ARPT UNATNDD CHRISTMAS DAY
- NO OFF PAVEMENT LANDING ALLOWED
- FOR CD CTC MYRTLE BEACH APCH AT 843-477-2727 OR 843-477-2704, WHEN APCH CLSD
CTC JACKSONVILLE ARTCC AT 904-845-1592.

Instrument Procedures

NOTE: All procedures below are presented as PDF files. If you need a reader for these files, you should [download](#) the free Adobe Reader.

NOT FOR NAVIGATION. Please procure official charts for flight.

FAA instrument procedures published for use from 09 September 2021 at 0901Z to 07 October 2021 at 0900Z.

IAPs - Instrument Approach Procedures

RNAV (GPS) RWY 06	download (202KB)
RNAV (GPS) RWY 24	download (255KB)
NDB RWY 06	download (208KB)
NOTE: Special Alternate Minimums apply	download (65KB)
NOTE: Special Take-Off Minimums/Departure Procedures apply	download (141KB)

Other nearby airports with instrument procedures:

[5J9](#) - Twin City Airport (13 nm SW)
[KEYF](#) - Curtis L Brown Jr. Field Airport (21 nm N)

[KLBT](#) - Lumberton Regional Airport (26 nm NW)

[KCRE](#) - Grand Strand Airport (28 nm S)

[KMAO](#) - Marion County Airport (31 nm W)

FBO, Fuel Providers, and Aircraft Ground Support

Business Name	Contact	Services / Description	Fuel Prices	Comments
Columbus County (FBO)	910-642-6187	Airport management, Aviation fuel, Aircraft parking (ramp or tiedown), Passenger terminal and lounge, Rental cars, Courtesy transportation, ...	 100LL Jet A AS \$4.50 \$3.10	not yet rated 3 read write
More info about Columbus County (FBO)			GUARANTEED AS= Assisted/Self Service UPDATE PRICES	

Would you like to see your business listed on this page?

If your business provides an interesting product or service to pilots, flight crews, aircraft, or users of the Columbus County Municipal Airport, you should consider listing it here. To start the listing process, click on the button below

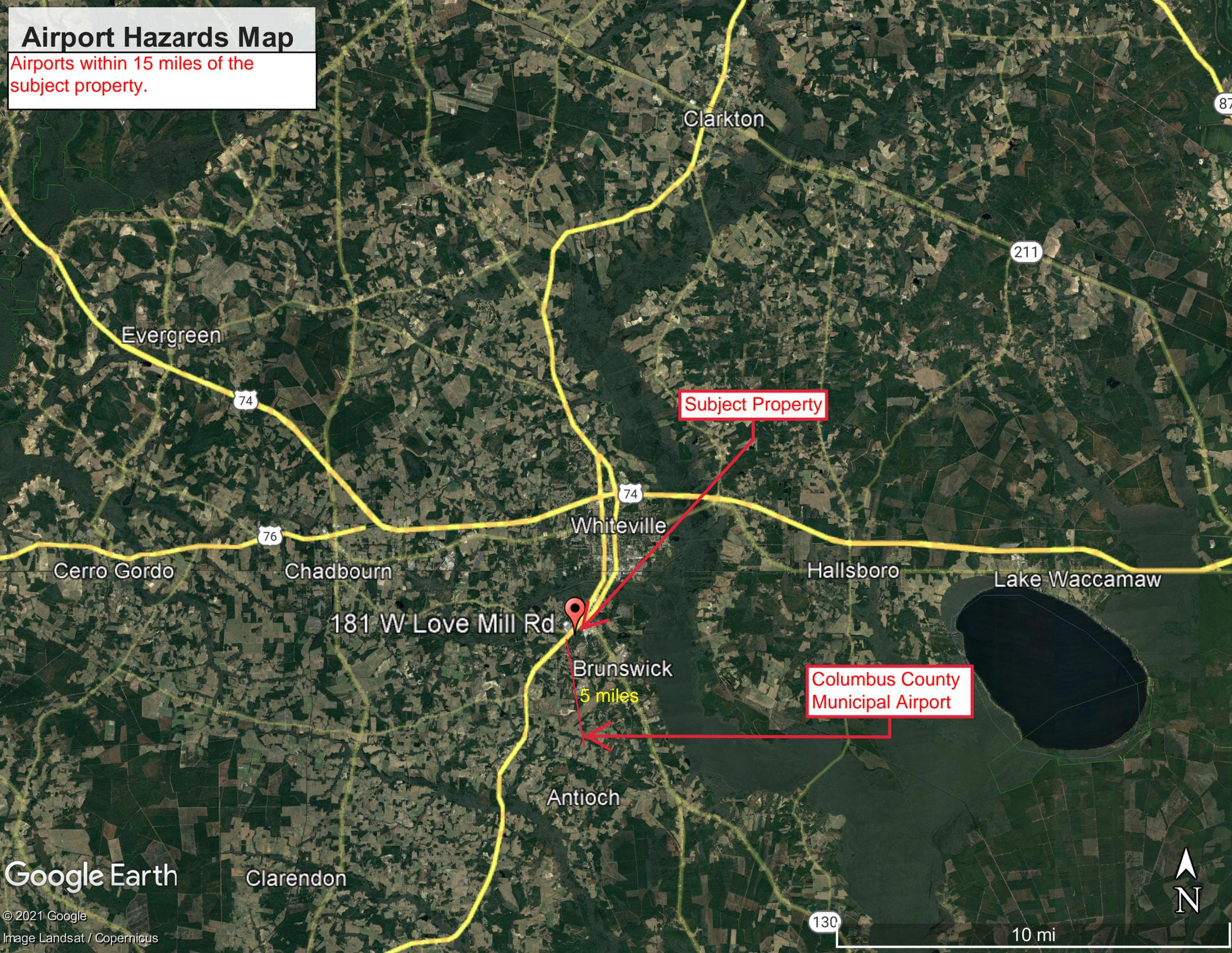
[ADD YOUR BUSINESS OR SERVICE](#)

Other Pages about Columbus County Municipal Airport

[ADD A LINK](#)

Airport Hazards Map

Airports within 15 miles of the subject property.



Clarkton

87

211

Evergreen

74

Subject Property

74

Whiteville

76

Cerro Gordo

Chadbourn

Hallsboro

Lake Waccamaw

181 W Love Mill Rd

Brunswick
5 miles

Columbus County
Municipal Airport

Antioch

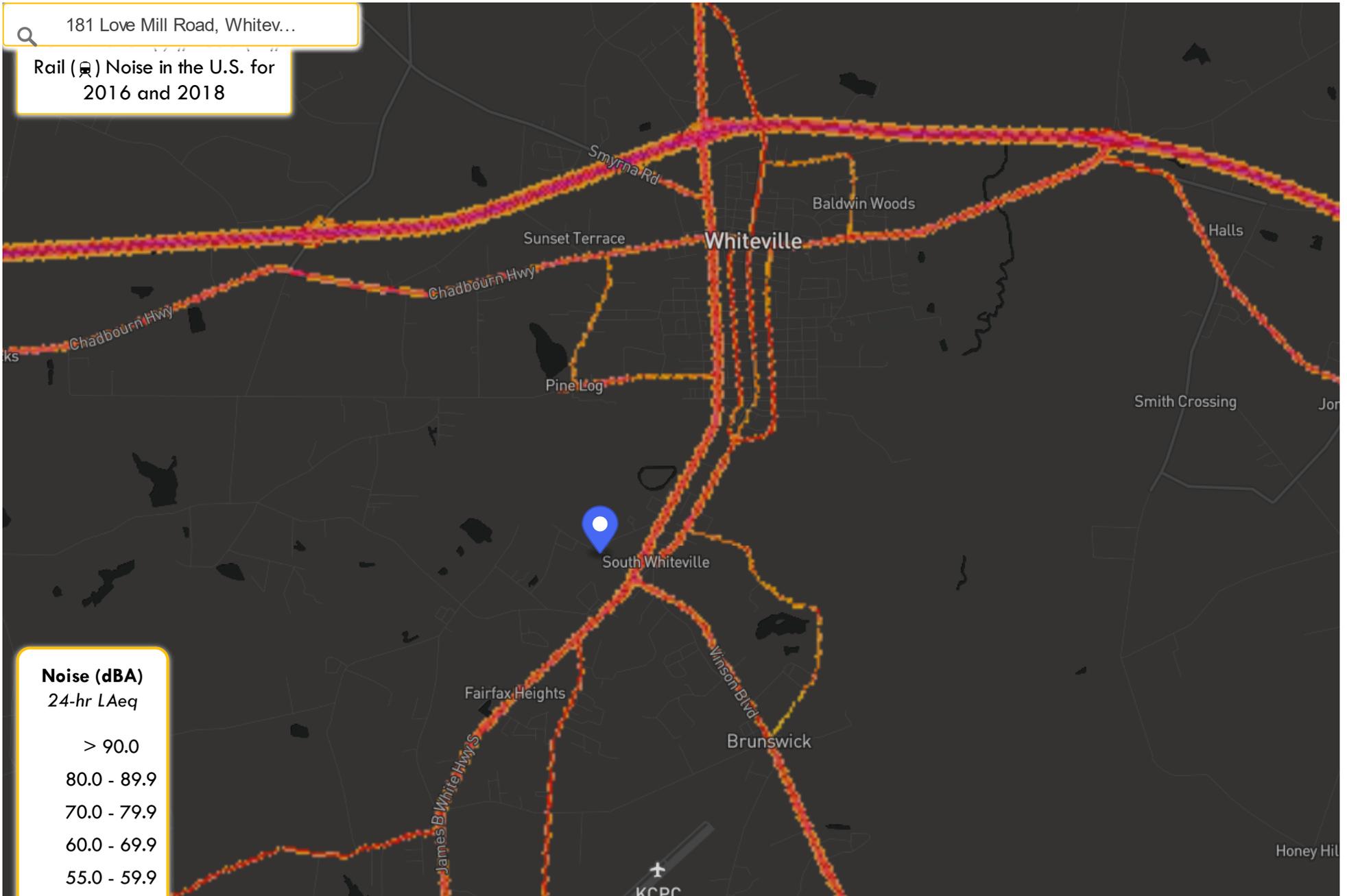
Clarendon

130

10 mi



Google Earth



SOURCES: Map created by the Office of Spatial Analysis and Visualization at the Bureau of Transportation Statistics, U.S. Department of Transportation. For any edits or corrections to this map, please [contact us](#).

ATTACHMENT B

Coastal Barrier Resources Act (CBRA)



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Coastal Barrier Resources (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/coastal-barrier-resources>

Projects located in the following states must complete this form.

Alabama	Georgia	Massachusetts	New Jersey	Puerto Rico	Virgin Islands
Connecticut	Louisiana	Michigan	New York	Rhode Island	Virginia
Delaware	Maine	Minnesota	North Carolina	South Carolina	Wisconsin
Florida	Maryland	Mississippi	Ohio	Texas	

1. Is the project located in a CBRS Unit?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a CBRS Unit.*

Yes → *Continue to 2.*

Federal assistance for most activities may not be used at this location. You must either choose an alternate site or cancel the project. In very rare cases, federal monies can be spent within CBRS units for certain exempted activities (e.g., a nature trail), after consultation with the Fish and Wildlife Service (FWS) (see [16 USC 3505](#) for exceptions to limitations on expenditures).

2. Indicate your recommended course of action for the RE/HUD

Consultation with the FWS

Cancel the project

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

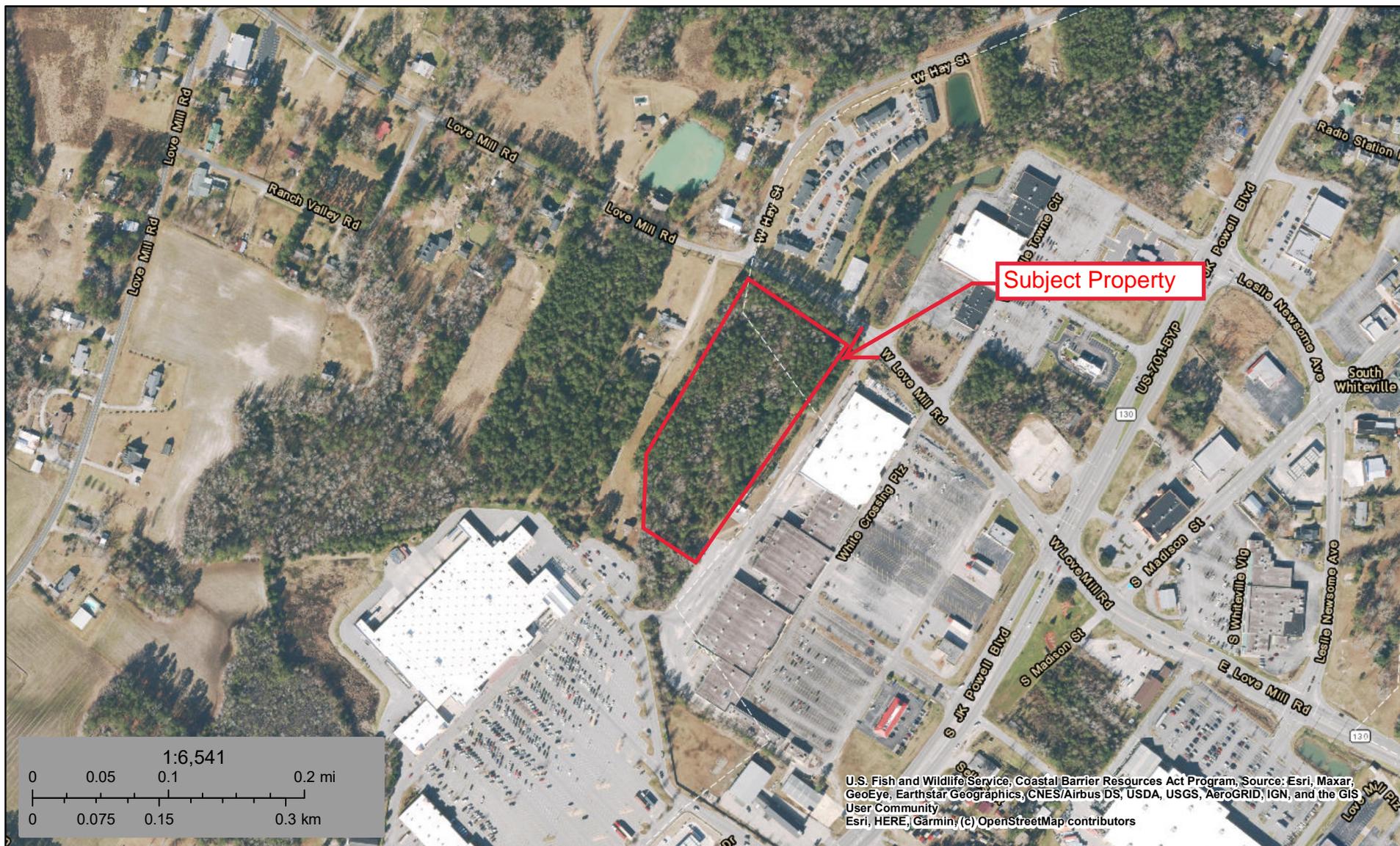
Include all documentation supporting your findings in your submission to HUD.

The proposed project site is not located in a Coastal Barrier Resources System (CBRS) unit. See attached map, generated at the U.S. Fish & Wildlife Service website, which shows the subject property in relation to the known Coastal Barrier Resources System (CBRS) units for North Carolina. Additionally, a certified U.S. Fish & Wildlife Service statement is included which states that the site, as mapped, is not within the CBRS.



U.S. Fish and Wildlife Service Coastal Barrier Resources System

Proposed Love Mill Apts.



September 27, 2021

CBRS Buffer Zone System Unit

CBRS Units

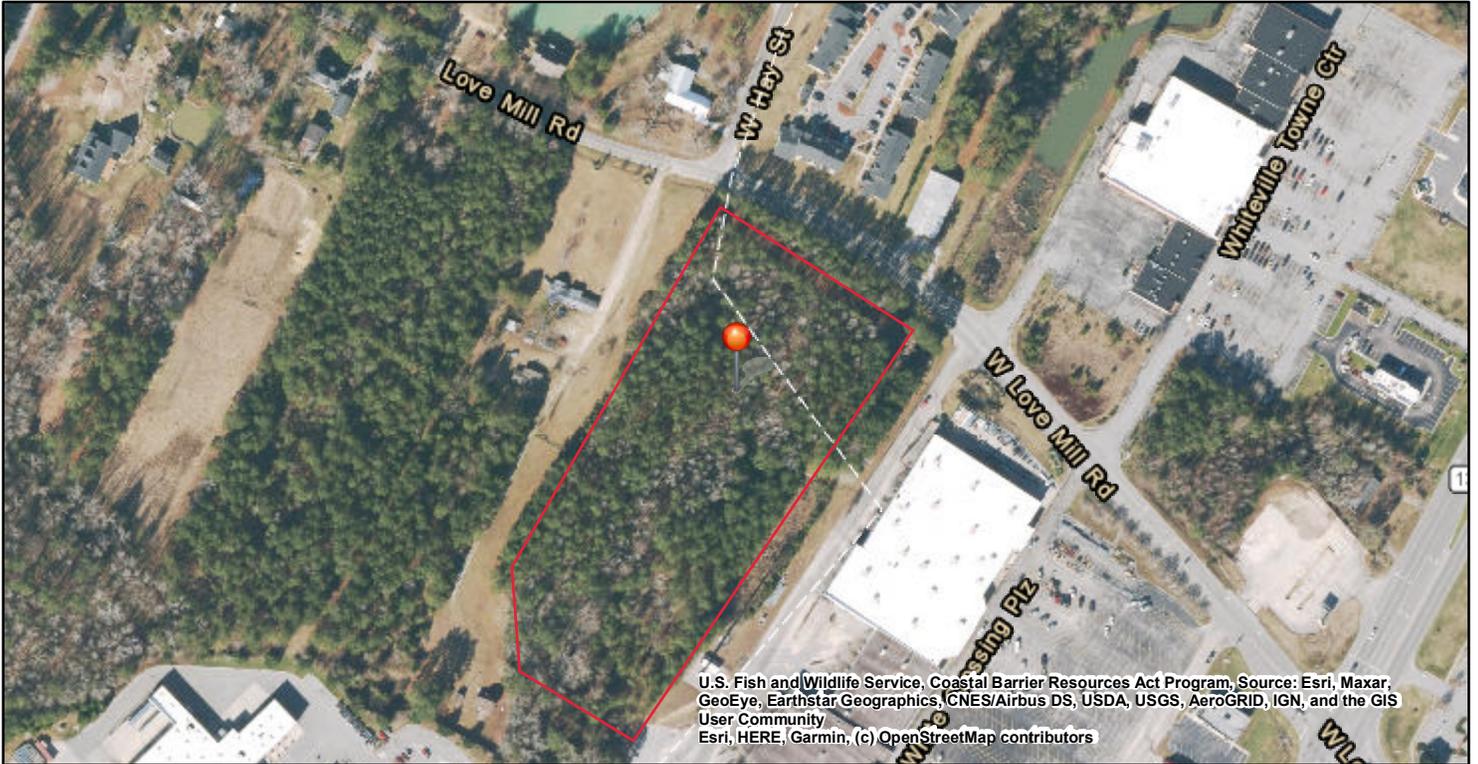
Otherwise Protected Area

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/cbra/maps/index.html>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<http://www.fws.gov/cbra/Determinations.html>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS mapper.

Coastal Barrier Resources System Mapper Documentation



U.S. Fish and Wildlife Service, Coastal Barrier Resources Act Program, Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors

CBRS Units

- Otherwise Protected Area
- System Unit
- CBRS Buffer Zone
- 78.721761, 34.305402

0 65 130 260 390 ft 1:4,514

The pin location displayed on the map is a point selected by the user. Failure of the user to ensure that the pin location displayed on this map correctly corresponds with the user supplied address/location description below may result in an invalid federal flood insurance policy. **The U.S. Fish and Wildlife Service (Service) has not validated the pin location with respect to the user supplied address/location description below. The Service recommends that all pin locations be verified by federal agencies prior to use of this map for the provision or denial of federal funding or financial assistance.** Please note that a structure bisected by the Coastal Barrier Resources System (CBRS) boundary (i.e., both "partially in" and "partially out") is within the CBRS and therefore affected by CBRA's restrictions on federal flood insurance. A pin placed on a bisected structure must be placed on the portion of the structure within the unit (including any attached features such as a deck or stairs).

User Name: Ryan Kramer
User Organization: Pyramid Environmental & Engineering, P.C.
User Supplied Address/Location Description: 181 W. Love Mill Road, Whiteville, NC
Pin Location: Outside CBRS
Pin Flood Insurance Prohibition Date: N/A
Pin System Unit Establishment Date: N/A

The user placed pin location is not within the CBRS. The official CBRS maps are accessible at <https://www.fws.gov/cbra/maps/index.html>.

The CBRS information is derived directly from the CBRS web service provided by the Service. This map was exported on 9/27/2021 and does not reflect changes or amendments subsequent to this date. The CBRS boundaries on this map may become superseded by new boundaries over time.

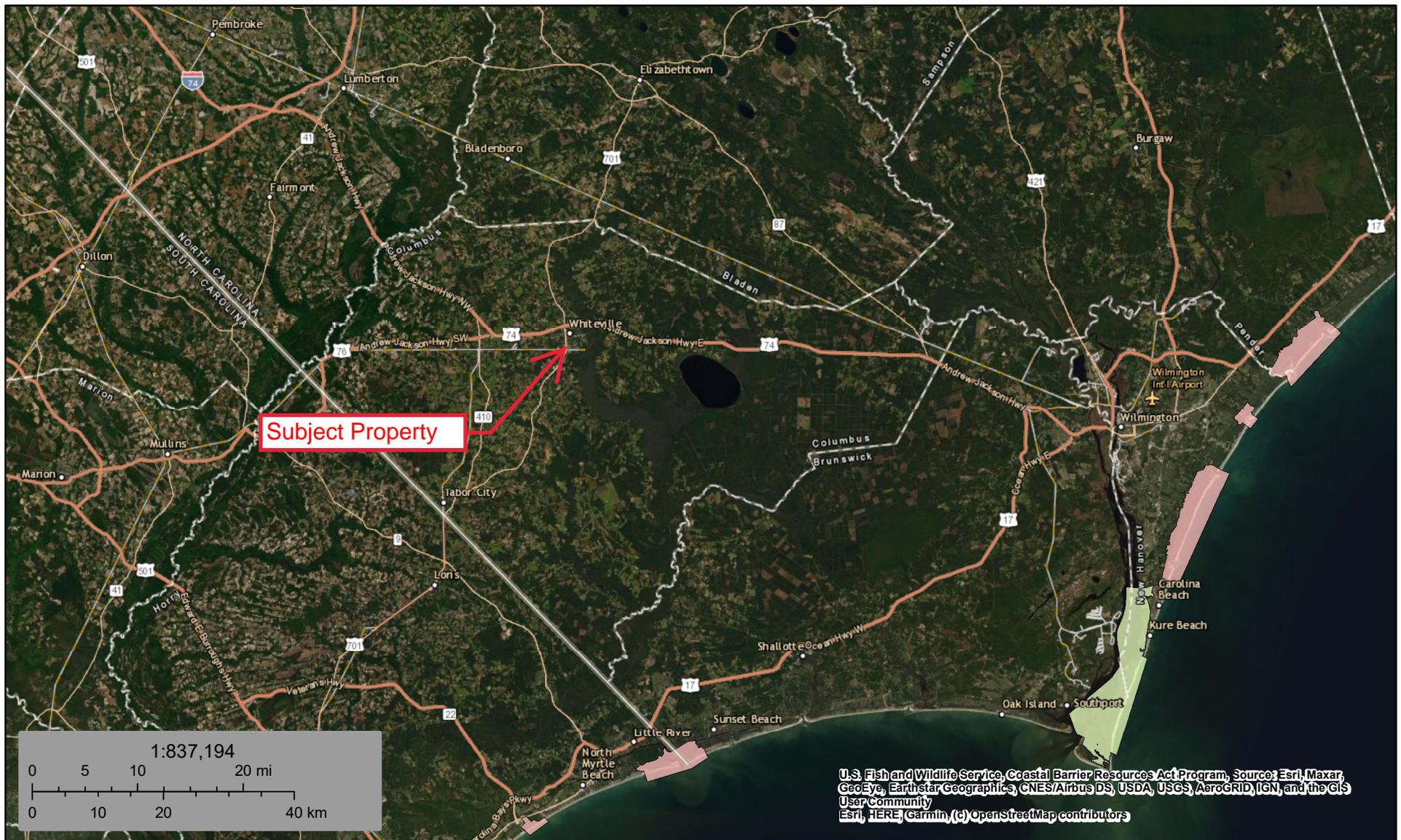
This map image may be void if one or more of the following map elements do not appear: basemap imagery, CBRS unit labels, prohibition date labels, legend, scale bar, map creation date. For additional information about flood insurance and the CBRS, visit: <https://www.fws.gov/cbra/Flood-Insurance.html>.





U.S. Fish and Wildlife Service Coastal Barrier Resources System

Overview map



U.S. Fish and Wildlife Service, Coastal Barrier Resources Act Program, Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors

September 27, 2021

CBRS Units

- Otherwise Protected Area
- System Unit

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/cbra/maps/index.html>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<http://www.fws.gov/cbra/Determinations.html>) as to whether the property or project site is located "in" or "out" of the CBRS.

CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS mapper.

ATTACHMENT C

Flood Insurance



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Flood Insurance (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/flood-insurance>

1. Does this project involve mortgage insurance, refinance, acquisition, repairs, rehabilitation, or construction of a structure, mobile home, or insurable personal property?

No. This project does not require flood insurance or is excepted from flood insurance.

→ Continue to the Worksheet Summary.

Yes → Continue to Question 2.

2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?

No → Continue to the Worksheet Summary.

Yes → Continue to Question 3.

3. Is the community participating in the National Flood Insurance Program or has less than one year passed since FEMA notification of Special Flood Hazards?

Yes, the community is participating in the National Flood Insurance Program.

Flood insurance is required. Provide a copy of the flood insurance policy declaration or a paid receipt for the current annual flood insurance premium and a copy of the application for flood insurance.

→ Continue to the Worksheet Summary.

Yes, less than one year has passed since FEMA notification of Special Flood Hazards.

If less than one year has passed since notification of Special Flood Hazards, no flood insurance is required.

→ Continue to the Worksheet Summary.

No. The community is not participating, or its participation has been suspended.

Federal assistance may not be used at this location. Cancel the project at this location.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Based on the FEMA National Flood Hazard Layer FIRMette Map, generated at the FEMA Flood Map Service Center website (<https://msc.fema.gov/portal/home>), no structure, portions of structures, or insurable property of the proposed project will be located in a FEMA-designated Special Flood Hazard Area. The map indicates that all portions of the proposed project area will be within Zone X (Areas of Minimal Flood Hazard). There are no Preliminary FIRMs available at the FEMA Flood Map Service Center for the proposed project site. Therefore, flood insurance is not required for the proposed project. A copy of the FEMA National Flood Hazard Layer FIRMette Map, Panel 3720028000J (eff. 6/2/2006), is attached for reference.

National Flood Hazard Layer FIRMMette



78°43'38"W 34°18'31"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
MAP PANELS		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **9/27/2021 at 5:15 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

78°43'W 34°18'2"N

ATTACHMENT D

Air Quality



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Air Quality (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/air-quality>

- 1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?**

Yes → *Continue to Question 2.*

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide any documents used to make your determination.*

- 2. Is your project’s air quality management district or county in non-attainment or maintenance status for any criteria pollutants?**

Follow the link below to determine compliance status of project county or air quality management district:

<https://www.epa.gov/green-book>

No, project’s county or air quality management district is in attainment status for all criteria pollutants

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.*

Yes, project’s management district or county is in non-attainment or maintenance status for one or more criteria pollutants. → *Continue to Question 3.*

- 3. Determine the estimated emissions levels of your project for each of those criteria pollutants that are in non-attainment or maintenance status on your project area. Will your project exceed any of the *de minimis* or *threshold* emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?**

No, the project will not exceed *de minimis* or threshold emissions levels or screening levels

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Explain how you determined that the project would not exceed *de minimis* or threshold emissions.*

Yes, the project exceeds *de minimis* emissions levels or screening levels.

→ Continue to Question 4. Explain how you determined that the project would not exceed *de minimis* or threshold emissions in the Worksheet Summary.

4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

Click here to enter text.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

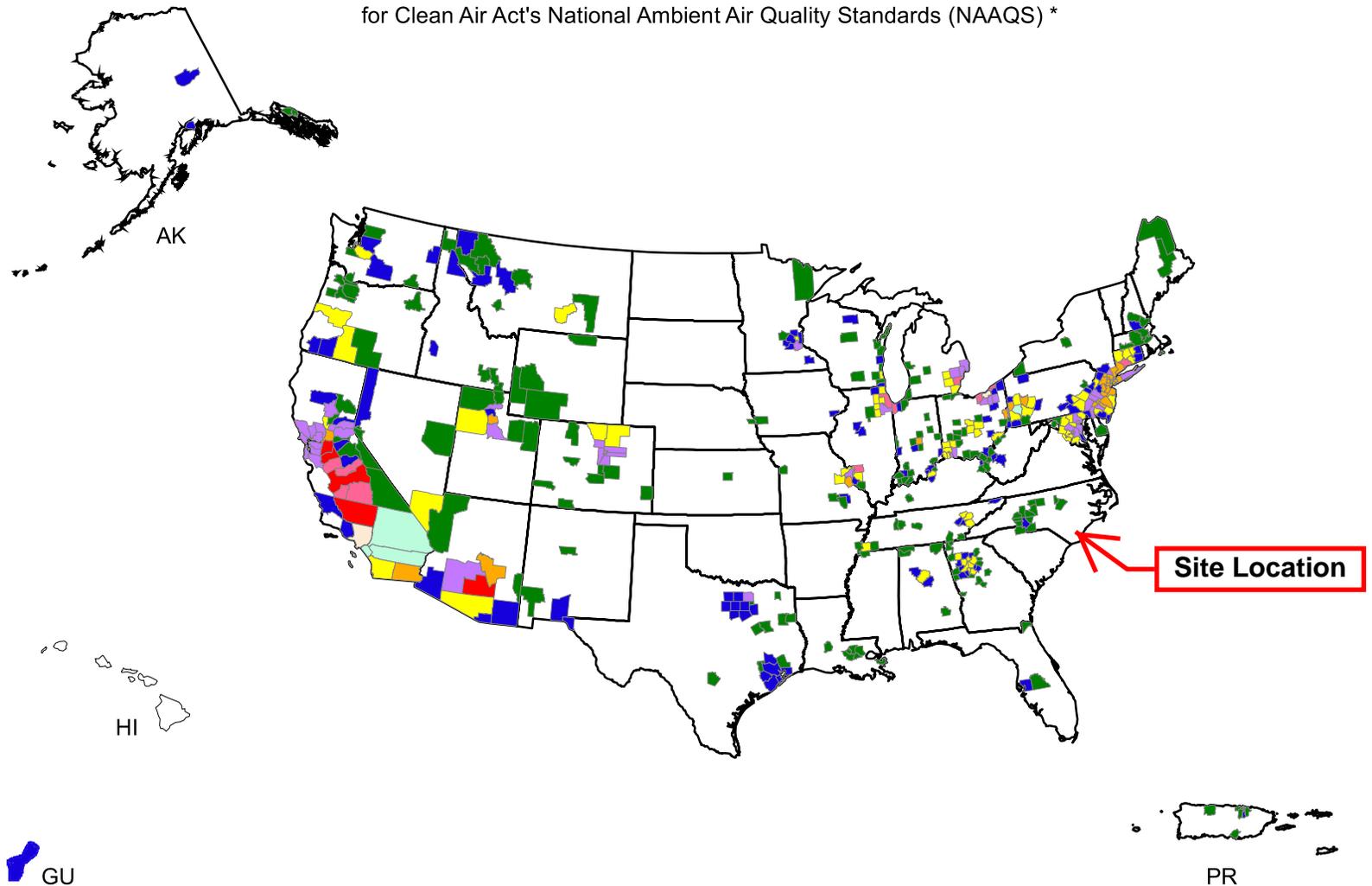
Include all documentation supporting your findings in your submission to HUD.

According to information reviewed on the EPA Green Book website (<https://www.epa.gov/green-book>), Columbus County is not listed in Nonattainment or Maintenance status for any criteria pollutants. A copy of the Nonattainment/Maintenance Status List for North Carolina and copies of the supporting map documents are attached for reference.

Emission information is not required because the project meets the conditions for exemption from air quality permit requirements. The project does not include any actions that require an air permit; therefore, the project is automatically exempted from air quality permit requirements. Since the project is exempted from air quality permit requirements, the projects emissions are automatically considered *de minimis* (40 CFR s. 93.153(c)(2)) and the project is considered compliant with the State Implementation Plan, regardless of the County's air quality status.

Counties Designated "Nonattainment" or "Maintenance"

for Clean Air Act's National Ambient Air Quality Standards (NAAQS) *



Legend **

- County Designated Nonattainment or Maintenance for 9 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 8 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 7 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 6 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 5 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 4 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 3 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 2 NAAQS Pollutants
- County Designated Nonattainment or Maintenance for 1 NAAQS Pollutants

* The National Ambient Air Quality Standards (NAAQS) are health standards for Carbon Monoxide, Lead (1978 and 2008), Nitrogen Dioxide, 8-hour Ozone (2008), Particulate Matter (PM-10 and PM-2.5 (1997, 2006 and 2012), and Sulfur Dioxide.(1971 and 2010)

** Included in the counts are counties designated for NAAQS and revised NAAQS pollutants. Revoked 1-hour (1979) and 8-hour Ozone (1997) are excluded. Partial counties, those with part of the county designated nonattainment and part attainment, are shown as full counties on the map.



You are here: EPA Home > Green Book > >National Area and County-Level Multi-Pollutant Information >North Carolina Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

North Carolina Nonattainment/Maintenance Status for Each County by Year for All Criteria Pollutants

Data is current as of January 31, 2021

Listed by County, NAAQS, Area. The 8-hour Ozone (1997) standard was revoked on April 6, 2015 and the 1-hour Ozone (1979) standard was revoked on June 15, 2005.

* The 1997 Primary Annual PM-2.5 NAAQS (level of 15 µg/m³) is revoked in attainment and maintenance areas for that NAAQS. For additional information see the PM-2.5 NAAQS SIP Requirements Final Rule, effective October 24, 2016. (81 FR 58009)

Change the State:

NORTH CAROLINA

Columbus County is not on the list

Important Notes

Download National Dataset: [dbf](#) | [xls](#) | [Data dictionary \(PDF\)](#)

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/Part County	Population (2010)	State/County FIPS Codes
NORTH CAROLINA								
Cabarrus County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	178,011	37/025
Cabarrus County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,928	37/025
Catawba County	PM-2.5 (1997)-NAAQS revoked	Hickory-Morganton-Lenoir, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	154,358	37/035
Chatham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Part	32,372	37/037
Davidson County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	162,878	37/057
Davidson County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	162,878	37/057

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Davie County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Part	1	37/059
Durham County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	267,587	37/063
Durham County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	267,587	37/063
Durham County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	267,587	37/063
Edgecombe County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	56,552	37/065
Forsyth County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	350,670	37/067
Forsyth County	Carbon Monoxide (1971)	Winston-Salem, NC	9293	11/07/1994	Moderate <= 12.7ppm	Whole	350,670	37/067
Franklin County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	60,619	37/069
Gaston County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	206,086	37/071
Gaston County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	190,849	37/071

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
Granville County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Part	17,725	37/077
Granville County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	59,916	37/077
Guilford County	1-Hour Ozone (1979)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	92	11/08/1993	Moderate	Whole	488,406	37/081
Guilford County	PM-2.5 (1997)-NAAQS revoked	Greensboro-Winston-Salem-High Point, NC	050607080910	12/19/2011 *	Former Subpart 1	Whole	488,406	37/081
Haywood County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Cos (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	985	37/087
Iredell County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Part	68,089	37/097
Iredell County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	65,899	37/097
Johnston County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	168,878	37/101
Lincoln County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	78,265	37/109
Lincoln County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	64,189	37/109

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or/ Part County	Population (2010)	State/ County FIPS Codes
Mecklenburg County	1-Hour Ozone (1979)-NAAQS revoked	Charlotte-Gastonia, NC	929394	07/05/1995	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	919,628	37/119
Mecklenburg County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Whole	919,628	37/119
Mecklenburg County	Carbon Monoxide (1971)	Charlotte, NC	929394	09/18/1995	Not Classified	Whole	919,628	37/119
Nash County	8-Hour Ozone (1997)-NAAQS revoked	Rocky Mount, NC	040506	01/05/2007	Former Subpart 1	Whole	95,840	37/127
Orange County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	133,801	37/135
Person County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	39,464	37/145
Rowan County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	138,428	37/159
Rowan County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	130,057	37/159
Swain County	8-Hour Ozone (1997)-NAAQS revoked	Haywood and Swain Cos (Great Smoky NP), NC	040506070809	01/06/2010	Former Subpart 1	Part	3,288	37/173
Union County	8-Hour Ozone (1997)-NAAQS revoked	Charlotte-Gastonia-Rock Hill, NC-SC	04050607080910111213	01/02/2014	Moderate	Whole	201,292	37/179

County	NAAQS	Area Name	Nonattainment in Year	Redesignation to Maintenance	Classification	Whole or Part County	Population (2010)	State/County FIPS Codes
Union County	8-Hour Ozone (2008)	Charlotte-Rock Hill, NC-SC	121314	08/27/2015	Marginal	Part	176,055	37/179
Wake County	1-Hour Ozone (1979)-NAAQS revoked	Raleigh-Durham, NC	9293	06/17/1994	Moderate	Whole	900,993	37/183
Wake County	8-Hour Ozone (1997)-NAAQS revoked	Raleigh-Durham-Chapel Hill, NC	040506	12/26/2007	Former Subpart 1	Whole	900,993	37/183
Wake County	Carbon Monoxide (1971)	Raleigh-Durham, NC	929394	09/18/1995	Moderate <= 12.7ppm	Whole	900,993	37/183

Important Notes

Discover.

Connect.

Ask.

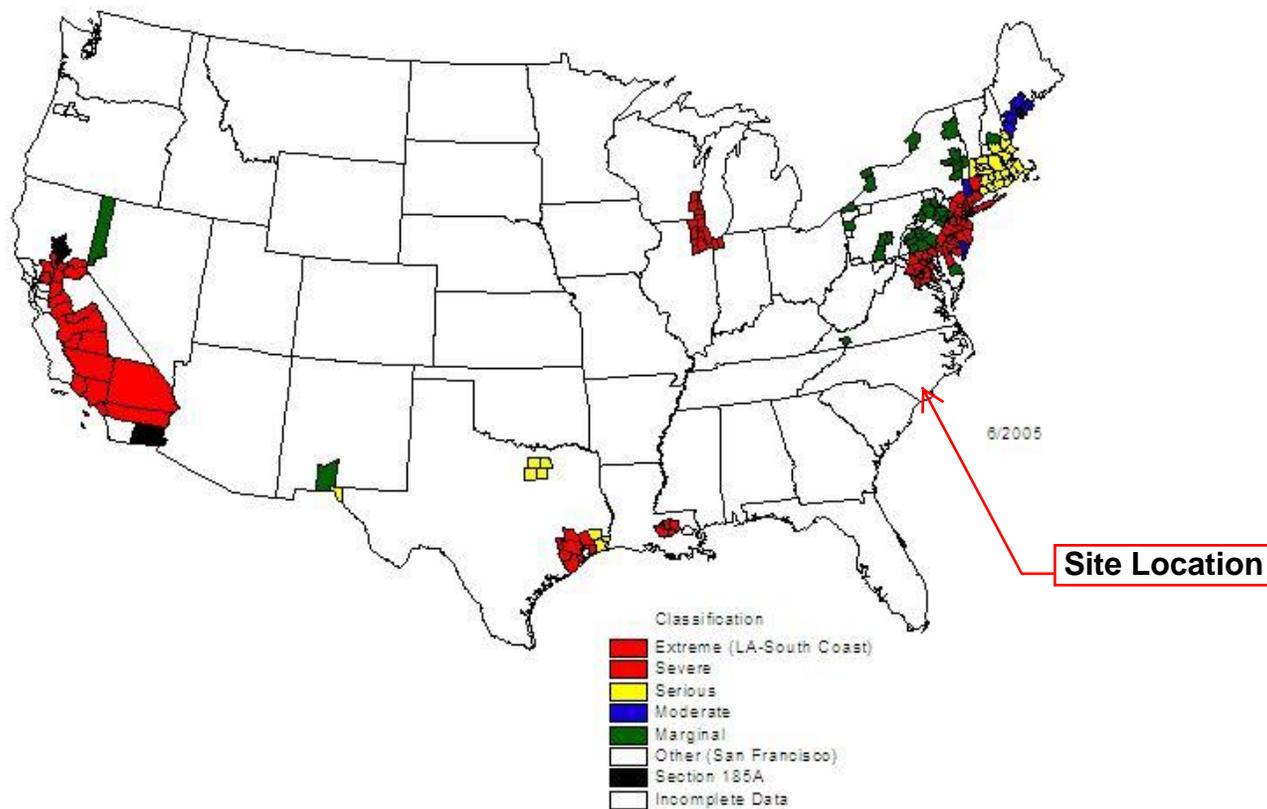
Follow.

2021-01-31



You are here: EPA Home > Green Book > Previous Nonattainment Areas No Longer Subject to the 1-hour Standard Map

Previous Nonattainment Areas No Longer Subject to the 1-hour Standard



Classification colors are shown for whole counties and denote the highest area classification that the county is in

ATTACHMENT E

Coastal Zone Management Act (CZMA)



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

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Coastal Zone Management Act (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/coastal-zone-management>

Projects located in the following states must complete this form.

Alabama	Florida	Louisiana	Mississippi	Ohio	Texas
Alaska	Georgia	Maine	New Hampshire	Oregon	Virgin Islands
American Samoa	Guam	Maryland	New Jersey	Pennsylvania	Virginia
California	Hawaii	Massachusetts	New York	Puerto Rico	Washington
Connecticut	Illinois	Michigan	North Carolina	Rhode Island	Wisconsin
Delaware	Indiana	Minnesota	Northern Mariana Islands	South Carolina	

1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?

Yes → Continue to Question 2.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a Coastal Zone.

2. Does this project include activities that are subject to state review?

Yes → Continue to Question 3.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

3. Has this project been determined to be consistent with the State Coastal Management Program?

Yes, with mitigation. → The RE/HUD must work with the State Coastal Management Program to develop mitigation measures to mitigate the impact or effect of the project.

Yes, without mitigation. → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

No → Project cannot proceed at this location.

Worksheet Summary

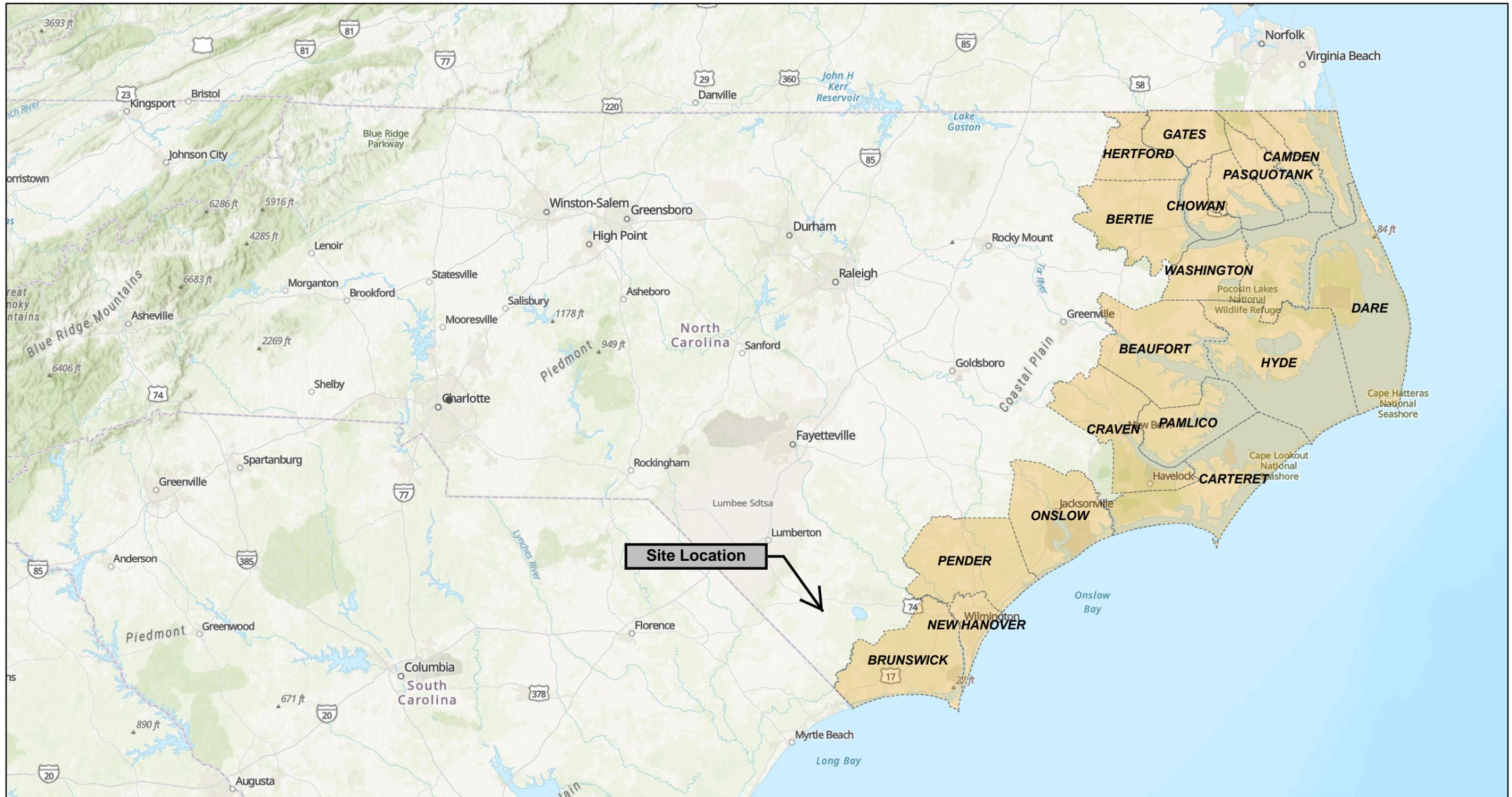
Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Based on the Coastal Zone Management Act (CZMA) Map and the NC DEQ's list of North Carolina counties subject to the Coastal Area Management Act (CAMA), Columbus County, where the proposed site is located, is not considered a CAMA County. Copies of the CZMA Map and NC DEQ CAMA Counties list are attached.

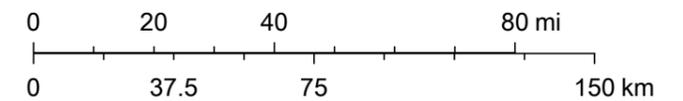
Division of Coastal Management



2/10/2021, 4:25:02 PM

 CAMA Jurisdiction

1:2,311,162



Esri, HERE, Garmin, FAO, NOAA, USGS, EPA, NPS, Esri, USGS

Map generated using the North Carolina Department of Environmental Quality - Division of Coastal Management Interactive Map Viewer online at <https://ncdenr.maps.arcgis.com/apps/webappviewer/index.html>.



CAMA Counties

The following counties are subject to the rules and policies of the Coastal Resources Commission, which administers the Coastal Area Management Act. If you are planning to develop in one of these counties, check to see whether your project is also in an [Area of Environmental Concern](/about/divisions/coastal-management/coastal-management-permit-guidance/areas-of-concern) (</about/divisions/coastal-management/coastal-management-permit-guidance/areas-of-concern>). If it is, you may need a CAMA permit.

CAMA Counties		
<ul style="list-style-type: none"> • Beaufort • Bertie • Brunswick • Camden • Carteret • Chowan • Craven • Currituck • Dare • Gates 	<ul style="list-style-type: none"> • Hertford • Hyde • New Hanover • Onslow • Pamlico • Pasquotank • Pender • Perquimans • Tyrrell • Washington 	

About Coastal Management

[DCM Offices & Program Areas \(/about/divisions/coastal-management/about-coastal-management/dcm-offices-program-areas\)](/about/divisions/coastal-management/about-coastal-management/dcm-offices-program-areas)

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url=https%3A%2F%2Fdeq.nc.gov%2Fabout%2Fdivisions%2Fcoastal-management%2Fabout-coastal-management%2Fcama-counties)

ATTACHMENT F

Contamination and Toxic Substances



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Contamination and Toxic Substances (Multifamily and Non-Residential Properties) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/site-contamination>

1. How was site contamination evaluated? ¹ Select all that apply.

- ASTM Phase I ESA
- ASTM Phase II ESA
- Remediation or clean-up plan
- ASTM Vapor Encroachment Screening
- None of the above

→ Provide documentation and reports and include an explanation of how site contamination was evaluated in the Worksheet Summary.

Continue to Question 2.

2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)

- No → Explain below.

Based on conclusions made in the Phase I ESA, dated October 15, 2021, there were no on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property. No RECs were identified during the Phase I ESA investigation.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

¹ HUD regulations at 24 CFR § 58.5(i)(2)(ii) require that the environmental review for multifamily housing with five or more dwelling units or non-residential property include the evaluation of previous uses of the site or other evidence of contamination on or near the site. For acquisition and new construction of multifamily and nonresidential properties HUD strongly advises the review include an ASTM Phase I Environmental Site Assessment (ESA) to meet real estate transaction standards of due diligence and to help ensure compliance with HUD’s toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). Also note that some HUD programs require an ASTM Phase I ESA.

Yes → Describe the findings, including any recognized environmental conditions (RECs), in Worksheet Summary below. Continue to Question 3.

3. Can adverse environmental impacts be mitigated?

Adverse environmental impacts cannot feasibly be mitigated → HUD assistance may not be used for the project at this site. Project cannot proceed at this location.

Yes, adverse environmental impacts can be eliminated through mitigation.
→ Provide all mitigation requirements² and documents. Continue to Question 4.

4. Describe how compliance was achieved. Include any of the following that apply: State Voluntary Clean-up Program, a No Further Action letter, use of engineering controls³, or use of institutional controls⁴.

Click here to enter text.

If a remediation plan or clean-up program was necessary, which standard does it follow?

- Complete removal
- Risk-based corrective action (RBCA)

→ Continue to the Worksheet Summary.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

A Phase I ESA was conducted for the proposed subject site by Pyramid Environmental & Engineering, P.C. on October 15, 2021. During the investigation, a site inspection, regulatory records review, and correspondence with local Fire Department were completed. Based on the results of the reviews and interviews, no contamination or toxic substances were observed or discovered in connection with the

² Mitigation requirements include all clean-up actions required by applicable federal, state, tribal, or local law. Additionally, provide, as applicable, the long-term operations and maintenance plan, Remedial Action Work Plan, and other equivalent documents.

³ Engineering controls are any physical mechanism used to contain or stabilize contamination or ensure the effectiveness of a remedial action. Engineering controls may include, without limitation, caps, covers, dikes, trenches, leachate collection systems, signs, fences, physical access controls, ground water monitoring systems and ground water containment systems including, without limitation, slurry walls and ground water pumping systems.

⁴ Institutional controls are mechanisms used to limit human activities at or near a contaminated site, or to ensure the effectiveness of the remedial action over time, when contaminants remain at a site at levels above the applicable remediation standard which would allow for unrestricted use of the property. Institutional controls may include structure, land, and natural resource use restrictions, well restriction areas, classification exception areas, deed notices, and declarations of environmental restrictions.

proposed subject site. No on-site or nearby (off-site) toxic, hazardous, or radioactive substances were found that could affect the health and safety of project occupants or conflict with the intended use of the property. No RECs were identified during the Phase I ESA investigation. In addition, the proposed project is not listed on an EPA Superfund National Priorities or Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) list or equivalent State list and is not located within 3,000 feet of a toxic or solid waste landfill site. A copy of the Phase I ESA, dated October 15, 2021, including ERIS Government Records Radius Report and analysis, is attached.

PHASE I ENVIRONMENTAL SITE ASSESSMENT

PROPOSED LOVE MILL APARTMENTS
181 WEST LOVE MILL ROAD
WHITEVILLE, NORTH CAROLINA 28472
October 15, 2021



Pyramid Environmental & Engineering, P.C.

P.O. Box 16265
503 Industrial Ave.
Greensboro, North Carolina 27416 (27406)
(336) 335-3174

**C-257 Geology
C1251 Engineering**

Report prepared for:

Luke Daube
Fitch Irick Corporation
1515 Mockingbird Lane
Charlotte, NC 28209



October 15, 2021

Ref. No. 2021-281

Luke Daube
Fitch Irick Corporation
1515 Mockingbird Lane
Charlotte, NC 28209

**Re: Phase I Environmental Site Assessment
Proposed Love Mill Apartments
181 West Love Mill Road, Whiteville, North Carolina 28472**

Dear Mr. Daube,

Pyramid Environmental is pleased to submit our report describing the findings of the Phase I Environmental Site Assessment (ESA) for property located at 181 West Love Mill Road in Whiteville, NC. This assessment was prepared in general accordance with the American Society of Testing and Materials (ASTM) Standard Practices for Environmental Site Assessments: Phase I ESA Process (ASTM Designation: E1527-2013). In addition to this ESA, Pyramid is also completing a Housing and Urban Development (HUD) Part 58 Environmental Assessment for the subject property. The Environmental Assessment will be submitted under different cover.

The purpose of the Phase I ESA was to gather sufficient information to render an independent professional opinion about the environmental condition of the property. This assessment included a site reconnaissance as well as research and interviews with representatives of the public, property management, and regulatory agencies.

If you have any questions or require further clarification of the report findings, please contact Pyramid at 336-335-3174. Thank you for the opportunity to be of service to Fitch Irick Corporation.

Yours very truly,

A handwritten signature in black ink that reads "Ryan Kramer".

Ryan Kramer
Project Manager

A handwritten signature in black ink that reads "Douglas Canavello".

Douglas Canavello
Principal

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- F. User Questionnaire
- G. ERIS Radius Map Report
- H. Site Photographs

LIST OF ACRONYMS

AAI	all appropriate inquiries
ASTM	American Society for Testing and Materials
CERCLA	Comprehensive Environmental Response
EP	Environmental Professional
ESA	Environmental Site Assessment, Compensation, and Liability Act
LLP	Limited Liability Protection
LUST	leaking underground storage tank
PCB	polychlorinated biphenyl
Pyramid	Pyramid Environmental & Engineering, P.C.
UST	underground storage tank
NCDEQ	North Carolina Department of Environmental Quality

PHASE I ENVIRONMENTAL SITE ASSESSMENT
Proposed Love Mill Apartments
181 West Love Mill Road
Whiteville, Columbus County, North Carolina 28472

EXECUTIVE SUMMARY

Pyramid Environmental and Engineering, P.C. (Pyramid) conducted a Phase I Environmental Site Assessment (ESA), in general conformance with the scope and limitations of ASTM Practice E 1527-13, for the property located at 181 West Love Mill Road, Columbus County, Whiteville, North Carolina. The subject property consists of two unimproved / wooded parcels totaling 6.33-acres. Parcel #005751 is 3.720-acres and Parcel #77993-acres is 2.610-acres. The parcels are currently owned by Judith H. Barnes at the time of the site inspection. The property is proposed to be acquired by Fitch Irick Corporation to develop the multifamily apartment complex called Love Mill Apartments. Any exceptions to or deletions from this practice are described in **Section 1.4** of this report.

Historical information reviewed as part of this Phase I ESA indicates that the subject property was previously cleared and used for agricultural purposes as early 1938 until 1999, as shown on the earliest available aerial photograph. From 1999 to the present, the historical aerial photographs depict the property as wooded and no longer used for agricultural purposes. The property has remained wooded and unimproved since this time. The surrounding properties are residential and commercial including a Walmart Supercenter, Tractor Supply and Big Lots.

Recognized Environmental Conditions

Recognized Environmental Conditions (RECs) are defined by the ASTM Standard Practice E1527-13 as the presence or likely presence of any hazardous substances or petroleum products in, at, or on a property: (1) due to any release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. *De minimis* conditions are not recognized environmental conditions.

This assessment did not reveal any recognized environmental conditions (RECs) associated with the subject site.

Historical Recognized Environmental Conditions (HRECs) are defined by the ASTM Standard Practice E1527-13 as a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, land use restrictions (LURs), activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any historical recognized environmental conditions (HRECs) associated with the subject site.

Controlled Recognized Environmental Conditions (CRECs) are defined by the ASTM Standard Practice E1527-13 as a recognized environmental condition resulting from a past release of

hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any controlled recognized environmental conditions (CRECs) associated with the subject property.

Observations

- The subject property was unimproved and wooded during the site inspection. Minor, non-hazardous debris was observed that included empty bottles/cans, wood pallets, and other typical roadside trash.
- Surface water was observed near the northeast corner of the property.
- Small intermittent stream beds were observed but were dry during the site inspection.

Recommendations

- This assessment did not reveal any recognized environmental conditions (RECs) historical recognized environmental conditions (HRECs) or controlled recognized environmental conditions (CRECs) associated with the subject property. No further environmental assessments are recommended at this time.

1.0 INTRODUCTION

This report documents the results of a Phase I ESA in general conformance with the scope and limitations of ASTM Practice E 1527-13 for the subject property located at 181 West Love Mill Road in Whiteville, Columbus County, North Carolina (**Figure 1**). The purpose of a Phase I ESA is to identify, to the extent feasible pursuant to ASTM Practice E 1527-13, recognized environmental conditions in connection with the property. A Phase I ESA is performed to ASTM Practice E 1527-13 standards to satisfy pre-purchase due diligence requirements, qualify for an Landowner Liability Protection (LLP) to CERCLA liability and/or to understand potential environmental conditions that could materially impact the operation of the business associated with the parcel of commercial real estate.

1.1 Purpose

The purpose of this ESA was to identify recognized environmental conditions and certain environmental conditions outside the scope of ASTM Practice E 1527-13 in connection with the property at the time of the site reconnaissance. This practice is intended to permit a user to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on CERCLA liability (also known as “landowner liability protections” or LLPs): that is the practice that constitutes “all appropriate inquiry (AAI) into the previous ownership and uses of the property consistent with good commercial or customary practice” as identified at 42 U.S.C. §9601(35)(B). The Phase I ESA, by itself, does not qualify the purchaser for CERCLA liability protection. The purchaser may have continuing obligations after purchase. A recognized environmental condition, as defined by this practice, means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property. The term is not intended to include de minimus conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimus are not recognized environmental conditions. This includes conditions in compliance with all applicable laws.

1.2 Detailed Scope of Work

This ESA was conducted using a standard of good commercial and customary practice that was consistent with ASTM Standard Practice E 1527-13. Any significant scope-of-work additions, deletions or deviations to ASTM Practice E 1527-13 are noted below or in the corresponding sections of this report. The scope of work for this assessment included an evaluation of the following:

- Physical characteristics of the property through a review of referenced sources for topographic, geologic, soils and hydrologic data.
- Site history through a review of referenced sources such as property tax records, chain-of-title records, fire insurance maps, city directories, aerial photographs, prior reports and interviews.

- Current site conditions including observations and interviews regarding the presence or absence of hazardous substances or petroleum products; generation, treatment, storage, or disposal of hazardous, regulated, or medical waste; equipment that uses oils which potentially contain polychlorinated biphenyls (PCBs); and storage tanks (aboveground and underground).
- Usage of surrounding area properties and the likelihood for releases of hazardous substances and petroleum products (if known and/or suspected) to migrate onto the property.
- Information in referenced environmental agency databases and local environmental records, within specified minimum search distances.

1.3 Significant Assumptions

The scope of work is intended to conform to the ASTM Standard Practice E 1527-13 '**Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process**' and any amendments to said practice. This assessment has no significant departures or deletions from, nor any exceptions or additions to this practice. Findings within this report are based on information collected from observations made on the day of the site investigation and from reasonably ascertainable information obtained from governing public agencies and referenced sources.

This report is not definitive and should not be assumed to be a complete or specific definition of all conditions above or below grade. Subsurface conditions may differ from the conditions implied by the surface observations and can only be reliably evaluated through intrusive techniques. Information in this report is not intended to be used as a construction document and should not be used for demolition, renovation, or other construction purposes.

1.4 Limitations and Exceptions

The ASTM Phase I Standard recognizes that “no Environmental Site Assessment can wholly eliminate uncertainty regarding the potential for recognized environmental conditions.” The Standard states that it is designed to “reduce, but not eliminate” uncertainty, and it recognizes “reasonable limits of time and cost” in the Phase I process. The Phase I ESA is valid for a period of one (1) year for the report with a 180-day shelf life for certain components, which include interviews, environmental liens, review of government records, site visit, and declaration/signature by an Environmental Professional (EP).

1.5 Activity & Use Limitations

Activity and use limitations are legal or physical restrictions or limitations on the use of, or access to, a site or facility. Activity and use limitations are designed to (1) reduce or eliminate the potential exposure to hazardous substances or petroleum products in the soil or groundwater on the property, or (2) to prevent activities that could interfere with the effectiveness of a response action, in order to ensure maintenance of a condition of no significant risk to public health or the environment. These legal restrictions, which may include institutional and/or engineering controls, are intended to prevent adverse impacts to individuals or populations that may be exposed to hazardous substances and petroleum products in the soil or groundwater on the property.

1.6 Environmental Professional Qualifications

The ESA must be performed by the environmental professional (EP) or conducted under the supervision or responsible charge of the EP. An EP is a person who possesses sufficient specific education, training, and experience necessary to exercise professional judgment to develop opinions and conclusions regarding conditions indicative or releases or threatened releases on, at, in, or to a property, sufficient to meet the objectives and performance factors in §312.20(e) and (f).

We at Pyramid Environmental, declare that, to the best of our professional knowledge and belief, we meet the definition of an EP as defined in §312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the “all appropriate inquiries” (AAIs) in conformance with the standards and practices set forth in 40 CFR Part 312. A statement of qualifications is included in **Appendix A**.

1.7 Special Terms and Conditions

This report is prepared for and made available solely for use by Fitch Irick Corporation and their designees. The contents thereof may not be used or relied upon by any other person without the express written consent and authorization of the consultant. The observations, conclusions, and recommendations documented in this report are based on site conditions and information reviewed at the time of Pyramid's investigation. An EP is not required to verify independently the information provided but may rely on information provided unless he or she has actual knowledge that certain information is incorrect. Pyramid Environmental and Engineering, P.C. appreciates the opportunity to provide this environmental service.

1.8 User Reliance

The “User” as defined in this assessment is Fitch Irick Corporation. This report is intended only for the use and benefit of, and may be relied upon by, Fitch Irick Corporation of Charlotte, NC and any other party specifically identified in writing by Pyramid as a User of this report. Pyramid cannot and will not be liable for unauthorized reliance by any other third party.

2.0 SITE DESCRIPTION

2.1 Location and Legal Description

Address: 181 West Love Mill Road, Whiteville, North Carolina 28472
County name: Columbus
Tax Parcel Numbers: Parcels #5751 & #77993 (see **Figure 2**)
Combined Acreage: 6.33

2.2 Physical Setting Sources

Site Geology

Pyramid's review of the 1985 Physiographic Map of North Carolina yielded information concerning local geology and hydrogeology. Based on this review, the site is located in the

Coastal Plain Region of North Carolina. The surface geology consists of regional soils created by the weathering of underlying bedrock. The site is located with the Peedee Formation (KP), which consists of cretaceous sand, clayey sand, and clay, greenish gray to olive black, massive, glauconitic, locally fossiliferous and calcareous.

In general, both surface and groundwater flow directions are controlled by topographic contours of land forms in the Coastal Plain Region with flow occurring perpendicular to the contours from high to low elevations. Surface run-off on the subject site generally flows to the west towards White Marsh Creek which is 2 miles west of the subject property.

Many structural features such as faults, joints and fractures, can significantly enhance groundwater flow rates. Without very specific site information, only limited statements can be made with respect to groundwater flow at the subject property. Determination of groundwater quality and flow rates was beyond the scope of this assessment.

Topography

USGS Quadrangles:	Whiteville, NC 2019
Range of Elevation:	85 - 90 feet above mean sea level
Surface Gradient:	North

Wetlands

Wetlands determination is outside the ASTM scope for a Phase I ESA. According to the Whiteville, NC National Wetlands Inventory Online Mapper, produced by the Department of Interior, the subject property does not include a designated wetland. If there is a need for confirmation of wetland status for this property, a site-specific wetland determination can be arranged. A copy of the Wetlands Map is included as **Appendix B**.

Community Panel No. 3720028000J

Flood Zone Zone X: Areas determined to be outside the 500-year flood plain.

Date June 2, 2006

A copy of the FEMA Firmette is included as **Appendix C**.

Flood Plain

Watershed

According to the Whiteville, NC USGS Map, the subject site is not located in a protected watershed area. Specific information regarding the watershed ordinances and development within non-water supply watersheds or designated water supply watersheds can be obtained from the Watershed Protection Engineer at the Whiteville, NC Planning Department.

2.3 Site and Vicinity General Characteristics

The subject property is located at 181 West Love Mill Road in Whiteville, NC (**Figure 1**). The subject property is accessible by way of West Love Mill Road to the north. The surrounding area includes a mixture of residential, agricultural, commercial, and undeveloped properties.

2.4 Description of Structures, Roads & Improvements

General Description of Structures

No buildings or outbuildings were observed at the site of site inspection.

Roads

The subject property is accessible by way of West Love Mill Road to the north.

2.5 Current and Past Use of the Property/Vicinity

Historical information reviewed as part of this Phase I ESA indicates that the subject property was previously cleared and used for agricultural purposes as early 1938 until 1999, as shown on the earliest available aerial photograph. From 1999 to the present, the historical aerial photographs depict the property as wooded and no longer used for agricultural purposes. The property has remained wooded and unimproved since this time. The surrounding properties are residential and commercial including an adjacent Walmart Supercenter.

North: West Love Mill Road; residential and agricultural properties within ½ mile

East: Commercial properties (Tractor Supply, Big Lots) with ½ mile

South: Commercial properties (Walmart) within ½ mile

West: Residential and agricultural properties within ½ mile

2.6 Historical Use Information on the Property

The following sources were used during this investigation:

Tax Records

<i>Locations Reviewed</i>	Columbus County Tax Department and Register of Deeds
<i>Earliest Data Found:</i>	2014

Aerial Photographs

<i>Locations Reviewed</i>	Columbus County Mapping Department, ERIS Aerial Report & Google Earth
<i>Years Reviewed:</i>	2020, 2018, 2016, 2014, 2012, 2010, 2008, 2006, 2005, 1999, 1993, 1983, 1974, 1964, 1958, 1951, 1950 & 1938
<i>Year Included as Figure 3:</i>	2020

Appendix D includes the available historical aerial photographs.

Maps

<i>Locations Reviewed</i>	Columbus County Online Tax Mapping Department
<i>Tax Map Scale:</i>	Not to Scale
<i>USGS 7.5-minute Topographic Map:</i>	Whiteville, NC 2019
<i>USGS Topographic Map Scale:</i>	1" = 24,000'
<i>Years Reviewed:</i>	2016, 1987 & 1955

Appendix D includes the available topographic maps.

City Directories

City directories were not reviewed since the site history was confirmed through aerial photographs, surveys, tax records and interviews.

Sanborn Maps

Sanborn Maps coverage was not available for the subject property.

2.7 Chain of Title

As part of this Phase I ESA, a chain-of-title review was performed to the limits of readily accessible records from the Columbus County Tax Department and Register of Deeds. Deed records and property details provided by the Columbus County, NC are included as **Appendix E**.

TABLE 1: Ownership for Subject Property (Proposed Love Mill Apartments)

Parcel No.:	Grantee	Deed Book– Page	Date
#5751 & 77993	Judith H. Barnes	DB: RB 1100 – PG: 330-331	12/30/2014
	Margaret W. Hufham	NA	NA
	F.G. Walker	NA	NA

No previous environmental investigations were discovered for the subject property.

If the user is aware of any specialized knowledge or experience that is material to recognized environmental conditions in connection with the property, it is the user’s responsibility to communicate any information based on such specialized knowledge or experience to the EP. The user should do so before the EP conducts the site reconnaissance. The client provided no specialized knowledge.

The client did not provide information regarding valuation reduction for environmental issues. The value of the subject property has not been diminished by the presence of any environmental issues. The user questionnaire was completed by Andrea Gonzalez, representing Fitch Irick Corporation and is included in **Appendix F**.

3.0 RECORDS REVIEW

As part of the Phase I ESA, a background review was performed to identify on-site and potential off-site sources of environmental contamination. The background review included federal and non-federal database searches in accordance with ASTM standards. ERIS, a commercially available database service, was used for the search. A copy of the ERIS Radius Map Report is included in **Appendix G**. A description of each database searched is included in the ERIS Radius Map Report.

Environmental and regulatory agencies of the State of North Carolina were contacted to determine if any environmental problems were known to exist or have formerly existed at the subject property. The following applicable issues were addressed:

- Air Quality
- Groundwater Quality
- Surface Water Quality
- Solid Waste
- Surface Spills
- Hazardous Waste Storage and Disposal
- Underground Storage Tanks

3.1 Federal

Federal Databases Searched	Search Radius	Quantity Listed	Item No. Below
Federal National Priority List (NPL)	1 mile	No sites listed	N/A
Federal Delisted NPL Sites	½ mile	No sites listed	N/A
Federal CERCLIS List	½ mile	No sites listed	N/A
Federal CERCLIS NFRAP List	½ mile	No sites listed	N/A
Federal RCRA CORRACTS	1 mile	No sites listed	N/A
Federal RCRA NON-CORRACTS TSD	½ mile	One site listed	1
<p>1. The DBA Rite Aid #11529 site located at 1728 S. Madison Street in Whiteville NC is on the RCRA NON-Corrracts TSD Database. The EPA Handler ID is #NCR0000156927. The site is located 0.24 miles east southeast and is not considered an environmental concern to the subject property.</p>			
Federal RCRA Generators	Target property /adjoining properties	No sites listed	N/A
U.S. EPA ERNS	Target property	No sites listed	N/A
Federal Institutional Controls/Engineering Control Registries	Target property	No sites listed	N/A

3.2 State

State Databases Searched	Search Radius	Quantity Listed	Item No. Below
State & Tribal Equivalent NPL (Hazardous Waste)	1 mile	No sites listed	N/A
State & Tribal Equivalent CERCLIS (Hazardous Waste)	½ mile	No sites listed	N/A
State & Tribal Equivalent CERCLIS (Hazardous Waste)	½ mile	No sites listed	N/A
State & Tribal Landfill (Solid Waste)	½ mile	No sites listed	N/A
State & Tribal Registered USTs	Target property/adj properties	No sites listed	N/A
State & Tribal Institutional Controls/Engineering Control Registries	Target property	No sites listed	N/A
State & Tribal Spills Sites (SPILLS)	½ mile	One site listed	1

4.0 SITE RECONNAISSANCE

4.1 Methodology and Limiting Conditions

Ryan Kramer of Pyramid Environmental and Engineering, P.C. of Greensboro, North Carolina inspected the subject property on October 6, 2021. Photographs taken during the site inspection are included in **Appendix H**. Information to support the Phase I ESA was obtained primarily through the following activities:

- Inspection of the grounds to observe current site conditions.
- Survey of the area immediately surrounding the property for visible evidence of environmental concerns.
- Interviews with those who are familiar with historical and current operations of the property and adjoining property owners as necessary.
- Review of previous environmental reports

4.2 Hazardous Substances and Petroleum Products

No migrating hazardous substances were observed at the time of site inspection.

4.3 Storage Tanks

4.3.1 Underground Storage Tanks

No underground storage tanks were observed at the time of site inspection.

4.3.2 Aboveground Storage Tanks

No aboveground storage tanks were observed at the time of site inspection.

4.4 Polychlorinated Biphenyls (PCBs)

No potential sources of PCBs were observed on the subject property at the time of the site inspection.

4.5 Solid and Liquid Waste Disposal

At the time of the site inspection, solid and liquid waste was not being generated on-site during the site inspection.

4.6 Asbestos/Lead Based Paint

Asbestos and lead-based paint sampling was outside the scope of the work described in the ASTM guidelines for performing Phase I ESAs.

In the mid-1970s several major kinds of asbestos materials, such as spray-applied insulation, fireproofing, and acoustical surfacing material, were banned by EPA because of growing concern about health effects, particularly cancer, associated with exposure to such materials. In July 1989, EPA promulgated the Asbestos Ban and Phase-down Rule. The rule applies to new product manufacture, importation, and processing, and essentially banned almost all asbestos-containing

products in the United States by 1997. This rule does not apply to removal of asbestos containing materials (ACMs) currently in place in buildings.

In 1978, Congress passed amendments to the Lead-Based Paint Poisoning Prevention Act prohibiting the manufacture and sale of paints containing lead. The Act applies to property that was constructed or substantially rehabilitated prior to 1978.

4.7 Mold

Mold was not observed at the property at the time of site inspection.

4.8 Debris

At the time of site inspection, minor debris including empty cans and bottles and a wood pallet were observed on the property. No hazardous trash was observed on the subject property.

4.9 Stressed Vegetation/Soil Staining

No stressed vegetation or soil staining were observed at the time of site inspection.

4.10 Surface Water

A small pond was observed on the property at the time of site inspection. In addition, a dry, intermittent stream bed meandered on the northern boundary of the site.

4.11 Wastewater

No wastewater was identified on the site during site inspection.

4.12 Septic System

A septic system was not located on the subject property during the site inspection.

4.13 Drains or Sumps

No drains or sumps were observed on the subject property during the site inspection.

4.14 Pits, Ponds or Lagoons

No pits or lagoons were identified on the site during site inspection. A small pond was located on the northeastern portion of the subject property.

4.15 Stained Soil or Pavement

No stained soil was identified on the site during site inspection.

4.16 Wells

No wells were located on the subject property during the site inspection.

4.17 Heating/Cooling

The subject property did not have a heating/cooling system during the site inspection.

5.0 VAPOR ENCROACHMENT CONCERNS

Several potential vapor encroachment concerns were identified within the prescribed search distance of 1/3 of a mile for chemicals of concern. Four gas stations were identified with the 1/3 mile: Go Gas, Sams's Pit Stop, Murphy USA and Additech. However, the four gasoline stations do not currently have open incidents that involve leaking underground storage tanks. These sites do not present an environmental concern to the subject property.

6.0 INTERVIEWS

6.1 Interview with Site Contact

On October 4, 2021, Pyramid interviewed Luke Daube representing Fitch Irick Corporation to obtain general knowledge about current and historical information. Ms. Daube was the site contact for the subject property and also provided general information for the site. Mr. Daube forwarded the User Questionnaire to Ms. Andera Gonzalez with Fitch Irick Corporation. The Phase I User Questionnaire was completed and signed by Ms. Gonzalez and is included as **Appendix F**.

6.2 Interview with Local Fire Department

On October 14, 2021, Pyramid interviewed the Fire Chief at the City of Whiteville Fire Department, Mr. David Yergeau, to obtain general knowledge about current and historical information. Mr. Yergeau ran the subject properties address through their database and found no records. He was not aware of any environmental issues on or around the property.

7.0 DATA GAPS

Data gaps occur when all of the standard historical sources that are reasonably ascertainable and likely to be useful have been reviewed and yet the objectives have not been met. No significant data gaps were discovered in the evaluation of the subject site.

8.0 FINDINGS & OPINIONS

Pyramid Environmental and Engineering, P.C. (Pyramid) conducted a Phase I Environmental Site Assessment (ESA), in general conformance with the scope and limitations of ASTM Practice E 1527-13, for the property located at 181 West Love Mill Road, Columbus County, Whiteville, North Carolina. The subject property consists of two unimproved / wooded parcels totaling 6.33-acres. Parcel #005751 is 3.720-acres and Parcel #77993-acres is 2.610-acres. The parcels are currently owned by Judith H. Barnes at the time of the site inspection. The property is proposed to be acquired by Fitch Irick Corporation to develop the multifamily apartment complex called

Love Mill Apartments. Any exceptions to or deletions from this practice are described in **Section 1.4** of this report.

Historical information reviewed as part of this Phase I ESA indicates that the subject property was previously cleared and used for agricultural purposes as early 1938 until 1999, as shown on the earliest available aerial photograph. From 1999 to the present, the historical aerial photographs depict the property as wooded and no longer used for agricultural purposes. The property has remained wooded and unimproved since this time. The surrounding properties are residential and commercial including a Walmart Supercenter, Tractor Supply and Big Lots.

9.0 CONCLUSIONS & RECOMMENDATIONS

Pyramid has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E 1527-13 at 181 West Love Mill Road in Whiteville, NC (the property). Any exceptions to, or deletions from, this practice are described in **Section 1.4** of this report.

Recognized Environmental Conditions

Recognized Environmental Conditions (RECs) are defined by the ASTM Standard Practice E1527-13 as the presence or likely presence of any hazardous substances or petroleum products in, at, or on a property: (1) due to any release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. *De minimis* conditions are not recognized environmental conditions.

This assessment did not reveal any recognized environmental conditions (RECs) associated with the subject site.

Historical Recognized Environmental Conditions (HRECs) are defined by the ASTM Standard Practice E1527-13 as a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, land use restrictions (LURs), activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any historical recognized environmental conditions (HRECs) associated with the subject site.

Controlled Recognized Environmental Conditions (CRECs) are defined by the ASTM Standard Practice E1527-13 as a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any controlled recognized environmental conditions (CRECs) associated with the subject property.

Observations

- The subject property was unimproved and wooded during the site inspection. Minor, non-hazardous debris was observed that included empty bottles/cans, wood pallets, and other typical roadside trash.
- Surface water was observed near the northeast corner of the property.
- Small intermittent stream beds were observed but were dry during the site inspection.

Recommendations

- This assessment did not reveal any recognized environmental conditions (RECs) historical recognized environmental conditions (HRECs) or controlled recognized environmental conditions (CRECs) associated with the subject property. No further environmental assessments are recommended at this time.

10.0 SIGNATURES

The observations, conclusions, and recommendations documented in this report are based on site conditions and information reviewed at the time of Pyramid's investigation. Pyramid Environmental and Engineering P.C. appreciates the opportunity to provide this environmental service.

We declare that, to the best of our professional knowledge and belief, we meet the definition of Environmental Professional as defined in §312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

Sincerely,



Ryan Kramer

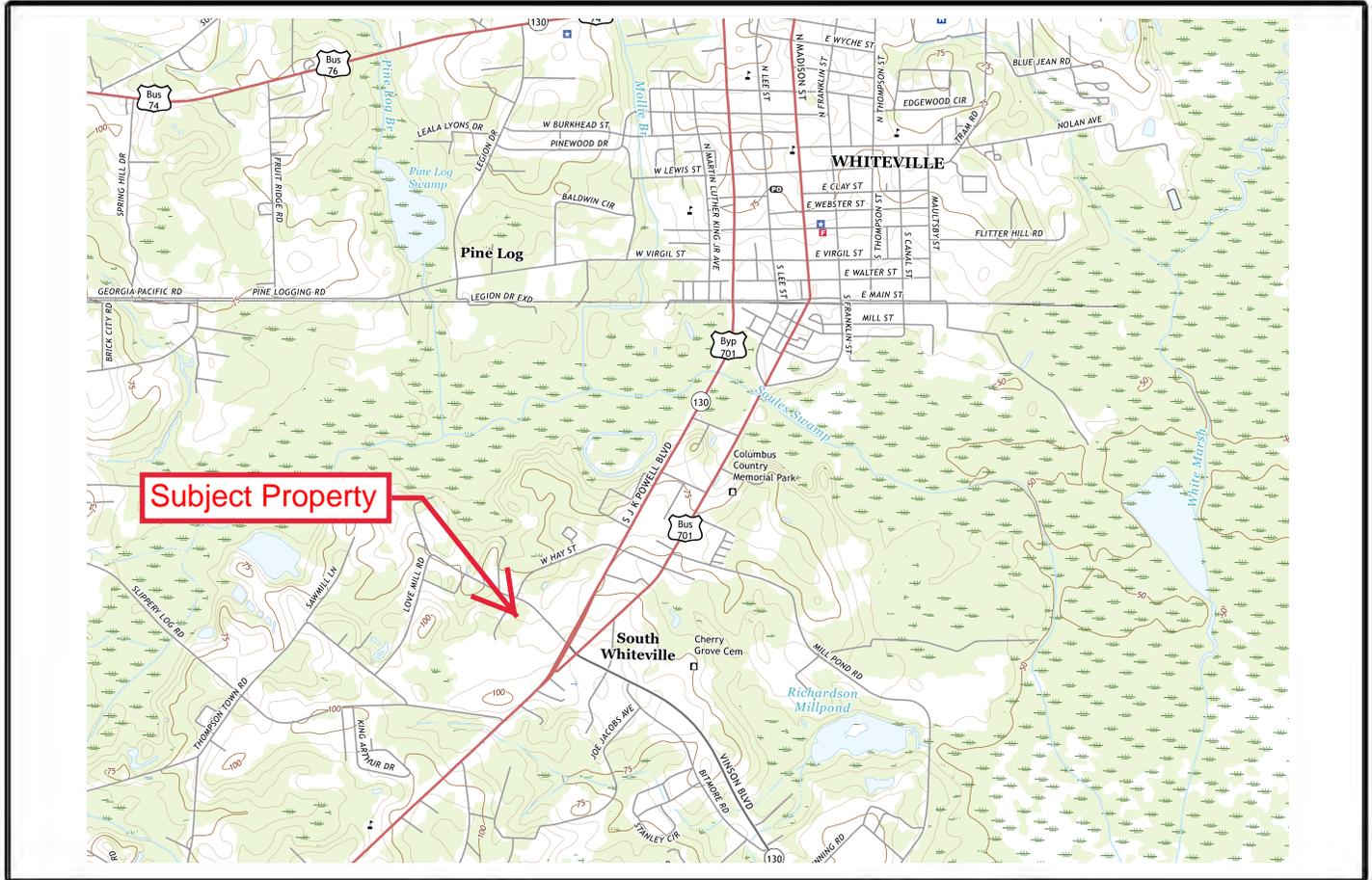
Pyramid Environmental & Engineering, P.C.

FIGURES

USGS TOPOGRAPHIC MAP

SITE: Love Mill Apartments

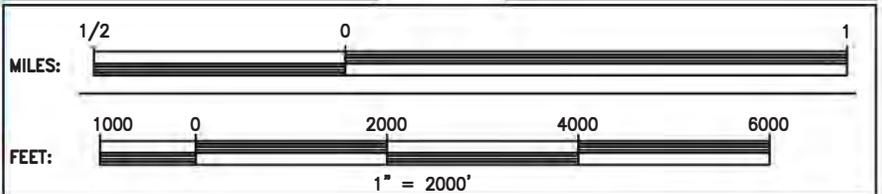
LOCATION: 181 W. Love Mill Rd., Whiteville, NC



USGS IDENTIFICATION

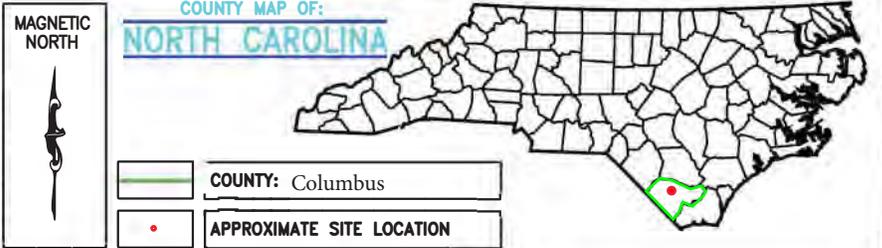
SCALES

USGS 7.5 MINUTE MAP	Whiteville, NC
ORIGINAL DATE:	2019
PHOTOREVISION DATE:	N/A



	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: TOPOGRAPHICAL CONTOUR INTERVAL = 20 FEET
 PHOTOREVISIONS DENOTED IN PURPLE

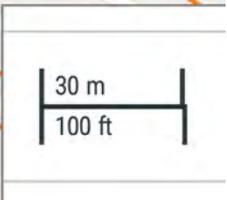
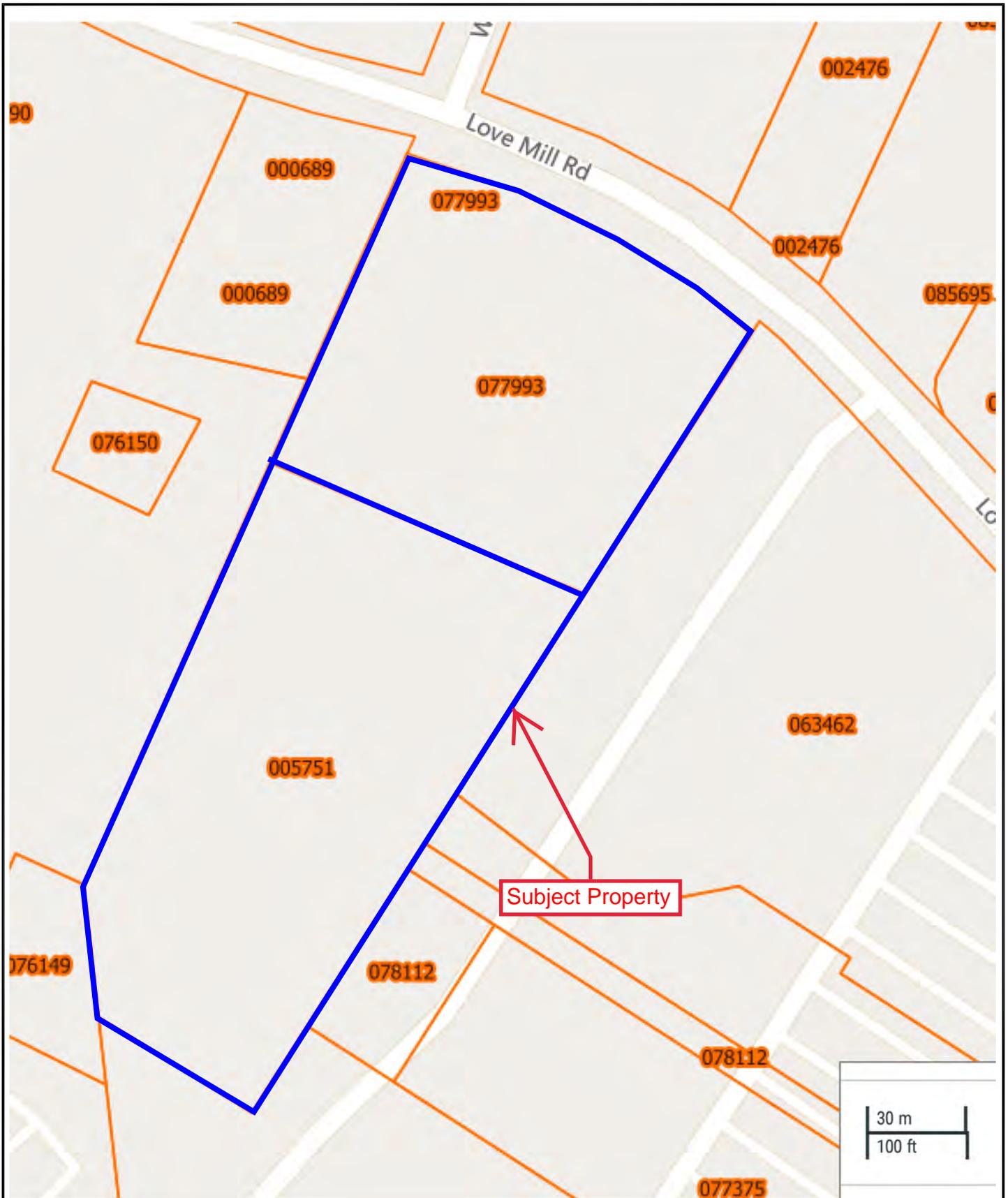


CLIENT: Flatiron Partners	SCALE: 1" = 2,000'
PROJECT NAME: Love Mill Apts. - 181 W. Love Mill Rd.	DRAWN BY: TC
CITY: Whiteville STATE: North Carolina	CHECK BY: RK
TITLE: Topographic Map	DATE: 9/14/21
	JOB NO.: 2021-266
	TYPE: PHASE I
	DRAWING NAME: USGSTOPO
	FIGURE NUMBER: 1

NOTES

TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON, VIRGINIA.

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

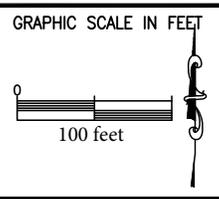


	CLIENT	Flatiron Partners	COUNTY	Columbus	
	SITE	Love Mill Apts. - 181 W. Love Mill Rd.	TAX-ID	#5751 & 77993	
	CITY	Whiteville	STATE	North Carolina	
	TITLE	Tax Map	DWG	Tax-Map	
			L-NO	2021-266	FIGURE



ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	DATE	9/14/2021
CITY	Whiteville	STATE	North Carolina
TITLE	2020 Aerial Photograph	L-NO	2021-266
		FIGURE	Figure 3



APPENDIX A
EP Qualifications



DOUGLAS CANAVELLO, P.G.

Company Principal

EDUCATION

MBA, Finance, Tulane University
M.S., Geology, North Carolina State University
B.S., Geology, Duke University

REGISTRATIONS/CERTIFICATIONS

Professional Geologist in NC - No. 1066
Years Experience – 32 years

PROFESSIONAL SUMMARY

As President of Pyramid Environmental, Mr. Canavello oversees all aspects of company performance, including finances, marketing, and operations. He is the principal employee involved in assessment and analysis of economic benefits and alternatives relating to client environmental issues. With more than 32 years of experience in hydrogeological, geological, and environmental investigations, Mr. Canavello's experience includes management, design, and implementation of hydrogeological, geochemical, and geophysical investigations, as well as the design and implementation of soil and groundwater remediation projects. Having experience in performing over 60 Phase I Environmental Site Assessments (ESA), he is also a member of the ASTM Committee E-50 on Environmental Site Assessment and has played an active role in the development of Standard E.1527.

RELEVANT PROJECT EXPERIENCE

Project Manager, Wallops Island Tank Farm, Wallops Island, VA.

Mr. Canavello designed and implemented a site-specific geological assessment of a jet fuel tank farm at the NASA Wallops Island facility. Duties included supervision of monitoring well installation and soil gas surveys; design and supervision of a ground penetrating radar survey of the facility; and preparation of a report to the client detailing the costs of remediation options for the site.

Project Leader, Environmental Protection Agency (EPA), Fried Industries, New Brunswick, NJ.

Mr. Canavello designed and supervised an environmental investigation at the Fried Industries Superfund site in New Jersey. His original scope of work involved review of aerial photographs and other data, and design of the initial sampling plan. He then designed and supervised substantial geophysical investigations, and designed a second sampling plan. Mr. Canavello supervised and organized the remedial investigation and feasibility study for the site.

Project Manager, Low Level Nuclear Siting Study, Southern Illinois.

Mr. Canavello designed and supervised a multi-well pump test for a major siting study in Illinois. This program included the drilling and development of 18 monitoring wells in the area. Duties included supervision of drilling and well development activities, set-up and monitoring of pump test equipment, QC, and data transfer.

Project Manager, Textile Plant, Laurinburg, NC.

Mr. Canavello conducted a Phase II ESA to determine if groundwater contamination was present at an industrial facility encompassing an area of approximately 10 acres where potential dumping of chemical solvents had occurred. A network of groundwater monitoring wells was installed at both surface water table depths and at bedrock. The locations of the groundwater monitoring wells were determined by analysis of aerial photography, interviews with former plant employees, and physical evidence remaining on site.



RYAN P. KRAMER

EDUCATION

B.S., Geology, Kutztown University, 2005

PROJECT MANAGER

REGISTRATIONS/CERTIFICATIONS

NC, SC & VA Asbestos Inspector

NC, SC & VA Lead Inspector

OSHA 40-hour HAZWOPER

PROFESSIONAL SUMMARY

Mr. Kramer has over 15 years of experience in the environmental field, including a wide variety of Phase I and Phase II Environmental Site Assessment investigations for commercial, government, and non-profit agencies.

RELEVANT PROJECT EXPERIENCE

Fort Monroe National Monument Hampton, VA (2012 -2016) - Client: National Park Service.

Ryan was responsible for performing several site inspections over the last 5 years that included Phase I Environmental Site Assessments, Asbestos / Lead Paint Inspections, and Phase II / UST Assessments for the Fort. In 2012, he was part of a two-man team that performed asbestos and lead paint inspections (XRF) on over 60 buildings on the 565-acre property. Ryan returned in 2015 to complete another asbestos and lead paint inspection on an additional 20 buildings.

Blacksburg Terrace Apartments Phase I ESA & Radon Surveys, Blacksburg, VA (2016) – Client: Surber Development, Glade Spring VA).

Performed Phase I Site Assessments and Radon Surveys for five separate apartment buildings.

Gettysburg Phase I ESA & Lead/Asbestos Surveys Gettysburg, PA (2012-2017) - Client: National Park Service.

Performed Phase I Site Assessments and Lead/Asbestos Surveys at over 15 tracts for the National Parks Service, Civil War Preservation Trust, and Gettysburg Foundation in and around the Gettysburg National Military Park. Reviewed historical documents, performed site visit and surveys, identified environmental conditions of concern. Supervised hazardous materials inspection for asbestos and lead paint evaluation.

Commercial Property Danville, VA (2015) - Client: First Bank.

Performed Phase I Site Assessment for an approximate 3-acre parcel that was intended for development as a motorcycle dealership. Reviewed historical documents, performed thorough site visit and surveys, and identified environmental conditions of concern.

Richmond National Battlefield Park Phase I ESA Henrico & Hanover County, VA (2012-2017) - Client: Civil War Trust.

Performed Phase I Site Assessments at over 40 tracts for the National Parks Service at the Richmond National Battlefield Park. Reviewed historical documents, performed thorough site visit and surveys, and identified environmental conditions of concern. Ryan is consistency requested by the NPS and other non-profit clients to perform these assessments.

Gas Station, Climax, NC (2012) - Client: Newbridge Bank.

Performed a Phase I Environmental Site Assessment that included a basic assessment of operating practices of the gas station. Ryan worked with other Pyramid staff to evaluate Veeder Root leak detection records and other procedures.

Flight 93 National Memorial Stoystown, PA (2013 & 2014) - Client: National Park Service.

Ryan was Senior Project Manager for several sensitive National Park Service projects. He was chosen for this role because of his ability to accomplish project objectives in sensitive situations. He is able to communicate well with clients as well as other interested or related parties. This was a Phase I Environmental Site Assessment which included asbestos and lead paint inspections on some properties.



Grand Canyon National Park, Arizona, (2014) - Client: National Park Service.

Performed a Phase I Environmental Site Assessment according to ASTM 1527-13 guidelines. The evaluation also included asbestos and lead-based paint assessments of a portion of the main Visitors Area of the South Rim.

Fire Island National Seashore (2016) & Cape Cod National Seashore (2017) - Client: National Park Service.

Ryan performed these time sensitive NPS projects that required a Phase I Environmental Site Assessment within a tight budget and time frame. The residential properties were being transferred to the NPS, but only if completed by a certain date, which they met in-part because Pyramid provided the Phase I ESA report in a timely fashion.

APPENDIX B

Wetlands Map



September 27, 2021

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

APPENDIX C

FEMA Map

National Flood Hazard Layer FIRMMette



78°43'38"W 34°18'31"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **9/27/2021 at 5:15 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

APPENDIX D

Historical Aerial Photographs & Topographic Maps



HISTORICAL AERIALS

Project Property: Proposed Love Mill Apartments

181 W. Love Mill Road

Whiteville NC 28472

Project No: 2021-281

Requested By: Pyramid Environmental & Engineering, P.C.

Order No: 21100700200

Date Completed: October 11, 2021

Aerial Maps included in this report are produced by the sources listed above and are to be used for research purposes including a phase I report. Maps are not to be resold as commercial property. ERIS provides no warranty of accuracy or liability. The information contained in this report has been produced using aerial photos listed in above sources by ERIS Information Inc. (in the US) and ERIS Information Limited Partnership (in Canada), both doing business as 'ERIS'. The maps contained in this report do not purport to be and do not constitute a guarantee of the accuracy of the information contained herein. Although ERIS has endeavored to present information that is accurate, ERIS disclaims, any and all liability for any errors, omissions, or inaccuracies in such information and data, whether attributable to inadvertence, negligence or otherwise, and for any consequences arising therefrom. Liability on the part of ERIS is limited to the monetary value paid for this report.

Environmental Risk Information Services

A division of Glacier Media Inc.

1.866.517.5204 | info@erisinfo.com | erisinfo.com

Date	Source	Scale	Comments
2020	National Agriculture Information Program	1" = 500'	
2018	National Agriculture Information Program	1" = 500'	
2016	National Agriculture Information Program	1" = 500'	
2014	National Agriculture Information Program	1" = 500'	
2012	National Agriculture Information Program	1" = 500'	
2010	National Agriculture Information Program	1" = 500'	
2008	National Agriculture Information Program	1" = 500'	
2006	National Agriculture Information Program	1" = 500'	
2005	National Agriculture Information Program	1" = 500'	
1999	US Geological Survey	1" = 500'	
1993	US Geological Survey	1" = 500'	
1983	National High Altitude Photography	1" = 500'	
1974	US Geological Survey	1" = 500'	
1964	United States Air Force	1" = 500'	
1958	U.S. Navy	1" = 500'	
1951	US Geological Survey	1" = 500'	
1950	Army Mapping Service	1" = 500'	
1938	Agriculture and Soil Conservation Service	1" = 500'	

Environmental Risk Information Services

A division of Glacier Media Inc.

1.866.517.5204 | info@erisinfo.com | erisinfo.com

one inch 



Year: 2020
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 2018
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 2016
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 2014
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch 



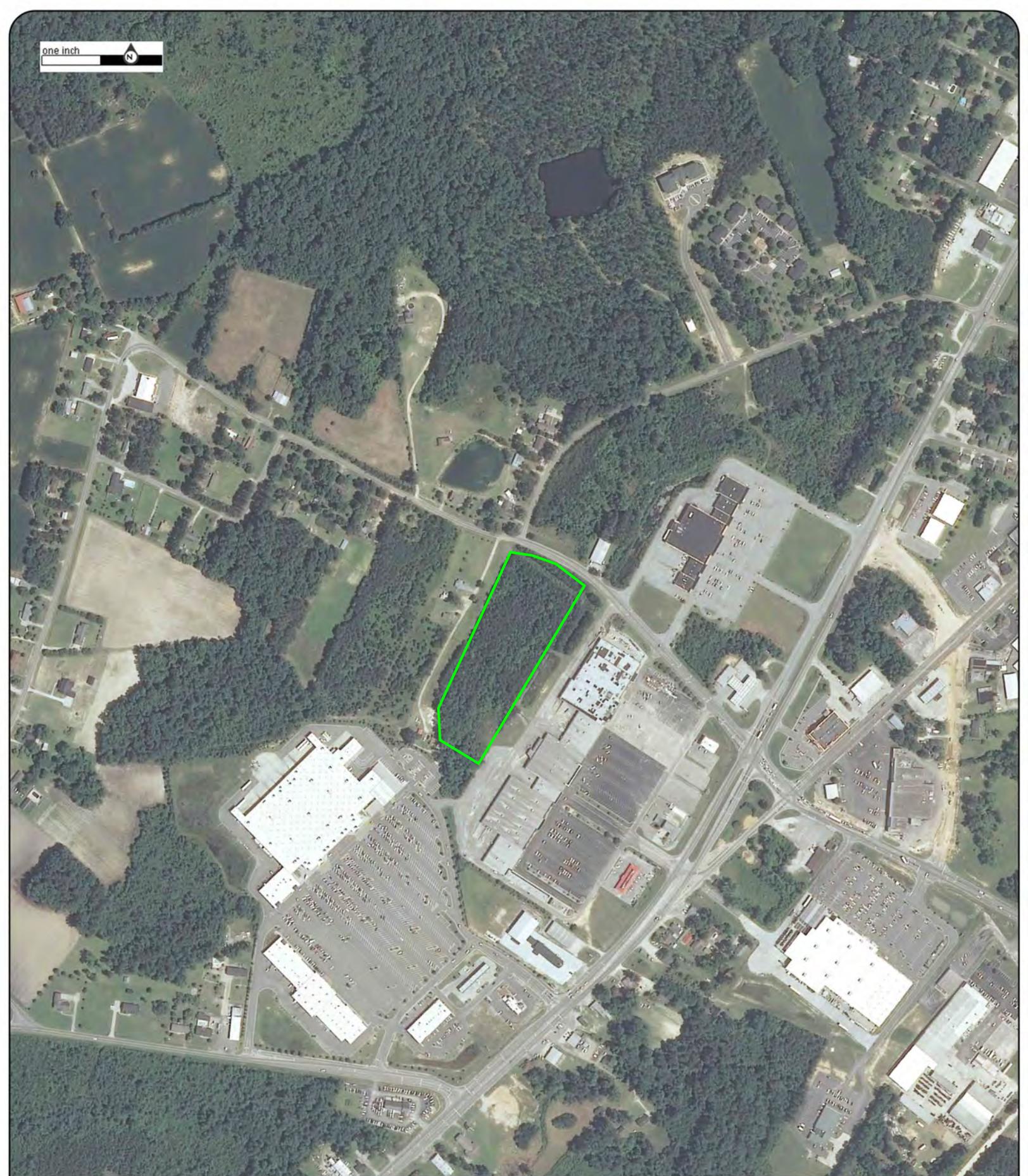
Year: 2012
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch 



Year: 2010
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 2008
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



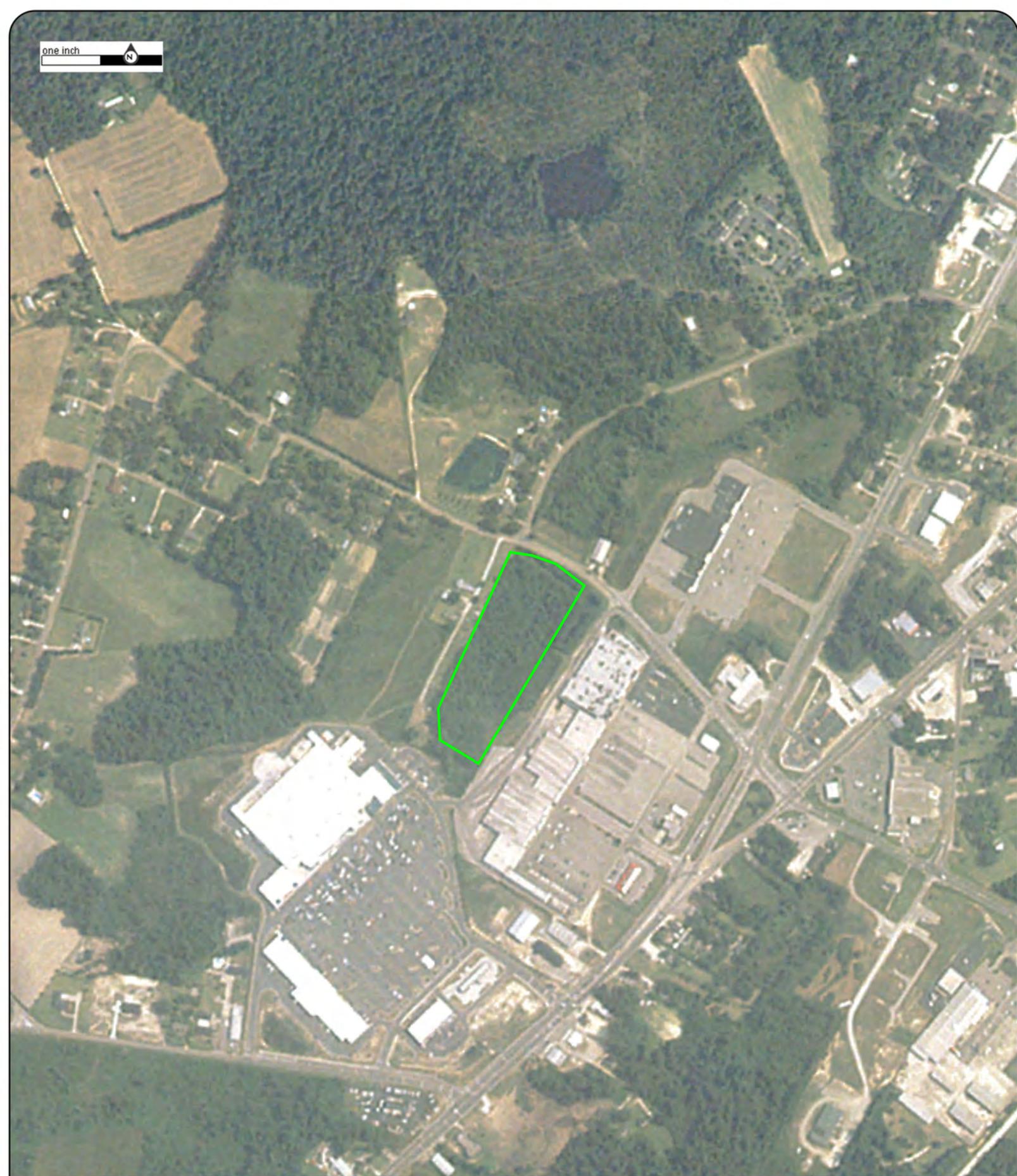
Year: 2006
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 2005
Source: NAIP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 1999
Source: USGS
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 1993
Source: USGS
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 1983
Source: NHAP
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 1974
Source: USGS
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 1964
Source: USAF
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



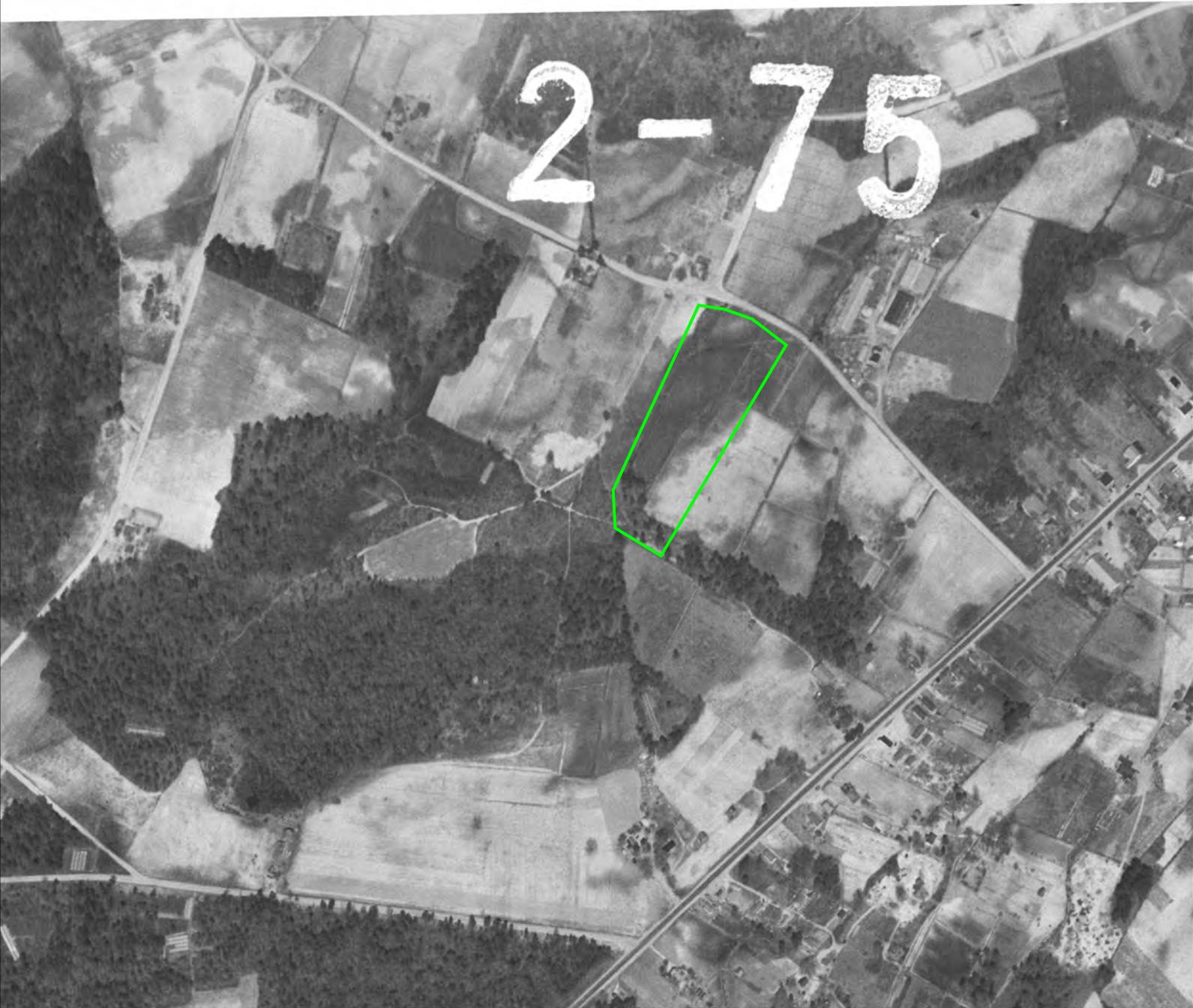
Year: 1958
Source: USNAVY
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



2-75



Year: 1951
Source: USGS
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200

one inch



Year: 1950
Source: AMS
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200



one inch



Year: 1938
Source: ASCS
Scale: 1" = 500'
Comment:

Address: 181 W. Love Mill Road, Whiteville, NC
Approx Center: -78.72206809,34.30499495

Order No: 21100700200





TOPOGRAPHIC MAPS

Project Property: Proposed Love Mill Apartments
181 W. Love Mill Road
Whiteville NC 28472

Project No: 2021-281

Requested By: Pyramid Environmental & Engineering, P.C.

Order No: 21100700200

Date Completed: October 07, 2021

We have searched USGS collections of current topographic maps and historical topographic maps for the project property. Below is a list of maps found for the project property and adjacent area. Maps are from 7.5 and 15 minute topographic map series, if available.

Year	Map Series
2016	7.5
1987	7.5
1955	15

Topographic Map Symbolology for the maps may be available in the following documents:

Pre-1947

[Page 223 of 1918 Topographic Instructions](#)

[Page 130 of 1928 Topographic Instructions](#)

1947-2009

[Topographic Map Symbols](#)

2009-present

[US Topo Map Symbols](#)

Topographic Maps included in this report are produced by the USGS and are to be used for research purposes including a phase I report. Maps are not to be resold as commercial property.

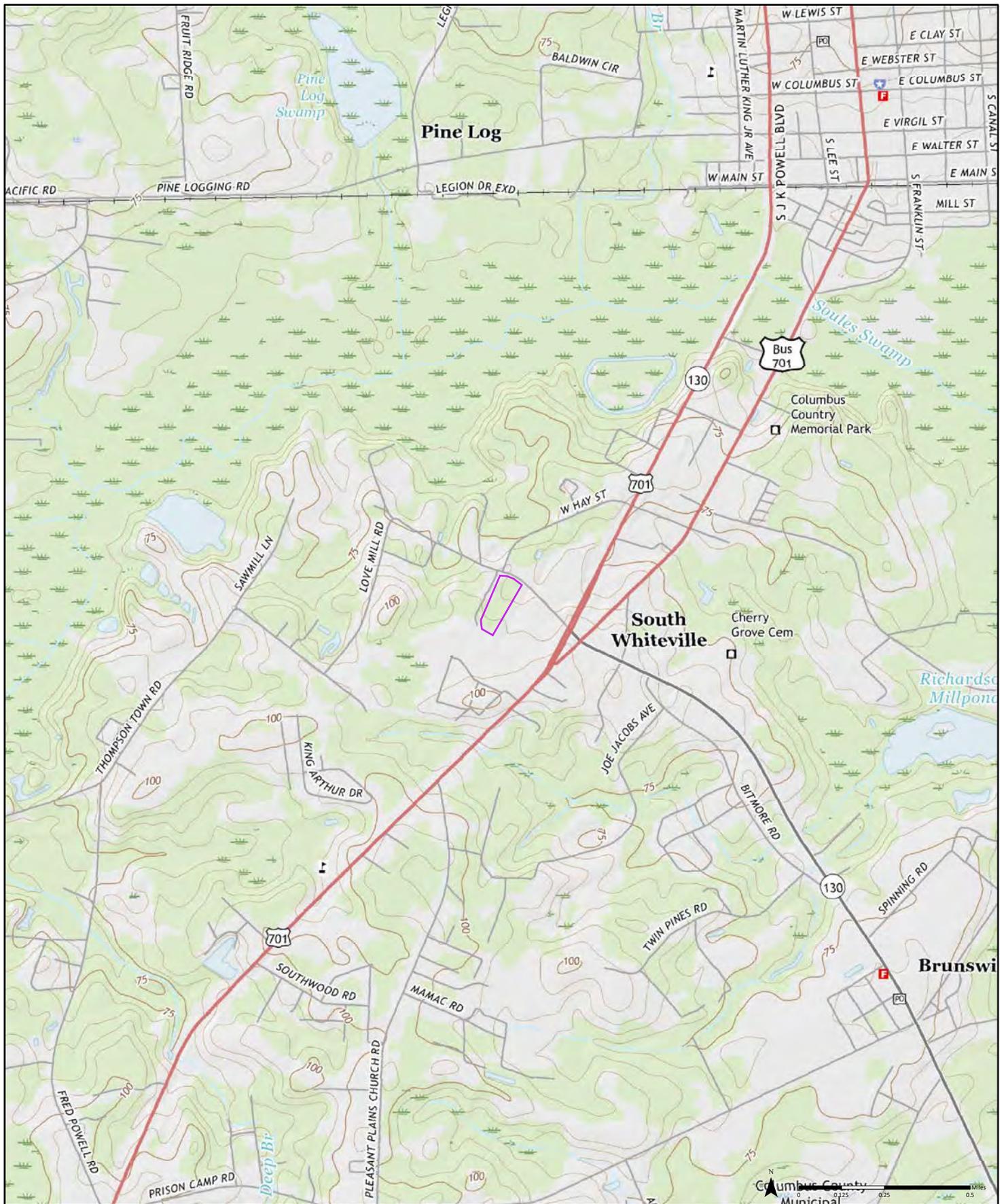
No warranty of Accuracy or Liability for ERIS: The information contained in this report has been produced by ERIS Information Inc.(in the US) and ERIS Information Limited Partnership (in Canada), both doing business as 'ERIS', using Topographic Maps produced by the USGS.

This maps contained herein does not purport to be and does not constitute a guarantee of the accuracy of the information contained herein. Although ERIS has endeavored to present you with information that is accurate, ERIS disclaims, any and all liability for any errors, omissions, or inaccuracies in such information and data, whether attributable to inadvertence, negligence or otherwise, and for any consequences arising therefrom. Liability on the part of ERIS is limited to the monetary value paid for this report.

Environmental Risk Information Services

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2016

Quadrangle(s): Whiteville, NC

Order No. 21100700200

Source: USGS 7.5 Minute Topographic Map





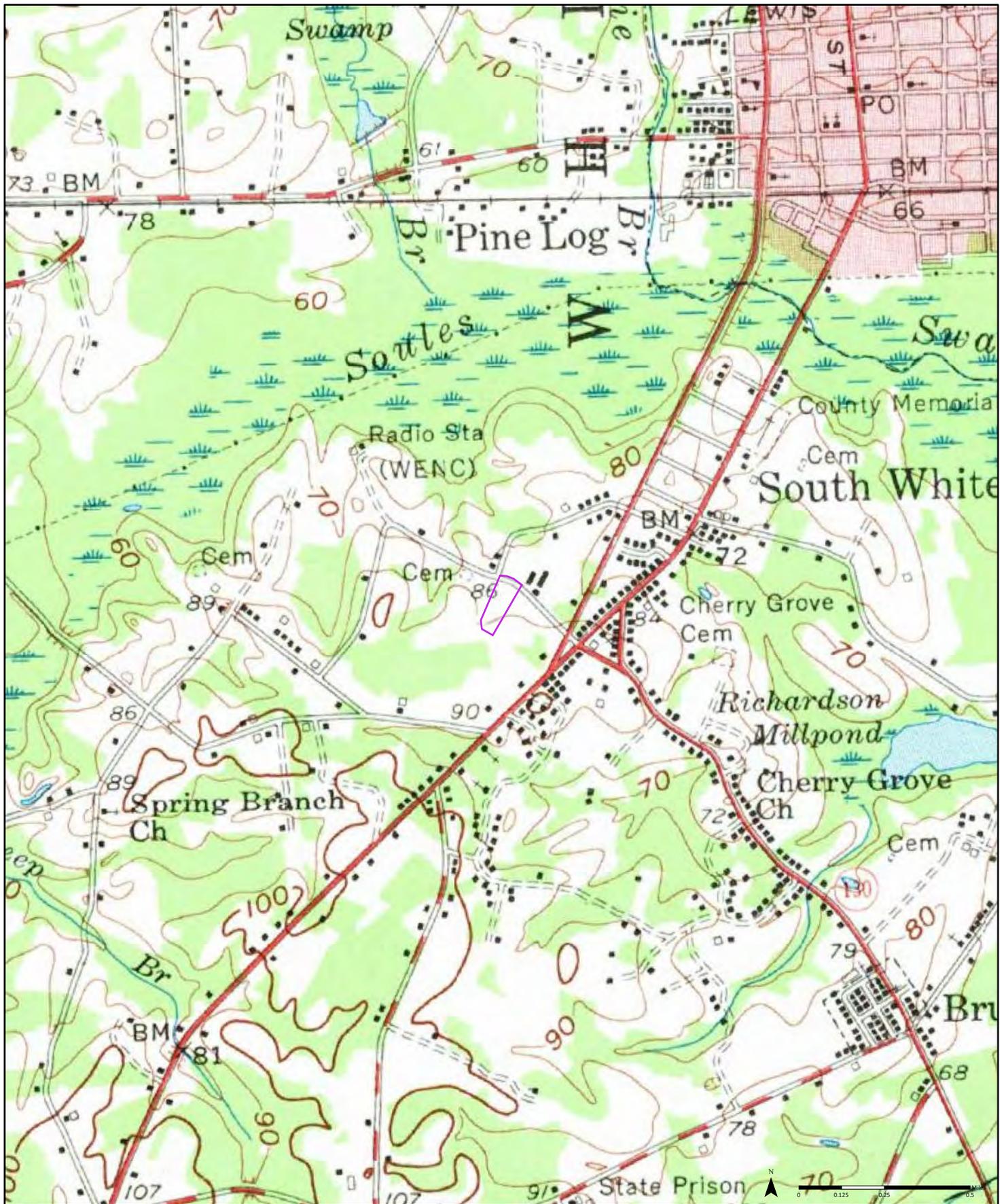
1987 ⁽¹⁾ Aerial Photo Year: 1981

Quadrangle(s): Whiteville, NC⁽¹⁾

Order No. 21100700200

Source: USGS 7.5 Minute Topographic Map





1955 ⁽¹⁾ Aerial Photo Year: 1951

Quadrangle(s): Whiteville, NC⁽¹⁾

Order No. 21100700200

Source: USGS 15 Minute Topographic Map



APPENDIX E

Deed Records



2014005946

COLUMBUS CO, NC FEE \$26.00

NO TAXABLE CONSIDERATION

PRESENTED & RECORDED:

12-30-2014 01:14:47 PM

KANDANCE H. BULLOCK
REGISTER OF DEEDS

BY: TAMIKA ROUSE
DEPUTY

BK: RB 1100

PG: 330-331

EXCISE TAX- \$0

Mail after recording to: _____

Tax Office:

Preparation of this instrument does not certify title unless accompanied by certifying letter.

This instrument prepared by Benton H. Walton, III, Attorney (dr)

____If checked, the property includes the primary residence of at least one of the parties depicted as Grantor. (N.C.G.S. § 105-317.2)

As a general rule, an instrument affecting real estate should be registered immediately. If not so registered, other persons may obtain priority. A deed of gift not registered within two years from the date of execution becomes void. If you do not intend to register this instrument immediately, you should discuss this matter with your attorney.

TAX INFORMATION RECEIVED
TAX SUPERVISOR
BY 12-30-14 CK

STATE OF NORTH CAROLINA

GENERAL WARRANTY DEED

COUNTY OF COLUMBUS

THIS DEED, made and entered into this the 15th day of December, 2014 by and between MARGARET W. HUFHAM, Widow, whose address is: 2103 Ridgecrest Lane, Mt. Airy, NC 27030, hereinafter collectively called "Grantor," and JUDITH H. BARNES, hereinafter called "Grantee," whose address is: 134 Plantation Place Lane, Mt. Airy, NC 27030.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH: That the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all of Grantor's interest in that certain lot or parcel of land situated in Whiteville Township, Columbus County, North Carolina and more particularly described as follows:

The Grantor Margaret Hufham owns a 1/5 undivided interest in the lands described below by virtue of being the daughter of F.G. Walker who died intestate while seized of the property described herein. It is the intention of this conveyance to convey to the Grantee, not only the 1/5 undivided interest of the Grantor as mentioned above but also any and all interest which she may have in any lands owned by F.G. Walker including but not limited to any interest in the 3 tracts of land known as Parcel Number 95235 containing 2.63 acres, more or less, Parcel Number 77993 containing 2.61 acres, more or less, and Parcel Number 5751 containing 3.72 acres, more or less, as found in the Columbus County Tax Office. All tracts being located in Whiteville Township, Columbus County, North Carolina.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated. Title to the property hereinabove described is subject to the following exceptions:

- Utility easements and roadway rights of way, if any.
- Restrictions of record, if any.
- Ad valorem taxes for 2014

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal, the day and year first above written.

Margaret W. Hufham (SEAL)
MARGARET W. HUFHAM, Widow

STATE OF NORTH CAROLINA
COUNTY OF DAVIDSON

I, a Notary Public of the County and State aforesaid, certify that MARGARET W. HUFHAM, Widow, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 22 day of December, 2014.



Notary seal or stamp MUST appear within this box ONLY

Amy B Sparks
NOTARY PUBLIC
My Commission Expires: 9-28-2019

NORTH CAROLINA COLUMBUS COUNTY
The foregoing or annexed certificate(s) of
Amy B Sparks
Notary (y) (ies) Public (has) (have) been verified to have a Signature, seal or stamp, and an expiration date. This instrument and this certificate are duly registered at the Date and time and in the book and page shown on the first page thereof

Yvonne H. Bullock
Register of Deeds
By Camilla A. Huel
Asst. Deputy Register of Deeds
RETO: Conna C. Parker / WWAS

APPENDIX F

User Questionnaire

PHASE I
USER QUESTIONNAIRE
Environmental Site Assessment (ESA)

Proposed Love Mill Apartments
181 W. Love Mill Road, Whiteville, NC

(1.) Are you aware of any environmental cleanup liens against the *property* that are filed or recorded under federal, tribal, state or local law?

No

(2.) Are you aware of any Authorized Use Lists, such as *engineering controls*, land use restrictions or *institutional controls* that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?

No

(3.) As the *user* of this ESA, do you have any specialized knowledge or experience related to the *property* or nearby properties? For example, are you involved in the same line of business as the current or former *occupants* of the *property* or an adjoining *property* so that you would have specialized knowledge of the chemicals and processes used by this type of business?

No

(4.) Does the purchase price being paid for this *property* reasonably reflect the fair market value of the *property*? If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the *property*?

Yes, purchase price reasonably reflects the fair market value of the property.

PHASE I
USER QUESTIONNAIRE
Environmental Site Assessment (ESA)

Proposed Love Mill Apartments
181 W. Love Mill Road, Whiteville, NC

(5.) Are you aware of commonly known or *reasonably ascertainable* information about the *property* that would help the *environmental professional* to identify conditions indicative of releases or threatened releases? For example, as *user*,

(a.) Do you know the past uses of the *property*?

The land use was primarily agricultural in the past, however the site has been vacant and wooded now for a significant period of time.

(b.) Do you know of specific chemicals that are present or once were present at the *property*?

No

(c.) Do you know of spills or other chemical releases that have taken place at the *property*?

No

(d.) Do you know of any environmental cleanups that have taken place at the *property*?

No

(6.) As the *User* of this *ESA*, based on your knowledge and experience related to the *property*, are there any *obvious* indicators that point to the presence or likely presence of contamination at the *property*?

No

Printed Name: Anderea Gonzalez

Signature: 

Date: 10/4/21

APPENDIX G

ERIS Radius Map Report



DATABASE REPORT

Project Property: *Proposed Love Mill Apartments
181 W. Love Mill Road
Whiteville NC 28472*

Project No: *2021-281*

Report Type: *Database Report*

Order No: *21100700200*

Requested by: *Pyramid Environmental & Engineering, P.C.*

Date Completed: *October 11, 2021*

Environmental Risk Information Services

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Notice: IMPORTANT LIMITATIONS and YOUR LIABILITY

Reliance on information in Report: This report DOES NOT replace a full Phase I Environmental Site Assessment but is solely intended to be used as database review of environmental records.

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Executive Summary

Property Information:

Project Property: *Proposed Love Mill Apartments
181 W. Love Mill Road Whiteville NC 28472*

Project No: *2021-281*

Coordinates:

Latitude: *34.30499495*
Longitude: *-78.72206809*
UTM Northing: *3,798,323.38*
UTM Easting: *709,627.57*
UTM Zone: *UTM Zone 17S*

Elevation: *85 FT*

Order Information:

Order No: *21100700200*
Date Requested: *October 7, 2021*
Requested by: *Pyramid Environmental & Engineering, P.C.*
Report Type: *Database Report*

Historicals/Products:

Aerial Photographs *Historical Aerials (with Project Boundaries)*
ERIS Xplorer [*ERIS Xplorer*](#)
Excel Add-On *Excel Add-On*
Fire Insurance Maps *US Fire Insurance Maps*
Physical Setting Report (PSR) *Physical Setting Report (PSR)*
Topographic Map *Topographic Maps*

Executive Summary: Report Summary

<i>Database</i>	<i>Searched</i>	<i>Search Radius</i>	<i>Project Property</i>	<i>Within 0.12mi</i>	<i>0.125mi to 0.25mi</i>	<i>0.25mi to 0.50mi</i>	<i>0.50mi to 1.00mi</i>	<i>Total</i>
<u>Standard Environmental Records</u>								
Federal								
DOE FUSRAP	Y	1	0	0	0	0	0	0
NPL	Y	1	0	0	0	0	0	0
PROPOSED NPL	Y	1	0	0	0	0	0	0
DELETED NPL	Y	0.5	0	0	0	0	-	0
SEMS	Y	0.5	0	0	0	0	-	0
SEMS ARCHIVE	Y	0.5	0	0	0	0	-	0
ODI	Y	0.5	0	0	0	0	-	0
CERCLIS	Y	0.5	0	0	0	0	-	0
IODI	Y	0.5	0	0	0	0	-	0
CERCLIS NFRAP	Y	0.5	0	0	0	0	-	0
CERCLIS LIENS	Y	PO	0	-	-	-	-	0
RCRA CORRACTS	Y	1	0	0	0	0	0	0
RCRA TSD	Y	0.5	0	0	0	0	-	0
RCRA LQG	Y	0.25	0	0	0	-	-	0
RCRA SQG	Y	0.25	0	0	0	-	-	0
RCRA VSQG	Y	0.25	0	1	1	-	-	2
RCRA NON GEN	Y	0.25	0	0	1	-	-	1
FED ENG	Y	0.5	0	0	0	0	-	0
FED INST	Y	0.5	0	0	0	0	-	0
LUCIS	Y	0.5	0	0	0	0	-	0
ERNS 1982 TO 1986	Y	PO	0	-	-	-	-	0
ERNS 1987 TO 1989	Y	PO	0	-	-	-	-	0
ERNS	Y	PO	0	-	-	-	-	0
FED BROWNFIELDS	Y	0.5	0	0	0	0	-	0
FEMA UST	Y	0.25	0	0	0	-	-	0
FRP	Y	0.25	0	0	0	-	-	0
HIST GAS STATIONS	Y	0.25	0	0	0	-	-	0

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
REFN	Y	0.25	0	0	0	-	-	0
BULK TERMINAL	Y	0.25	0	0	0	-	-	0
SEMS LIEN	Y	PO	0	-	-	-	-	0
SUPERFUND ROD	Y	1	0	0	0	0	0	0
State								
SHWS	Y	1	0	0	0	1	0	1
LUST TRUST	Y	0.5	0	0	0	2	-	2
DELISTED SHWS	Y	1	0	0	0	0	0	0
SWF/LF	Y	0.5	0	0	0	1	-	1
OLD LF	Y	0.5	0	0	0	0	-	0
COAL ASH LF	Y	0.5	0	0	0	0	-	0
LUST	Y	0.5	0	0	3	5	-	8
HSDS	Y	1	0	0	0	0	0	0
LAST	Y	0.5	0	0	0	2	-	2
DELISTED LST	Y	0.5	0	0	0	0	-	0
UST	Y	0.25	0	1	2	-	-	3
AST	Y	0.25	0	0	0	-	-	0
TANK	Y	0.25	0	0	0	-	-	0
DTNK	Y	0.25	0	0	0	-	-	0
SOIL REM PERMITS	Y	0.25	0	0	0	-	-	0
INST	Y	0.5	0	0	0	0	-	0
LUR	Y	0.5	0	0	1	2	-	3
FUEL STATIONS	Y	0.25	0	0	1	-	-	1
DELISTED FSS	Y	0.25	0	0	1	-	-	1
VCP	Y	0.5	0	0	0	0	-	0
BROWNFIELDS	Y	0.5	0	0	0	0	-	0
Tribal								
INDIAN LUST	Y	0.5	0	0	0	0	-	0
INDIAN UST	Y	0.25	0	0	0	-	-	0
DELISTED ILST	Y	0.5	0	0	0	0	-	0
DELISTED IUST	Y	0.25	0	0	0	-	-	0

County

No County standard environmental record sources available for this State.

Additional Environmental Records

<i>Database</i>	<i>Searched</i>	<i>Search Radius</i>	<i>Project Property</i>	<i>Within 0.12mi</i>	<i>0.125mi to 0.25mi</i>	<i>0.25mi to 0.50mi</i>	<i>0.50mi to 1.00mi</i>	<i>Total</i>
Federal								
PFAS NPL	Y	0.5	0	0	0	0	-	0
FINDS/FRS	Y	PO	0	-	-	-	-	0
TRIS	Y	PO	0	-	-	-	-	0
PFAS TRI	Y	0.5	0	0	0	0	-	0
PFAS WATER	Y	0.5	0	0	0	0	-	0
HMIRS	Y	0.125	0	0	-	-	-	0
NCDL	Y	0.125	0	0	-	-	-	0
TSCA	Y	0.125	0	0	-	-	-	0
HIST TSCA	Y	0.125	0	0	-	-	-	0
FTTS ADMIN	Y	PO	0	-	-	-	-	0
FTTS INSP	Y	PO	0	-	-	-	-	0
PRP	Y	PO	0	-	-	-	-	0
SCRD DRYCLEANER	Y	0.5	0	0	0	0	-	0
ICIS	Y	PO	0	-	-	-	-	0
FED DRYCLEANERS	Y	0.25	0	0	0	-	-	0
DELISTED FED DRY	Y	0.25	0	0	0	-	-	0
FUDS	Y	1	0	0	0	0	0	0
FORMER NIKE	Y	1	0	0	0	0	0	0
PIPELINE INCIDENT	Y	PO	0	-	-	-	-	0
MLTS	Y	PO	0	-	-	-	-	0
HIST MLTS	Y	PO	0	-	-	-	-	0
MINES	Y	0.25	0	0	0	-	-	0
SMCRA	Y	1	0	0	0	0	0	0
MRDS	Y	1	0	0	0	0	0	0
URANIUM	Y	1	0	0	0	0	0	0
ALT FUELS	Y	0.25	0	0	0	-	-	0
SSTS	Y	0.25	0	0	0	-	-	0
PCB	Y	0.5	0	0	0	0	-	0
State								
DRYC CLEANUP	Y	0.5	0	0	0	0	-	0
DRYCLEANERS	Y	0.25	0	0	0	-	-	0
DELISTED DRYCLEANERS	Y	0.25	0	0	0	-	-	0
SPILLS	Y	0.125	0	1	-	-	-	1
MGP	Y	1	0	0	0	0	0	0

Database	Searched	Search Radius	Project Property	Within 0.12mi	0.125mi to 0.25mi	0.25mi to 0.50mi	0.50mi to 1.00mi	Total
PFAS	Y	0.5	0	0	0	0	-	0
SWRCY	Y	0.5	0	0	0	0	-	0
HAZ	Y	0.25	0	0	0	-	-	0
SDTF	Y	0.125	0	0	-	-	-	0
TIER 2	Y	0.125	0	0	-	-	-	0
UIC	Y	PO	0	-	-	-	-	0
FEEDLOTS	Y	0.5	0	0	0	0	-	0
AIR PERMIT	Y	0.25	0	0	0	-	-	0

Tribal *No Tribal additional environmental record sources available for this State.*

County *No County additional environmental record sources available for this State.*

Total: 0 3 10 13 0 26

* PO – Property Only

* 'Property and adjoining properties' database search radii are set at 0.25 miles.

Executive Summary: Site Report Summary - Project Property

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Direction</i>	<i>Distance (mi/ft)</i>	<i>Elev Diff (ft)</i>	<i>Page Number</i>
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No records found in the selected databases for the project property.

Executive Summary: Site Report Summary - Surrounding Properties

Map Key	DB	Company/Site Name	Address	Direction	Distance (mi/ft)	Elev Diff (ft)	Page Number
1	SPILLS		378 West Hay St NC	NNE	0.11 / 584.10	-10	22
2	RCRA VSQG	WALMART SUPERCENTER #1268	200 COLUMBUS CORNERS DR WHITEVILLE NC 28472 EPA Handler ID: NCR000142034	SW	0.11 / 593.52	6	22
3	UST	JASPER TEXTILES INC	1 CLASSIC DRIVE WHITEVILLE NC 28472 Facility ID: 00-0-0000027275 Tank ID Tank Status: 1 Current	WSW	0.12 / 610.89	8	52
4	DELISTED FSS	Nat Express	1730 J.K. Powell Blvd. Whiteville NC 28472	E	0.13 / 704.38	-5	52
5	UST	SAM'S MART	1730 S. J.K. POWELL BLVD. WHITEVILLE NC 28472 Facility ID: 00-0-0000035200 Tank ID Tank Status: 2 Current, 3 Current, 1 Current	E	0.14 / 761.69	-6	53
6	LUR	QUICKIE 11	HWY 701 & 130 WHITEVILLE NC	E	0.15 / 768.19	-4	54
7	LUST	Quick Stop Food Mart 111 (Sam's Mart)	1730 S. JK Powell Blvd Whiteville NC 28472 Incident No: 43191 Incid Phase Desc: Close Out	E	0.15 / 788.37	1	54
8	UST	MURPHY USA 7733	102 COLUMBUS CORNERS DRIVE WHITEVILLE NC 28472 Facility ID: 00-0-0000036553 Tank ID Tank Status: A2A Current, A2B Current, B2B Intent to Install, B2C Intent to Install, A1 Current, B1 Intent to Install, B2A Intent to Install	S	0.17 / 875.78	13	56
9	FUEL STATIONS	Murphy USA #6912	102 Columbus Corners Dr. Whiteville NC 28472	S	0.18 / 957.48	14	59
10	RCRA VSQG	SALLY BEAUTY SUPPLY #2215	314 COLUMBUS CORNERS DR. WHITEVILLE NC 28472 EPA Handler ID: NCR000176388	SW	0.20 / 1,082.18	10	59
11	LUST	MURPHY OIL USA, INC	102 COLUMBUS CORNERS DRIVE WHITEVILLE NC	SSW	0.21 / 1,101.91	17	61
12	LUST	QUICKIE 11	HWY 701 & 130 WHITEVILLE NC 28472 Incident No: 3565 Incid Phase Desc: Close Out	ESE	0.22 / 1,151.36	8	62

Map Key	DB	Company/Site Name	Address	Direction	Distance (mi/ft)	Elev Diff (ft)	Page Number
13	RCRA NON GEN	DBA RITE AID #11529	1728 S MADISON ST WHITEVILLE NC 28472 <i>EPA Handler ID: NCR000156927</i>	ESE	0.24 / 1,277.07	9	66
14	SWF/LF	Columbus Environmental Waste Collection/701 Site	Slippery Log Road and Hwy 701 (Madison Rd) Whiteville NC	S	0.27 / 1,447.03	6	71
15	LUR	CORNER STORE	1707 S. MADISON STREET WHITEVILLE NC	E	0.28 / 1,496.19	-3	72
16	LUST	CORNER STORE	1707 S. MADISON STREET WHITEVILLE NC 28472 <i>Incident No: 14926</i> <i>Incid Phase Desc: Close Out</i>	E	0.30 / 1,568.10	-2	72
17	LUST	WARDS AUTO (W.D. BROOKS INC.)	HWY 130 & HWY 701 WHITEVILLE NC 28472 <i>Incident No: 32448</i> <i>Incid Phase Desc: Close Out</i>	E	0.34 / 1,799.45	-2	75
18	LUST	JIMMY DEAN FOODS- GREEN HILL PROCESSING	HWY 130 WHITEVILLE NC 28472	ESE	0.36 / 1,916.51	11	78
19	LAST	JIMMY DEAN FOODS	HIGHWAY 130 EAST WHITEVILLE NC 28472 <i>Incident No Current Status Date Occurred (IMD) Date Occurred (Map) Current Status (Map): 86169 Archived 12/30/1993 1993/12/31 00:00:00+00 Archived</i> <i>Inci Phase Desc: Close Out</i>	ESE	0.37 / 1,940.80	12	79
20	LUST TRUST	Taylor Residence	1603 South Madison Street Whiteville NC <i>Incident No Facility ID: 22858 </i>	ENE	0.43 / 2,291.53	-15	82
21	LUST TRUST	Antioch First Born Church	187 Diamond Branch Road Whiteville NC <i>Incident No Facility ID: 22794 </i>	S	0.45 / 2,373.56	0	82
22	LAST	Campbell Oil Company Release	1476 J. K. Powell Blvd. Whiteville NC 28472 <i>Incident No Current Status Date Occurred (IMD) Date Occurred (Map) Current Status (Map): 87283 Archived 3/9/2005 2005/03/10 00:00:00+00 Archived</i> <i>Inci Phase Desc: Close Out</i>	ENE	0.45 / 2,389.10	-2	82
22	LUST	CAMPBELL OIL BULK FACILITY - HEATING OIL TANK	1476 J.K. POWELL BOULVARD WHITEVILLE NC 28431 <i>Incident No: 32298</i> <i>Incid Phase Desc: Close Out</i>	ENE	0.45 / 2,389.10	-2	88
22	LUR	CAMPBELL OIL BULK FACILITY - HEATING OIL TANK	1476 J.K. POWELL BOULVARD WHITEVILLE NC	ENE	0.45 / 2,389.10	-2	91

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Direction</i>	<i>Distance (mi/ft)</i>	<i>Elev Diff (ft)</i>	<i>Page Number</i>
23	SHWS	PACKER PROPERTY	US 701 & JEWEL ST WHITEVILLE NC <i>EPA ID:</i> NONCD0001178	NE	0.48 / 2,555.45	-12	91
24	LUST	minuteman food mart #46	2001 south madison st whiteville NC 28472 <i>Incident No:</i> 43212 <i>Incid Phase Desc:</i> Follow Up	SSW	0.50 / 2,630.25	10	92

Executive Summary: Summary by Data Source

Standard

Federal

RCRA VSQG - RCRA Very Small Quantity Generators List

A search of the RCRA VSQG database, dated Jun 14, 2021 has found that there are 2 RCRA VSQG site(s) within approximately 0.25 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
WALMART SUPERCENTER #1268	200 COLUMBUS CORNERS DR WHITEVILLE NC 28472 <i>EPA Handler ID: NCR000142034</i>	SW	0.11 / 593.52	2
SALLY BEAUTY SUPPLY #2215	314 COLUMBUS CORNERS DR. WHITEVILLE NC 28472 <i>EPA Handler ID: NCR000176388</i>	SW	0.20 / 1,082.18	10

RCRA NON GEN - RCRA Non-Generators

A search of the RCRA NON GEN database, dated Jun 14, 2021 has found that there are 1 RCRA NON GEN site(s) within approximately 0.25 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
DBA RITE AID #11529	1728 S MADISON ST WHITEVILLE NC 28472 <i>EPA Handler ID: NCR000156927</i>	ESE	0.24 / 1,277.07	13

State

SHWS - Inactive Hazardous Sites and Federal Remediation Branch Sites

A search of the SHWS database, dated Aug 31, 2021 has found that there are 1 SHWS site(s) within approximately 1.00 miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
PACKER PROPERTY	US 701 & JEWEL ST WHITEVILLE NC <i>EPA ID: NONCD0001178</i>	NE	0.48 / 2,555.45	23

LUST TRUST - State Trust Funds Database

A search of the LUST TRUST database, dated Jul 2, 2021 has found that there are 2 LUST TRUST site(s) within approximately 0.50 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Antioch First Born Church	187 Diamond Branch Road Whiteville NC	S	0.45 / 2,373.56	21

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
	<i>Incident No Facility ID: 22794 </i>			

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Taylor Residence	1603 South Madison Street Whiteville NC	ENE	0.43 / 2,291.53	20
	<i>Incident No Facility ID: 22858 </i>			

SWF/LF - Solid Waste Facilities and Landfills

A search of the SWF/LF database, dated May 6, 2021 has found that there are 1 SWF/LF site(s) within approximately 0.50 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Columbus Environmental Waste Collection/701 Site	Slippery Log Road and Hwy 701 (Madison Rd) Whiteville NC	S	0.27 / 1,447.03	14

LUST - Incident Management Database (Regional Underground Storage Tanks)

A search of the LUST database, dated Jul 30, 2021 has found that there are 8 LUST site(s) within approximately 0.50 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Quick Stop Food Mart 111 (Sam's Mart)	1730 S. JK Powell Blvd Whiteville NC 28472	E	0.15 / 788.37	7
	<i>Incident No: 43191 Incid Phase Desc: Close Out</i>			
MURPHY OIL USA, INC	102 COLUMBUS CORNERS DRIVE WHITEVILLE NC	SSW	0.21 / 1,101.91	11
QUICKIE 11	HWY 701 & 130 WHITEVILLE NC 28472	ESE	0.22 / 1,151.36	12
	<i>Incident No: 3565 Incid Phase Desc: Close Out</i>			
JIMMY DEAN FOODS-GREEN HILL PROCESSING	HWY 130 WHITEVILLE NC 28472	ESE	0.36 / 1,916.51	18
minuteman food mart #46	2001 south madison st whiteville NC 28472	SSW	0.50 / 2,630.25	24
	<i>Incident No: 43212 Incid Phase Desc: Follow Up</i>			
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
CORNER STORE	1707 S. MADISON STREET WHITEVILLE NC 28472	E	0.30 / 1,568.10	16
	<i>Incident No: 14926 Incid Phase Desc: Close Out</i>			

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
WARDS AUTO (W.D. BROOKS INC.)	HWY 130 & HWY 701 WHITEVILLE NC 28472	E	0.34 / 1,799.45	17
	<i>Incident No: 32448 Incid Phase Desc: Close Out</i>			
CAMPBELL OIL BULK FACILITY - HEATING OIL TANK	1476 J.K. POWELL BOULVARD WHITEVILLE NC 28431	ENE	0.45 / 2,389.10	22
	<i>Incident No: 32298 Incid Phase Desc: Close Out</i>			

LAST - Aboveground Incident Management Database (Regional Aboveground Storage Tanks)

A search of the LAST database, dated Aug 6, 2021 has found that there are 2 LAST site(s) within approximately 0.50 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
JIMMY DEAN FOODS	HIGHWAY 130 EAST WHITEVILLE NC 28472	ESE	0.37 / 1,940.80	19
	<i>Incident No Current Status Date Occurred (IMD) Date Occurred (Map) Current Status (Map): 86169 Archived 12/30/1993 1993/12/31 00:00:00+00 Archived Inci Phase Desc: Close Out</i>			

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Campbell Oil Company Release	1476 J. K. Powell Blvd. Whiteville NC 28472	ENE	0.45 / 2,389.10	22
	<i>Incident No Current Status Date Occurred (IMD) Date Occurred (Map) Current Status (Map): 87283 Archived 3/9/2005 2005/03/10 00:00:00+00 Archived Inci Phase Desc: Close Out</i>			

UST - Registered Tanks Database

A search of the UST database, dated Jul 30, 2021 has found that there are 3 UST site(s) within approximately 0.25 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
JASPER TEXTILES INC	1 CLASSIC DRIVE WHITEVILLE NC 28472	WSW	0.12 / 610.89	3
	<i>Facility ID: 00-0-0000027275 Tank ID Tank Status: 1 Current</i>			
MURPHY USA 7733	102 COLUMBUS CORNERS DRIVE WHITEVILLE NC 28472	S	0.17 / 875.78	8
	<i>Facility ID: 00-0-0000036553 Tank ID Tank Status: A2A Current, A2B Current, B2B Intent to Install, B2C Intent to Install, A1 Current, B1 Intent to Install, B2A Intent to Install</i>			
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
SAM'S MART	1730 S. J.K. POWELL BLVD. WHITEVILLE NC 28472	E	0.14 / 761.69	5
	<i>Facility ID: 00-0-0000035200 Tank ID Tank Status: 2 Current, 3 Current, 1 Current</i>			

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
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LUR - Land Use Restriction and/or Notices

A search of the LUR database, dated Mar 26, 2020 has found that there are 3 LUR site(s) within approximately 0.50 miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
QUICKIE 11	HWY 701 & 130 WHITEVILLE NC	E	0.15 / 768.19	6
CORNER STORE	1707 S. MADISON STREET WHITEVILLE NC	E	0.28 / 1,496.19	15
CAMPBELL OIL BULK FACILITY - HEATING OIL TANK	1476 J.K. POWELL BOULEVARD WHITEVILLE NC	ENE	0.45 / 2,389.10	22

FUEL STATIONS - Fuel Service Stations

A search of the FUEL STATIONS database, dated Jun 3, 2021 has found that there are 1 FUEL STATIONS site(s) within approximately 0.25 miles of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Murphy USA #6912	102 Columbus Corners Dr. Whiteville NC 28472	S	0.18 / 957.48	9

DELISTED FSS - Delisted Fuel Service Stations

A search of the DELISTED FSS database, dated Jun 3, 2021 has found that there are 1 DELISTED FSS site(s) within approximately 0.25 miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
Nat Express	1730 J.K. Powell Blvd. Whiteville NC 28472	E	0.13 / 704.38	4

Non Standard

State

SPILLS - Incident Management Database (Spills)

A search of the SPILLS database, dated Feb 8, 2021 has found that there are 1 SPILLS site(s) within approximately 0.12 miles of the project property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (mi/ft)</u>	<u>Map Key</u>
	378 West Hay St NC	NNE	0.11 / 584.10	1

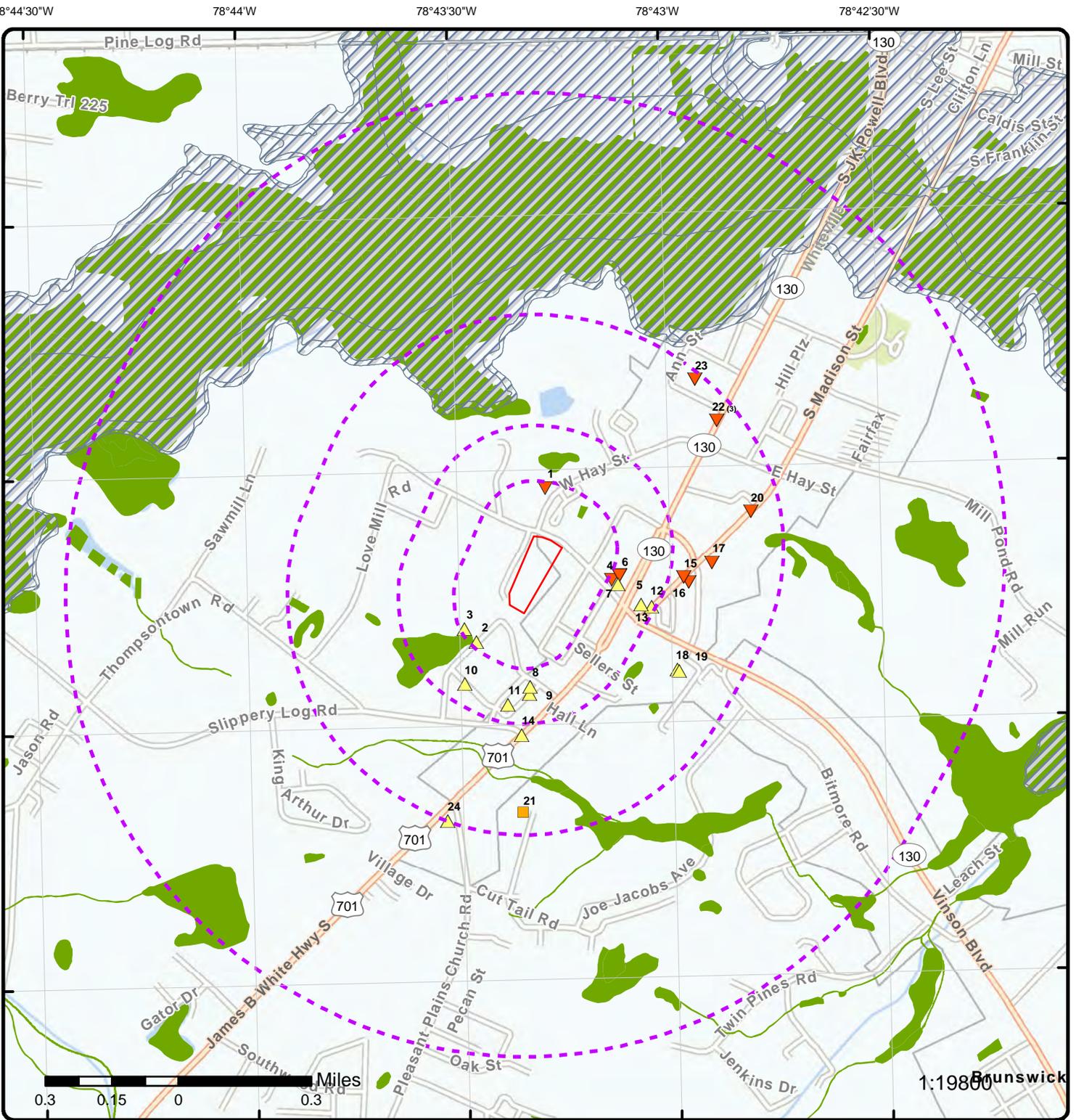
Lower Elevation

Address

Direction

Distance (mi/ft)

Map Key

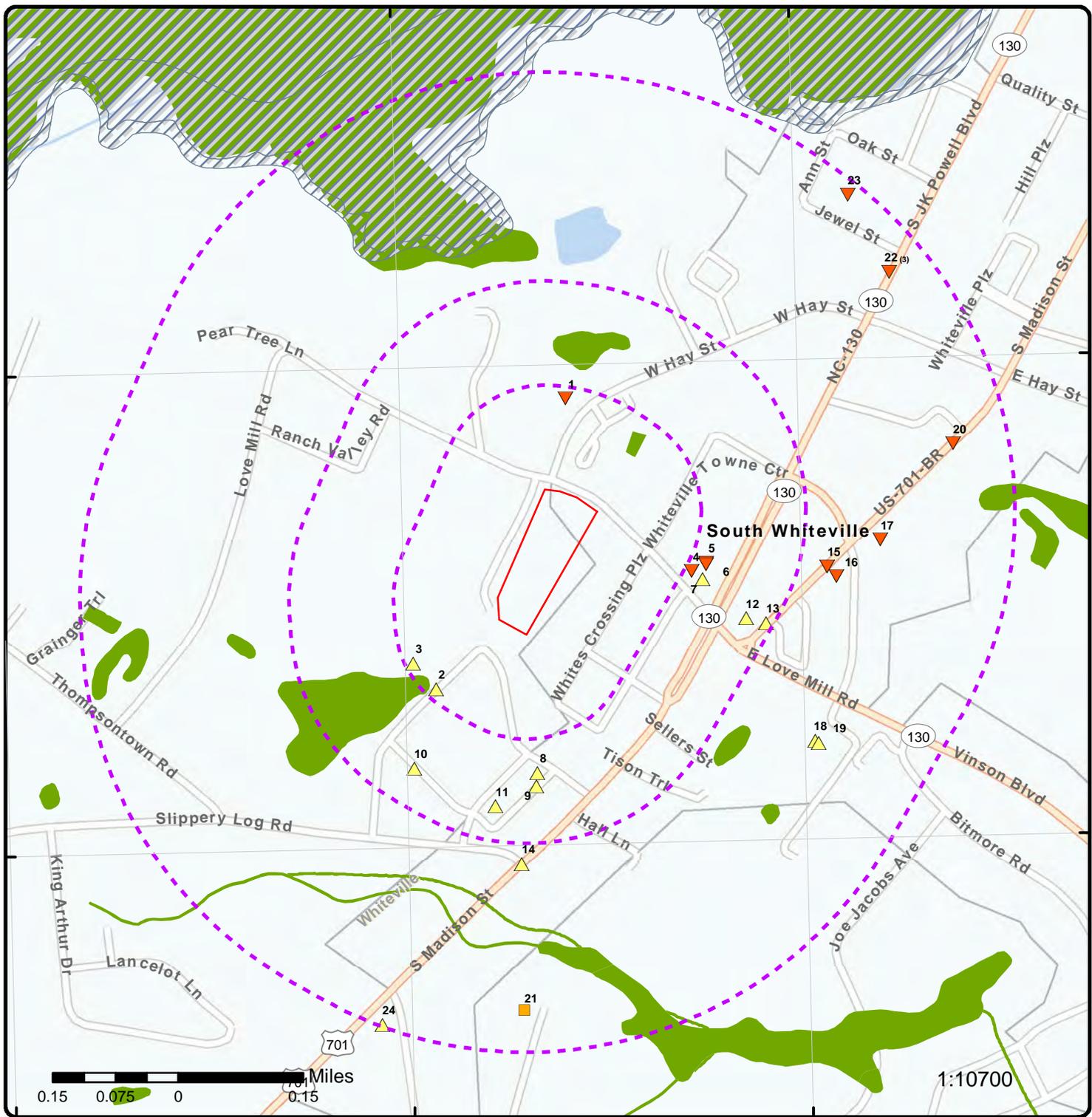


Map: 1.0 Mile Radius

Order Number: 21100700200
 Address: 181 W. Love Mill Road, Whiteville, NC



Project Property	Buffer Outline	Freeways; Highways	FWS Special Designation Areas
Eris Sites with Higher Elevation	Freeways; Highways	State	State Brownfield Sites
Eris Sites with Same Elevation	Traffic Circle; Ramp	Country	State Brownfield Areas
Eris Sites with Lower Elevation	Major & Minor Arterial	National Priority List Sites	State Superfund Areas: Dept. of Defense
Eris Sites with Unknown Elevation	Traffic Circle; Ramp	National Wetland	State Superfund Areas: NPL
Eris Areas with Higher Elevation	Traffic Circle; Ramp	Indian Reserve Land	WQARF Areas
Eris Areas with Same Elevation	Traffic Circle; Ramp	Historic Fill	Federal Lands: Dept. of Defense (owned/administered areas)
Eris Areas with Lower Elevation	Traffic Circle; Ramp	100 Year Flood Zone	Plume
Eris Areas with Unknown Elevation	Traffic Circle; Ramp	500 Year Flood Zone	
	Local Road		
	Rail		

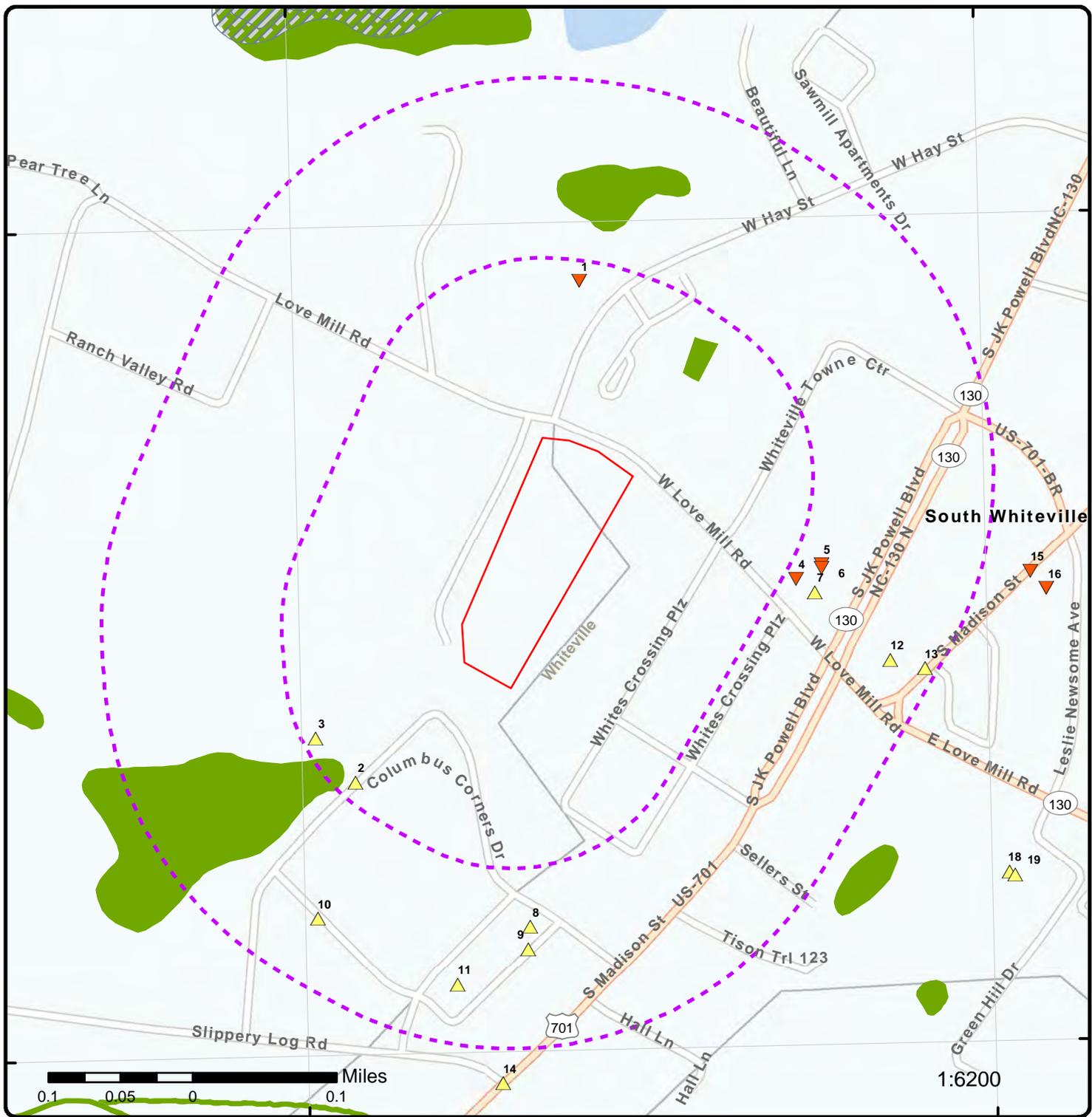


Map: 0.5 Mile Radius

Order Number: 21100700200
Address: 181 W. Love Mill Road, Whiteville, NC



Project Property	Buffer Outline	Freeways; Highways	FWS Special Designation Areas
Eris Sites with Higher Elevation	Freeways; Highways	State	State Brownfield Sites
Eris Sites with Same Elevation	Traffic Circle; Ramp	Country	State Brownfield Areas
Eris Sites with Lower Elevation	Major & Minor Arterial	National Priority List Sites	State Superfund Areas:Dept. of Defense
Eris Sites with Unknown Elevation	Traffic Circle; Ramp	National Wetland	State Superfund Areas:NPL
Eris Areas with Higher Elevation	Local Road	Indian Reserve Land	WQARF Areas
Eris Areas with Same Elevation	Rail	Historic Fill	Federal Lands: Dept. of Defense (owned/administered areas)
Eris Areas with Lower Elevation		100 Year Flood Zone	Plume
Eris Areas with Unknown Elevation		500 Year Flood Zone	



Map: 0.25 Mile Radius

Order Number: 21100700200
 Address: 181 W. Love Mill Road, Whiteville, NC



Project Property	Buffer Outline	Freeways; Highways	FWS Special Designation Areas
Eris Sites with Higher Elevation	Traffic Circle; Ramp	State	State Brownfield Sites
Eris Sites with Same Elevation	Major & Minor Arterial	Country	State Brownfield Areas
Eris Sites with Lower Elevation	Traffic Circle; Ramp	National Priority List Sites	State Superfund Areas:Dept. of Defense
Eris Sites with Unknown Elevation	Local Road	National Wetland	State Superfund Areas:NPL
Eris Areas with Higher Elevation	Rail	Indian Reserve Land	WQARF Areas
Eris Areas with Same Elevation		Historic Fill	Federal Lands: Dept. of Defense (owned/administered areas)
Eris Areas with Lower Elevation		100 Year Flood Zone	Plume
Eris Areas with Unknown Elevation		500 Year Flood Zone	

78°43'30"W

78°43'W

34°18'30"N

34°18'30"N

34°18'N

34°18'N



1:10000

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Aerial Year: 2020

Address: 181 W. Love Mill Road, Whiteville, NC

Source: ESRI World Imagery

Order Number: 21100700200



© ERIS Information Inc.

78°44'30"W

78°44"W

78°43'30"W

78°43"W

78°42'30"W

78°42"W

34°19'30"N

34°19"N

34°18'30"N

34°18"N

34°17'30"N

34°17"N

34°19'30"W

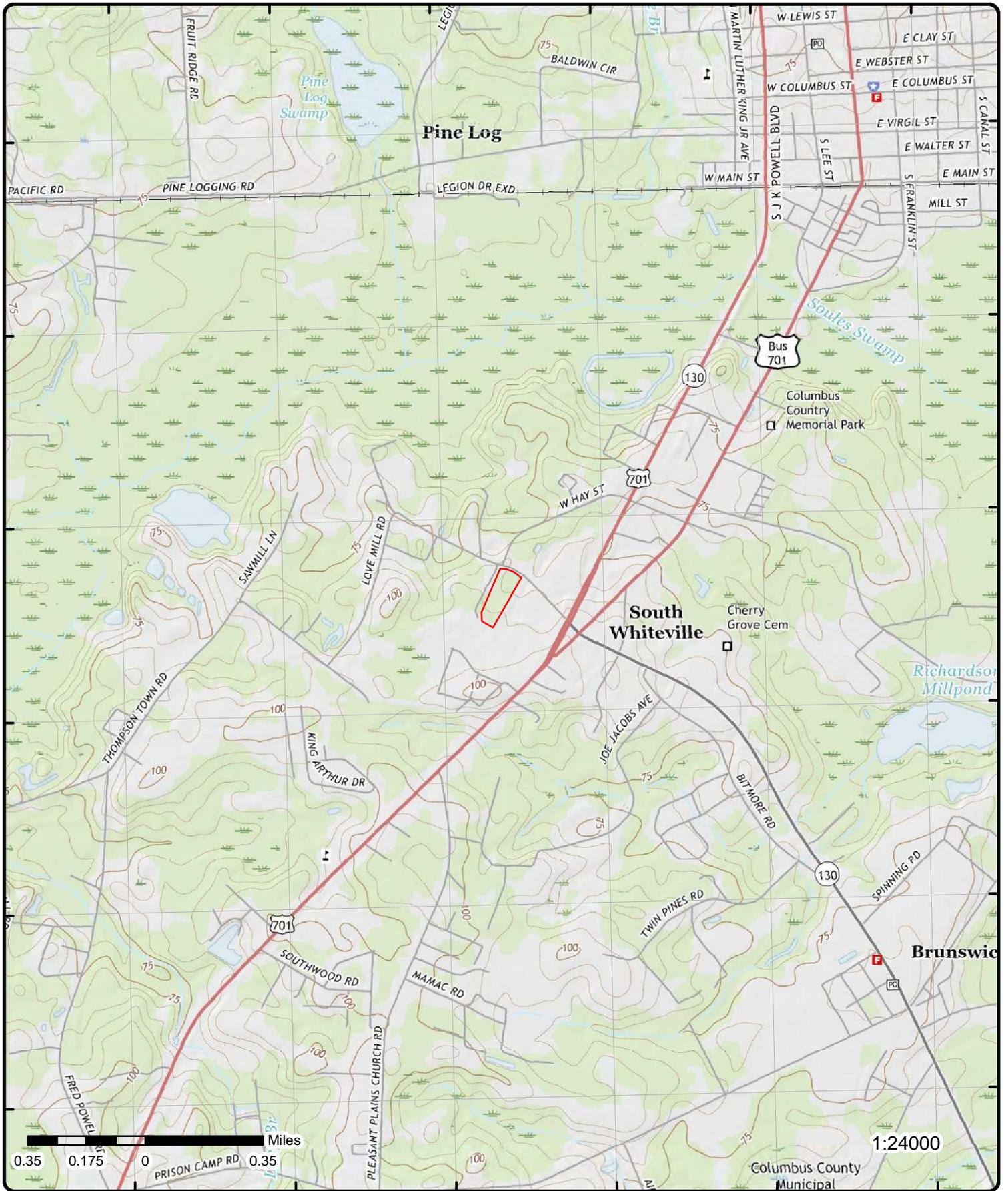
34°19"W

34°18'30"W

34°18"W

34°17'30"W

34°17"W



Topographic Map Year: 2016

Order Number: 21100700200

Address: 181 W. Love Mill Road, NC



Quadrangle(s): Whiteville, NC; Chadbourn, NC

© ERIS Information Inc.

Source: USGS Topographic Map

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
<i>Used Oil Burner:</i>		No				
<i>Used Oil Market Burner:</i>		No				
<i>Used Oil Spec Marketer:</i>		No				

Hazardous Waste Handler Details

Sequence No: 1
Receive Date: 20060815
Handler Name: WAL-MART SUPERCENTER # 1268
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D011
Waste Code Description: SILVER

Hazardous Waste Handler Details

Sequence No: 2
Receive Date: 20080506
Handler Name: WAL-MART SUPERCENTER # 1268
Federal Waste Generator Code: 2
Generator Code Description: Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Hazardous Waste Code: D011
Waste Code Description: SILVER

Hazardous Waste Code: D016
Waste Code Description: 2,4-D (2,4-DICHLOROPHOXYACETIC ACID)

<i>Map Key</i>	<i>Number of Records</i>	<i>Direction</i>	<i>Distance (mi/ft)</i>	<i>Elev/Diff (ft)</i>	<i>Site</i>	<i>DB</i>
<i>Hazardous Waste Code:</i>		D018				
<i>Waste Code Description:</i>		BENZENE				
<i>Hazardous Waste Code:</i>		D026				
<i>Waste Code Description:</i>		CRESOL				
<i>Hazardous Waste Code:</i>		D027				
<i>Waste Code Description:</i>		1,4-DICHLOROBENZENE				
<i>Hazardous Waste Code:</i>		D035				
<i>Waste Code Description:</i>		METHYL ETHYL KETONE				
<i>Hazardous Waste Code:</i>		D039				
<i>Waste Code Description:</i>		TETRACHLOROETHYLENE				
<i>Hazardous Waste Code:</i>		U002				
<i>Waste Code Description:</i>		2-PROPANONE (I) (OR) ACETONE (I)				
<i>Hazardous Waste Code:</i>		U080				
<i>Waste Code Description:</i>		METHANE, DICHLORO- (OR) METHYLENE CHLORIDE				
<i>Hazardous Waste Code:</i>		U122				
<i>Waste Code Description:</i>		FORMALDEHYDE				
<i>Hazardous Waste Code:</i>		U159				
<i>Waste Code Description:</i>		2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)				
<i>Hazardous Waste Code:</i>		U165				
<i>Waste Code Description:</i>		NAPHTHALENE				
<i>Hazardous Waste Code:</i>		U279				
<i>Waste Code Description:</i>		CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE				

Hazardous Waste Handler Details

Sequence No: 4
Receive Date: 20101011
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 2
Generator Code Description: Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					LEAD	
Hazardous Waste Code:					D009	
Waste Code Description:					MERCURY	
Hazardous Waste Code:					D010	
Waste Code Description:					SELENIUM	
Hazardous Waste Code:					D011	
Waste Code Description:					SILVER	
Hazardous Waste Code:					D016	
Waste Code Description:					2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)	
Hazardous Waste Code:					D018	
Waste Code Description:					BENZENE	
Hazardous Waste Code:					D022	
Waste Code Description:					CHLOROFORM	
Hazardous Waste Code:					D024	
Waste Code Description:					M-CRESOL	
Hazardous Waste Code:					D026	
Waste Code Description:					CRESOL	
Hazardous Waste Code:					D027	
Waste Code Description:					1,4-DICHLOROBENZENE	
Hazardous Waste Code:					D035	
Waste Code Description:					METHYL ETHYL KETONE	
Hazardous Waste Code:					D039	
Waste Code Description:					TETRACHLOROETHYLENE	
Hazardous Waste Code:					P001	
Waste Code Description:					2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code:					P046	
Waste Code Description:					ALPHA,ALPHA-DIMETHYLPHENETHYLAMINE (OR) BENZENEETHANAMINE, ALPHA, ALPHA-DIMETHYL-	
Hazardous Waste Code:					P075	
Waste Code Description:					NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS	
Hazardous Waste Code:					U002	
Waste Code Description:					2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code:					U034	
Waste Code Description:					ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code:					U035	
Waste Code Description:					BENZENE BUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code:					U058	
Waste Code Description:					2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code:					U072	
Waste Code Description:					BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code:					U080	
Waste Code Description:					METHANE, DICHLORO- (OR) METHYLENE CHLORIDE	
Hazardous Waste Code:					U122	
Waste Code Description:					FORMALDEHYDE	
Hazardous Waste Code:					U129	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code:					U132	
Waste Code Description:					HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	
Hazardous Waste Code:					U150	
Waste Code Description:					L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN	
Hazardous Waste Code:					U154	
Waste Code Description:					METHANOL (I) (OR) METHYL ALCOHOL (I)	
Hazardous Waste Code:					U159	
Waste Code Description:					2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)	
Hazardous Waste Code:					U165	
Waste Code Description:					NAPHTHALENE	
Hazardous Waste Code:					U182	
Waste Code Description:					1,3,5-TRIOXANE, 2,4,6-TRIMETHYL- (OR) PARALDEHYDE	
Hazardous Waste Code:					U188	
Waste Code Description:					PHENOL	
Hazardous Waste Code:					U200	
Waste Code Description:					RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-	
Hazardous Waste Code:					U205	
Waste Code Description:					SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	
Hazardous Waste Code:					U249	
Waste Code Description:					ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS	
Hazardous Waste Code:					U279	
Waste Code Description:					CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE	
Hazardous Waste Code:					U409	
Waste Code Description:					CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL	
Hazardous Waste Code:					U411	
Waste Code Description:					PHENOL, 2-(1-METHYLETHOXY)-, METHYLCARBAMATE (OR) PROPOXUR	

Hazardous Waste Handler Details

Sequence No: 3
Receive Date: 20101230
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 2
Generator Code Description: Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code: Waste Code Description:				D005 BARIUM		
Hazardous Waste Code: Waste Code Description:				D006 CADMIUM		
Hazardous Waste Code: Waste Code Description:				D007 CHROMIUM		
Hazardous Waste Code: Waste Code Description:				D008 LEAD		
Hazardous Waste Code: Waste Code Description:				D009 MERCURY		
Hazardous Waste Code: Waste Code Description:				D011 SILVER		
Hazardous Waste Code: Waste Code Description:				D016 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)		
Hazardous Waste Code: Waste Code Description:				D018 BENZENE		
Hazardous Waste Code: Waste Code Description:				D022 CHLOROFORM		
Hazardous Waste Code: Waste Code Description:				D026 CRESOL		
Hazardous Waste Code: Waste Code Description:				D027 1,4-DICHLOROBENZENE		
Hazardous Waste Code: Waste Code Description:				D035 METHYL ETHYL KETONE		
Hazardous Waste Code: Waste Code Description:				D039 TETRACHLOROETHYLENE		
Hazardous Waste Code: Waste Code Description:				U002 2-PROPANONE (I) (OR) ACETONE (I)		
Hazardous Waste Code: Waste Code Description:				U072 BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE		
Hazardous Waste Code: Waste Code Description:				U080 METHANE, DICHLORO- (OR) METHYLENE CHLORIDE		
Hazardous Waste Code: Waste Code Description:				U154 METHANOL (I) (OR) METHYL ALCOHOL (I)		
Hazardous Waste Code: Waste Code Description:				U159 2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)		
Hazardous Waste Code: Waste Code Description:				U165 NAPHTHALENE		
Hazardous Waste Code: Waste Code Description:				U249 ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS		
Hazardous Waste Code: Waste Code Description:				U279 CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE		
Hazardous Waste Code: Waste Code Description:				U409 CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL		
Hazardous Waste Code: Waste Code Description:				U411 PHENOL, 2-(1-METHYLETHOXY)-, METHYLCARBAMATE (OR) PROPOXUR		

<i>Map Key</i>	<i>Number of Records</i>	<i>Direction</i>	<i>Distance (mi/ft)</i>	<i>Elev/Diff (ft)</i>	<i>Site</i>	<i>DB</i>
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Hazardous Waste Handler Details

Sequence No: 5
Receive Date: 20121024
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 2
Generator Code Description: Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Hazardous Waste Code: D010
Waste Code Description: SELENIUM

Hazardous Waste Code: D011
Waste Code Description: SILVER

Hazardous Waste Code: D016
Waste Code Description: 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)

Hazardous Waste Code: D018
Waste Code Description: BENZENE

Hazardous Waste Code: D022
Waste Code Description: CHLOROFORM

Hazardous Waste Code: D024
Waste Code Description: M-CRESOL

Hazardous Waste Code: D026
Waste Code Description: CRESOL

Hazardous Waste Code: D027
Waste Code Description: 1,4-DICHLOROBENZENE

Hazardous Waste Code: D035
Waste Code Description: METHYL ETHYL KETONE

Hazardous Waste Code: D039

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					TETRACHLOROETHYLENE	
Hazardous Waste Code:					P001	
Waste Code Description:					2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code:					P075	
Waste Code Description:					NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-(S)-, & SALTS	
Hazardous Waste Code:					U002	
Waste Code Description:					2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code:					U034	
Waste Code Description:					ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code:					U035	
Waste Code Description:					BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code:					U058	
Waste Code Description:					2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code:					U076	
Waste Code Description:					ETHANE, 1,1-DICHLORO- (OR) ETHYLIDENE DICHLORIDE	
Hazardous Waste Code:					U080	
Waste Code Description:					METHANE, DICHLORO- (OR) METHYLENE CHLORIDE	
Hazardous Waste Code:					U122	
Waste Code Description:					FORMALDEHYDE	
Hazardous Waste Code:					U129	
Waste Code Description:					CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code:					U132	
Waste Code Description:					HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	
Hazardous Waste Code:					U150	
Waste Code Description:					L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN	
Hazardous Waste Code:					U154	
Waste Code Description:					METHANOL (I) (OR) METHYL ALCOHOL (I)	
Hazardous Waste Code:					U159	
Waste Code Description:					2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)	
Hazardous Waste Code:					U165	
Waste Code Description:					NAPHTHALENE	
Hazardous Waste Code:					U182	
Waste Code Description:					1,3,5-TRIOXANE, 2,4,6-TRIMETHYL- (OR) PARALDEHYDE	
Hazardous Waste Code:					U188	
Waste Code Description:					PHENOL	
Hazardous Waste Code:					U200	
Waste Code Description:					RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-	
Hazardous Waste Code:					U205	
Waste Code Description:					SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	
Hazardous Waste Code:					U210	
Waste Code Description:					ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE	
Hazardous Waste Code:					U240	
Waste Code Description:					2,4-D, SALTS & ESTERS (OR) ACETIC ACID, (2,4-DICHLOROPHENOXY)-, SALTS & ESTERS (OR)	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
					DICHLOROPHENOXYACETIC ACID 2,4-D	
Hazardous Waste Code:					U249	
Waste Code Description:					ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS	
Hazardous Waste Code:					U279	
Waste Code Description:					CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE	
Hazardous Waste Code:					U409	
Waste Code Description:					CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL	
<u>Hazardous Waste Handler Details</u>						
Sequence No:					6	
Receive Date:					20140702	
Handler Name:					WALMART SUPERCENTER #1268	
Federal Waste Generator Code:					3	
Generator Code Description:					Very Small Quantity Generator	
Source Type:					Notification	
<u>Waste Code Details</u>						
Hazardous Waste Code:					D001	
Waste Code Description:					IGNITABLE WASTE	
Hazardous Waste Code:					D002	
Waste Code Description:					CORROSIVE WASTE	
Hazardous Waste Code:					D003	
Waste Code Description:					REACTIVE WASTE	
Hazardous Waste Code:					D004	
Waste Code Description:					ARSENIC	
Hazardous Waste Code:					D005	
Waste Code Description:					BARIUM	
Hazardous Waste Code:					D006	
Waste Code Description:					CADMIUM	
Hazardous Waste Code:					D007	
Waste Code Description:					CHROMIUM	
Hazardous Waste Code:					D008	
Waste Code Description:					LEAD	
Hazardous Waste Code:					D009	
Waste Code Description:					MERCURY	
Hazardous Waste Code:					D010	
Waste Code Description:					SELENIUM	
Hazardous Waste Code:					D011	
Waste Code Description:					SILVER	
Hazardous Waste Code:					D016	
Waste Code Description:					2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)	
Hazardous Waste Code:					D018	
Waste Code Description:					BENZENE	
Hazardous Waste Code:					D022	
Waste Code Description:					CHLOROFORM	
Hazardous Waste Code:					D024	
Waste Code Description:					M-CRESOL	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code: Waste Code Description:				D026 CRESOL		
Hazardous Waste Code: Waste Code Description:				D027 1,4-DICHLOROBENZENE		
Hazardous Waste Code: Waste Code Description:				D035 METHYL ETHYL KETONE		
Hazardous Waste Code: Waste Code Description:				D039 TETRACHLOROETHYLENE		
Hazardous Waste Code: Waste Code Description:				D043 VINYL CHLORIDE		
Hazardous Waste Code: Waste Code Description:				P001 2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%		
Hazardous Waste Code: Waste Code Description:				P075 NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS		
Hazardous Waste Code: Waste Code Description:				U002 2-PROPANONE (I) (OR) ACETONE (I)		
Hazardous Waste Code: Waste Code Description:				U034 ACETALDEHYDE, TRICHLORO- (OR) CHLORAL		
Hazardous Waste Code: Waste Code Description:				U035 BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL		
Hazardous Waste Code: Waste Code Description:				U058 2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE		
Hazardous Waste Code: Waste Code Description:				U076 ETHANE, 1,1-DICHLORO- (OR) ETHYLIDENE DICHLORIDE		
Hazardous Waste Code: Waste Code Description:				U122 FORMALDEHYDE		
Hazardous Waste Code: Waste Code Description:				U129 CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE		
Hazardous Waste Code: Waste Code Description:				U132 HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-		
Hazardous Waste Code: Waste Code Description:				U134 HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)		
Hazardous Waste Code: Waste Code Description:				U150 L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN		
Hazardous Waste Code: Waste Code Description:				U154 METHANOL (I) (OR) METHYL ALCOHOL (I)		
Hazardous Waste Code: Waste Code Description:				U159 2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)		
Hazardous Waste Code: Waste Code Description:				U165 NAPHTHALENE		
Hazardous Waste Code: Waste Code Description:				U188 PHENOL		
Hazardous Waste Code:				U200		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-	
Hazardous Waste Code:					U205	
Waste Code Description:					SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	
Hazardous Waste Code:					U210	
Waste Code Description:					ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE	
Hazardous Waste Code:					U249	
Waste Code Description:					ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS	
Hazardous Waste Code:					U279	
Waste Code Description:					CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE	
Hazardous Waste Code:					U409	
Waste Code Description:					CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL	

Hazardous Waste Handler Details

Sequence No: 7
Receive Date: 20160809
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Hazardous Waste Code: D010
Waste Code Description: SELENIUM

Hazardous Waste Code: D011
Waste Code Description: SILVER

Hazardous Waste Code: D016
Waste Code Description: 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)

Hazardous Waste Code: D018

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					BENZENE	
Hazardous Waste Code:					D022	
Waste Code Description:					CHLOROFORM	
Hazardous Waste Code:					D024	
Waste Code Description:					M-CRESOL	
Hazardous Waste Code:					D026	
Waste Code Description:					CRESOL	
Hazardous Waste Code:					D027	
Waste Code Description:					1,4-DICHLOROBENZENE	
Hazardous Waste Code:					D035	
Waste Code Description:					METHYL ETHYL KETONE	
Hazardous Waste Code:					D039	
Waste Code Description:					TETRACHLOROETHYLENE	
Hazardous Waste Code:					D043	
Waste Code Description:					VINYL CHLORIDE	
Hazardous Waste Code:					P001	
Waste Code Description:					2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code:					P075	
Waste Code Description:					NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS	
Hazardous Waste Code:					U002	
Waste Code Description:					2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code:					U034	
Waste Code Description:					ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code:					U035	
Waste Code Description:					BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code:					U058	
Waste Code Description:					2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code:					U072	
Waste Code Description:					BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code:					U089	
Waste Code Description:					DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-	
Hazardous Waste Code:					U122	
Waste Code Description:					FORMALDEHYDE	
Hazardous Waste Code:					U129	
Waste Code Description:					CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code:					U132	
Waste Code Description:					HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	
Hazardous Waste Code:					U134	
Waste Code Description:					HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)	
Hazardous Waste Code:					U150	
Waste Code Description:					L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN	
Hazardous Waste Code:					U154	
Waste Code Description:					METHANOL (I) (OR) METHYL ALCOHOL (I)	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code:			U159			
Waste Code Description:			2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)			
Hazardous Waste Code:			U165			
Waste Code Description:			NAPHTHALENE			
Hazardous Waste Code:			U188			
Waste Code Description:			PHENOL			
Hazardous Waste Code:			U200			
Waste Code Description:			RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-			
Hazardous Waste Code:			U205			
Waste Code Description:			SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)			
Hazardous Waste Code:			U210			
Waste Code Description:			ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE			
Hazardous Waste Code:			U249			
Waste Code Description:			ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS			
Hazardous Waste Code:			U279			
Waste Code Description:			CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE			
Hazardous Waste Code:			U409			
Waste Code Description:			CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL			

Hazardous Waste Handler Details

Sequence No: 8
Receive Date: 20170615
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 2
Generator Code Description: Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code: Waste Code Description:					D010 SELENIUM	
Hazardous Waste Code: Waste Code Description:					D011 SILVER	
Hazardous Waste Code: Waste Code Description:					D016 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)	
Hazardous Waste Code: Waste Code Description:					D018 BENZENE	
Hazardous Waste Code: Waste Code Description:					D022 CHLOROFORM	
Hazardous Waste Code: Waste Code Description:					D024 M-CRESOL	
Hazardous Waste Code: Waste Code Description:					D026 CRESOL	
Hazardous Waste Code: Waste Code Description:					D027 1,4-DICHLOROBENZENE	
Hazardous Waste Code: Waste Code Description:					D035 METHYL ETHYL KETONE	
Hazardous Waste Code: Waste Code Description:					D039 TETRACHLOROETHYLENE	
Hazardous Waste Code: Waste Code Description:					D043 VINYL CHLORIDE	
Hazardous Waste Code: Waste Code Description:					P001 2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code: Waste Code Description:					P075 NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS	
Hazardous Waste Code: Waste Code Description:					U002 2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code: Waste Code Description:					U034 ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code: Waste Code Description:					U035 BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code: Waste Code Description:					U058 2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code: Waste Code Description:					U072 BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code: Waste Code Description:					U089 DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-	
Hazardous Waste Code: Waste Code Description:					U122 FORMALDEHYDE	
Hazardous Waste Code: Waste Code Description:					U129 CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code: Waste Code Description:					U132 HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code:			U134			
Waste Code Description:			HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)			
Hazardous Waste Code:			U150			
Waste Code Description:			L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN			
Hazardous Waste Code:			U154			
Waste Code Description:			METHANOL (I) (OR) METHYL ALCOHOL (I)			
Hazardous Waste Code:			U159			
Waste Code Description:			2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)			
Hazardous Waste Code:			U165			
Waste Code Description:			NAPHTHALENE			
Hazardous Waste Code:			U188			
Waste Code Description:			PHENOL			
Hazardous Waste Code:			U200			
Waste Code Description:			RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-			
Hazardous Waste Code:			U205			
Waste Code Description:			SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)			
Hazardous Waste Code:			U210			
Waste Code Description:			ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE			
Hazardous Waste Code:			U249			
Waste Code Description:			ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS			
Hazardous Waste Code:			U279			
Waste Code Description:			CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE			
Hazardous Waste Code:			U409			
Waste Code Description:			CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL			

Hazardous Waste Handler Details

Sequence No: 9
Receive Date: 20180614
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code: Waste Code Description:					D007 CHROMIUM	
Hazardous Waste Code: Waste Code Description:					D008 LEAD	
Hazardous Waste Code: Waste Code Description:					D009 MERCURY	
Hazardous Waste Code: Waste Code Description:					D010 SELENIUM	
Hazardous Waste Code: Waste Code Description:					D011 SILVER	
Hazardous Waste Code: Waste Code Description:					D016 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)	
Hazardous Waste Code: Waste Code Description:					D018 BENZENE	
Hazardous Waste Code: Waste Code Description:					D022 CHLOROFORM	
Hazardous Waste Code: Waste Code Description:					D024 M-CRESOL	
Hazardous Waste Code: Waste Code Description:					D026 CRESOL	
Hazardous Waste Code: Waste Code Description:					D027 1,4-DICHLOROBENZENE	
Hazardous Waste Code: Waste Code Description:					D035 METHYL ETHYL KETONE	
Hazardous Waste Code: Waste Code Description:					D039 TETRACHLOROETHYLENE	
Hazardous Waste Code: Waste Code Description:					D043 VINYL CHLORIDE	
Hazardous Waste Code: Waste Code Description:					P001 2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code: Waste Code Description:					P075 NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-(S)-, & SALTS	
Hazardous Waste Code: Waste Code Description:					U002 2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code: Waste Code Description:					U034 ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code: Waste Code Description:					U035 BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code: Waste Code Description:					U058 2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code: Waste Code Description:					U072 BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code: Waste Code Description:					U089 DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code:			U122			
Waste Code Description:			FORMALDEHYDE			
Hazardous Waste Code:			U129			
Waste Code Description:			CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE			
Hazardous Waste Code:			U132			
Waste Code Description:			HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-			
Hazardous Waste Code:			U134			
Waste Code Description:			HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)			
Hazardous Waste Code:			U150			
Waste Code Description:			L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN			
Hazardous Waste Code:			U154			
Waste Code Description:			METHANOL (I) (OR) METHYL ALCOHOL (I)			
Hazardous Waste Code:			U165			
Waste Code Description:			NAPHTHALENE			
Hazardous Waste Code:			U188			
Waste Code Description:			PHENOL			
Hazardous Waste Code:			U200			
Waste Code Description:			RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-			
Hazardous Waste Code:			U205			
Waste Code Description:			SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)			
Hazardous Waste Code:			U210			
Waste Code Description:			ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE			
Hazardous Waste Code:			U249			
Waste Code Description:			ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS			
Hazardous Waste Code:			U279			
Waste Code Description:			CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE			
Hazardous Waste Code:			U409			
Waste Code Description:			CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL			

Hazardous Waste Handler Details

Sequence No: 10
Receive Date: 20180906
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 2
Generator Code Description: Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					ARSENIC	
Hazardous Waste Code:					D005	
Waste Code Description:					BARIUM	
Hazardous Waste Code:					D006	
Waste Code Description:					CADMIUM	
Hazardous Waste Code:					D007	
Waste Code Description:					CHROMIUM	
Hazardous Waste Code:					D008	
Waste Code Description:					LEAD	
Hazardous Waste Code:					D009	
Waste Code Description:					MERCURY	
Hazardous Waste Code:					D010	
Waste Code Description:					SELENIUM	
Hazardous Waste Code:					D011	
Waste Code Description:					SILVER	
Hazardous Waste Code:					D016	
Waste Code Description:					2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)	
Hazardous Waste Code:					D018	
Waste Code Description:					BENZENE	
Hazardous Waste Code:					D022	
Waste Code Description:					CHLOROFORM	
Hazardous Waste Code:					D024	
Waste Code Description:					M-CRESOL	
Hazardous Waste Code:					D026	
Waste Code Description:					CRESOL	
Hazardous Waste Code:					D027	
Waste Code Description:					1,4-DICHLOROBENZENE	
Hazardous Waste Code:					D035	
Waste Code Description:					METHYL ETHYL KETONE	
Hazardous Waste Code:					D039	
Waste Code Description:					TETRACHLOROETHYLENE	
Hazardous Waste Code:					D043	
Waste Code Description:					VINYL CHLORIDE	
Hazardous Waste Code:					P001	
Waste Code Description:					2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code:					P075	
Waste Code Description:					NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-(S)-, & SALTS	
Hazardous Waste Code:					U002	
Waste Code Description:					2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code:					U034	
Waste Code Description:					ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code:					U035	
Waste Code Description:					BENZENE BUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code:					U058	
Waste Code Description:					2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR)	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
					CYCLOPHOSPHAMIDE	
Hazardous Waste Code:					U072	
Waste Code Description:					BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code:					U089	
Waste Code Description:					DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-	
Hazardous Waste Code:					U122	
Waste Code Description:					FORMALDEHYDE	
Hazardous Waste Code:					U129	
Waste Code Description:					CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code:					U132	
Waste Code Description:					HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	
Hazardous Waste Code:					U134	
Waste Code Description:					HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)	
Hazardous Waste Code:					U150	
Waste Code Description:					L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN	
Hazardous Waste Code:					U154	
Waste Code Description:					METHANOL (I) (OR) METHYL ALCOHOL (I)	
Hazardous Waste Code:					U165	
Waste Code Description:					NAPHTHALENE	
Hazardous Waste Code:					U188	
Waste Code Description:					PHENOL	
Hazardous Waste Code:					U200	
Waste Code Description:					RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-	
Hazardous Waste Code:					U205	
Waste Code Description:					SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	
Hazardous Waste Code:					U210	
Waste Code Description:					ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE	
Hazardous Waste Code:					U249	
Waste Code Description:					ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS	
Hazardous Waste Code:					U279	
Waste Code Description:					CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE	
Hazardous Waste Code:					U409	
Waste Code Description:					CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL	

Hazardous Waste Handler Details

Sequence No: 11
Receive Date: 20181220
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 2
Generator Code Description: Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS	
Hazardous Waste Code:					U002	
Waste Code Description:					2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code:					U034	
Waste Code Description:					ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code:					U035	
Waste Code Description:					BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code:					U058	
Waste Code Description:					2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code:					U072	
Waste Code Description:					BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code:					U089	
Waste Code Description:					DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-	
Hazardous Waste Code:					U122	
Waste Code Description:					FORMALDEHYDE	
Hazardous Waste Code:					U129	
Waste Code Description:					CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code:					U132	
Waste Code Description:					HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	
Hazardous Waste Code:					U134	
Waste Code Description:					HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)	
Hazardous Waste Code:					U150	
Waste Code Description:					L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN	
Hazardous Waste Code:					U154	
Waste Code Description:					METHANOL (I) (OR) METHYL ALCOHOL (I)	
Hazardous Waste Code:					U165	
Waste Code Description:					NAPHTHALENE	
Hazardous Waste Code:					U188	
Waste Code Description:					PHENOL	
Hazardous Waste Code:					U200	
Waste Code Description:					RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-	
Hazardous Waste Code:					U205	
Waste Code Description:					SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	
Hazardous Waste Code:					U210	
Waste Code Description:					ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE	
Hazardous Waste Code:					U249	
Waste Code Description:					ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS	
Hazardous Waste Code:					U279	
Waste Code Description:					CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE	
Hazardous Waste Code:					U409	
Waste Code Description:					CARBAMIC ACID, [1,2-PHENYLENEBIS (IMINOCARBONOTHIOYL)]BIS-, DIMETHYL ESTER (OR) THIOPHANATE-METHYL	
Hazardous Waste Code:					U411	
Waste Code Description:					PHENOL, 2-(1-METHYLETHOXY)-, METHYLCARBAMATE (OR) PROPOXUR	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Hazardous Waste Handler Details

Sequence No: 12
Receive Date: 20190610
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code:	D001
Waste Code Description:	IGNITABLE WASTE
Hazardous Waste Code:	D002
Waste Code Description:	CORROSIVE WASTE
Hazardous Waste Code:	D003
Waste Code Description:	REACTIVE WASTE
Hazardous Waste Code:	D004
Waste Code Description:	ARSENIC
Hazardous Waste Code:	D005
Waste Code Description:	BARIUM
Hazardous Waste Code:	D006
Waste Code Description:	CADMIUM
Hazardous Waste Code:	D007
Waste Code Description:	CHROMIUM
Hazardous Waste Code:	D008
Waste Code Description:	LEAD
Hazardous Waste Code:	D009
Waste Code Description:	MERCURY
Hazardous Waste Code:	D010
Waste Code Description:	SELENIUM
Hazardous Waste Code:	D011
Waste Code Description:	SILVER
Hazardous Waste Code:	D016
Waste Code Description:	2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)
Hazardous Waste Code:	D018
Waste Code Description:	BENZENE
Hazardous Waste Code:	D022
Waste Code Description:	CHLOROFORM
Hazardous Waste Code:	D024
Waste Code Description:	M-CRESOL
Hazardous Waste Code:	D025
Waste Code Description:	P-CRESOL
Hazardous Waste Code:	D026
Waste Code Description:	CRESOL
Hazardous Waste Code:	D027
Waste Code Description:	1,4-DICHLOROBENZENE
Hazardous Waste Code:	D030
Waste Code Description:	2,4-DINITROTOLUENE

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code: Waste Code Description:					D035 METHYL ETHYL KETONE	
Hazardous Waste Code: Waste Code Description:					D039 TETRACHLOROETHYLENE	
Hazardous Waste Code: Waste Code Description:					D040 TRICHLOROETHYLENE	
Hazardous Waste Code: Waste Code Description:					P001 2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code: Waste Code Description:					P075 NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-(S)-, & SALTS	
Hazardous Waste Code: Waste Code Description:					U002 2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code: Waste Code Description:					U034 ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code: Waste Code Description:					U035 BENZENE BUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code: Waste Code Description:					U058 2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code: Waste Code Description:					U072 BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code: Waste Code Description:					U089 DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-	
Hazardous Waste Code: Waste Code Description:					U122 FORMALDEHYDE	
Hazardous Waste Code: Waste Code Description:					U129 CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code: Waste Code Description:					U132 HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	
Hazardous Waste Code: Waste Code Description:					U134 HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)	
Hazardous Waste Code: Waste Code Description:					U150 L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN	
Hazardous Waste Code: Waste Code Description:					U154 METHANOL (I) (OR) METHYL ALCOHOL (I)	
Hazardous Waste Code: Waste Code Description:					U165 NAPHTHALENE	
Hazardous Waste Code: Waste Code Description:					U188 PHENOL	
Hazardous Waste Code: Waste Code Description:					U200 RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-	
Hazardous Waste Code: Waste Code Description:					U205 SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code:			U210			
Waste Code Description:			ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE			
Hazardous Waste Code:			U249			
Waste Code Description:			ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS			
Hazardous Waste Code:			U279			
Waste Code Description:			CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE			
Hazardous Waste Code:			U411			
Waste Code Description:			PHENOL, 2-(1-METHYLETHOXY)-, METHYLCARBAMATE (OR) PROPOXUR			

Hazardous Waste Handler Details

Sequence No: 13
Receive Date: 20200623
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Hazardous Waste Code: D010
Waste Code Description: SELENIUM

Hazardous Waste Code: D011
Waste Code Description: SILVER

Hazardous Waste Code: D013
Waste Code Description: LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)

Hazardous Waste Code: D016
Waste Code Description: 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)

Hazardous Waste Code: D018
Waste Code Description: BENZENE

Hazardous Waste Code: D024
Waste Code Description: M-CRESOL

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:			NAPHTHALENE			
Hazardous Waste Code:			U188			
Waste Code Description:			PHENOL			
Hazardous Waste Code:			U200			
Waste Code Description:			RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-			
Hazardous Waste Code:			U205			
Waste Code Description:			SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)			
Hazardous Waste Code:			U210			
Waste Code Description:			ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE			
Hazardous Waste Code:			U249			
Waste Code Description:			ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS			
Hazardous Waste Code:			U279			
Waste Code Description:			CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE			
Hazardous Waste Code:			U411			
Waste Code Description:			PHENOL, 2-(1-METHYLETHOXY)-, METHYLCARBAMATE (OR) PROPOXUR			

Hazardous Waste Handler Details

Sequence No: 14
Receive Date: 20210423
Handler Name: WALMART SUPERCENTER #1268
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D003
Waste Code Description: REACTIVE WASTE

Hazardous Waste Code: D004
Waste Code Description: ARSENIC

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Hazardous Waste Code: D010
Waste Code Description: SELENIUM

Hazardous Waste Code: D011
Waste Code Description: SILVER

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Hazardous Waste Code: Waste Code Description:					D013 LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)	
Hazardous Waste Code: Waste Code Description:					D016 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)	
Hazardous Waste Code: Waste Code Description:					D018 BENZENE	
Hazardous Waste Code: Waste Code Description:					D024 M-CRESOL	
Hazardous Waste Code: Waste Code Description:					D025 P-CRESOL	
Hazardous Waste Code: Waste Code Description:					D026 CRESOL	
Hazardous Waste Code: Waste Code Description:					D027 1,4-DICHLOROBENZENE	
Hazardous Waste Code: Waste Code Description:					D030 2,4-DINITROTOLUENE	
Hazardous Waste Code: Waste Code Description:					D035 METHYL ETHYL KETONE	
Hazardous Waste Code: Waste Code Description:					D039 TETRACHLOROETHYLENE	
Hazardous Waste Code: Waste Code Description:					D040 TRICHLORETHYLENE	
Hazardous Waste Code: Waste Code Description:					P001 2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code: Waste Code Description:					P075 NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS	
Hazardous Waste Code: Waste Code Description:					U002 2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code: Waste Code Description:					U034 ACETALDEHYDE, TRICHLORO- (OR) CHLORAL	
Hazardous Waste Code: Waste Code Description:					U035 BENZENE BUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code: Waste Code Description:					U058 2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code: Waste Code Description:					U072 BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code: Waste Code Description:					U089 DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-	
Hazardous Waste Code: Waste Code Description:					U122 FORMALDEHYDE	
Hazardous Waste Code: Waste Code Description:					U129 CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code:					U132	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-	
Hazardous Waste Code:				U134		
Waste Code Description:					HYDROFLUORIC ACID (C,T) (OR) HYDROGEN FLUORIDE (C,T)	
Hazardous Waste Code:				U150		
Waste Code Description:					L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN	
Hazardous Waste Code:				U154		
Waste Code Description:					METHANOL (I) (OR) METHYL ALCOHOL (I)	
Hazardous Waste Code:				U165		
Waste Code Description:					NAPHTHALENE	
Hazardous Waste Code:				U188		
Waste Code Description:					PHENOL	
Hazardous Waste Code:				U200		
Waste Code Description:					RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL) OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 18BETA, 20ALPHA)-	
Hazardous Waste Code:				U205		
Waste Code Description:					SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	
Hazardous Waste Code:				U210		
Waste Code Description:					ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE	
Hazardous Waste Code:				U249		
Waste Code Description:					ZINC PHOSPHIDE ZN3P2, WHEN PRESENT AT CONCENTRATIONS OF 10% OR LESS	
Hazardous Waste Code:				U279		
Waste Code Description:					CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE	
Hazardous Waste Code:				U411		
Waste Code Description:					PHENOL, 2-(1-METHYLETHOXY)-, METHYLCARBAMATE (OR) PROPOXUR	

Owner/Operator Details

Owner/Operator Ind:	Current Owner	Street No:	1300
Type:	Private	Street 1:	SE 8TH ST
Name:	WAL-MART STORES EAST LP	Street 2:	
Date Became Current:	19890202	City:	BENTONVILLE
Date Ended Current:		State:	AR
Phone:		Country:	US
Source Type:	Notification	Zip Code:	72716
Owner/Operator Ind:	Current Operator	Street No:	
Type:	Private	Street 1:	PO BOX 8041
Name:	WAL-MART STORES EAST LP	Street 2:	
Date Became Current:	19890202	City:	BENTONVILLE
Date Ended Current:		State:	AR
Phone:	479-204-0402	Country:	US
Source Type:	Notification	Zip Code:	72712-8041
Owner/Operator Ind:	Current Owner	Street No:	
Type:	Private	Street 1:	PO BOX 8041
Name:	WAL-MART STORES EAST LP	Street 2:	
Date Became Current:	20030416	City:	BENTONVILLE
Date Ended Current:		State:	AR
Phone:	479-204-6188	Country:	US
Source Type:	Notification	Zip Code:	72712-8041
Owner/Operator Ind:	Current Owner	Street No:	
Type:	Private	Street 1:	PO BOX 8041
Name:	WAL-MART STORES EAST LP	Street 2:	
Date Became Current:	19890202	City:	BENTONVILLE
Date Ended Current:		State:	AR
Phone:	479-204-0402	Country:	US

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Source Type:	Notification				Zip Code: 72712-8041	
Owner/Operator Ind:	Current Operator				Street No:	
Type:	Private				Street 1:	
Name:	WAL-MART STORES EAST LP				Street 2:	
Date Became Current:	19890202				City:	
Date Ended Current:					State:	
Phone:					Country:	
Source Type:	Notification				Zip Code:	
Owner/Operator Ind:	Current Owner				Street No:	
Type:	Private				Street 1:	PO BOX 8041
Name:	WAL-MART STORES EAST, LP				Street 2:	MS 0505
Date Became Current:	20030416				City:	BENTONVILLE
Date Ended Current:					State:	AR
Phone:	479-204-6188				Country:	US
Source Type:	Notification				Zip Code:	72712-8041
Owner/Operator Ind:	Current Operator				Street No:	
Type:	Private				Street 1:	PO BOX 8041
Name:	WAL-MART STORES EAST LP				Street 2:	
Date Became Current:	20030416				City:	BENTONVILLE
Date Ended Current:					State:	AR
Phone:					Country:	US
Source Type:	Notification				Zip Code:	72712-8041
Owner/Operator Ind:	Current Operator				Street No:	
Type:	Private				Street 1:	P.O. BOX 8041
Name:	WAL-MART STORES EAST LP				Street 2:	
Date Became Current:	20030416				City:	BENTONVILLE
Date Ended Current:					State:	AR
Phone:	479-204-6188				Country:	US
Source Type:	Notification				Zip Code:	72712-8041
Owner/Operator Ind:	Current Operator				Street No:	
Type:	Private				Street 1:	
Name:	WAL-MART STORES EAST, LP				Street 2:	
Date Became Current:	20020426				City:	
Date Ended Current:					State:	
Phone:					Country:	US
Source Type:	Notification				Zip Code:	
Owner/Operator Ind:	Current Owner				Street No:	702
Type:	Private				Street 1:	SW 8TH STREET
Name:	WAL-MART STORES EAST, LP				Street 2:	
Date Became Current:	20030316				City:	BENTONVILLE
Date Ended Current:					State:	AR
Phone:					Country:	US
Source Type:	Notification				Zip Code:	72716
Owner/Operator Ind:	Current Owner				Street No:	
Type:	Private				Street 1:	P.O. BOX 8041
Name:	WAL-MART STORES EAST, LP				Street 2:	
Date Became Current:	20030416				City:	BENTONVILLE
Date Ended Current:					State:	AR
Phone:	479-204-6188				Country:	US
Source Type:	Notification				Zip Code:	72712-8041
Owner/Operator Ind:	Current Operator				Street No:	
Type:	Private				Street 1:	P.O. BOX 8041
Name:	WAL-MART STORES EAST, LP				Street 2:	
Date Became Current:	20030416				City:	BENTONVILLE
Date Ended Current:					State:	AR
Phone:	479-204-6188				Country:	US
Source Type:	Notification				Zip Code:	72712-8041
Owner/Operator Ind:	Current Owner				Street No:	
Type:	Private				Street 1:	PO BOX 8041
Name:	WAL-MART STORES EAST LP				Street 2:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Date Became Current:	20030416				City: BENTONVILLE	
Date Ended Current:					State: AR	
Phone:					Country: US	
Source Type:	Notification				Zip Code: 72712-8041	
Owner/Operator Ind:	Current Operator				Street No:	
Type:	Private				Street 1: PO BOX 8041	
Name:	WAL-MART STORES EAST, LP				Street 2: MS 0505	
Date Became Current:	20030416				City: BENTONVILLE	
Date Ended Current:					State: AR	
Phone:	479-204-6188				Country: US	
Source Type:	Notification				Zip Code: 72712-8041	
Owner/Operator Ind:	Current Operator				Street No: 1300	
Type:	Private				Street 1: SE 8TH ST	
Name:	WAL-MART STORES EAST LP				Street 2:	
Date Became Current:	19890202				City: BENTONVILLE	
Date Ended Current:					State: AR	
Phone:					Country: US	
Source Type:	Notification				Zip Code: 72716	

Historical Handler Details

Receive Dt: 20200623
Generator Code Description: Very Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20190610
Generator Code Description: Very Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20181220
Generator Code Description: Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20180906
Generator Code Description: Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20180614
Generator Code Description: Very Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20170615
Generator Code Description: Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20160809
Generator Code Description: Very Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20140702
Generator Code Description: Very Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20121024
Generator Code Description: Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20101230
Generator Code Description: Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20101011
Generator Code Description: Small Quantity Generator
Handler Name: WALMART SUPERCENTER #1268

Receive Dt: 20080506

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Generator Code Description: Small Quantity Generator
 Handler Name: WAL-MART SUPERCENTER # 1268

Receive Dt: 20060815
 Generator Code Description: Very Small Quantity Generator
 Handler Name: WAL-MART SUPERCENTER # 1268

<u>3</u>	1 of 1	WSW	0.12 / 610.89	92.50 / 8	JASPER TEXTILES INC 1 CLASSIC DRIVE WHITEVILLE NC 28472	UST
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Facility ID:	00-0-0000027275	Contact:	JASPER TEXTILES INC
No Reg Tanks:	0	Contact Address 1:	1 CLASSIC DRIVE PO BOX 1588
No Non-Reg Tanks:	0	Contact Address 2:	
Non-Reg/Com Tanks:	1	Contact City:	WHITEVILLE
Fac Owner Type:	Private/Corporate	Contact State:	NC
Fac Name (Report):	JASPER TEXTILES INC	Contact Zip:	28472
Address1 (Report):	1 CLASSIC DRIVE	Fac Name (Map):	JASPER TEXTILES INC
Address2 (Report):		Fac Address (Map):	1 CLASSIC DRIVE
City (Report):	WHITEVILLE	Facility City (Map):	WHITEVILLE
State (Report):	NC	Facility Zip (Map):	28472
Zip (Report):	28472	Facility Phone (Map) :	
Latitude (Report):	34.303196	X (Map):	-8763607.6544
Longitude (Report):	-78.724827	Y (Map):	4069586.8626
ObjectID (Map):	5575		
Facility Name (PST):			
Address (PST):			
City (PST):			
Latitude:			
Longitude:			

Source: North Carolina Environmental Quality - UST Databases and Reports; Division of Waste Management Site Locator Tool - UST Active Facilities (Map)
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Tank Info (UST Databases and Reports)

Tank ID:	1	Overfill Protection:	Unknown
Tank Status:	Current	Leak Detection:	Unknown
Compartment Tank:	NO	Spill Protection:	Unknown
Manifold Tank:		Piping Constr:	Single Wall Steel
Main Tank:	NO	Tank Constr:	Single Wall Steel
Root Tank ID:		Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:		Piping System:	Unknown
Installation Date:	9/21/1988 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:		FR Bus Name:	
Capacity:	1000	FR Amt:	
Commercial:	NO	FR Desc:	
Regulated:	NO	Last Update Date:	
Product:	Heating Oil/Fuel		

Owner Information

Contact Key:	35560.00	Phone:	(919) 642-0130
Facility Key:	106976	Affiliate Type:	Owner
FIPS County Desc:	Columbus	End Date:	

<u>4</u>	1 of 1	E	0.13 / 704.38	79.82 / -5	Nat Express 1730 J.K. Powell Blvd. Whiteville NC 28472	DELISTED FSS
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Status:		Kerosene:	0
Commercial:	TRUE	Nonhwy:	0
Gasoline:	60	County:	Columbus

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Diesel:	0				Phone: 9102076033	
HV Diesel:	0				Latitude:	
DEF:					Longitude:	
Original Source:		FSS				
Record Date:		07-DEC-2016				

5 1 of 1 E 0.14 / 761.69 79.04 / -6 SAM'S MART 1730 S. J.K. POWELL BLVD. WHITEVILLE NC 28472 UST

Facility ID:	00-0-0000035200	Contact:	SAMA 2000, CORPORATION
No Reg Tanks:	3	Contact Address 1:	1730 SOUTH JK POWELL BLVD.
No Non-Reg Tanks:	0	Contact Address 2:	
Non-Reg/Com Tanks:	0	Contact City:	WHITEVILLE
Fac Owner Type:	Private/Corporate	Contact State:	NC
Fac Name (Report):	SAM'S MART	Contact Zip:	28472
Address1 (Report):	1730 S. J.K. POWELL BLVD.	Fac Name (Map):	SAM'S MART
Address2 (Report):		Fac Address (Map):	1730 S. J.K. POWELL BLVD.
City (Report):	WHITEVILLE	Facility City (Map):	WHITEVILLE
State (Report):	NC	Facility Zip (Map):	28472
Zip (Report):	28472	Facility Phone (Map) :	
Latitude (Report):	34.304835	X (Map):	-8762920.3679
Longitude (Report):	-78.718653	Y (Map):	4069807.7339
ObjectID (Map):	7037		
Facility Name (PST):			
Address (PST):			
City (PST):			
Latitude:			
Longitude:			

Source: North Carolina Environmental Quality - UST Databases and Reports; Division of Waste Management Site Locator Tool - UST Active Facilities (Map)
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Tank Info (UST Databases and Reports)

Tank ID:	2	Overfill Protection:	Auto Shutoff Device
Tank Status:	Current	Leak Detection:	
Compartment Tank:	NO	Spill Protection:	Catchment Basin
Manifold Tank:	NO	Piping Constr:	Single Wall FRP
Main Tank:	NO	Tank Constr:	Single Wall Steel
Root Tank ID:		Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:	201206365O1	Piping System:	Unknown
Installation Date:	1/1/1997 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:		FR Bus Name:	Wells Fargo Bank, N.A.
Capacity:	15534	FR Amt:	957000
Commercial:	YES	FR Desc:	Letter of Credit
Regulated:	YES	Last Update Date:	
Product:	Gasoline, Gas Mix		

Tank Info (UST Databases and Reports)

Tank ID:	3	Overfill Protection:	Auto Shutoff Device
Tank Status:	Current	Leak Detection:	
Compartment Tank:	NO	Spill Protection:	Catchment Basin
Manifold Tank:	NO	Piping Constr:	Single Wall FRP
Main Tank:	NO	Tank Constr:	Single Wall Steel
Root Tank ID:		Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:	201206365O1	Piping System:	Unknown
Installation Date:	1/1/1997 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:		FR Bus Name:	Wells Fargo Bank, N.A.
Capacity:	15534	FR Amt:	957000
Commercial:	YES	FR Desc:	Letter of Credit

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Regulated: YES
Product: Gasoline, Gas Mix
Last Update Date:

Tank Info (UST Databases and Reports)

Tank ID:	1	Overfill Protection:	Auto Shutoff Device
Tank Status:	Current	Leak Detection:	
Compartment Tank:	NO	Spill Protection:	Catchment Basin
Manifold Tank:	NO	Piping Constr:	Single Wall FRP
Main Tank:	NO	Tank Constr:	Single Wall Steel
Root Tank ID:		Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:	201206365O1	Piping System:	Unknown
Installation Date:	1/1/1997 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:		FR Bus Name:	Wells Fargo Bank, N.A.
Capacity:	20727	FR Amt:	957000
Commercial:	YES	FR Desc:	Letter of Credit
Regulated:	YES	Last Update Date:	
Product:	Gasoline, Gas Mix		

Owner Information

Contact Key:	232622.00	Phone:	(919) 774-6700
Facility Key:	113697	Affiliate Type:	Owner
FIPS County Desc:	Columbus	End Date:	

6	1 of 1	E	0.15 / 768.19	80.89 / -4	QUICKIE 11 HWY 701 & 130 WHITEVILLE NC	LUR
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Prj No:	WI-770	Certification:	None
Prj Status:	No Further Action	Deed Bk:	
Contam Src:	UST System	Deed Pg:	
Instrument Status:	Effective	Plat Bk:	
Instrument:	Notice and Restriction	Plat Pg:	
Rec Date:	4/3/2007	Plat Link 1:	
Plat Rec Date:		Deed Link 1:	Recorded Document Link
Deed Date:	Recorded 4-3-2007	Prj County:	Columbus
Plat Date:		X:	2084971.108
Restricted Media:	Groundwater Only	Y:	202042.5466
Allowed Use:	Media Restrictions Only		
COC:	Multi COC		
DWM Program:	Underground Storage Tank Section		
Deed:			
Plat:			
DWM Contact:	Wilmington Regional Office (910) 796-7215		
Deed Link:	https://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-770%2A%22%7D		
Plat Link URL:			
Note:	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx		

7	1 of 1	E	0.15 / 788.37	85.58 / 1	Quick Stop Food Mart 111 (Sam's Mart) 1730 S. JK Powell Blvd Whiteville NC 28472	LUST
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Incdnt No (DWM Map):	43191	Incident No:	43191
Fac ID (DWM Map):	00-0-0000035200	Facility ID:	00-0-0000035200
UST No (DWM Map):	WI-8207	UST No:	WI-8207
Curr Stat (DWM Map):	Current Record	Current Status:	C
Close Out(DWMMMap):	2020/12/08 00:00:00+00	Status Title:	Current Record
Dt Occur (DWM Map):	2019/06/28 00:00:00+00	Close Out:	12/7/2020

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Incident (DWM Map):	Quick Stop Food Mart 111 (Sam's Mart)				Date Occurred:	6/27/2019
Address (DWM Map):	1730 S. JK Powell Blvd				Contam Type:	Soil
County (DWM Map):	COLUM				Cleanup:	6/27/2019
City (DWM Map):	Whiteville				County:	COLUM
Zip Code (DWM Map):	28472				Latitude:	34.304555
Latitude (DWM Map):	34.304555				Longitude:	-78.718743
Long (DWM Map):	-78.718743					

Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Data Source: Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (ASSIGNID); RUST Incident Management Database (PIRF); RUST Incident Management Database (RRA); RUST Incident Management Database (STATUS)

Incident Information

Src Contamination:	3	Date Entered:	19-Aug-2019 00:00:00
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Incident Details

Release Code:	2	Samples Include:	
Release Cause:	7	7.5 Min Quad:	
Release Source:	A	5 Min Quad:	
Type:	3	Submitted Date:	
Location:	1	I Ownership:	4
Site Priority:		Owner Operator:	
Priority Update:		Ownership:	4
Source Type:	P	Ownership Desc:	Private
ERR Type:		Operation Type:	6
Wells Affected Y/N:	N	Operation Desc:	Commercial
Wells Affected:		PIRF Min Soil:	
Samples Taken By:	Y		
Description of Incident:			

RRA

RRA Date:	10-Jul-2020 00:00:00	RRA Rank:	0025
RRA Init:	LEP	RRA Abate:	R
RRA Risk:	L		
RRA ID:	46454		

Incident Status

Last Modified:	07-Dec-2020 00:00:00	Public Meeting Held:	
Incident Phase:	CO	Corrective Act Plan:	
Incid Phase Desc:	Close Out	SOC Signed:	
NOV Issued:		Reclassification Rep:	
NORR Issued:		RS Designation:	
45 Day Report:		Closure Req Date:	

UST Incidents

RO Code:	WIL	Reg:	R
CD No:	0	Conf Risk:	L
Date Reported:	2019/08/20 00:00:00+00	RRA Date:	2020/07/11 00:00:00+00
Land Use:		RRA Risk:	L
LUR Filed:	2020/09/19 00:00:00+00	RRA Rank Curr:	25
LUR Resc:		RRA Abate:	R
LUR State:	B	Risk:	L
X:	2084944.65401706	RRA Rank:	0025
Y:	201951.960791484	MGR:	LEP
Comm:	C		
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-8207%2A%22%7D		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Object ID: 40803

RUST Data

MGR:	LEP	LUR Resc:	
RO Code:	WIL	LUR State:	B
Date Reported:	2019/08/20 00:00:00+00	SL MGR:	
Date Reported FY:	2019	SL Cleanup Strt Dt:	
Date Occured FY:	2019	SL Cleanup End Dt:	
Comm:	C	SL Site Stat:	
Reg:	R	SL Ftfrecdte:	
Perccomfndelig:		CD NO:	0
TOT Paid:		RRA Date:	2020/07/11 00:00:00+00
Conf Risk:	L	RRA Risk:	L
Risk:	L	RRA Rank Curr:	25
Landuse:		RRA Abate:	R
Inc Stat:	Closed	RRA Rank:	0025
Closeout FY:	2021	X:	2084944.65414364
LUR Filed:	2020/09/19 00:00:00+00	Y:	201951.96093331
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-8207%2A%22%7D		
Comment:	NRP filed on soil and GW in deed book 1236, pages 837-840 **Note: Many records provided by the department have a truncated [Comment] field.		

LUST Database

MGR:	LEP	Contact:	Albert O. McCauley
Regional Office Cd:	WIL	Telephone:	9104825790
Date Reported:	8/19/2019	RP Address:	PO Box 361
Release Code:	0	RP City:	Fayetteville
Release Code Desc:		RP State:	NC
Source:	3	RP Zip Code:	28302
Source Desc:	LEAK, UST	RP County:	
Site Priority:		RP Email:	
Pollutant Type:	3	RP Email1:	
Pollutant Desc:	GASOLINE/DIESEL/KEROSENE	RP Owner:	TRUE
Petroleum Type:	P	RP Operator:	FALSE
Petrol Type Desc:	PETROLEUM	RP Land Owner:	TRUE
COMM:	C	Lur Status:	
COMM Desc:	COMMERCIAL	LUR Filed:	9/18/2020
Regulated Code:	R	LUR Resc:	
Reg Code Desc:	REGULATED	LUR State:	B
Notice Rg Rq Issd:		GPS Conf:	31
Notice Violtn Issd:		RBCA GW:	G2
Contamination:	SL	RBCA GW Desc:	Cleanups to alternate standards
Cleanup:	6/27/2019	RBCA:	S1
Conf Risk:	L	RBCA Desc:	Residential
Risk:	L	CD No:	0
Land Use:		Reel No:	0
Land Use Desc:		ERR CD:	NO
Phase Reqr:		Valid:	FALSE
Intrmdt Cndition:		Cat Code:	
Corr Act Plan Cd:		HCS Res:	
CAP Desc:		Reliability:	
Clos Reqs:		Supply Well:	0
MTBE:	0	New Source:	
MTBE 1:	U	Book:	D
RP Company:	AOM Investments, LLC	Page:	837-840
HCS Ref:	Google Earth		
Comment:	NRP filed on soil and GW in deed book 1236, pages 837-840 **Note: Many records provided by the department have a truncated [Comment] field.		

NRP filed on soil and GW in deed book 1236, pages 837-840 **Note: Many records provided by the department have a truncated [Comment] field.

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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WHITEVILLE NC 28472

Facility ID:	00-0-0000036553	Contact:	MURPHY OIL USA, INC.
No Reg Tanks:	7	Contact Address 1:	PO BOX 7000/200 PEACH ST
No Non-Reg Tanks:	0	Contact Address 2:	
Non-Reg/Com Tanks:	0	Contact City:	EL DORADO
Fac Owner Type:	Private/Corporate	Contact State:	AR
Fac Name (Report):	MURPHY USA 6912	Contact Zip:	71730-7000
Address1 (Report):	102 COLUMBUS CORNERS DRIVE	Fac Name (Map):	MURPHY USA 7733
Address2 (Report):		Fac Address (Map):	102 COLUMBUS CORNERS DRIVE
City (Report):	WHITEVILLE	Facility City (Map):	WHITEVILLE
State (Report):	NC	Facility Zip (Map):	28472
Zip (Report):	28472	Facility Phone (Map) :	
Latitude (Report):	34.300931	X (Map):	-8763324.1237
Longitude (Report):	-78.72272	Y (Map):	4069324.6257
ObjectID (Map):	8505		
Facility Name (PST):	MURPHY USA 6912		
Address (PST):	102 COLUMBUS CORNERS DRIVE		
City (PST):	WHITEVILLE		
Latitude:	34.300931		
Longitude:	-78.72272		
Source:	North Carolina Environmental Quality - UST Databases and Reports; Division of Waste Management Site Locator Tool - UST Active Facilities (Map); Petroleum Storage Tanks Mapper (PST)		
Note:	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx		

Tank Info (UST Databases and Reports)

Tank ID:	A2A	Overfill Protection:	Auto Shutoff Device
Tank Status:	Current	Leak Detection:	MLLD
Compartment Tank:	YES	Spill Protection:	Catchment Basin
Manifold Tank:	NO	Piping Constr:	Single Wall FRP
Main Tank:	YES	Tank Constr:	Double Wall FRP
Root Tank ID:	275430	Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:	20130461301	Piping System:	Pressurized System
Installation Date:	3/5/2003 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:		FR Bus Name:	Murphy Oil USA, Inc.
Capacity:	12000	FR Amt:	462000
Commercial:	YES	FR Desc:	Self-Insurance
Regulated:	YES	Last Update Date:	
Product:	Diesel		

Tank Info (UST Databases and Reports)

Tank ID:	A2B	Overfill Protection:	Auto Shutoff Device
Tank Status:	Current	Leak Detection:	MLLD
Compartment Tank:	YES	Spill Protection:	Catchment Basin
Manifold Tank:	NO	Piping Constr:	Single Wall FRP
Main Tank:	NO	Tank Constr:	Double Wall FRP
Root Tank ID:	275430	Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:	20130461301	Piping System:	Pressurized System
Installation Date:	3/5/2003 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:		FR Bus Name:	Murphy Oil USA, Inc.
Capacity:	8000	FR Amt:	462000
Commercial:	YES	FR Desc:	Self-Insurance
Regulated:	YES	Last Update Date:	
Product:	Gasoline, Gas Mix		

Tank Info (UST Databases and Reports)

Tank ID:	B2B	Overfill Protection:	Auto Shutoff Device
Tank Status:	Intent to Install	Leak Detection:	MLLD
Compartment Tank:	YES	Spill Protection:	Catchment Basin

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Manifold Tank:	NO				Piping Constr:	Double Wall FRP
Main Tank:	NO				Tank Constr:	Double Wall FRP
Root Tank ID:	392671				Other CP Tank:	
Tank Cert No:					Other CP Name:	
Cert No:					Piping System:	Pressurized System
Installation Date:	1/25/2019 0:00:00				FIPS County Desc:	Columbus
Perm Close Date:					FR Bus Name:	Murphy Oil USA, Inc.
Capacity:	10000				FR Amt:	462000
Commercial:	NO				FR Desc:	Self-Insurance
Regulated:	YES				Last Update Date:	
Product:	Gasoline, Gas Mix					

Tank Info (UST Databases and Reports)

Tank ID:	B2C				Overfill Protection:	Auto Shutoff Device
Tank Status:	Intent to Install				Leak Detection:	MLLD
Compartment Tank:	YES				Spill Protection:	Catchment Basin
Manifold Tank:	NO				Piping Constr:	Double Wall FRP
Main Tank:	NO				Tank Constr:	Double Wall FRP
Root Tank ID:	392671				Other CP Tank:	
Tank Cert No:					Other CP Name:	
Cert No:					Piping System:	Pressurized System
Installation Date:	1/25/2019 0:00:00				FIPS County Desc:	Columbus
Perm Close Date:					FR Bus Name:	Murphy Oil USA, Inc.
Capacity:	8000				FR Amt:	462000
Commercial:	NO				FR Desc:	Self-Insurance
Regulated:	YES				Last Update Date:	
Product:	Gasoline, Gas Mix					

Tank Info (UST Databases and Reports)

Tank ID:	A1				Overfill Protection:	Auto Shutoff Device
Tank Status:	Current				Leak Detection:	MLLD
Compartment Tank:	NO				Spill Protection:	Catchment Basin
Manifold Tank:	NO				Piping Constr:	Other
Main Tank:	NO				Tank Constr:	Double Wall FRP
Root Tank ID:					Other CP Tank:	
Tank Cert No:					Other CP Name:	
Cert No:	201304613O1				Piping System:	Pressurized System
Installation Date:	3/5/2003 0:00:00				FIPS County Desc:	Columbus
Perm Close Date:					FR Bus Name:	Murphy Oil USA, Inc.
Capacity:	20000				FR Amt:	462000
Commercial:	YES				FR Desc:	Self-Insurance
Regulated:	YES				Last Update Date:	
Product:	Gasoline, Gas Mix					

Tank Info (UST Databases and Reports)

Tank ID:	B1				Overfill Protection:	Auto Shutoff Device
Tank Status:	Intent to Install				Leak Detection:	MLLD
Compartment Tank:	NO				Spill Protection:	Catchment Basin
Manifold Tank:	NO				Piping Constr:	Double Wall FRP
Main Tank:	NO				Tank Constr:	Double Wall FRP
Root Tank ID:					Other CP Tank:	
Tank Cert No:					Other CP Name:	
Cert No:					Piping System:	Pressurized System
Installation Date:	1/25/2019 0:00:00				FIPS County Desc:	Columbus
Perm Close Date:					FR Bus Name:	Murphy Oil USA, Inc.
Capacity:	25000				FR Amt:	462000
Commercial:	NO				FR Desc:	Self-Insurance
Regulated:	YES				Last Update Date:	
Product:	Gasoline, Gas Mix					

Tank Info (UST Databases and Reports)

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Tank ID:	B2A	Overfill Protection:	Auto Shutoff Device
Tank Status:	Intent to Install	Leak Detection:	MLLD
Compartment Tank:	YES	Spill Protection:	Catchment Basin
Manifold Tank:	NO	Piping Constr:	Double Wall FRP
Main Tank:	YES	Tank Constr:	Double Wall FRP
Root Tank ID:		Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:		Piping System:	Pressurized System
Installation Date:	1/25/2019 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:		FR Bus Name:	Murphy Oil USA, Inc.
Capacity:	8000	FR Amt:	462000
Commercial:	NO	FR Desc:	Self-Insurance
Regulated:	YES	Last Update Date:	
Product:	Gasoline, Gas Mix		

Owner Information

Contact Key:	47909.00	Phone:	(870) 862-6411
Facility Key:	115115	Affiliate Type:	Owner
FIPS County Desc:	Columbus	End Date:	

PST Details

ObjectID:	5250	Total Tanks:	3
Products:	Gasoline and Diesel	Total Gasmix Tanks:	2
Other Products:		Total Diesel Tanks:	1
Total Gasmix:	28000	Total Other Tanks:	0
Total Diesel:	12000	Contact:	MURPHY OIL USA, INC.
Total Other:	0	Phone:	(870) 862-6411

<u>9</u>	1 of 1	S	0.18 / 957.48	98.48 / 14	Murphy USA #6912 102 Columbus Corners Dr. Whiteville NC 28472	FUEL STATIONS
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Status:	Active	DEF:	0
Gasoline:	36	Commercial:	TRUE
Diesel:	2	County:	Columbus
HV Diesel:	0	Latitude:	34.301123
Kerosene:	0	Longitude:	-78.722537
Non Hwy:	0	Phone:	9106401704

<u>10</u>	1 of 1	SW	0.20 / 1,082.18	94.85 / 10	SALLY BEAUTY SUPPLY #2215 314 COLUMBUS CORNERS DR. WHITEVILLE NC 28472	RCRA VSQG
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EPA Handler ID:	NCR000176388
Gen Status Universe:	VSG
Contact Name:	DEBBIE MIDDLETON
Contact Address:	3001 , COLORADO BLVD. , , DENTON , TX, 76210 , US
Contact Phone No and Ext:	940-297-4964
Contact Email:	DMIDDLETON@SALLYBEAUTY.COM
Contact Country:	US
County Name:	COLUMBUS
EPA Region:	04
Land Type:	Private
Receive Date:	20201023
Location Latitude:	34.302288
Location Longitude:	-78.7249

Violation/Evaluation Summary

Note: NO RECORDS: As of Jun 2021, there are no Compliance Monitoring and Enforcement (violation) records

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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associated with this facility (EPA ID).

Handler Summary

Importer Activity: No
Mixed Waste Generator: No
Transporter Activity: No
Transfer Facility: No
Onsite Burner Exemption: No
Furnace Exemption: No
Underground Injection Activity: No
Commercial TSD: No
Used Oil Transporter: No
Used Oil Transfer Facility: No
Used Oil Processor: No
Used Oil Refiner: No
Used Oil Burner: No
Used Oil Market Burner: No
Used Oil Spec Marketer: No

Hazardous Waste Handler Details

Sequence No: 1
Receive Date: 20201023
Handler Name: SALLY BEAUTY SUPPLY #2215
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator
Source Type: Notification

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Hazardous Waste Code: D011
Waste Code Description: SILVER

Hazardous Waste Code: D018
Waste Code Description: BENZENE

Hazardous Waste Code: D035
Waste Code Description: METHYL ETHYL KETONE

Hazardous Waste Code: U002
Waste Code Description: 2-PROPANONE (I) (OR) ACETONE (I)

Hazardous Waste Code: U112
Waste Code Description: ACETIC ACID, ETHYL ESTER (I) (OR) ETHYL ACETATE (I)

Hazardous Waste Code: U118

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:		2-PROPENOIC ACID, 2-METHYL-, ETHYL ESTER (OR) ETHYL METHACRYLATE				
Hazardous Waste Code:		U123				
Waste Code Description:		FORMIC ACID (C,T)				
Hazardous Waste Code:		U154				
Waste Code Description:		METHANOL (I) (OR) METHYL ALCOHOL (I)				

Owner/Operator Details

Owner/Operator Ind:	Current Owner	Street No:	400
Type:	Private	Street 1:	MALL BLVD. STE. M-1
Name:	WHITEVILLE/SAV	Street 2:	
Date Became Current:	20100415	City:	SAVANNAH
Date Ended Current:		State:	GA
Phone:		Country:	US
Source Type:	Notification	Zip Code:	31406
Owner/Operator Ind:	Current Operator	Street No:	3001
Type:	Private	Street 1:	COLORADO BLVD.
Name:	SALLY BEAUTY SUPPLY LLC	Street 2:	
Date Became Current:	20100415	City:	DENTON
Date Ended Current:		State:	TX
Phone:		Country:	US
Source Type:	Notification	Zip Code:	76210

11	1 of 1	SSW	0.21 / 1,101.91	101.98 / 17	MURPHY OIL USA, INC 102 COLUMBUS CORNERS DRIVE WHITEVILLE NC	LUST
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Incdnt No (DWM Map):		Incident No:	
Fac ID (DWM Map):	00-0-0000036553	Facility ID:	00-0-0000036553
UST No (DWM Map):	WI-8223	UST No:	WI-8223
Curr Stat (DWM Map):	Current Record	Current Status:	C
Close Out(DWMMMap):	2020/04/08 00:00:00+00	Status Title:	Current Record
Dt Occur (DWM Map):	2019/04/30 00:00:00+00	Close Out:	4/7/2020
Incident (DWM Map):	MURPHY OIL USA, INC	Date Occurred:	4/29/2019
Address (DWM Map):	102 COLUMBUS CORNERS DRIVE	Contam Type:	None
County (DWM Map):	COLUM	Cleanup:	4/29/2019
City (DWM Map):	WHITEVILLE	County:	COLUM
Zip Code (DWM Map):		Latitude:	34.300685
Latitude (DWM Map):	34.300685	Longitude:	-78.723173
Long (DWM Map):	-78.723173		
Note:	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx		
Data Source:	Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)		

RUST Data

MGR:	SBB	LUR Resc:	
RO Code:	WIL	LUR State:	
Date Reported:	2019/11/23 00:00:00+00	SL MGR:	
Date Reported FY:	2020	SL Cleanup Strt Dt:	
Date Occured FY:	2019	SL Cleanup End Dt:	
Comm:	C	SL Site Stat:	
Reg:	R	SL Ftfrecdte:	
Perccomfndelig:		CD NO:	
TOT Paid:		RRA Date:	
Conf Risk:	L	RRA Risk:	
Risk:		RRA Rank Curr:	0
Landuse:		RRA Abate:	
Inc Stat:	Closed	RRA Rank:	
Closeout FY:	2020	X:	2083610.65845887
LUR Filed:		Y:	200539.762058386

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Docs Link:		http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-8223%2A%22%7D				
Comment:		< DRO&GRO action limits. No Soil TPH, but Hit groundwater. Waiting on GW samples....20200102 – Spoke with Carol Austin of PPM to see if they will be needing a letter/NORR from us requesting a well be placed since groundwater was encountered. Carol said th **Note: Many records provided by the department have a truncated [Comment] field.				

LUST Database

MGR:	sbb	Contact:	
Regional Office Cd:	WIL	Telephone:	8708751600
Date Reported:	11/22/2019	RP Address:	200 Peach Street
Release Code:		RP City:	El Dorado
Release Code Desc:		RP State:	AR
Source:		RP Zip Code:	71731
Source Desc:		RP County:	
Site Priority:		RP Email:	
Pollutant Type:		RP Email1:	
Pollutant Desc:		RP Owner:	TRUE
Petroleum Type:	P	RP Operator:	TRUE
Petrol Type Desc:	PETROLEUM	RP Land Owner:	FALSE
COMM:	C	Lur Status:	
COMM Desc:	COMMERCIAL	LUR Filed:	
Regulated Code:	R	LUR Resc:	
Reg Code Desc:	REGULATED	LUR State:	
Notice Rg Rq Issd:		GPS Conf:	32
Notice Violtn Issd:		RBCA GW:	
Contamination:	NO	RBCA GW Desc:	
Cleanup:	4/29/2019	RBCA:	
Conf Risk:	L	RBCA Desc:	
Risk:		CD No:	
Land Use:		Reel No:	
Land Use Desc:		ERR CD:	NO
Phase Reqr:		Valid:	FALSE
Intrmdt Cndition:		Cat Code:	
Corr Act Plan Cd:		HCS Res:	
CAP Desc:		Reliability:	
Clos Reqs:		Supply Well:	0
MTBE:	0	New Source:	
MTBE 1:	U	Book:	
RP Company:	Murphy Oil USA, Inc.	Page:	
HCS Ref:			
Comment:			

< DRO&GRO action limits. No Soil TPH, but Hit groundwater. Waiting on GW samples....20200102 – Spoke with Carol Austin of PPM to see if they will be needing a letter/NORR from us requesting a well be placed since groundwater was encountered. Carol said that if she calls Murphy Oil, they should get going on it. 20200309 Spoke with Carol 251-243-5106. She said the report is in "internal review" and should be here within the next week or two. GW samples showed no petrol constituents.

12	1 of 1	ESE	0.22 / 1,151.36	92.61 / 8	QUICKIE 11 HWY 701 & 130 WHITEVILLE NC 28472	LUST
Incdnt No (DWM Map):	3565	Incident No:	3565			
Fac ID (DWM Map):	00-0-0000021588	Facility ID:	00-0-0000021588			
UST No (DWM Map):	WI-770	UST No:	WI-770			
Curr Stat (DWM Map):	Archived	Current Status:	A			
Close Out(DWMMMap):	2007/03/15 00:00:00+00	Status Title:	Archived			
Dt Occur (DWM Map):	1984/10/05 00:00:00+00	Close Out:	3/14/2007			
Incident (DWM Map):	QUICKIE 11	Date Occurred:	10/4/1984			
Address (DWM Map):	HWY 701 & 130	Contam Type:	Groundwater/Both			
County (DWM Map):	COLUM	Cleanup:	10/4/1988			
City (DWM Map):	WHITEVILLE	County:	COLUM			
Zip Code (DWM Map):	28472	Latitude:	34.303857			
Latitude (DWM Map):	34.303857	Longitude:	-78.717847			

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Long (DWM Map): -78.717847
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>
Data Source: Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (PIRF); RUST Incident Management Database (STATUS)

Incident Details

Release Code:		Samples Include:	
Release Cause:		7.5 Min Quad:	
Release Source:		5 Min Quad:	
Type:	3	Submitted Date:	29-Dec-1987 00:00:00
Location:	1	I Ownership:	4
Site Priority:	180A	Owner Operator:	MR. JOHN PLASKY
Priority Update:	30-May-1998 00:00:00	Ownership:	4
Source Type:		Ownership Desc:	Private
ERR Type:		Operation Type:	6
Wells Affected Y/N:	N	Operation Desc:	Commercial
Wells Affected:	0.0	PIRF Min Soil:	Pirf
Samples Taken By:	5		
Description of Incident:	AREA BUSINESSES COMPLAINED THAT GASOLINE FUMES WERE ENTERING THEIR PLACE OF BUSINESS THROUGH THE VENTS OF THEIR SANITARY SEWER.		

Incident Report

Report Type:	RMR	Approved Date:	3/4/2003
Request Date:		Implement Date:	
Received Date:	1/21/2003	Due Date:	
Reviewed Date:	3/4/2003		
PRT ID:	1079119		
Report Type Description:	Remediation Monitoring Report		
Comment:			

SYSTEM PREVIOUSLY INSTALLED IS SHUT DOWN needs redesign. One water supply well within 500 feet . Cain machine shop. Refuses public water.

Report Type:	RMR	Approved Date:	
Request Date:		Implement Date:	
Received Date:	6/14/2006	Due Date:	
Reviewed Date:	7/18/2006		
PRT ID:	1083196		
Report Type Description:	Remediation Monitoring Report		
Comment:			

Report Type:	RMR	Approved Date:	1/11/2004
Request Date:		Implement Date:	
Received Date:	11/22/2004	Due Date:	
Reviewed Date:	1/11/2004		
PRT ID:	1079234		
Report Type Description:	Remediation Monitoring Report		
Comment:			

new system installed to remediate groundwater below GcL's. Then will low risk and close. Soil is already below residential.

Report Type:	RMR	Approved Date:	
Request Date:		Implement Date:	
Received Date:	12/28/2005	Due Date:	
Reviewed Date:	1/24/2006		
PRT ID:	1086852		
Report Type Description:	Remediation Monitoring Report		
Comment:			

system turned off in dec 2005 because of 4 quarters of below gcl's. RP will continue gw monitoring **Note: Many records provided by the department have a truncated [Comment] field.

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Report Type: CAP
Request Date:
Received Date: 5/10/1988
Reviewed Date:
PRT ID: 1083691
Report Type Description: Corrective Action Plan - Soil & GW
Comment:

Approved Date:
Implement Date: 1/30/1989
Due Date:

pump and treat system no longer active.

Report Type: RMR
Request Date:
Received Date: 7/8/2005
Reviewed Date:
PRT ID: 1083602
Report Type Description: Remediation Monitoring Report
Comment:

Approved Date:
Implement Date:
Due Date:

Report Type: CSA
Request Date:
Received Date: 5/10/1988
Reviewed Date:
PRT ID: 1085851
Report Type Description:
Comment:

Approved Date:
Implement Date:
Due Date:

Report Type: RMR
Request Date:
Received Date: 1/3/2007
Reviewed Date:
PRT ID: 1083263
Report Type Description: Remediation Monitoring Report
Comment:

Approved Date:
Implement Date:
Due Date:

4 quarters below GcL's will low risk and send NRP NORR **Note: Many records provided by the department have a truncated [Comment] field.

Report Type: PN
Request Date:
Received Date: 1/23/2008
Reviewed Date:
PRT ID: 1083320
Report Type Description: Public Notification
Comment:

Approved Date:
Implement Date:
Due Date:

Report Type: RMR
Request Date:
Received Date: 5/21/2007
Reviewed Date:
PRT ID: 1083034
Report Type Description: Remediation Monitoring Report
Comment:

Approved Date:
Implement Date:
Due Date:

Incident Status

Last Modified: 14-Mar-2007 00:00:00
Incident Phase: CO
Incid Phase Desc: Close Out
NOV Issued:
NORR Issued: 09-Mar-2000 00:00:00
45 Day Report:

Public Meeting Held:
Corrective Act Plan:
SOC Signed:
Reclassification Rep:
RS Designation:
Closure Req Date:

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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UST Incidents

RO Code:	WIL	Reg:	R
CD No:	436	Conf Risk:	L
Date Reported:	1984/10/05 00:00:00+00	RRA Date:	
Land Use:	RES	RRA Risk:	
LUR Filed:	2007/04/05 00:00:00+00	RRA Rank Curr:	0
LUR Resc:		RRA Abate:	
LUR State:	G	Risk:	H
X:	2085215.98090222	RRA Rank:	
Y:	201698.700471222	MGR:	DTM
Comm:	C		
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-770%2A%22%7D		
Object ID:	10560		

RUST Data

MGR:	DTM	LUR Resc:	
RO Code:	WIL	LUR State:	G
Date Reported:	1984/10/05 00:00:00+00	SL MGR:	
Date Reported FY:	1985	SL Cleanup Strt Dt:	
Date Occured FY:	1985	SL Cleanup End Dt:	
Comm:	C	SL Site Stat:	
Reg:	R	SL Ftfrecdte:	
Perccomfndelig:	100	CD NO:	436
TOT Paid:	19186.38	RRA Date:	
Conf Risk:	L	RRA Risk:	
Risk:	H	RRA Rank Curr:	0
Landuse:	RES	RRA Abate:	
Inc Stat:	Closed	RRA Rank:	
Closeout FY:	2007	X:	2085215.98093774
LUR Filed:	2007/04/05 00:00:00+00	Y:	201698.700566236
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-770%2A%22%7D		
Comment:	#Error, pulled file for archiving 9/1/2011.		

LUST Database

MGR:	DTM	Contact:	MR. CHARLES LYTLE
Regional Office Cd:	WIL	Telephone:	
Date Reported:	10/4/1984	RP Address:	P. O. BOX 98
Release Code:	0	RP City:	WHITEVILLE
Release Code Desc:		RP State:	NC
Source:	3	RP Zip Code:	28472
Source Desc:	LEAK, UST	RP County:	
Site Priority:	180A	RP Email:	
Pollutant Type:	3	RP Email1:	
Pollutant Desc:	GASOLINE/DIESEL/KEROSENE	RP Owner:	TRUE
Petroleum Type:	P	RP Operator:	FALSE
Petrol Type Desc:	PETROLEUM	RP Land Owner:	TRUE
COMM:	C	Lur Status:	
COMM Desc:	COMMERCIAL	LUR Filed:	4/4/2007
Regulated Code:	R	LUR Resc:	
Reg Code Desc:	REGULATED	LUR State:	G
Notice Rg Rq Issd:	3/9/2000	GPS Conf:	31
Notice Violtn Issd:		RBCA GW:	G2
Contamination:	GW	RBCA GW Desc:	Cleanups to alternate standards
Cleanup:	10/4/1988	RBCA:	S3
Conf Risk:	L	RBCA Desc:	Soil to Groundwater
Risk:	H	CD No:	436
Land Use:	RES	Reel No:	0
Land Use Desc:	Residential	ERR CD:	
Phase Reqrd:		Valid:	TRUE
Intrmdt Cndition:	G	Cat Code:	
Corr Act Plan Cd:	P	HCS Res:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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CAP Desc:	Pump & Treat				Reliability:	
Clos Reqs:					Supply Well:	0
MTBE:	0				New Source:	
MTBE 1:	Y				Book:	
RP Company:	LYTLE OIL COMPANY				Page:	
HCS Ref:	Google Earth					
Comment:						

#Error, pulled file for archiving 9/1/2011.

13	1 of 1	ESE	0.24 / 1,277.07	93.74 / 9	DBA RITE AID #11529 1728 S MADISON ST WHITEVILLE NC 28472	RCRA NON GEN
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EPA Handler ID:	NCR000156927
Gen Status Universe:	No Report
Contact Name:	KIMBERLY A DASCOLI
Contact Address:	200 , WILMOT ROAD , , DEERFIELD , IL, 60015 , US
Contact Phone No and Ext:	847-315-2812
Contact Email:	KIM.DASCOLI@WALGREENS.COM
Contact Country:	US
County Name:	COLUMBUS
EPA Region:	04
Land Type:	Private
Receive Date:	20180731
Location Latitude:	
Location Longitude:	

Violation/Evaluation Summary

Note: NO RECORDS: As of Jun 2021, there are no Compliance Monitoring and Enforcement (violation) records associated with this facility (EPA ID).

Handler Summary

Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility:	No
Onsite Burner Exemption:	No
Furnace Exemption:	No
Underground Injection Activity:	No
Commercial TSD:	No
Used Oil Transporter:	No
Used Oil Transfer Facility:	No
Used Oil Processor:	No
Used Oil Refiner:	No
Used Oil Burner:	No
Used Oil Market Burner:	No
Used Oil Spec Marketer:	No

Hazardous Waste Handler Details

Sequence No:	1
Receive Date:	20121018
Handler Name:	RITE AID #11529
Source Type:	Notification
Federal Waste Generator Code:	3
Generator Code Description:	Very Small Quantity Generator

Waste Code Details

Hazardous Waste Code:	D001
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Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:		IGNITABLE WASTE				
Hazardous Waste Code:		D002				
Waste Code Description:		CORROSIVE WASTE				
Hazardous Waste Code:		D007				
Waste Code Description:		CHROMIUM				
Hazardous Waste Code:		D009				
Waste Code Description:		MERCURY				
Hazardous Waste Code:		D010				
Waste Code Description:		SELENIUM				
Hazardous Waste Code:		D024				
Waste Code Description:		M-CRESOL				
Hazardous Waste Code:		P001				
Waste Code Description:		2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%				
Hazardous Waste Code:		P075				
Waste Code Description:		NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS				

Hazardous Waste Handler Details

Sequence No: 2
Receive Date: 20150904
Handler Name: RITE AID #11529
Source Type: Notification
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator

Waste Code Details

Hazardous Waste Code: D001
Waste Code Description: IGNITABLE WASTE

Hazardous Waste Code: D002
Waste Code Description: CORROSIVE WASTE

Hazardous Waste Code: D005
Waste Code Description: BARIUM

Hazardous Waste Code: D006
Waste Code Description: CADMIUM

Hazardous Waste Code: D007
Waste Code Description: CHROMIUM

Hazardous Waste Code: D008
Waste Code Description: LEAD

Hazardous Waste Code: D009
Waste Code Description: MERCURY

Hazardous Waste Code: D010
Waste Code Description: SELENIUM

Hazardous Waste Code: D011
Waste Code Description: SILVER

Hazardous Waste Code: D016
Waste Code Description: 2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)

Hazardous Waste Code: D018

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Waste Code Description:					BENZENE	
Hazardous Waste Code:					D024	
Waste Code Description:					M-CRESOL	
Hazardous Waste Code:					D026	
Waste Code Description:					CRESOL	
Hazardous Waste Code:					D027	
Waste Code Description:					1,4-DICHLOROBENZENE	
Hazardous Waste Code:					D035	
Waste Code Description:					METHYL ETHYL KETONE	
Hazardous Waste Code:					P001	
Waste Code Description:					2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%	
Hazardous Waste Code:					P042	
Waste Code Description:					1,2-BENZENEDIOL, 4-[1-HYDROXY-2-(METHYLAMINO)ETHYL]-, (R)- (OR) EPINEPHRINE	
Hazardous Waste Code:					P075	
Waste Code Description:					NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-,(S)-, & SALTS	
Hazardous Waste Code:					U002	
Waste Code Description:					2-PROPANONE (I) (OR) ACETONE (I)	
Hazardous Waste Code:					U035	
Waste Code Description:					BENZENEBUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL	
Hazardous Waste Code:					U044	
Waste Code Description:					CHLOROFORM (OR) METHANE, TRICHLORO-	
Hazardous Waste Code:					U058	
Waste Code Description:					2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE	
Hazardous Waste Code:					U072	
Waste Code Description:					BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE	
Hazardous Waste Code:					U122	
Waste Code Description:					FORMALDEHYDE	
Hazardous Waste Code:					U129	
Waste Code Description:					CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE	
Hazardous Waste Code:					U154	
Waste Code Description:					METHANOL (I) (OR) METHYL ALCOHOL (I)	
Hazardous Waste Code:					U165	
Waste Code Description:					NAPHTHALENE	
Hazardous Waste Code:					U205	
Waste Code Description:					SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)	
Hazardous Waste Code:					U211	
Waste Code Description:					CARBON TETRACHLORIDE (OR) METHANE, TETRACHLORO-	
Hazardous Waste Code:					U240	
Waste Code Description:					2,4-D, SALTS & ESTERS (OR) ACETIC ACID, (2,4-DICHLOROPHENOXY)-, SALTS & ESTERS (OR) DICHLOROPHENOXYACETIC ACID 2,4-D	
Hazardous Waste Code:					U279	
Waste Code Description:					CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE	

Hazardous Waste Handler Details

Sequence No: 3
Receive Date: 20180313
Handler Name: DBA RITE AID #11529
Source Type: Notification
Federal Waste Generator Code: 3
Generator Code Description: Very Small Quantity Generator

Waste Code Details

Hazardous Waste Code:	D001
Waste Code Description:	IGNITABLE WASTE
Hazardous Waste Code:	D002
Waste Code Description:	CORROSIVE WASTE
Hazardous Waste Code:	D005
Waste Code Description:	BARIUM
Hazardous Waste Code:	D007
Waste Code Description:	CHROMIUM
Hazardous Waste Code:	D009
Waste Code Description:	MERCURY
Hazardous Waste Code:	D010
Waste Code Description:	SELENIUM
Hazardous Waste Code:	D011
Waste Code Description:	SILVER
Hazardous Waste Code:	D013
Waste Code Description:	LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)
Hazardous Waste Code:	D016
Waste Code Description:	2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)
Hazardous Waste Code:	D018
Waste Code Description:	BENZENE
Hazardous Waste Code:	D024
Waste Code Description:	M-CRESOL
Hazardous Waste Code:	D026
Waste Code Description:	CRESOL
Hazardous Waste Code:	D035
Waste Code Description:	METHYL ETHYL KETONE
Hazardous Waste Code:	P001
Waste Code Description:	2H-1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%
Hazardous Waste Code:	U002
Waste Code Description:	2-PROPANONE (I) (OR) ACETONE (I)
Hazardous Waste Code:	U035
Waste Code Description:	BENZENE BUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL
Hazardous Waste Code:	U044
Waste Code Description:	CHLOROFORM (OR) METHANE, TRICHLORO-
Hazardous Waste Code:	U058
Waste Code Description:	2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE
Hazardous Waste Code:	U122

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Waste Code Description:	FORMALDEHYDE
Hazardous Waste Code:	U129
Waste Code Description:	CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE
Hazardous Waste Code:	U154
Waste Code Description:	METHANOL (I) (OR) METHYL ALCOHOL (I)
Hazardous Waste Code:	U205
Waste Code Description:	SELENIUM SULFIDE (OR) SELENIUM SULFIDE SES2 (R,T)
Hazardous Waste Code:	U240
Waste Code Description:	2,4-D, SALTS & ESTERS (OR) ACETIC ACID, (2,4-DICHLOROPHENOXY)-, SALTS & ESTERS (OR) DICHLOROPHENOXYACETIC ACID 2,4-D
Hazardous Waste Code:	U279
Waste Code Description:	CARBARYL (OR) 1-NAPHTHALENOL, METHYLCARBAMATE

Hazardous Waste Handler Details

Sequence No: 4
Receive Date: 20180731
Handler Name: DBA RITE AID #11529
Source Type: Notification
Federal Waste Generator Code: N
Generator Code Description: Not a Generator, Verified

Owner/Operator Details

Owner/Operator Ind:	Current Operator	Street No:	30
Type:	Private	Street 1:	HUNTER LN
Name:	RITE AID CORPORATION	Street 2:	
Date Became Current:	20070926	City:	CAMP HILL
Date Ended Current:		State:	PA
Phone:	717-761-2633	Country:	US
Source Type:	Notification	Zip Code:	17011
Owner/Operator Ind:	Current Owner	Street No:	30
Type:	Private	Street 1:	HUNTER LN
Name:	AMBER WAVES ONE LLC	Street 2:	
Date Became Current:	20040729	City:	CAMP HILL
Date Ended Current:		State:	DE
Phone:	302-656-1800	Country:	US
Source Type:	Notification	Zip Code:	19713
Owner/Operator Ind:	Current Owner	Street No:	910
Type:	Private	Street 1:	S CHAPEL ST, STE 100
Name:	AMBER WAVES ONE LLC	Street 2:	
Date Became Current:	20040729	City:	NEWARK
Date Ended Current:		State:	DE
Phone:	302-656-1800	Country:	US
Source Type:	Notification	Zip Code:	19713
Owner/Operator Ind:	Current Operator	Street No:	300
Type:	Private	Street 1:	WILMOT ROAD MS #3301
Name:	WALGREEN CO.	Street 2:	
Date Became Current:	20180207	City:	DEERFIELD
Date Ended Current:		State:	IL
Phone:	847-315-2812	Country:	US
Source Type:	Notification	Zip Code:	60015
Owner/Operator Ind:	Current Owner	Street No:	30
Type:	Private	Street 1:	HUNTER LN
Name:	ECKERD CORPORATION	Street 2:	
Date Became Current:	20070926	City:	CAMP HILL
Date Ended Current:		State:	PA

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Phone:	717-761-2633				Country: US	
Source Type:	Notification				Zip Code: 17011	
Owner/Operator Ind:	Current Operator				Street No: 30	
Type:	Private				Street 1: HUNTER LN	
Name:	ECKERD CORPORATION				Street 2:	
Date Became Current:	20070926				City: CAMP HILL	
Date Ended Current:					State: PA	
Phone:					Country: US	
Source Type:	Notification				Zip Code: 17011	

Historical Handler Details

Receive Dt:	20180313
Generator Code Description:	Very Small Quantity Generator
Handler Name:	DBA RITE AID #11529
Receive Dt:	20150904
Generator Code Description:	Very Small Quantity Generator
Handler Name:	RITE AID #11529
Receive Dt:	20121018
Generator Code Description:	Very Small Quantity Generator
Handler Name:	RITE AID #11529

14	1 of 1	S	0.27 / 1,447.03	90.51 / 6	Columbus Environmental Waste Collection/701 Site Slippery Log Road and Hwy 701 (Madison Rd) Whiteville NC	SWF/LF
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Permit:	YWN-24-007	Other Waste?:	
NCS No:		Start Date:	
Status:	Renewal	Address2:	
Permit Status:		City:	Whiteville
Permit Expire Date:		Zip:	
Date Orig Permitted:		State:	
Date Issued:		County:	Columbus
Date Expir:		Latitude:	34.299453
Date Received:	5/31/2016, 12:00 AM	Longitude:	-78.722186
Date Approved:	7/26/2016, 12:00 AM	X:	-8763313.65965337
Date Expires:	5/31/2017, 12:00 AM	Y:	4069082.47297947
Primary Waste Type:		Country:	
Primary Oper Type:		Contact First Name:	
Activity Code:		Contact Last Name:	
Capacity:		Phone:	
Capacity D:		Creation Date:	
Other Wa 1:		Creator:	
Owns?:		Edit Date:	
Domestic?:		Editor:	
Portable Toilet?:		Global ID:	
Acres:		Location ID:	
Gallons:		Object ID:	
Grease?:			
Primary Waste Desc:			
Primary Oper Desc:			
Waste Desc:			
Activity Desc:			
Contact:			
Note:	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx North Carolina Department of Environment Quality (NCDEQ) - Division of Waste Management Site Locator Tool - Yard Waste Notification Facilities		
Data Source(s):	North Carolina Department of Environment Quality (NCDEQ) - Division of Waste Management Site Locator Tool - Yard Waste Notification Facilities		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
15	1 of 1	E	0.28 / 1,496.19	81.93 / -3	CORNER STORE 1707 S. MADISON STREET WHITEVILLE NC	LUR

Prj No: WI-1302
Prj Status: No Further Action
Contam Src: UST System
Instrument Status: Effective
Instrument: Notice and Restriction
Rec Date: 3/5/2009
Plat Rec Date:
Deed Date: Recorded 3-5-2009
Plat Date:
Restricted Media: Groundwater Only
Allowed Use: Media Restrictions Only
COC: Multi COC
DWM Program: Underground Storage Tank Section
Deed:
Plat:
DWM Contact: Wilmington Regional Office (910) 796-7215
Deed Link: https://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-1302%2A%22%7D
Plat Link URL:
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

16	1 of 1	E	0.30 / 1,568.10	83.32 / -2	CORNER STORE 1707 S. MADISON STREET WHITEVILLE NC 28472	LUST
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Incdnt No (DWM Map): 14926
Fac ID (DWM Map): 00-0-0000011636
UST No (DWM Map): WI-1302
Curr Stat (DWM Map): Archived
Close Out(DWMMMap): 2009/02/04 00:00:00+00
Dt Occur (DWM Map): 1992/10/04 00:00:00+00
Incident (DWM Map): CORNER STORE
Address (DWM Map): 1707 S. MADISON STREET
County (DWM Map): COLUM
City (DWM Map): WHITEVILLE
Zip Code (DWM Map): 28472
Latitude (DWM Map): 34.304542
Long (DWM Map): -78.715935
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>
Data Source: Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (ASSIGNID); RUST Incident Management Database (PIRF); RUST Incident Management Database (RRA); RUST Incident Management Database (STATUS)

Incident Information

Src Contamination: 3 **Date Entered:** 05-Jan-1996 00:00:00

Incident Details

Release Code:
Release Cause:
Release Source:
Type: 3
Location: 1
Site Priority: 100B
Priority Update: 30-May-1998 00:00:00
Source Type:
Samples Include:
7.5 Min Quad:
5 Min Quad: CC40
Submitted Date: 20-Dec-1995 00:00:00
I Ownership: 4
Owner Operator: MR. SAMMY BLACK
Ownership: 4
Ownership Desc: Private

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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ERR Type:				Operation Type:	6	
Wells Affected Y/N:	N			Operation Desc:	Commercial	
Wells Affected:	0.0			PIRF Min Soil:	Pirf	
Samples Taken By:						
Description of Incident:	GAS VAPORS AND FREE PRODUCT WAS FOUND ENTERING THE SOUTH MADISON ST. STORM SEWER.					

Incident Report

Report Type:	CSAM	Approved Date:	
Request Date:		Implement Date:	
Received Date:	2/15/1993	Due Date:	
Reviewed Date:			
PRT ID:	1083615		
Report Type Description:	Comprehensive Site Assmt - Soil & GW		
Comment:			

Report Type:	CLO	Approved Date:	
Request Date:		Implement Date:	
Received Date:	9/13/1993	Due Date:	
Reviewed Date:			
PRT ID:	1083616		
Report Type Description:	Closure Report		
Comment:			

Report Type:	45DAY	Approved Date:	
Request Date:		Implement Date:	
Received Date:	7/29/1992	Due Date:	
Reviewed Date:			
PRT ID:	1083617		
Report Type Description:	45 Day Report		
Comment:			

Report Type:	RMR	Approved Date:	
Request Date:		Implement Date:	
Received Date:	8/8/2003	Due Date:	
Reviewed Date:	9/10/2003		
PRT ID:	1085137		
Report Type Description:	Remediation Monitoring Report		
Comment:			

this report is lab results and table only. The work was pre-approved but the report was not.

Report Type:	OTH	Approved Date:	
Request Date:		Implement Date:	
Received Date:	9/2/2003	Due Date:	
Reviewed Date:	9/10/2003		
PRT ID:	1085138		
Report Type Description:	Other (Comments Required)		
Comment:			

a receptor survey update was received.

Report Type:	PN	Approved Date:	
Request Date:		Implement Date:	
Received Date:	4/27/2009	Due Date:	
Reviewed Date:			
PRT ID:	1087930		
Report Type Description:	Public Notification		
Comment:			

Report Type:	CAP	Approved Date:	7/12/1999
Request Date:		Implement Date:	6/30/2000
Received Date:	5/28/1998	Due Date:	5/20/1997

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Reviewed Date:

PRT ID: 1083468
Report Type Description: Corrective Action Plan - Soil & GW
Comment:

Report Type: SCSC	Approved Date:
Request Date:	Implement Date:
Received Date: 7/22/2008	Due Date:
Reviewed Date:	
PRT ID: 1087835	
Report Type Description: Site Cleanup and Site Closure Report (Low)	
Comment:	

Report Type: DR	Approved Date: 2/3/2009
Request Date:	Implement Date:
Received Date: 1/28/2009	Due Date:
Reviewed Date: 2/3/2009	
PRT ID: 1087836	
Report Type Description: Deed Recordation	
Comment:	

BK 954 PG 611-613 **Note: Many records provided by the department have a truncated [Comment] field.

RRA

RRA Date: 16-Sep-2004 00:00:00	RRA Rank: 0158
RRA Init: dtm	RRA Abate: D
RRA Risk: H	
RRA ID: 42670	

RRA Date: 23-Oct-2008 00:00:00	RRA Rank: 158
RRA Init: dtm	RRA Abate: D
RRA Risk: L	
RRA ID: 47626	

Incident Status

Last Modified: 03-Feb-2009 00:00:00	Public Meeting Held:
Incident Phase: CO	Corrective Act Plan:
Incid Phase Desc: Close Out	SOC Signed:
NOV Issued:	Reclassification Rep:
NORR Issued: 29-Nov-1993 00:00:00	RS Designation:
45 Day Report:	Closure Req Date:

UST Incidents

RO Code: WIL	Reg: R
CD No: 436	Conf Risk: L
Date Reported: 1992/10/04 00:00:00+00	RRA Date: 2008/10/24 00:00:00+00
Land Use: RES	RRA Risk: L
LUR Filed: 2009/03/07 00:00:00+00	RRA Rank Curr: 158
LUR Resc:	RRA Abate: D
LUR State: G	Risk: H
X: 2085792.72384322	RRA Rank: 158
Y: 201949.644523144	MGR: DTM
Comm: C	
Docs Link: http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-1302%2A%22%7D19299	
Object ID: 19299	

RUST Data

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
MGR:	DTM				LUR Resc:	
RO Code:	WIL				LUR State:	G
Date Reported:	1992/10/04 00:00:00+00				SL MGR:	
Date Reported FY:	1993				SL Cleanup Strt Dt:	
Date Occured FY:	1993				SL Cleanup End Dt:	
Comm:	C				SL Site Stat:	
Reg:	R				SL Ftfrecdte:	
Perccomfndelig:	100				CD NO:	436
TOT Paid:	352226.87				RRA Date:	2008/10/24 00:00:00+00
Conf Risk:	L				RRA Risk:	L
Risk:	H				RRA Rank Curr:	158
Landuse:	RES				RRA Abate:	D
Inc Stat:	Closed				RRA Rank:	158
Closeout FY:	2009				X:	2085792.72370344
LUR Filed:	2009/03/07 00:00:00+00				Y:	201949.644490011
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-1302%2A%22%7D					
Comment:	site originally pirfed under #7893. Vapors were documented in sanitary sewer and cleanup and free product recovery was initiated in 1992. 3 orphan USTs were discovered at the site and removed in 93. Prior to purchase by Whiteville Oil site was an AST b **Note: Many records provided by the department have a truncated [Comment] field.					

LUST Database

MGR:	DTM	Contact:	MR. SAMMY BLACK
Regional Office Cd:	WIL	Telephone:	
Date Reported:	10/3/1992	RP Address:	P. O. BOX 689
Release Code:	0	RP City:	WHITEVILLE
Release Code Desc:		RP State:	NC
Source:	3	RP Zip Code:	28472
Source Desc:	LEAK, UST	RP County:	
Site Priority:	100B	RP Email:	
Pollutant Type:	3	RP Email1:	
Pollutant Desc:	GASOLINE/DIESEL/KEROSENE	RP Owner:	TRUE
Petroleum Type:	P	RP Operator:	FALSE
Petrol Type Desc:	PETROLEUM	RP Land Owner:	FALSE
COMM:	C	Lur Status:	
COMM Desc:	COMMERCIAL	LUR Filed:	3/6/2009
Regulated Code:	R	LUR Resc:	
Reg Code Desc:	REGULATED	LUR State:	G
Notice Rg Rq Issd:	11/29/1993	GPS Conf:	31
Notice Violtn Issd:		RBCA GW:	G2
Contamination:	GW	RBCA GW Desc:	Cleanups to alternate standards
Cleanup:	10/3/1992	RBCA:	S1
Conf Risk:	L	RBCA Desc:	Residential
Risk:	H	CD No:	436
Land Use:	RES	Reel No:	0
Land Use Desc:	Residential	ERR CD:	
Phase Reqr:		Valid:	TRUE
Intrmdt Cndition:	F	Cat Code:	
Corr Act Plan Cd:	AEP	HCS Res:	
CAP Desc:		Reliability:	
Clos Reqs:		Supply Well:	0
MTBE:	0	New Source:	
MTBE 1:	Y	Book:	
RP Company:	WHITEVILLE OIL COMPANY	Page:	
HCS Ref:	Google Earth		
Comment:	site originally pirfed under #7893. Vapors were documented in sanitary sewer and cleanup and free product recovery was initiated in 1992. 3 orphan USTs were discovered at the site and removed in 93. Prior to purchase by Whiteville Oil site was an AST bulk plant. Pulled for archiving 09/02/2011 **Note: Many records provided by the department have a truncated [Comment] field.		

17	1 of 1	E	0.34 / 1,799.45	82.73 / -2	WARDS AUTO (W.D. BROOKS INC.) HWY 130 & HWY 701	LUST
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Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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WHITEVILLE NC 28472

Incdnt No (DWM Map):	32448	Incident No:	32448
Fac ID (DWM Map):		Facility ID:	
UST No (DWM Map):	WI-7328	UST No:	WI-7328
Curr Stat (DWM Map):	Archived	Current Status:	A
Close Out(DWMMMap):	2008/05/14 00:00:00+00	Status Title:	Archived
Dt Occur (DWM Map):	2007/12/05 00:00:00+00	Close Out:	5/13/2008
Incident (DWM Map):	WARDS AUTO (W.D. BROOKS INC.)	Date Occurred:	12/4/2007
Address (DWM Map):	HWY 130 & HWY 701	Contam Type:	Soil
County (DWM Map):	COLUM	Cleanup:	12/4/2007
City (DWM Map):	WHITEVILLE	County:	COLUM
Zip Code (DWM Map):	28472	Latitude:	34.305167
Latitude (DWM Map):	34.305167	Longitude:	-78.715
Long (DWM Map):	-78.715		

Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Data Source: Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (ASSIGNID); RUST Incident Management Database (PIRF); RUST Incident Management Database (STATUS)

Incident Information

Src Contamination:	3	Date Entered:	22-Jan-2008 00:00:00
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Incident Details

Release Code:	2	Samples Include:	
Release Cause:	3	7.5 Min Quad:	
Release Source:	A	5 Min Quad:	
Type:	3	Submitted Date:	02-Jan-2008 00:00:00
Location:	1	I Ownership:	4
Site Priority:		Owner Operator:	
Priority Update:		Ownership:	4
Source Type:	P	Ownership Desc:	Private
ERR Type:		Operation Type:	6
Wells Affected Y/N:	N	Operation Desc:	Commercial
Wells Affected:		PIRF Min Soil:	
Samples Taken By:	Y		
Description of Incident:	Soil samples confirm release from two 8,000 gallon gas USTs. Tanks previously closed 1/4/1983. Release discovered during removal.		

Incident Report

Report Type:	IAA	Approved Date:	3/25/2008
Request Date:		Implement Date:	
Received Date:	2/20/2008	Due Date:	
Reviewed Date:	3/25/2008		
PRT ID:	1087444		
Report Type Description:			
Comment:			

Report Type:	20DAY	Approved Date:	1/22/2008
Request Date:		Implement Date:	
Received Date:	1/8/2008	Due Date:	
Reviewed Date:	1/22/2008		
PRT ID:	1084296		
Report Type Description:	20 Day Report		
Comment:			

Report Type:	PN	Approved Date:	7/2/2008
Request Date:		Implement Date:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Received Date: 7/2/2008
Reviewed Date: 7/2/2008
PRT ID: 1087607
Report Type Description: Public Notification
Comment:

Due Date:

Incident Status

Last Modified: 13-May-2008 00:00:00	Public Meeting Held:
Incident Phase: CO	Corrective Act Plan:
Incid Phase Desc: Close Out	SOC Signed:
NOV Issued:	Reclassification Rep:
NORR Issued:	RS Designation:
45 Day Report:	Closure Req Date:

UST Incidents

RO Code: WIL	Reg: R
CD No: 436	Conf Risk: L
Date Reported: 2008/01/03 00:00:00+00	RRA Date:
Land Use:	RRA Risk:
LUR Filed:	RRA Rank Curr: 0
LUR Resc:	RRA Abate:
LUR State:	Risk: L
X: 2086074.45392281	RRA Rank:
Y: 202177.914735898	MGR: SAK
Comm: C	
Docs Link: http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-7328%2A%22%7D	
Object ID: 33441	

RUST Data

MGR: SAK	LUR Resc:
RO Code: WIL	LUR State:
Date Reported: 2008/01/03 00:00:00+00	SL MGR:
Date Reported FY: 2008	SL Cleanup Strt Dt:
Date Occured FY: 2008	SL Cleanup End Dt:
Comm: C	SL Site Stat:
Reg: R	SL Ftfrecdte:
Perccomfndelig:	CD NO: 436
TOT Paid:	RRA Date:
Conf Risk: L	RRA Risk:
Risk: L	RRA Rank Curr: 0
Landuse:	RRA Abate:
Inc Stat: Closed	RRA Rank:
Closeout FY: 2008	X: 2086074.45403105
LUR Filed:	Y: 202177.914680956
Docs Link: http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-7328%2A%22%7D	
Comment: Two 8,000 gallon USTs previously closed 1/4/1983. Release discovered during removal on 12/4/07. Wait for P.N. then close. File pulled for archiving on 9/1/2011 by LEB.	

LUST Database

MGR: SAK	Contact: W.D. BROOKS, JR.
Regional Office Cd: WIL	Telephone: 9106422322
Date Reported: 1/2/2008	RP Address: PO BOX 466
Release Code: 0	RP City: WHITEVILLE
Release Code Desc:	RP State: NC
Source: 3	RP Zip Code: 28472
Source Desc: LEAK, UST	RP County:
Site Priority:	RP Email:
Pollutant Type: 3	RP Email1:

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Pollutant Desc:	GASOLINE/DIESEL/KEROSENE				RP Owner: TRUE	
Petroleum Type:	P				RP Operator: TRUE	
Petrol Type Desc:	PETROLEUM				RP Land Owner: FALSE	
COMM:	C				Lur Status:	
COMM Desc:	COMMERCIAL				LUR Filed:	
Regulated Code:	R				LUR Resc:	
Reg Code Desc:	REGULATED				LUR State:	
Notice Rg Rq Issd:					GPS Conf: 90	
Notice Violtrn Issd:					RBCA GW:	
Contamination:	SL				RBCA GW Desc:	
Cleanup:	12/4/2007				RBCA: S1	
Conf Risk:	L				RBCA Desc: Residential	
Risk:	L				CD No: 436	
Land Use:					Reel No: 0	
Land Use Desc:					ERR CD: NO	
Phase Reqr:	1				Valid: FALSE	
Intrmdt Cndition:					Cat Code:	
Corr Act Plan Cd:					HCS Res:	
CAP Desc:					Reliability:	
Clos Reqs:					Supply Well: 0	
MTBE:	0				New Source:	
MTBE 1:	N				Book:	
RP Company:	W.D. BROOKS INC.				Page:	
HCS Ref:	RP Supplied					
Comment:						

Two 8,000 gallon USTs previously closed 1/4/1983. Release discovered during removal on 12/4/07. Wait for P.N. then close. File pulled for archiving on 9/1/2011 by LEB.

18	1 of 1	ESE	0.36 / 1,916.51	96.37 / 11	JIMMY DEAN FOODS-GREEN HILL PROCESSING HWY 130 WHITEVILLE NC 28472	LUST
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Incdnt No (DWM Map):		Incident No:	
Fac ID (DWM Map):		Facility ID:	
UST No (DWM Map):	WI-223	UST No:	WI-223
Curr Stat (DWM Map):	Archived	Current Status:	A
Close Out(DWMMMap):	2015/08/06 00:00:00+00	Status Title:	Archived
Dt Occur (DWM Map):		Close Out:	8/5/2015
Incident (DWM Map):	JIMMY DEAN FOODS-GREEN HILL PROCESSING	Date Occurred:	
Address (DWM Map):	HWY 130	Contam Type:	None
County (DWM Map):	COLUM	Cleanup:	
City (DWM Map):	WHITEVILLE	County:	COLUM
Zip Code (DWM Map):	28472	Latitude:	34.301703
Latitude (DWM Map):	34.301703	Longitude:	-78.716455
Long (DWM Map):	-78.716455		
Note:	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx		
Data Source:	Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)		

RUST Data

MGR:	NPM	LUR Resc:	
RO Code:	WIL	LUR State:	
Date Reported:		SL MGR:	
Date Reported FY:		SL Cleanup Strt Dt:	
Date Occured FY:		SL Cleanup End Dt:	
Comm:	N	SL Site Stat:	
Reg:	N	SL Ftfrecdte:	
Perccomfndelig:		CD NO:	610
TOT Paid:		RRA Date:	
Conf Risk:	L	RRA Risk:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Risk:					RRA Rank Curr: 0	
Landuse:					RRA Abate:	
Inc Stat:	Closed				RRA Rank:	
Closeout FY:	2015				X: 2085638.62744343	
LUR Filed:					Y: 200915.97724596	
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-223%2A%22%7D					
Comment:	Soil below action limits.					

LUST Database

MGR:	NPM	Contact:	
Regional Office Cd:	WIL	Telephone:	
Date Reported:		RP Address:	8000 CENTERVIEW PKWY
Release Code:	0	RP City:	CORDOVA
Release Code Desc:		RP State:	TN
Source:		RP Zip Code:	28018
Source Desc:		RP County:	
Site Priority:		RP Email:	
Pollutant Type:		RP Email1:	
Pollutant Desc:		RP Owner:	TRUE
Petroleum Type:		RP Operator:	FALSE
Petrol Type Desc:		RP Land Owner:	FALSE
COMM:	N	Lur Status:	
COMM Desc:	NON COMMERCIAL	LUR Filed:	
Regulated Code:	N	LUR Resc:	
Reg Code Desc:	NON REGULATED	LUR State:	
Notice Rg Rq Issd:		GPS Conf:	23
Notice Violtn Issd:		RBCA GW:	
Contamination:	NO	RBCA GW Desc:	
Cleanup:		RBCA:	
Conf Risk:	L	RBCA Desc:	
Risk:		CD No:	610
Land Use:		Reel No:	0
Land Use Desc:		ERR CD:	
Phase Reqr:		Valid:	FALSE
Intrmdt Cndition:		Cat Code:	
Corr Act Plan Cd:		HCS Res:	
CAP Desc:		Reliability:	
Clos Reqs:		Supply Well:	0
MTBE:		New Source:	
MTBE 1:	N	Book:	
RP Company:	JIMMY DEAN FOODS	Page:	
HCS Ref:			
Comment:	Soil below action limits.		

19	1 of 1	ESE	0.37 / 1,940.80	96.63 / 12	JIMMY DEAN FOODS HIGHWAY 130 EAST WHITEVILLE NC 28472	LAST
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Incident No:	86169	Incident No (Map):	86169
Incident Name:	JIMMY DEAN FOODS	Inc Name (Map):	JIMMY DEAN FOODS
UST No:	WI-86169	UST No (Map):	WI-86169
Facility ID:		Facility ID (Map):	
Current Status:	Archived	Address (Map):	HIGHWAY 130 EAST
Date Occurred (IMD):	12/30/1993	County (Map):	Colum
Closeout (IMD):	2/6/1995	City Town (Map):	WHITEVILLE
Address:	HIGHWAY 130 EAST	Zipcode (Map):	28472
County:	Colum	Latitude (Map):	34.301666
Citytown:	WHITEVILLE	Longitude (Map):	-78.716388
Zipcode:	28472	Date Occurred (Map):	1993/12/31 00:00:00+00
Lat Desc:	34.301666	Closeout (Map):	1995/02/07 00:00:00+00
Long Desc:	-78.716388	Current Status (Map):	Archived
Contamination:	SL		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Contamination Type: Soil

Cleanup:

Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Data Source: Department of Environmental Quality - RAST; Aboveground Incident Management Database (UST DB); Aboveground Incident Management Database (RPTS); Aboveground Incident Management Database (ASSIGNID); Aboveground Incident Management Database (PIRF); Aboveground Incident Management Database (STATUS)

LF Link: http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-86169%2A%22%7D

Incident Information

Facility ID:		Src Contamination:	1
Date Entered:		County:	Colum
Incident Loc Name:	JIMMY DEAN FOODS	Region:	7

Incident Details

Date Occurred:		Release Code:	
Submitted Date:		75 Min Quad:	
Type:		5 Min Quad:	
Location:		PIRF Min Soil:	
Site Priority:	0NOD	Source Type:	0
Priority Update:		Owner Operator:	
Wells Affected Y/N:	No	Ownership:	2
Wells Affected:	0	Ownership Desc:	Military
Samples Taken By:		Operation Type:	2
Samples Include:		Operation Desc:	Agricultural
Description of Incident:			
Location Desc:			
Relasecode Desc:			

Incident Report

Report Type:	NPDES	Approved Date:	
Request Date:		Implement Date:	
Received Date:	2/9/1995	Due Date:	
Reviewed Date:			
Report Type Desc:	NPDES Monitoring Report		
Comment:			

Incident Status

Last Modified:	2/6/1995	NOV Issued:	
Incident Phase:	CO	NORR Issued:	
Inci Phase Desc:	Close Out	Close Out Report:	2/6/1995

RAST (Map)

Object ID:	2351	Regulated Code:	
Regional Office Cd:	WIL	Conf Risk:	L
CD No:	468	Risk:	
Date Reported:	1993/12/31 00:00:00+00	RRA Date:	1970/01/01 00:00:00+00
Land Use:		RRA Risk:	
Inc Stat:	Closed	RRA Abate:	
LUR Filed:	1970/01/01 00:00:00+00	RRA Rank:	0
LUR Resc:	1970/01/01 00:00:00+00	RRA Rank 2:	
LUR State:		X:	2085658.90156936
MGR:		Y:	200902.5693658
COMM:			
COMM Desc:			
Regulated Code Desc:			

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Docs Link:					http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-86169%2A%22%7D	
Comment:					SEE FILE FOR FURTHER INFO. Date discovered is approximate **Note: Many records provided by the department have a truncated [Comment] field.	

RAST Database

MGR:		RP Address:	300 N. 8TH ST. STE. 209
Regional Office Cd:	WIL	RP City:	MIDLOTHIAN
Date Reported:	12/30/1993	RP State:	NC
Release Code:	0	RP Zipcode:	
Release Desc:		RP County:	
Source Code:	1	RP Owner:	FALSE
Source Desc:	Unknown	RP Operator:	FALSE
Site Priority:	0	RP Land Owner:	FALSE
COMM:		LUR Filed:	
COMM Desc:		LUR Resc:	
Regulated Code:		LUR State:	
Regulated Desc:		LUR Status1:	
Ntice Rg Rq Issd:		LUR Status:	
Ntice Violtn Issd:		GPS Conf:	99
Conf Risk:	L	RBCA GW:	
Risk:		RBCA GW Desc:	
Land Use:		RBCA:	
Land Use Desc:		RBCA Desc:	
Intrmdt Cndition:		CD No:	468
Crrctve Act Pln Tp:		Reel No:	0
CAP Desc:		ERRCD:	
Close Reqs:		Valid:	FALSE
MTBE:	0	Cat Code:	
MTBE1:	U	HCS Res:	
MTBE Desc:	Unknown	HCS Ref:	
Supply Well:	0	Reliability:	
RP:	FALSE	Phase Required:	
RP Company:	COMPLIANCE PARTNERS, INC.	Book:	
Contact:	J.C. WYATT	Page:	
Telephone:		Email:	
RP Email:			
Longitude:			
Latitude:			
Pollutant Type:	PETROLEUM		
Pollutant Type (PETOPT):			
Comment:			

SEE FILE FOR FURTHER INFO. Date discovered is approximate **Note: Many records provided by the department have a truncated [Comment] field.

Map Viewer Details

CD No:	468	LUR Filed:	
MGR:		LUR Resc:	
RO Code:	WIL	LUR State:	
Date Reported:	12/30/1993 7:00 PM	RRA Date:	
Comm:		RRA Risk:	
Reg:		RRA Abate:	
Con Frisk:	Low Risk	RRA Rank:	0
Region:	Wilmington Regional Office	X:	2085658.901569355
Land Use:		Y:	200902.56936579983
COMM Desc:			
Regulated Code Desc:			
Docs Link:		http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-86169%2A%22%7D	
Risk:			

AST Incidents Open Data Details

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
CD No:	468				LUR Filed:	1970/01/01 00:00:00+00
MGR:					LUR Resc:	1970/01/01 00:00:00+00
RO Code:	WIL				LUR State:	
Date Reported:	1993/12/31 00:00:00+00				RRA Date:	1970/01/01 00:00:00+00
Comm:					RRA Abate:	
Reg:					RRA Rank:	0
Con Frisk:	L				RRA Rank 2:	
Risk:					X:	2085658.90156936
Land Use:					Y:	200902.5693658
COMM Desc:						
Regulated Code Desc:						
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-86169%2A%22%7D					

[20](#) 1 of 1 **ENE** 0.43 / 2,291.53 70.03 / -15 **Taylor Residence** 1603 South Madison Street Whiteville NC **LUST TRUST**

Incident No: 22858
Facility ID:
Site County: Columbus
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Details

Archive Submit No:	4209.0067	3rd Party Deduct:	\$0.00
CD No:	STF 18	Sum 3rd Party Amts:	\$0.00
UST No:		Deduct Determine:	0
Priority Rank:		Deductible Amount:	\$0.00
Priority Rank Desc:		Deductible Reason1:	
Site Eligible?:	TRUE	Deductible Reason2:	
% Commercial Fund:	0.0	Inel App:	
Reimbursement	FALSE		
Form:			
Site Note:			

[21](#) 1 of 1 **S** 0.45 / 2,373.56 85.16 / 0 **Antioch First Born Church** 187 Diamond Branch Road Whiteville NC **LUST TRUST**

Incident No: 22794
Facility ID:
Site County: Columbus
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Details

Archive Submit No:	4209.0045	3rd Party Deduct:	\$0.00
CD No:	STF 12	Sum 3rd Party Amts:	\$0.00
UST No:		Deduct Determine:	0
Priority Rank:		Deductible Amount:	\$0.00
Priority Rank Desc:		Deductible Reason1:	
Site Eligible?:	TRUE	Deductible Reason2:	
% Commercial Fund:	0.0	Inel App:	
Reimbursement	FALSE		
Form:			
Site Note:			

[22](#) 1 of 3 **ENE** 0.45 / 2,389.10 82.63 / -2 **Campbell Oil Company Release** 1476 J. K. Powell Blvd. Whiteville NC 28472 **LAST**

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Incident No:	87283				Incident No (Map):	87283
Incident Name:	Campbell Oil Company Release				Inc Name (Map):	Campbell Oil Company Release
UST No:	WI-87283				UST No (Map):	WI-87283
Facility ID:					Facility ID (Map):	
Current Status:	Archived				Address (Map):	1476 J. K. Powell Blvd.
Date Occurred (IMD):	3/9/2005				County (Map):	Colum
Closeout (IMD):	4/7/2016				City Town (Map):	Whiteville
Address:	1476 J. K. Powell Blvd.				Zipcode (Map):	28472
County:	Colum				Latitude (Map):	34.3098
Citytown:	Whiteville				Longitude (Map):	-78.7153
Zipcode:	28472				Date Occurred (Map):	2005/03/10 00:00:00+00
Lat Desc:	34.3098				Closeout (Map):	2016/04/08 00:00:00+00
Long Desc:	-78.7153				Current Status (Map):	Archived
Contamination:	GW					
Contamination Type:	Groundwater/Both					
Cleanup:						
Note:	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx					
Data Source:	Department of Environmental Quality - RAST; Aboveground Incident Management Database (UST DB); Aboveground Incident Management Database (RPTS); Aboveground Incident Management Database (ASSIGNID); Aboveground Incident Management Database (PIRF); Aboveground Incident Management Database (STATUS)					
LF Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-87283%2A%22%7D					

Incident Information

Facility ID:		Src Contamination:	14
Date Entered:		County:	Colum
Incident Loc Name:	Campbell Oil Company Release	Region:	7

Incident Details

Date Occurred:		Release Code:	
Submitted Date:		75 Min Quad:	
Type:		5 Min Quad:	
Location:		PIRF Min Soil:	
Site Priority:	NOD	Source Type:	1
Priority Update:		Owner Operator:	
Wells Affected Y/N:		Ownership:	0
Wells Affected:		Ownership Desc:	
Samples Taken By:		Operation Type:	0
Samples Include:		Operation Desc:	
Description of Incident:			
Location Desc:			
Relasecode Desc:			

Incident Report

Report Type:	45DAY	Approved Date:	10/27/2010
Request Date:		Implement Date:	
Received Date:	10/4/2010	Due Date:	
Reviewed Date:	10/27/2010		
Report Type Desc:	45 Day Report		
Comment:			

FP recovery report. Continue with FP quarterly monitoring. Conduct MMPE and submit report by 12/30/2010. Conduct monitoring in March 2011. No response as of 06/09/2014. Sent NORR 06/09/2014.

Report Type:	SCON	Approved Date:	
Request Date:		Implement Date:	
Received Date:	10/31/2005	Due Date:	
Reviewed Date:			
Report Type Desc:			
Comment:			

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Report Type:	45DAY				Approved Date:	2/2/2010
Request Date:					Implement Date:	
Received Date:	1/11/2010				Due Date:	
Reviewed Date:	2/2/2010					
Report Type Desc:		45 Day Report				
Comment:						
free product report						
Report Type:	RMR				Approved Date:	6/28/2010
Request Date:					Implement Date:	
Received Date:	5/24/2010				Due Date:	
Reviewed Date:	6/28/2010					
Report Type Desc:		Remediation Monitoring Report				
Comment:						
Report Type:	CSAM				Approved Date:	
Request Date:					Implement Date:	
Received Date:	2/27/2006				Due Date:	
Reviewed Date:	3/20/2006					
Report Type Desc:		Comprehensive Site Assmt - Soil & GW				
Comment:						
additional assessment needed						
Report Type:	MRPI				Approved Date:	
Request Date:					Implement Date:	
Received Date:	5/7/2007				Due Date:	
Reviewed Date:						
Report Type Desc:		Monitoring Report (Pre-CAP) Initial				
Comment:						
Quarterly monitoring report received on 5/12/08						
Report Type:	MRP				Approved Date:	6/25/2008
Request Date:					Implement Date:	
Received Date:	5/12/2008				Due Date:	
Reviewed Date:	6/25/2008					
Report Type Desc:		Monitoring Report (Pre-CAP)				
Comment:						
conduct fp event immediately						
Report Type:	RMR				Approved Date:	1/22/2015
Request Date:					Implement Date:	
Received Date:	12/28/2015				Due Date:	
Reviewed Date:	1/22/2015					
Report Type Desc:		Remediation Monitoring Report				
Comment:						
contamination below GCL's Campbell is requesting close out with a NRP for soil and groundwater since there was a heating oil tank on the property.						
Report Type:	RMR				Approved Date:	2/17/2016
Request Date:					Implement Date:	
Received Date:	1/8/2016				Due Date:	
Reviewed Date:	2/17/2016					
Report Type Desc:		Remediation Monitoring Report				
Comment:						
Nrp, pub. Notice and close out. Both UST and NON UST incidents together.						
Report Type:	PN				Approved Date:	

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
Request Date:					Implement Date:	3/3/2016
Received Date:	3/14/2016				Due Date:	
Reviewed Date:						
Report Type Desc:		Public Notification				
Comment:						
pub not period over 04/04/2016						
Report Type:	MRP				Approved Date:	
Request Date:					Implement Date:	
Received Date:	3/10/2009				Due Date:	
Reviewed Date:						
Report Type Desc:		Monitoring Report (Pre-CAP)				
Comment:						
Report Type:	CAP				Approved Date:	12/8/2006
Request Date:					Implement Date:	
Received Date:	10/30/2006				Due Date:	
Reviewed Date:	12/8/2006					
Report Type Desc:		Corrective Action Plan - Soil & GW				
Comment:						
CAP is actually for MMPE rather than AFVR. Approved by DWQ, AP section						
Report Type:	RMR				Approved Date:	11/12/2014
Request Date:					Implement Date:	
Received Date:	11/3/2014				Due Date:	
Reviewed Date:	11/12/2014					
Report Type Desc:		Remediation Monitoring Report				
Comment:						
Need to prove WS-1 is abandoned properly. Continued semi-annual monitoring is needed.FP in MW-6 at 0.2 feet.						
Report Type:	SCON				Approved Date:	9/26/2005
Request Date:					Implement Date:	
Received Date:	9/9/2005				Due Date:	
Reviewed Date:	9/26/2005					
Report Type Desc:						
Comment:						
Report Type:	45DAY				Approved Date:	7/12/2006
Request Date:					Implement Date:	
Received Date:	7/6/2006				Due Date:	
Reviewed Date:	7/12/2006					
Report Type Desc:		45 Day Report				
Comment:						
Report Type:	FPRS				Approved Date:	11/16/2009
Request Date:					Implement Date:	
Received Date:	10/8/2009				Due Date:	
Reviewed Date:	11/16/2009					
Report Type Desc:		Free Product Recovery (Subsequent)				
Comment:						
Use skimmers and hand bailing. Only conduct MMPE if product thickness increase substantially.						
Report Type:	RMR				Approved Date:	
Request Date:					Implement Date:	
Received Date:	8/8/2007				Due Date:	
Reviewed Date:						
Report Type Desc:		Remediation Monitoring Report				
Comment:						

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Report Type: RMR
Request Date:
Received Date: 10/31/2007
Reviewed Date:
Report Type Desc: Remediation Monitoring Report
Comment:

Approved Date:
Implement Date: 9/25/2006
Due Date:

Report Type: FPRS
Request Date:
Received Date: 9/13/2006
Reviewed Date: 9/15/2006
Report Type Desc: Free Product Recovery (Subsequent)
Comment:

Approved Date: 9/25/2006
Implement Date:
Due Date:

Free product report

Report Type: RMR
Request Date:
Received Date: 1/20/2015
Reviewed Date: 2/16/2015
Report Type Desc: Remediation Monitoring Report
Comment:

Approved Date: 2/16/2015
Implement Date:
Due Date:

free product recovery report. A post excavation report. No soil samples taken after very large dig. No groundwater flow info for this report just gw samples. Wsw is >250 and not in use. Home is hooked up to city water. Reranked to intermediate.

Report Type: RMR
Request Date:
Received Date: 7/2/2015
Reviewed Date: 7/23/2015
Report Type Desc: Remediation Monitoring Report
Comment:

Approved Date: 7/23/2015
Implement Date:
Due Date:

one more monitoring event if all below GCL's then close out with NRP.

Incident Status

Last Modified: 4/7/2016
Incident Phase: CO
Inci Phase Desc: Close Out

NOV Issued: 8/27/2014
NORR Issued:
Close Out Report:

RAST (Map)

Object ID: 3018
Regional Office Cd: WIL
CD No: 612
Date Reported: 2005/03/10 00:00:00+00
Land Use:
Inc Stat: Closed
LUR Filed: 1970/01/01 00:00:00+00
LUR Resc: 1970/01/01 00:00:00+00
LUR State:
MGR: DTM

Regulated Code:
Conf Risk: I
Risk: H
RRA Date: 1970/01/01 00:00:00+00
RRA Risk:
RRA Abate:
RRA Rank: 0
RRA Rank 2:
X: 2085979.01476554
Y: 203863.775691511

COMM:
COMM Desc:
Regulated Code Desc:
Docs Link:

http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-87283%2A%22%7D

Comment: On March 9, 2005, staff inspected the above ground tank facility at the Campbell Oil Company plant. At the time of the inspection a release had occurred at a gasket and had released fuel into a containment basin. Due to the age of the containment, the fue **Note: Many records provided by the department have a truncated [Comment] field.

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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RAST Database

MGR:	dtm	RP Address:	P.O. Box 837
Regional Office Cd:	WIL	RP City:	Elizabethtown
Date Reported:	3/9/2005	RP State:	NC
Release Code:	0	RP Zipcode:	28337
Release Desc:		RP County:	
Source Code:	14	RP Owner:	TRUE
Source Desc:	AST System	RP Operator:	FALSE
Site Priority:		RP Land Owner:	FALSE
COMM:		LUR Filed:	
COMM Desc:		LUR Resc:	
Regulated Code:		LUR State:	
Regulated Desc:		LUR Status1:	
Ntice Rg Rq Issd:		LUR Status:	
Ntice Violtn Issd:		GPS Conf:	99
Conf Risk:	I	RBCA GW:	
Risk:	H	RBCA GW Desc:	
Land Use:		RBCA:	
Land Use Desc:		RBCA Desc:	
Intrmdt Cndition:	G	CD No:	612
Crrctve Act Pln Tp:	CV	Reel No:	0
CAP Desc:		ERRCD:	
Close Reqsds:		Valid:	FALSE
MTBE:	0	Cat Code:	
MTBE1:	Y	HCS Res:	
MTBE Desc:	Yes	HCS Ref:	
Supply Well:	0	Reliability:	
RP:	FALSE	Phase Required:	
RP Company:	Campbell Oil Company	Book:	
Contact:	Jill Johnson	Page:	
Telephone:		Email:	
RP Email:			
Longitude:			
Latitude:			
Pollutant Type:	BOTH		
Pollutant Type (PETOPT):	GASOLINE/DIESEL/KEROSENE		
Comment:			

On March 9, 2005, staff inspected the above ground tank facility at the Campbell Oil Company plant. At the time of the inspection a release had occurred at a gasket and had released fuel into a containment basin. Due to the age of the containment, the fuel had seeped through the concrete block wall and onto the soil outside the containment. A soil sample was obtained adjacent to the containment wall. At approximately 6" to 12" below land surface, fuel began entering the auger hole. Further assessment of this area is necessary. The second area of concern was observed by the fill ports. Slops and spills onto the concrete pad had run off on to the soil adjacent to this area. Stained soils were observed in this area. Assessment of this area is also necessary. A notice of violation was issued to Campbell Oil Company for the releases. Prior to receiving the NOV, Jill Johnson, Safety Director, contacted the Wilmington Office to discuss the inspection. The findings were disclosed to Ms. Johnson. Ms. Johnson stated that Campbell Oil Company will do what is required to remediate the situation. Please notify IHS when monitoring reports come in. Quarterly monitoring report received 5/12/08. Water supply well within 1000 feet . 2015 water supply well used for irrigation now confirmed out of use but not abandoned >250 ft. Contamination below GCL's for one year since big soil excavation. RP is requesting closure with NRP for soil and groundwater./// pulled for archiving 4.8.2016 /// **Note: Many records provided by the department have a truncated [Comment] field.

Map Viewer Details

CD No:	612	LUR Filed:	
MGR:	DTM	LUR Resc:	
RO Code:	WIL	LUR State:	
Date Reported:	3/9/2005 7:00 PM	RRA Date:	
Comm:		RRA Risk:	
Reg:		RRA Abate:	
Con Frisk:	Intermediate Risk	RRA Rank:	0
Region:	Wilmington Regional Office	X:	2085979.014765536
Land Use:		Y:	203863.77569151096
COMM Desc:			
Regulated Code Desc:			
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-87283%2A%22%7D		
Risk:	H		

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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AST Incidents Open Data Details

CD No:	612	LUR Filed:	1970/01/01 00:00:00+00
MGR:	DTM	LUR Resc:	1970/01/01 00:00:00+00
RO Code:	WIL	LUR State:	
Date Reported:	2005/03/10 00:00:00+00	RRA Date:	1970/01/01 00:00:00+00
Comm:		RRA Abate:	
Reg:		RRA Rank:	0
Con Frisk:	I	RRA Rank 2:	
Risk:	H	X:	2085979.01476554
Land Use:		Y:	203863.775691511
COMM Desc:			
Regulated Code Desc:			
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-87283%2A%22%7D		

22	2 of 3	ENE	0.45 / 2,389.10	82.63 / -2	CAMPBELL OIL BULK FACILITY - HEATING OIL TANK 1476 J.K. POWELL BOULVARD WHITEVILLE NC 28431	LUST
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Incdnt No (DWM Map):	32298	Incident No:	32298
Fac ID (DWM Map):		Facility ID:	
UST No (DWM Map):	WI-7161	UST No:	WI-7161
Curr Stat (DWM Map):	Archived	Current Status:	A
Close Out(DWMMMap):	2016/04/08 00:00:00+00	Status Title:	Archived
Dt Occur (DWM Map):	2005/10/28 00:00:00+00	Close Out:	4/7/2016
Incident (DWM Map):	CAMPBELL OIL BULK FACILITY - HEATING OIL TANK	Date Occurred:	10/27/2005
Address (DWM Map):	1476 J.K. POWELL BOULVARD	Contam Type:	Groundwater/Both
County (DWM Map):	COLUM	Cleanup:	11/12/2006
City (DWM Map):	WHITEVILLE	County:	COLUM
Zip Code (DWM Map):	28431	Latitude:	34.310016
Latitude (DWM Map):	34.310016	Longitude:	-78.71544
Long (DWM Map):	-78.71544		
Note:	Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx		
Data Source:	Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (RPTS); RUST Incident Management Database (ASSIGNID); RUST Incident Management Database (PIRF); RUST Incident Management Database (STATUS)		

Incident Information

Src Contamination:	3	Date Entered:	08-Mar-2006 00:00:00
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Incident Details

Release Code:	2	Samples Include:	
Release Cause:		7.5 Min Quad:	
Release Source:		5 Min Quad:	
Type:	4	Submitted Date:	12-Dec-2005 00:00:00
Location:	1	I Ownership:	4
Site Priority:		Owner Operator:	
Priority Update:		Ownership:	4
Source Type:	P	Ownership Desc:	Private
ERR Type:		Operation Type:	6
Wells Affected Y/N:	N	Operation Desc:	Commercial
Wells Affected:		PIRF Min Soil:	
Samples Taken By:	Y		
Description of Incident:	Soil and groundwater contamination confirmed during heatig oil UST removal.		

Incident Report

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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Report Type: RMR
Request Date:
Received Date: 12/28/2015
Reviewed Date: 1/22/2016
PRT ID: 1091367
Report Type Description: Remediation Monitoring Report
Comment:

Approved Date: 1/22/2016
Implement Date:
Due Date:

site low risk based on irrigation well >250 feet that is now out of use and levels of contamination on site < GCLs . Plume comingled with AST release. Sent letter asking for NRP for soil and groundwater. Ready for closure. See Incident #87283 in RAST for previous rmr reports.

Report Type: PN
Request Date:
Received Date: 3/14/2016
Reviewed Date:
PRT ID: 1091480
Report Type Description: Public Notification
Comment:

Approved Date:
Implement Date: 3/3/2016
Due Date:

Report Type: LSA1
Request Date:
Received Date: 4/4/2006
Reviewed Date: 4/10/2006
PRT ID: 1083774
Report Type Description: Limited Site Assmt Phase 1
Comment:

Approved Date: 6/22/2006
Implement Date:
Due Date:

Risk-based soil sample required. Soil sample report received 6-22-06.

Report Type: 20DAY
Request Date:
Received Date: 12/12/2005
Reviewed Date: 12/16/2005
PRT ID: 1086883
Report Type Description: 20 Day Report
Comment:

Approved Date:
Implement Date:
Due Date:

550 gal. heating oil UST removed. AST release co-mingled with UST release.

Incident Status

Last Modified: 07-Apr-2016 00:00:00
Incident Phase: CO
Incid Phase Desc: Close Out
NOV Issued:
NORR Issued:
45 Day Report:

Public Meeting Held:
Corrective Act Plan:
SOC Signed:
Reclassification Rep:
RS Designation:
Closure Req Date:

UST Incidents

RO Code: WIL
CD No: 617
Date Reported: 2005/12/13 00:00:00+00
Land Use: RES
LUR Filed: 2016/03/03 00:00:00+00
LUR Resc:
LUR State: B
X: 2085936.50997297
Y: 203942.26488173
Comm: N
Docs Link: http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-7161%2A%22%7D33291

Reg: N
Conf Risk: L
RRA Date:
RRA Risk:
RRA Rank Curr: 0
RRA Abate:
Risk: L
RRA Rank:
MGR: DTM

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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RUST Data

MGR:	DTM	LUR Resc:	
RO Code:	WIL	LUR State:	B
Date Reported:	2005/12/13 00:00:00+00	SL MGR:	
Date Reported FY:	2006	SL Cleanup Strt Dt:	
Date Occured FY:	2006	SL Cleanup End Dt:	
Comm:	N	SL Site Stat:	
Reg:	N	SL Ftfrecdte:	
Perccomfndelig:		CD NO:	617
TOT Paid:		RRA Date:	
Conf Risk:	L	RRA Risk:	
Risk:	L	RRA Rank Curr:	0
Landuse:	RES	RRA Abate:	
Inc Stat:	Closed	RRA Rank:	
Closeout FY:	2016	X:	2085936.51012671
LUR Filed:	2016/03/03 00:00:00+00	Y:	203942.264877347
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-7161%2A%22%7D		
Comment:	550 gal. heating oil UST removed. AST release co-miongled with UST release. This site is a bulk facility with ASTs. A release was discovered and currently being regulated by DWQ-APS. Free-Product was discovered during the initial investigation of the AST **Note: Many records provided by the department have a truncated [Comment] field.		

LUST Database

MGR:	DTM	Contact:	JILL SMITH
Regional Office Cd:	WIL	Telephone:	9108628423
Date Reported:	12/12/2005	RP Address:	P.O. BOX 637
Release Code:	0	RP City:	ELIZABETHTOWN
Release Code Desc:		RP State:	NC
Source:	3	RP Zip Code:	28463
Source Desc:	LEAK, UST	RP County:	
Site Priority:		RP Email:	
Pollutant Type:	4	RP Email1:	
Pollutant Desc:	HEATING OIL	RP Owner:	TRUE
Petroleum Type:	P	RP Operator:	TRUE
Petrol Type Desc:	PETROLEUM	RP Land Owner:	TRUE
COMM:	N	Lur Status:	
COMM Desc:	NON COMMERCIAL	LUR Filed:	3/2/2016
Regulated Code:	N	LUR Resc:	
Reg Code Desc:	NON REGULATED	LUR State:	B
Notice Rg Rq Issd:		GPS Conf:	31
Notice Violtn Issd:		RBCA GW:	G2
Contamination:	GW	RBCA GW Desc:	Cleanups to alternate standards
Cleanup:	11/12/2006	RBCA:	S2
Conf Risk:	L	RBCA Desc:	Industrial/Commercial
Risk:	L	CD No:	617
Land Use:	RES	Reel No:	0
Land Use Desc:	Residential	ERR CD:	NO
Phase Reqr:	1	Valid:	FALSE
Intrmdt Cndition:		Cat Code:	
Corr Act Plan Cd:		HCS Res:	
CAP Desc:		Reliability:	
Clos Reqs:		Supply Well:	0
MTBE:	0	New Source:	
MTBE 1:	N	Book:	
RP Company:	CAMPBELL OIL COMPANY	Page:	
HCS Ref:	Google Earth		
Comment:	550 gal. heating oil UST removed. AST release co-miongled with UST release. This site is a bulk facility with ASTs. A release was discovered and currently being regulated by DWQ-APS. Free-Product was discovered during the initial investigation of the AST release. One monitoring well was installed adjacent to the UST prior to its removal. The mointoring well is part of a CSA required by APS. LSA received for UST release. Low risk, but AST release has threaten down gradient WSW. APS has management lead on release. 2016 WSW for irrigation >350 ft. use has been discontinued but not abandoned. Contamination on site <GCLs. Low risk with NRP and close out both incidents. Pulled for archiving on 4/08/2016.		

550 gal. heating oil UST removed. AST release co-miongled with UST release. This site is a bulk facility with ASTs. A release was discovered and currently being regulated by DWQ-APS. Free-Product was discovered during the initial investigation of the AST release. One monitoring well was installed adjacent to the UST prior to its removal. The mointoring well is part of a CSA required by APS. LSA received for UST release. Low risk, but AST release has threaten down gradient WSW. APS has management lead on release. 2016 WSW for irrigation >350 ft. use has been discontinued but not abandoned. Contamination on site <GCLs. Low risk with NRP and close out both incidents. Pulled for archiving on 4/08/2016.

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
22	3 of 3	ENE	0.45 / 2,389.10	82.63 / -2	CAMPBELL OIL BULK FACILITY - HEATING OIL TANK 1476 J.K. POWELL BOULEVARD WHITEVILLE NC	LUR
<p>Prj No: WI-7161 Certification: None</p> <p>Prj Status: No Further Action Deed Bk:</p> <p>Contam Src: UST System Deed Pg:</p> <p>Instrument Status: Effective Plat Bk:</p> <p>Instrument: Notice and Restriction Plat Pg:</p> <p>Rec Date: 3/1/2016 Plat Link 1:</p> <p>Plat Rec Date: Deed Link 1: Recorded Document Link</p> <p>Deed Date: Recorded 3-1-2016 Prj County: Columbus</p> <p>Plat Date: X: 2085935.731</p> <p>Restricted Media: Multi-Media Y: 203944.7216</p> <p>Allowed Use: Media Restrictions Only</p> <p>COC: Multi COC</p> <p>DWM Program: Underground Storage Tank Section</p> <p>Deed:</p> <p>Plat:</p> <p>DWM Contact: Wilmington Regional Office (910) 796-7215</p> <p>Deed Link: https://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-7161%2A%22%7D</p> <p>Plat Link URL:</p> <p>Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx</p>						

23	1 of 1	NE	0.48 / 2,555.45	73.02 / -12	PACKER PROPERTY US 701 & JEWEL ST WHITEVILLE NC	SHWS
<p>EPA ID: NONCD0001178 Zip (Fed Remed):</p> <p>City (NCDENR): WHITEVILLE Lat (Fed Remed):</p> <p>County (NCDENR): COLUMBUS Long (Fed Remed):</p> <p>Latitude (NCDENR): 34.31117 City (IH Waste): WHITEVILLE</p> <p>Longitude (NCDENR): -78.71552 County (IH Waste): COLUMBUS</p> <p>City (Fed Remed): Lat (IH Waste): 34.31117</p> <p>County (Fed Remed): Long(IH Waste): -78.71552</p> <p>Site Name (NCDENR): PACKER PROPERTY</p> <p>Site Name (Fed Remediation):</p> <p>Site Name (Inactive Haz Waste): PACKER PROPERTY</p> <p>Address (NCDENR): US 701 & JEWEL ST</p> <p>Address (Fed Remediation):</p> <p>Address (Inactive Haz Waste): US 701 & JEWEL ST</p> <p>Original Source(s): Division of Waste Management Site Locator Tool - Inactive Hazardous Waste Layer; North Carolina Department of Environment and Natural Resources (NCDENR)</p> <p>Note: Documents related to facilities in NC can be searched on the NC DEQ Laser Fiche WebLink: https://edocs.deq.nc.gov/WasteManagement/Search.aspx</p>						

Division of Waste Management Site Locator Tool - Inactive Hazardous Waste Layer

Land Use Restrict:	FALSE	X:	-8762571.6039
Voluntary Cleanup:	FALSE	Y:	4070661.4775
Contact:		Update Date:	2021/04/14 00:00:00+00
Geo Location Code:	On Screen Placement On Georeferenced Map		
Source:	AcmeMapper		
LaserFiche:	https://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand={WM};[Program_ID]=%22*NONCD0001178*%22		

NCDEQ - Location Detail

Source:	AcmeMapper
Geolocation Code Desc:	On Screen Placement On Georeferenced Map

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
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NCDEQ - Site Categories Detail

SPL Score: 43.99 Partial Aa: FALSE
 Category: SPL

24	1 of 1	SSW	0.50 / 2,630.25	94.53 / 10	minuteman food mart #46 2001 south madison st whiteville NC 28472	LUST
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Incdnt No (DWM Map):	43212	Incident No:	43212
Fac ID (DWM Map):		Facility ID:	
UST No (DWM Map):	WI-8232	UST No:	WI-8232
Curr Stat (DWM Map):	Current Record	Current Status:	C
Close Out(DWMMMap):		Status Title:	Current Record
Dt Occur (DWM Map):	2020/02/14 00:00:00+00	Close Out:	
Incident (DWM Map):	minuteman food mart #46	Date Occurred:	2/13/2020
Address (DWM Map):	2001 south madison st	Contam Type:	Groundwater/Both
County (DWM Map):	COLUM	Cleanup:	2/13/2020
City (DWM Map):	whiteville	County:	COLUM
Zip Code (DWM Map):	28472	Latitude:	34.29693
Latitude (DWM Map):	34.29693	Longitude:	-78.725644
Long (DWM Map):	-78.725644		

Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Data Source: Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB); RUST Incident Management Database (ASSIGNID); RUST Incident Management Database (PIRF); RUST Incident Management Database (STATUS)

Incident Information

Src Contamination: 3 **Date Entered:** 26-Feb-2020 00:00:00

Incident Details

Release Code:	3	Samples Include:	
Release Cause:	7	7.5 Min Quad:	
Release Source:	G	5 Min Quad:	
Type:	3	Submitted Date:	
Location:	1	I Ownership:	4
Site Priority:		Owner Operator:	
Priority Update:		Ownership:	4
Source Type:	P	Ownership Desc:	Private
ERR Type:		Operation Type:	6
Wells Affected Y/N:	N	Operation Desc:	Commercial
Wells Affected:		PIRF Min Soil:	
Samples Taken By:	y		
Description of Incident:	A release was detected in a groundwater sample obtained for a potential property transaction.		

Incident Status

Last Modified:	26-May-2020 00:00:00	Public Meeting Held:	
Incident Phase:	FU	Corrective Act Plan:	
Incid Phase Desc:	Follow Up	SOC Signed:	
NOV Issued:		Reclassification Rep:	
NORR Issued:	16-Mar-2020 00:00:00	RS Designation:	
45 Day Report:		Closure Req Date:	

UST Incidents

RO Code: WIL **Reg:** R

Map Key	Number of Records	Direction	Distance (mi/ft)	Elev/Diff (ft)	Site	DB
MTBE:	0				New Source:	
MTBE 1:	Y				Book:	
RP Company:	Nansco Enterprises LLC				Page:	
HCS Ref:	arcgis					
Comment:						

potential property transaction report. Requested the report on 2/26/2020. Rec on 3/12/2020. Reviewed, requested receptor survey and some additional sampling. Well survey call on 5/26/2020. LSA submitted. GRI will resample the mw. 91 ug/l benzene. No soil contamination detected. Due to the low levels of gw contamination detected, and the fact that benzene was only detected and no soil contamination, resample before ranking to see if there is any significant risk. TA rec 10/2/20. Report Rec. TA rec 2/22/21.

Unplottable Summary

Total: 5 Unplottable sites

DB	Company Name/Site Name	Address	City	Zip	ERIS ID
FINDS/FRS	HARDWOOD DIMENSION, INCORPORATED	OLD LOVE MILL ROAD <i>Registry ID: 110018756755</i>	WHITEVILLE NC	28472	817711719
LUST	SUNSHINE LAUNDRY	MADISON STREET	WHITEVILLE NC	28472	825349423
UST	FOUR C'S	MADISON <i>Facility ID: 00-0-0000012221 Tank ID Tank Status: 1 Removed</i>	WHITEVILLE NC	28472	819142711
UST	HARDWOOD DIMENSION, INC.	OLD LOVE MILL ROAD <i>Facility ID: 00-0-0000012062 Tank ID Tank Status: 1 Removed, 2 Removed</i>	WHITEVILLE NC	28472	819134569
UST	QUALITY MOTOR CO., INC.	SOUTH MADISON STREET <i>Facility ID: 00-0-0000011371 Tank ID Tank Status: 1 Removed</i>	WHITEVILLE NC	28472	819127361

Unplottable Report

Site: **HARDWOOD DIMENSION, INCORPORATED**
OLD LOVE MILL ROAD WHITEVILLE NC 28472

FINDS/FRS

Registry ID: 110018756755
FIPS Code: 37047
HUC Code:
Site Type Name: STATIONARY
Location Description:
Supplemental Location:
Create Date: 26-OCT-04
Update Date:
Interest Types: STATE MASTER
SIC Codes: 9999
SIC Code Descriptions: NONCLASSIFIABLE ESTABLISHMENTS
NAICS Codes:
NAICS Code Descriptions:
Conveyor:
Federal Facility Code:
Federal Agency Name:
Tribal Land Code:
Tribal Land Name:
Congressional Dist No:
Census Block Code:
EPA Region Code: 04
County Name: COLUMBUS
US/Mexico Border Ind:
Latitude:
Longitude:
Reference Point:
Coord Collection Method:
Accuracy Value:
Datum: NAD83
Source:
Facility Detail Rprt URL: https://ofmpub.epa.gov/frs_public2/fii_query_detail.disp_program_facility?p_registry_id=110018756755
Program Acronyms:

NC-FITS:20673

Site: **SUNSHINE LAUNDRY**
MADISON STREET WHITEVILLE NC 28472

LUST

Incdnt No (DWM Map):		Incident No:	
Fac ID (DWM Map):		Facility ID:	
UST No (DWM Map): WI-7727		UST No:	WI-7727
Curr Stat (DWM Map): Current Record		Current Status:	C
Close Out(DWMMMap):		Status Title:	Current Record
Dt Occur (DWM Map):		Close Out:	
Incident (DWM Map): SUNSHINE LAUNDRY		Date Occurred:	None
Address (DWM Map): MADISON STREET		Contam Type:	None
County (DWM Map): COLUM		Cleanup:	
City (DWM Map): WHITEVILLE		County:	COLUM
Zip Code (DWM Map): 28472		Latitude:	0
Latitude (DWM Map): 0		Longitude:	0
Long (DWM Map): 0			

Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>
Data Source: Division of Waste Management Site Locator Tool - UST Incidents; RUST Incident Management Database (UST DB)

RUST Data

MGR:	NPM	LUR Resc:	
RO Code:	WIL	LUR State:	
Date Reported:		SL MGR:	
Date Reported FY:		SL Cleanup Strt Dt:	
Date Occured FY:		SL Cleanup End Dt:	
Comm:	C	SL Site Stat:	
Reg:	N	SL Ftfrecdte:	
Perccomfndelig:		CD NO:	0
TOT Paid:		RRA Date:	
Conf Risk:	L	RRA Risk:	
Risk:		RRA Rank Curr:	0
Landuse:		RRA Abate:	
Inc Stat:	Open	RRA Rank:	
Closeout FY:		X:	32888970.6352937
LUR Filed:		Y:	-69513.2738257283
Docs Link:	http://edocs.deq.nc.gov/WasteManagement/Search.aspx?dbid=0&searchcommand=%7B%5BWM%5D%3A%5BProgram_ID%5D%3D%22%2AWI-7727%2A%22%7D		
Comment:	clean closure in 1989 **Note: Many records provided by the department have a truncated [Comment] field.		

LUST Database

MGR:	NPM	Contact:	MR. TED ROGERS
Regional Office Cd:	WIL	Telephone:	9106423123
Date Reported:		RP Address:	125 E. WALTER STREET
Release Code:	0	RP City:	WHITEVILLE
Release Code Desc:		RP State:	NC
Source:		RP Zip Code:	28472
Source Desc:		RP County:	
Site Priority:		RP Email:	
Pollutant Type:		RP Email1:	
Pollutant Desc:		RP Owner:	TRUE
Petroleum Type:		RP Operator:	TRUE
Petrol Type Desc:		RP Land Owner:	FALSE
COMM:	C	Lur Status:	
COMM Desc:	COMMERCIAL	LUR Filed:	
Regulated Code:	N	LUR Resc:	
Reg Code Desc:	NON REGULATED	LUR State:	
Notice Rg Rq Issd:		GPS Conf:	99
Notice Violtn Issd:		RBCA GW:	
Contamination:	NO	RBCA GW Desc:	
Cleanup:		RBCA:	
Conf Risk:	L	RBCA Desc:	
Risk:		CD No:	0
Land Use:		Reel No:	0
Land Use Desc:		ERR CD:	NO
Phase Reqr:		Valid:	FALSE
Intrmdt Cndition:		Cat Code:	
Corr Act Plan Cd:		HCS Res:	
CAP Desc:		Reliability:	
Clos Reqs:		Supply Well:	0
MTBE:	0	New Source:	
MTBE 1:	U	Book:	
RP Company:	SUNSHINE LAUNDRY AND CLEANERS	Page:	
HCS Ref:			
Comment:	clean closure in 1989 **Note: Many records provided by the department have a truncated [Comment] field.		

Site: FOUR C'S
MADISON WHITEVILLE NC 28472

UST

Facility ID:	00-0-0000012221	Contact:	W. D. BROOKS, INC.
No Reg Tanks:		Contact Address 1:	609 S. THOMPSON ST.
No Non-Reg Tanks:		Contact Address 2:	
Non-Reg/Com Tanks:		Contact City:	WHITEVILLE

Fac Owner Type:
Fac Name (Report): FOUR C'S
Address1 (Report): MADISON
Address2 (Report):
City (Report): WHITEVILLE
State (Report): NC
Zip (Report): 28472
Latitude (Report): 0
Longitude (Report): 0
ObjectID (Map):
Facility Name (PST):
Address (PST):
City (PST):
Latitude:
Longitude:
Source: North Carolina Environmental Quality - UST Databases and Reports
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Contact State: NC
Contact Zip: 28472-4239
Fac Name (Map):
Fac Address (Map):
Facility City (Map):
Facility Zip (Map):
Facility Phone (Map) :
X (Map):
Y (Map):

Tank Info (UST Databases and Reports)

Tank ID:	1	Overfill Protection:	Unknown
Tank Status:	Removed	Leak Detection:	Unknown
Compartment Tank:	NO	Spill Protection:	Unknown
Manifold Tank:		Piping Constr:	Single Wall Steel
Main Tank:	NO	Tank Constr:	Single Wall Steel
Root Tank ID:		Other CP Tank:	
Tank Cert No:		Other CP Name:	
Cert No:		Piping System:	Unknown
Installation Date:	4/11/1985 0:00:00	FIPS County Desc:	Columbus
Perm Close Date:	1/1/1988 0:00:00	FR Bus Name:	
Capacity:	550	FR Amt:	
Commercial:	YES	FR Desc:	
Regulated:	YES	Last Update Date:	
Product:	Kerosene, Kero Mix		

Owner Information

Contact Key:	76219.00	Phone:	(910) 642-2322
Facility Key:	94068	Affiliate Type:	Owner
FIPS County Desc:	Columbus	End Date:	

Site: **HARDWOOD DIMENSION, INC.**
OLD LOVE MILL ROAD WHITEVILLE NC 28472

UST

Facility ID:	00-0-0000012062	Contact:	HARDWOOD DIMENSION, INC.
No Reg Tanks:		Contact Address 1:	PO BOX 1429 / HWY 301 SOUTH
No Non-Reg Tanks:		Contact Address 2:	
Non-Reg/Com Tanks:		Contact City:	DUNN
Fac Owner Type:		Contact State:	NC
Fac Name (Report):	HARDWOOD DIMENSION, INC.	Contact Zip:	28334
Address1 (Report):	OLD LOVE MILL ROAD	Fac Name (Map):	
Address2 (Report):		Fac Address (Map):	
City (Report):	WHITEVILLE	Facility City (Map):	
State (Report):	NC	Facility Zip (Map):	
Zip (Report):	28472	Facility Phone (Map) :	
Latitude (Report):	0	X (Map):	
Longitude (Report):	0	Y (Map):	

ObjectID (Map):
Facility Name (PST):
Address (PST):
City (PST):
Latitude:
Longitude:
Source: North Carolina Environmental Quality - UST Databases and Reports
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche
 WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Tank Info (UST Databases and Reports)

Tank ID: 1
Tank Status: Removed
Compartment Tank: NO
Manifold Tank:
Main Tank: NO
Root Tank ID:
Tank Cert No:
Cert No:
Installation Date: 5/12/1971 0:00:00
Perm Close Date: 12/31/1989 0:00:00
Capacity: 550
Commercial: NO
Regulated: YES
Product: Gasoline, Gas Mix

Overfill Protection: Unknown
Leak Detection: Unknown
Spill Protection: Unknown
Piping Constr: Single Wall Steel
Tank Constr: Single Wall Steel
Other CP Tank:
Other CP Name:
Piping System: Unknown
FIPS County Desc: Columbus
FR Bus Name:
FR Amt:
FR Desc:
Last Update Date:

Tank Info (UST Databases and Reports)

Tank ID: 2
Tank Status: Removed
Compartment Tank: NO
Manifold Tank:
Main Tank: NO
Root Tank ID:
Tank Cert No:
Cert No:
Installation Date: 5/13/1966 0:00:00
Perm Close Date: 12/31/1989 0:00:00
Capacity: 550
Commercial: NO
Regulated: YES
Product: Gasoline, Gas Mix

Overfill Protection: Unknown
Leak Detection: Unknown
Spill Protection: Unknown
Piping Constr: Single Wall Steel
Tank Constr: Single Wall Steel
Other CP Tank:
Other CP Name:
Piping System: Unknown
FIPS County Desc: Columbus
FR Bus Name:
FR Amt:
FR Desc:
Last Update Date:

Owner Information

Contact Key: 28579.00
Facility Key: 93444
FIPS County Desc: Columbus

Phone: (919) 892-6176
Affiliate Type: Owner
End Date:

Site: **QUALITY MOTOR CO., INC.**
SOUTH MADISON STREET WHITEVILLE NC 28472

UST

Facility ID: 00-0-0000011371
No Reg Tanks:
No Non-Reg Tanks:
Non-Reg/Com Tanks:
Fac Owner Type:
Fac Name (Report): QUALITY MOTOR CO., INC.
Address1 (Report): SOUTH MADISON STREET
Address2 (Report):
City (Report): WHITEVILLE
State (Report): NC
Zip (Report): 28472
Latitude (Report): 0
Longitude (Report): 0
ObjectID (Map):
Facility Name (PST):
Address (PST):
City (PST):
Latitude:
Longitude:
Source: North Carolina Environmental Quality - UST Databases and Reports
Note: Documents related to facilities in NC can be searched on the NC DEQ LaserFiche
WebLink: <https://edocs.deq.nc.gov/WasteManagement/Search.aspx>

Contact: QUALITY MOTOR CO., INC.
Contact Address 1: POST OFFICE BOX 726
Contact Address 2:
Contact City: WHITEVILLE
Contact State: NC
Contact Zip: 28472
Fac Name (Map):
Fac Address (Map):
Facility City (Map):
Facility Zip (Map):
Facility Phone (Map) :
X (Map):
Y (Map):

Tank Info (UST Databases and Reports)

Tank ID: 1
Tank Status: Removed
Compartment Tank: NO
Manifold Tank:
Main Tank: NO
Root Tank ID:
Tank Cert No:
Cert No:
Installation Date: 5/3/1966 0:00:00
Perm Close Date: 6/9/1983 0:00:00
Capacity: 500
Commercial: NO
Regulated: YES
Product: Oil, New/Used/Mix

Overfill Protection: Unknown
Leak Detection: Unknown
Spill Protection: Unknown
Piping Constr: Single Wall Steel
Tank Constr: Single Wall Steel
Other CP Tank:
Other CP Name:
Piping System: Unknown
FIPS County Desc: Columbus
FR Bus Name:
FR Amt:
FR Desc:
Last Update Date:

Owner Information

Contact Key: 58045.00
Facility Key: 92901
FIPS County Desc: Columbus

Phone: (919) 642-7121
Affiliate Type: Owner
End Date:

Appendix: Database Descriptions

Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. ERIS updates databases as set out in ASTM Standard E1527-13, Section 8.1.8 Sources of Standard Source Information:

"Government information from nongovernmental sources may be considered current if the source updates the information at least every 90 days, or, for information that is updated less frequently than quarterly by the government agency, within 90 days of the date the government agency makes the information available to the public."

Standard Environmental Record Sources

Federal

Formerly Utilized Sites Remedial Action Program:

[DOE FUSRAP](#)

The U.S. Department of Energy (DOE) established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from the Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations. The DOE Office of Legacy Management (LM) established long-term surveillance and maintenance (LTS&M) requirements for remediated FUSRAP sites. DOE evaluates the final site conditions of a remediated site on the basis of risk for different future uses. DOE then confirms that LTS&M requirements will maintain protectiveness.

Government Publication Date: Mar 4, 2017

National Priority List:

[NPL](#)

National Priorities List (Superfund)-NPL: EPA's (United States Environmental Protection Agency) list of the most serious uncontrolled or abandoned hazardous waste sites identified for possible long-term remedial action under the Superfund program. The NPL, which EPA is required to update at least once a year, is based primarily on the score a site receives from EPA's Hazard Ranking System. A site must be on the NPL to receive money from the Superfund Trust Fund for remedial action.

Government Publication Date: Aug 25, 2021

National Priority List - Proposed:

[PROPOSED NPL](#)

Includes sites proposed (by the EPA, the state, or concerned citizens) for addition to the NPL due to contamination by hazardous waste and identified by the Environmental Protection Agency (EPA) as a candidate for cleanup because it poses a risk to human health and/or the environment.

Government Publication Date: Aug 25, 2021

Deleted NPL:

[DELETED NPL](#)

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Government Publication Date: Aug 25, 2021

SEMS List 8R Active Site Inventory:

[SEMS](#)

The Superfund Program has deployed the Superfund Enterprise Management System (SEMS), which integrates multiple legacy systems into a comprehensive tracking and reporting tool. This inventory contains active sites evaluated by the Superfund program that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL. The Active Site Inventory Report displays site and location information at active SEMS sites. An active site is one at which site assessment, removal, remedial, enforcement, cost recovery, or oversight activities are being planned or conducted.

Government Publication Date: Jul 29, 2021

SEMS List 8R Archive Sites:

[SEMS ARCHIVE](#)

The Superfund Enterprise Management System (SEMS) Archived Site Inventory displays site and location information at sites archived from SEMS. An archived site is one at which EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program at this time.

Government Publication Date: Jul 29, 2021

Inventory of Open Dumps, June 1985:

ODI

The Resource Conservation and Recovery Act (RCRA) provides for publication of an inventory of open dumps. The Act defines "open dumps" as facilities which do not comply with EPA's "Criteria for Classification of Solid Waste Disposal Facilities and Practices" (40 CFR 257).

Government Publication Date: Jun 1985

Comprehensive Environmental Response, Compensation and Liability Information System -

CERCLIS

CERCLIS:

Superfund is a program administered by the United States Environmental Protection Agency (EPA) to locate, investigate, and clean up the worst hazardous waste sites throughout the United States. CERCLIS is a database of potential and confirmed hazardous waste sites at which the EPA Superfund program has some involvement. It contains sites that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL. The EPA administers the Superfund program in cooperation with individual states and tribal governments; this database is made available by the EPA.

Government Publication Date: Oct 25, 2013

EPA Report on the Status of Open Dumps on Indian Lands:

IODI

Public Law 103-399, The Indian Lands Open Dump Cleanup Act of 1994, enacted October 22, 1994, identified congressional concerns that solid waste open dump sites located on American Indian or Alaska Native (AI/AN) lands threaten the health and safety of residents of those lands and contiguous areas. The purpose of the Act is to identify the location of open dumps on Indian lands, assess the relative health and environment hazards posed by those sites, and provide financial and technical assistance to Indian tribal governments to close such dumps in compliance with Federal standards and regulations or standards promulgated by Indian Tribal governments or Alaska Native entities.

Government Publication Date: Dec 31, 1998

CERCLIS - No Further Remedial Action Planned:

CERCLIS NFRAP

An archived site is one at which EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program at this time. The Archive designation means that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL). This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Government Publication Date: Oct 25, 2013

CERCLIS Liens:

CERCLIS LIENS

A Federal Superfund lien exists at any property where EPA has incurred Superfund costs to address contamination ("Superfund site") and has provided notice of liability to the property owner. A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. This database is made available by the United States Environmental Protection Agency (EPA).

Government Publication Date: Jan 30, 2014

RCRA CORRACTS-Corrective Action:

RCRA CORRACTS

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. At these sites, the Corrective Action Program ensures that cleanups occur. EPA and state regulators work with facilities and communities to design remedies based on the contamination, geology, and anticipated use unique to each site.

Government Publication Date: Jun 14, 2021

RCRA non-CORRACTS TSD Facilities:

RCRA TSD

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. This database includes Non-Corrective Action sites listed as treatment, storage and/or disposal facilities of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA).

Government Publication Date: Jun 14, 2021

RCRA Generator List:

RCRA LQG

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Large Quantity Generators (LQGs) generate 1,000 kilograms per month or more of hazardous waste or more than one kilogram per month of acutely hazardous waste.

Government Publication Date: Jun 14, 2021

RCRA Small Quantity Generators List:

[RCRA SQG](#)

RCRA Info is the EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Small Quantity Generators (SQGs) generate more than 100 kilograms, but less than 1,000 kilograms, of hazardous waste per month.

Government Publication Date: Jun 14, 2021

RCRA Very Small Quantity Generators List:

[RCRA VSQG](#)

RCRA Info is the EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Very Small Quantity Generators (VSQG) generate 100 kilograms or less per month of hazardous waste, or one kilogram or less per month of acutely hazardous waste. Additionally, VSQG may not accumulate more than 1,000 kilograms of hazardous waste at any time.

Government Publication Date: Jun 14, 2021

RCRA Non-Generators:

[RCRA NON GEN](#)

RCRA Info is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRA Info replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS) and the Biennial Reporting System (BRS). A hazardous waste generator is any person or site whose processes and actions create hazardous waste (see 40 CFR 260.10). Non-Generators do not presently generate hazardous waste.

Government Publication Date: Jun 14, 2021

Federal Engineering Controls-ECs:

[FED ENG](#)

Engineering controls (ECs) encompass a variety of engineered and constructed physical barriers (e.g., soil capping, sub-surface venting systems, mitigation barriers, fences) to contain and/or prevent exposure to contamination on a property. This database is made available by the United States Environmental Protection Agency (EPA).

Government Publication Date: Feb 23, 2021

Federal Institutional Controls- ICs:

[FED INST](#)

Institutional controls are non-engineered instruments, such as administrative and legal controls, that help minimize the potential for human exposure to contamination and/or protect the integrity of the remedy. Although it is EPA's (United States Environmental Protection Agency) expectation that treatment or engineering controls will be used to address principal threat wastes and that groundwater will be returned to its beneficial use whenever practicable, ICs play an important role in site remedies because they reduce exposure to contamination by limiting land or resource use and guide human behavior at a site.

Government Publication Date: Feb 23, 2021

Land Use Control Information System:

[LUCIS](#)

The LUCIS database is maintained by the U.S. Department of the Navy and contains information for former Base Realignment and Closure (BRAC) properties across the United States.

Government Publication Date: Sep 1, 2006

Emergency Response Notification System:

[ERNS 1982 TO 1986](#)

Database of oil and hazardous substances spill reports controlled by the National Response Center. The primary function of the National Response Center is to serve as the sole national point of contact for reporting oil, chemical, radiological, biological, and etiological discharges into the environment anywhere in the United States and its territories.

Government Publication Date: 1982-1986

Emergency Response Notification System:

[ERNS 1987 TO 1989](#)

Database of oil and hazardous substances spill reports controlled by the National Response Center. The primary function of the National Response Center is to serve as the sole national point of contact for reporting oil, chemical, radiological, biological, and etiological discharges into the environment anywhere in the United States and its territories.

Government Publication Date: 1987-1989

Emergency Response Notification System:

[ERNS](#)

Database of oil and hazardous substances spill reports made available by the United States Coast Guard National Response Center (NRC). The NRC fields initial reports for pollution and railroad incidents and forwards that information to appropriate federal/state agencies for response. These data contain initial incident data that has not been validated or investigated by a federal/state response agency.

Government Publication Date: Jul 26, 2021

The Assessment, Cleanup and Redevelopment Exchange System (ACRES) Brownfield Database:

[FED BROWNFIELDS](#)

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties protects the environment, reduces blight, and takes development pressures off greenspaces and working lands. This database is made available by the United States Environmental Protection Agency (EPA).

Government Publication Date: Aug 20, 2021

FEMA Underground Storage Tank Listing:

[FEMA UST](#)

The Federal Emergency Management Agency (FEMA) of the Department of Homeland Security maintains a list of FEMA owned underground storage tanks.

Government Publication Date: Dec 31, 2017

Facility Response Plan:

[FRP](#)

List of facilities that have submitted Facility Response Plans (FRP) to EPA. Facilities that could reasonably be expected to cause "substantial harm" to the environment by discharging oil into or on navigable waters are required to prepare and submit Facility Response Plans (FRPs). Harm is determined based on total oil storage capacity, secondary containment and age of tanks, oil transfer activities, history of discharges, proximity to a public drinking water intake or sensitive environments.

Government Publication Date: Dec 2, 2020

Historical Gas Stations:

[HIST GAS STATIONS](#)

This historic directory of service stations is provided by the Cities Service Company. The directory includes Cities Service filling stations that were located throughout the United States in 1930.

Government Publication Date: Jul 1, 1930

Petroleum Refineries:

[REFN](#)

List of petroleum refineries from the U.S. Energy Information Administration (EIA) Refinery Capacity Report. Includes operating and idle petroleum refineries (including new refineries under construction) and refineries shut down during the previous year located in the 50 States, the District of Columbia, Puerto Rico, the Virgin Islands, Guam, and other U.S. possessions. Survey locations adjusted using public data.

Government Publication Date: Jul 10, 2020

Petroleum Product and Crude Oil Rail Terminals:

[BULK TERMINAL](#)

List of petroleum product and crude oil rail terminals made available by the U.S. Energy Information Administration (EIA). Includes operable bulk petroleum product terminals located in the 50 States and the District of Columbia with a total bulk shell storage capacity of 50,000 barrels or more, and/or the ability to receive volumes from tanker, barge, or pipeline; also rail terminals handling the loading and unloading of crude oil that were active between 2017 and 2018. Petroleum product terminals comes from the EIA-815 Bulk Terminal and Blender Report, which includes working, shell in operation, and shell idle for several major product groupings. Survey locations adjusted using public data.

Government Publication Date: Apr 28, 2020

LIEN on Property:

[SEMS LIEN](#)

The EPA Superfund Enterprise Management System (SEMS) provides LIEN information on properties under the EPA Superfund Program.

Government Publication Date: Jul 29, 2021

Superfund Decision Documents:

[SUPERFUND ROD](#)

This database contains a listing of decision documents for Superfund sites. Decision documents serve to provide the reasoning for the choice of (or) changes to a Superfund Site cleanup plan. The decision documents include Records of Decision (ROD), ROD Amendments, Explanations of Significant Differences (ESD), along with other associated memos and files. This information is maintained and made available by the US EPA (Environmental Protection Agency).

Government Publication Date: Jun 28, 2021

State

Inactive Hazardous Sites and Federal Remediation Branch Sites:

[SHWS](#)

Sites on the Inactive Hazardous Sites Inventory and Federal Remediation Branch sites made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ). "Inactive Hazardous Sites" by definition are any areas where a hazardous substance release has come to be located and would include active and inactive facilities and a variety of property types. The term "inactive" refers to the fact that cleanup was inactive at large numbers of sites at the time of program enactment. The Federal Remediation Branch works cooperatively with the US Environmental Protection Agency (EPA) to implement the federal Superfund program under the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA) as amended.

Government Publication Date: Aug 31, 2021

State Trust Funds Database:

LUST TRUST

The Trust Fund Branch administers the Leaking Petroleum Underground Storage Tank Cleanup Funds and Environmental Protection Agency (EPA) grants. The Underground Storage Tank (UST) funds provide reimbursement for costs incurred during the cleanup of soil and groundwater contamination resulting from a release of petroleum from an underground storage tank. Two funds, the Commercial Trust Fund and the Non-Commercial Trust Fund, have been established to reimburse tank owners, operators, and landowners for costs associated with cleanups. This was made available by the Division of Waste Management in the Department of Environmental Quality (DEQ).

Government Publication Date: Jul 2, 2021

Delisted Inactive Hazardous Sites Inventory:

DELISTED SHWS

This list is comprised of sites that were once included in the inventory of Inactive Hazardous Sites, but have been removed from the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ). This database is state equivalent CERCLIS.

Government Publication Date: Aug 31, 2021

Solid Waste Facilities and Landfills:

SWF/LF

List of permitted solid waste facilities, landfills, and septage waste sites made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: May 6, 2021

Old Landfill Inventory:

OLD LF

The Old Landfill Inventory, made available by the Division of Waste Management in the North Carolina Department of Environment and Natural Resources (NCDENR), lists locations of non-permitted landfills that were closed prior to January 1, 1983 when waste disposal permitting regulations commenced. Legislation in 2007 (SB1492) resulted in adding new provisions to the Inactive Hazardous Sites Response Act for addressing these landfills. The Old Landfill Inventory is managed by the Pre-Regulatory Landfill Unit within the Inactive Hazardous Sites Branch.

Government Publication Date: Nov 13, 2020

Coal Ash Disposal Sites:

COAL ASH LF

The Department of Environmental Quality (DEQ) Division of Waste Management's Solid Waste Program regulates coal combustion residuals (CCR) from coal-fired electric power plants that are disposed of on land in accordance with North Carolina General Statute 130a, which includes the Coal Ash Management Act of 2014 (SL 2014-122 on August 20, 2014). CCRs primarily consist of coal bottom and fly ash, and flue gas desulfurization residuals.

Government Publication Date: Aug 1, 2020

Incident Management Database (Regional Underground Storage Tanks):

LUST

List of sites where there has been a release of petroleum to the soil and/or groundwater, from an Underground Storage Tank (UST) system. Data is extracted from the Regional Underground Storage Tank (RUST) database made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Jul 30, 2021

Hazard Substance Disposal Sites:

HSDS

A list of Hazard Substance Disposal Sites that are maintained by North Carolina Center for Geographic Information and Analysis. This list monitors the locations of unregulated and uncontrolled hazard waste sites. This list is the state equivalent of National Priority List (NPL).

Government Publication Date: Dec 31, 1998

Aboveground Incident Management Database (Regional Aboveground Storage Tanks):

LAST

Sites where there has been a discharge of petroleum to the soil and/or groundwater, from a source other than an Underground Storage Tank (UST) system (i.e., Aboveground Storage Tank (AST) system, spills, dumping, etc.). The Aboveground Incident Management database is made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Aug 6, 2021

Delisted Leaking Storage Tanks:

DELISTED LST

List of leaking storage tank sites which were once included, but have since been removed from the Incident Management Databases made available by the North Carolina Department of Environmental Quality (DEQ)'s Division of Waste Management.

Government Publication Date: Aug 6, 2021

Registered Tanks Database:

UST

List of registered underground storage tanks made available by the Division of Waste Management in North Carolina's Department of Environmental Quality (DEQ).

Government Publication Date: Jul 30, 2021

Aboveground Storage Tanks:

AST

A listing of registered Aboveground Storage Tank sites made available by the North Carolina Department of Environmental Quality (DEQ). Note that aboveground storage tanks are only required to be registered with NC DEQ if they meet the definition of an Oil Terminal Facility.

Government Publication Date: Feb 17, 2021

Petroleum Storage Tanks:

TANK

A list of petroleum storage tanks made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Jul 30, 2021

Delisted Storage Tanks:

DTNK

List of sites which were once included, but have since been removed from the Underground or Aboveground Storage Tank databases made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Jul 30, 2021

Petroleum Contaminated Soil Remediation Permits:

SOIL REM PERMITS

A list of sites that have received a permit or Certificate of Approval from the North Carolina Underground Storage Tank Section, under the Petroleum Contaminated Soil Remediation Permit Program. This list is made available by the North Carolina Department of Environmental Quality (NCDEQ), Division of Waste Management (DWM).

Government Publication Date: Jul 6, 2021

No Further Action Sites with Land Use Restrictions Monitoring:

INST

List of No Further Action Sites with Land Use Restrictions made available by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Aug 31, 2021

Land Use Restriction and/or Notices:

LUR

Locations of sites or projects managed by the NCDEQ, Division of Waste Management (DWM) having a Notice and/or Land Use Restrictions recorded at a local register of deeds office. The location data is a combined collection from eight (8) sections or programs operating within the DWM. The Notice and/or Land Use Restrictions are allowed based on the following North Carolina General Statutes: Notice of Open Dump; G.S. §130A-301(f); Notice of Inactive Hazardous Substance or Waste Disposal Site; G.S. §130A-310.8; Notice of Brownfields Property; G.S. §130A-310.35; Notice of Oil or Hazardous Substance Discharge Site; G.S. §143-215.85A; Notice of Dry-Cleaning Solvent Remediation; G.S. §143-215.104M; Notice of Contaminated Site; G.S. §143B-279.10; Notice of Residual Petroleum; G.S. §143B-279.11; Notice of Residual Contamination; G.S. §130A-310.71(e).

Government Publication Date: Mar 26, 2020

Fuel Service Stations:

FUEL STATIONS

List of active fuel service stations made available by the North Carolina Department of Agriculture & Consumer Services (NCDA&CS). The NCDA&CS have responsibilities in regulatory and service areas covering agronomy including weights and measures and gas and oil inspection.

Government Publication Date: Jun 3, 2021

Delisted Fuel Service Stations:

DELISTED FSS

A list of Fuel Service Stations that has been delisted from the active fuel service stations list which is made available by the North Carolina Department of Agriculture & Consumer Services (NCDA&CS).

Government Publication Date: Jun 3, 2021

Responsible Party Voluntary Action Sites:

VCP

List of Responsible Party Voluntary Action Sites administered by the Inactive Hazardous Sites Branch. This list is made available by the North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Aug 31, 2021

Brownfields Projects Inventory:

BROWNFIELDS

A "brownfields site" is an abandoned, idled or underused property where the threat of environmental contamination has hindered redevelopment. The North Carolina Brownfields Program, which is administered by the Division of Waste Management in the North Carolina Department of Environmental Quality (DEQ), is the state's effort to break this barrier to the redevelopment of these sites.

Government Publication Date: Sep 1, 2021

Tribal

Leaking Underground Storage Tanks (LUSTs) on Indian Lands:

INDIAN LUST

LUSTs on Tribal/Indian Lands in Region 4, which includes North Carolina.

Government Publication Date: Apr 14, 2020

Underground Storage Tanks (USTs) on Indian Lands:

INDIAN UST

USTs on Tribal/Indian Lands in Region 4, which includes North Carolina.

Government Publication Date: Apr 14, 2020

Delisted Tribal Leaking Storage Tanks:

DELISTED ILST

Leaking Underground Storage Tank facilities which have been removed from the Regional Tribal LUST lists made available by the EPA.

Government Publication Date: Apr 14, 2020

Delisted Tribal Underground Storage Tanks:

DELISTED IUST

Underground Storage Tank facilities which have been removed from the Regional Tribal UST lists made available by the EPA.

Government Publication Date: Apr 14, 2020

County

No County standard environmental record sources available for this State.

Additional Environmental Record Sources

Federal

PFOA/PFOS Contaminated Sites:

PFAS NPL

List of sites where PFOA or PFOS contaminants have been found in drinking water or soil. Made available by the Federal Environmental Protection Agency (EPA).

Government Publication Date: Sep 17, 2021

Facility Registry Service/Facility Index:

FINDS/FRS

The Facility Registry Service (FRS) is a centrally managed database that identifies facilities, sites, or places subject to environmental regulations or of environmental interest. FRS creates high-quality, accurate, and authoritative facility identification records through rigorous verification and management procedures that incorporate information from program national systems, state master facility records, and data collected from EPA's Central Data Exchange registrations and data management personnel. This list is made available by the Environmental Protection Agency (US EPA).

Government Publication Date: Nov 2, 2020

Toxics Release Inventory (TRI) Program:

TRIS

The EPA's Toxics Release Inventory (TRI) is a database containing data on disposal or other releases of over 650 toxic chemicals from thousands of U.S. facilities and information about how facilities manage those chemicals through recycling, energy recovery, and treatment. One of TRI's primary purposes is to inform communities about toxic chemical releases to the environment.

Government Publication Date: Aug 24, 2021

Perfluorinated Alkyl Substances (PFAS) Releases:

PFAS TRI

List of Toxics Release Inventory (TRI) facilities at which the reported chemical is a Per- or polyfluorinated alkyl substance (PFAS) included in the Environmental Protection Agency (EPA)'s consolidated PFAS Master List of PFAS Substances. The EPA's Toxics Release Inventory (TRI) is a database containing data on disposal or other releases of over 650 toxic chemicals from thousands of U.S. facilities and information about how facilities manage those chemicals through recycling, energy recovery, and treatment.

Perfluorinated Alkyl Substances (PFAS) Water Quality:

[PFAS WATER](#)

The Water Quality Portal (WQP) is a cooperative service sponsored by the United States Geological Survey (USGS), the Environmental Protection Agency (EPA), and the National Water Quality Monitoring Council (NWQMC). This listing includes records from the Water Quality Portal where the characteristic (environmental measurement) is in the Environmental Protection Agency (EPA)'s consolidated PFAS Master List of PFAS Substances.

Government Publication Date: Jul 20, 2020

Hazardous Materials Information Reporting System:

[HMIRS](#)

US DOT - Department of Transportation Pipeline and Hazardous Materials Safety Administration (PHMSA) Incidents Reports Database taken from Hazmat Intelligence Portal, U.S. Department of Transportation.

Government Publication Date: Sep 1, 2020

National Clandestine Drug Labs:

[NCDL](#)

The U.S. Department of Justice ("the Department") provides this data as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy.

Government Publication Date: Oct 5, 2020

Toxic Substances Control Act:

[TSCA](#)

The Environmental Protection Agency (EPA) is amending the Toxic Substances Control Act (TSCA) section 8(a) Inventory Update Reporting (IUR) rule and changing its name to the Chemical Data Reporting (CDR) rule.

The CDR enables EPA to collect and publish information on the manufacturing, processing, and use of commercial chemical substances and mixtures (referred to hereafter as chemical substances) on the TSCA Chemical Substance Inventory (TSCA Inventory). This includes current information on chemical substance production volumes, manufacturing sites, and how the chemical substances are used. This information helps the Agency determine whether people or the environment are potentially exposed to reported chemical substances. EPA publishes submitted CDR data that is not Confidential Business Information (CBI).

Government Publication Date: Apr 11, 2019

Hist TSCA:

[HIST TSCA](#)

The Environmental Protection Agency (EPA) is amending the Toxic Substances Control Act (TSCA) section 8(a) Inventory Update Reporting (IUR) rule and changing its name to the Chemical Data Reporting (CDR) rule.

The 2006 IUR data summary report includes information about chemicals manufactured or imported in quantities of 25,000 pounds or more at a single site during calendar year 2005. In addition to the basic manufacturing information collected in previous reporting cycles, the 2006 cycle is the first time EPA collected information to characterize exposure during manufacturing, processing and use of organic chemicals. The 2006 cycle also is the first time manufacturers of inorganic chemicals were required to report basic manufacturing information.

Government Publication Date: Dec 31, 2006

FTTS Administrative Case Listing:

[FTTS ADMIN](#)

An administrative case listing from the Federal Insecticide, Fungicide, & Rodenticide Act (FIFRA) and Toxic Substances Control Act (TSCA), together known as FTTS. This database was obtained from the Environmental Protection Agency's (EPA) National Compliance Database (NCDB). The FTTS and NCDB was shut down in 2006.

Government Publication Date: Jan 19, 2007

FTTS Inspection Case Listing:

[FTTS INSP](#)

An inspection case listing from the Federal Insecticide, Fungicide, & Rodenticide Act (FIFRA) and Toxic Substances Control Act (TSCA), together known as FTTS. This database was obtained from the Environmental Protection Agency's (EPA) National Compliance Database (NCDB). The FTTS and NCDB was shut down in 2006.

Government Publication Date: Jan 19, 2007

Potentially Responsible Parties List:

[PRP](#)

Early in the cleanup process, the Environmental Protection Agency (EPA) conducts a search to find the potentially responsible parties (PRPs). EPA looks for evidence to determine liability by matching wastes found at the site with parties that may have contributed wastes to the site.

Government Publication Date: Jun 25, 2021

State Coalition for Remediation of Drycleaners Listing:

[SCRD DRYCLEANER](#)

The State Coalition for Remediation of Drycleaners (SCRD) was established in 1998, with support from the U.S. Environmental Protection Agency (EPA) Office of Superfund Remediation and Technology Innovation. Coalition members are states with mandated programs and funding for drycleaner site remediation. Current members are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Government Publication Date: Nov 08, 2017

Integrated Compliance Information System (ICIS):

ICIS

The Integrated Compliance Information System (ICIS) is a system that provides information for the Federal Enforcement and Compliance (FE&C) and the National Pollutant Discharge Elimination System (NPDES) programs. The FE&C component supports the Environmental Protection Agency's (EPA) Civil Enforcement and Compliance program activities. These activities include Compliance Assistance, Compliance Monitoring and Enforcement. The NPDES program supports tracking of NPDES permits, limits, discharge monitoring data and other program reports.

Government Publication Date: Jun 14, 2021

Drycleaner Facilities:

FED DRYCLEANERS

A list of drycleaner facilities from Enforcement and Compliance History Online (ECHO) online search. The Environmental Protection Agency (EPA) tracks facilities that possess NAIC and SIC codes that classify businesses as drycleaner establishments.

Government Publication Date: May 5, 2021

Delisted Drycleaner Facilities:

DELISTED FED DRY

List of sites removed from the list of Drycleaner Facilities (sites in the EPA's Integrated Compliance Information System (ICIS) with NAIC or SIC codes identifying the business as a drycleaner establishment).

Government Publication Date: May 5, 2021

Formerly Used Defense Sites:

FUDS

Formerly Used Defense Sites (FUDS) are properties that were formerly owned by, leased to, or otherwise possessed by and under the jurisdiction of the Secretary of Defense prior to October 1986, where the Department of Defense (DoD) is responsible for an environmental restoration. This list is published by the U.S. Army Corps of Engineers.

Government Publication Date: May 26, 2021

Former Military Nike Missile Sites:

FORMER NIKE

This information was taken from report DRXTH-AS-IA-83A016 (Historical Overview of the Nike Missile System, 12/1984) which was performed by Environmental Science and Engineering, Inc. for the U.S. Army Toxic and Hazardous Materials Agency Assessment Division. The Nike system was deployed between 1954 and the mid-1970's. Among the substances used or stored on Nike sites were liquid missile fuel (JP-4); starter fluids (UDKH, aniline, and furfuryl alcohol); oxidizer (IRFNA); hydrocarbons (motor oil, hydraulic fluid, diesel fuel, gasoline, heating oil); solvents (carbon tetrachloride, trichloroethylene, trichloroethane, stoddard solvent); and battery electrolyte. The quantities of material a disposed of and procedures for disposal are not documented in published reports. Virtually all information concerning the potential for contamination at Nike sites is confined to personnel who were assigned to Nike sites. During deactivation most hardware was shipped to depot-level supply points. There were reportedly instances where excess materials were disposed of on or near the site itself at closure. There was reportedly no routine site decontamination.

Government Publication Date: Dec 2, 1984

PHMSA Pipeline Safety Flagged Incidents:

PIPELINE INCIDENT

A list of flagged pipeline incidents made available by the U.S. Department of Transportation (US DOT) Pipeline and Hazardous Materials Safety Administration (PHMSA). PHMSA regulations require incident and accident reports for five different pipeline system types.

Government Publication Date: Jul 7, 2020

Material Licensing Tracking System (MLTS):

MLTS

A list of sites that store radioactive material subject to the Nuclear Regulatory Commission (NRC) licensing requirements. This list is maintained by the NRC. As of September 2016, the NRC no longer releases location information for sites. Site locations were last received in July 2016.

Government Publication Date: May 11, 2021

Historic Material Licensing Tracking System (MLTS) sites:

HIST MLTS

A historic list of sites that have inactive licenses and/or removed from the Material Licensing Tracking System (MLTS). In some cases, a site is removed from the MLTS when the state becomes an "Agreement State". An Agreement State is a State that has signed an agreement with the Nuclear Regulatory Commission (NRC) authorizing the State to regulate certain uses of radioactive materials within the State.

Government Publication Date: Jan 31, 2010

Mines Master Index File:

MINES

The Master Index File (MIF) contains mine identification numbers issued by the Department of Labor Mine Safety and Health Administration (MSHA) for mines active or opened since 1971. Note that addresses may or may not correspond with the physical location of the mine itself.

Surface Mining Control and Reclamation Act Sites:

SMCRA

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by the Office of Surface Mining Reclamation and Enforcement (OSMRE) to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of Abandoned Mine Land (AML) impacts, as well as information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Government Publication Date: Dec 18, 2020

Mineral Resource Data System:

MRDS

The Mineral Resource Data System (MRDS) is a collection of reports describing metallic and nonmetallic mineral resources throughout the world. Included are deposit name, location, commodity, deposit description, geologic characteristics, production, reserves, resources, and references. This database contains the records previously provided in the Mineral Resource Data System (MRDS) of USGS and the Mineral Availability System/Mineral Industry Locator System (MAS/MILS) originated in the U.S. Bureau of Mines, which is now part of USGS. The USGS has ceased systematic updates of the MRDS database with their focus more recently on deposits of critical minerals while providing a well-documented baseline of historical mine locations from USGS topographic maps.

Government Publication Date: Mar 15, 2006

Uranium Mill Tailings Radiation Control Act Sites:

URANIUM

The Legacy Management Office of the Department of Energy (DOE) manages radioactive and chemical waste, environmental contamination, and hazardous material at over 100 sites across the U.S. The L.M. Office manages this database of sites registered under the Uranium Mill Tailings Control Act (UMTRCA).

Government Publication Date: Mar 4, 2017

Alternative Fueling Stations:

ALT FUELS

List of alternative fueling stations made available by the US Department of Energy's Office of Energy Efficiency & Renewable Energy. Includes Biodiesel stations, Ethanol (E85) stations, Liquefied Petroleum Gas (Propane) stations, Ethanol (E85) stations, Natural Gas stations, Hydrogen stations, and Electric Vehicle Supply Equipment (EVSE). The National Renewable Energy Laboratory (NREL) obtains information about new stations from trade media, Clean Cities coordinators, a Submit New Station form on the Station Locator website, and through collaborating with infrastructure equipment and fuel providers, original equipment manufacturers (OEMs), and industry groups.

Government Publication Date: Jul 12, 2021

Registered Pesticide Establishments:

SSTS

List of active EPA-registered foreign and domestic pesticide-producing and device-producing establishments based on data from the Section Seven Tracking System (SSTS). The Federal Insecticide, Fungicide, and Rodenticide Act (FIFRA) Section 7 requires that facilities producing pesticides, active ingredients, or devices be registered. The list of establishments is made available by the EPA.

Government Publication Date: Apr 13, 2021

Polychlorinated Biphenyl (PCB) Notifiers:

PCB

Facilities included in the national list of facilities that have notified the United States Environmental Protection Agency (EPA) of Polychlorinated Biphenyl (PCB) activities. Any company or person storing, transporting or disposing of PCBs or conducting PCB research and development must notify the EPA and receive an identification number.

Government Publication Date: Nov 19, 2020

State

Dry Cleaning Contamination and Solvent Cleanup Act (DSCA) Program:

DRYC CLEANUP

List of Dry Cleaning sites known to the Division of Waste Management in the Department of Environmental Quality (DEQ), including: sites that have been certified into the Dry-Cleaning Solvent Cleanup Act Program (DSCA) Program; sites that are being investigated by the DSCA Program for dry-cleaning solvent contamination; sites that have been investigated and determined not to have been contaminated by dry-cleaning solvent contamination; locations where the North Carolina Department of Labor has conducted boiler inspections at drycleaners prior to 1986; and historical addresses of drycleaners and laundry businesses from city directories. Made available by the North Carolina Department of Environmental Quality.

Government Publication Date: Mar 18, 2021

Dry Cleaning Facilities:

DRYCLEANERS

A list of dry cleaners made available by the North Carolina Department of Environmental Quality (DEQ), Division of Waste Management.

Government Publication Date: May 31, 2020

Delisted Dry Cleaning Facilities:

[DELISTED DRYCLEANERS](#)

List of dry cleaner locations which were once included, but no longer appear on, the list of dry cleaner locations made available by the Division of the Waste Management of North Carolina Department of Environmental Quality (DEQ).

Government Publication Date: Mar 18, 2021

Incident Management Database (Spills):

[SPILLS](#)

The Incident Management Database (IMD) tracks spills, hazardous material releases, sanitary sewer overflows and wastewater treatment plant bypasses. This database is managed by the Pretreatment, Emergency Response and Collection Systems (PERCS) unit of the Department of Environmental Quality (DEQ).

Government Publication Date: Feb 8, 2021

Manufactured Gas Plant (MGP) Sites:

[MGP](#)

A list of Manufactured Gas Plant (MGP) sites participating in the MGP Assessment and Remediation Program as described in the Administrative Order on Consent 00-SF-192. This list is made available by the North Carolina Environmental Quality (NCDEQ) Division of Waste Management.

Government Publication Date: Dec 12, 2019

Per- and Polyfluoroalkyl Substances (PFAS):

[PFAS](#)

A list of sites where Per- and Polyfluoroalkyl Substances (PFAS) has been identified, made available by the North Carolina Department of Environment Quality.

Government Publication Date: Aug 27, 2020

Recycling Markets Directory:

[SWRCY](#)

List of recycling facilities made available by the Division of Environmental Assistance and Customer Service (DEACS) of the NC Department of Environmental Quality. Information is based on data supplied by the listed organizations to DEACS. DEACS is a non-regulatory state agency, does not regularly inspect facilities, and does not represent that the companies are, or are not, in compliance with applicable federal, state and local laws.

Government Publication Date: May 27, 2021

Hazardous Waste Sites:

[HAZ](#)

A list of sites within North Carolina that are regulated by the hazardous waste portions of the Resource Conservation and Recovery Act (RCRA). This list is provided by the North Carolina Department of Environmental Quality (NC DEQ), Division of Waste Management.

Government Publication Date: Feb 21, 2019

Permitted Septage Sites:

[SDTF](#)

List of active and permitted Septage Detention and Treatment Facility (SDTF) sites in North Carolina, made available by the North Carolina Department of Environmental Quality.

Government Publication Date: Sep 21, 2018

Tier 2 Report:

[TIER 2](#)

A list of Tier 2 facilities in North Carolina. This list is made available by the North Carolina Department of Environmental Quality (NC DEQ).

Government Publication Date: Oct 30, 2020

Underground Injection Control Wells:

[UIC](#)

This list of Underground Injection Control Wells is made available by the North Carolina Department of Environment and Natural Resources.

Government Publication Date: Oct 26, 2020

Animal Feeding Operation Permits:

[FEEDLOTS](#)

This list of animal feeding operation permits is made available by the Water Quality Division of the North Carolina Department of Environment and Natural Resources.

Government Publication Date: Apr 1, 2020

Air Permitted Facilities:

[AIR PERMIT](#)

This list of facilities with air quality permits is made available by the Air Quality Division of the North Carolina Department of Environment and Natural Resources.

Government Publication Date: Jul 21, 2020

Tribal

No Tribal additional environmental record sources available for this State.

County

No County additional environmental record sources available for this State.

Definitions

Database Descriptions: This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

Detail Report: This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

Distance: The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

Direction: The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

Elevation: The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

Executive Summary: This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

Map Key: The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

Unplottables: These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.

APPENDIX H

Site Photographs



Photo 1. For sale sign off Love Mill Road frontage.



Photo 2. Love Mill Road – property on the left.



Photo 3. Across Love Mill Road facing subject property.



Photo 4. Property boundary on the northwest extent.



Photo 5. Wooded area on the northern portion of site.



Photo 6. Typical debris – cans and bottles.



Photo 7. Wood pallet near the center of the property.



Photo 8. Typical wooded area on the property.



Photo 9. Small pond located on the northeast section.



Photo 10. Another photo of the small pond.



Photo 11. Wooded area on the southern boundary facing east.



Photo 12. Facing north on the southern boundary of the subject property.

ATTACHMENT G

Endangered Species Act



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Endangered Species Act (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/endangered-species>

1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office.

Explain your determination:

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

Yes, the activities involved in the project have the potential to affect species and/or habitats.

→ Continue to Question 2.

2. Are federally listed species or designated critical habitats present in the action area?

Obtain a list of protected species from the Services. This information is available on the [FWS Website](#).

No, the project will have No Effect due to the absence of federally listed species and designated critical habitat.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation may include letters from the Services, species lists from the Services’ websites, surveys or other documents and analysis showing that there are no species in the action area.

Yes, there are federally listed species or designated critical habitats present in the action area.

→ Continue to Question 3.

3. Recommend one of the following effects that the project will have on federally listed species or designated critical habitat:

No Effect: Based on the specifics of both the project and any federally listed species in the action area, you have determined that the project will have absolutely no effect on listed species or critical habitat.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation should include a species list and explanation of your conclusion, and may require maps, photographs, and surveys as appropriate.*

May Affect, Not Likely to Adversely Affect: Any effects that the project may have on federally listed species or critical habitats would be beneficial, discountable, or insignificant.

→ Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Informal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

Likely to Adversely Affect: The project may have negative effects on one or more listed species or critical habitat.

→ Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Formal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Based on the results of the Information for Planning and Consultation (IPaC) report, generated at the U.S. Fish and Wildlife Service's (USF&WS) Information for Planning and Consultation website (<https://ecos.fws.gov/ipac/>), there is a total of six threatened, endangered, or candidate species identified for the project area. The information provided for the species is summarized in the following table.

Table of Endangered or Threatened Species
Love Mill Apartments, Whiteville, NC

Species	Critical Habitat	Status	Notes
Mammals			
Northern Long-eared Bat <i>(Myotis septentrionalis)</i>	None	Threatened	No critical habitat has been designated for this species.
Birds			
Red-cockaded Woodpecker <i>(Picoides borealis)</i>	None	Endangered	No critical habitat has been designated for this species.
Wood Stork <i>(Mycteria americana)</i>	None	Threatened	No critical habitat has been designated for this species.
Reptiles			
American Alligator <i>(Alligator mississippiensis)</i>	None	Threatened	No critical habitat has been designated for this species.
Insects			
Monarch Butterfly <i>(Danaus plexippus)</i>	None	Candidate	No critical habitat has been designated for this species.
Flowering Plants			
Cooley's Meadowrue <i>(Thalictrum cooleyi)</i>	None	Endangered	No critical habitat has been designated for this species.

No critical habitats for the any of the listed species have been defined; however, the Northern Long-eared Bat profile shows that this species does include ranges of occupation that occur within the project area.

Using the IPaC Determination Key, on September 20, 2021, the USF&WS indicated in a Verification Letter that the Action (development of the project) “may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o).” The letter also states: “This letter verifies that the PBO [Programmatic Biological Opinion] satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.” The IPaC Determination Key also states that “unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.” The project is not located within 150 feet of a documented maternity roost or within 0.25 miles of a documented hibernaculum; therefore, the

Pyramid has determined that the project is in compliance with the Endangered Species Act and can proceed without time of year restrictions for the NLEB. The letter was submitted to the USF&WL on September 20, 2021.

On October 25, 2021, and November 23, 2021, the USF&WS provided comment on the proposed project via email. The USF&WS response concurred with Pyramid's determination that the proposed project can proceed without mitigation for threatened or endangered species and should be in compliance with the Endangered Species Act. The emailed stated "the biologist that reviewed your submission agreed with your determinations". The updated site plan was submitted to USF&WS for review on January 11, 2022 and no response was received.

On February 22, 2022, Judith Ratcliffe with the NC Department of Natural and Cultural Resources issued an emailed response regarding the Northern Long-eared Bat (NLEB). The responses stated, "there are no documented Northern Long-eared Bat maternity roost trees within 150 feet of this project boundary. There are no documented Northern Long-eared Bat hibernacula within 0.25 mile of this project boundary." The letter is included below.

Copies of the official IPaC Report, species profiles for the listed threatened or endangered species, Verification Letter for the NLEB, and correspondence with the USF&WS are included in below.

IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Project information

NAME

Love Mill Apartments

LOCATION

Columbus County, North Carolina



DESCRIPTION

Some(Love Mill Apartments is a proposed affordable housing community located in Whiteville, NC. This newly constructed community will contain 60 apartment homes built in the garden style. The buildings will have brick and hardi-plank siding. The development will also contain a clubhouse with community space, fitness room, and computer area. There will also be a playground on site. The location is in close proximity to many services and yet has a residential setting. The community will have a mix of one, two, and three bedroom units targeted for families. The site sits between a single family residential area and a commercial corridor making this an ideal site for multifamily development.)

Local office

Raleigh Ecological Services Field Office

 (919) 856-4520

 (919) 856-4556

MAILING ADDRESS

Post Office Box 33726
Raleigh, NC 27636-3726

PHYSICAL ADDRESS

551 Pylon Drive, Suite F
Raleigh, NC 27606-1487

NOT FOR CONSULTATION

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Log in to IPaC.
2. Go to your My Projects list.
3. Click PROJECT HOME for this project.
4. Click REQUEST SPECIES LIST.

Listed species¹ and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries²).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).
2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

Mammals

NAME	STATUS
------	--------

Northern Long-eared Bat *Myotis septentrionalis* Threatened

Wherever found

No critical habitat has been designated for this species.

<http://ecos.fws.gov/ecp/species/9045>

Birds

NAME

STATUS

Red-cockaded Woodpecker *Picoides borealis* Endangered

Wherever found

No critical habitat has been designated for this species.

<http://ecos.fws.gov/ecp/species/7614>

Wood Stork *Mycteria americana* Threatened

No critical habitat has been designated for this species.

<http://ecos.fws.gov/ecp/species/8477>

Reptiles

NAME

STATUS

American Alligator *Alligator mississippiensis* SAT

Wherever found

No critical habitat has been designated for this species.

<http://ecos.fws.gov/ecp/species/776>

Insects

NAME

STATUS

Monarch Butterfly *Danaus plexippus* Candidate

Wherever found

No critical habitat has been designated for this species.

<http://ecos.fws.gov/ecp/species/9743>

Flowering Plants

NAME

STATUS

Cooley's Meadowrue *Thalictrum cooleyi* Endangered

Wherever found

No critical habitat has been designated for this species.

<http://ecos.fws.gov/ecp/species/3281>

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

THERE ARE NO CRITICAL HABITATS AT THIS LOCATION.

Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Measures for avoiding and minimizing impacts to birds <http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Nationwide conservation measures for birds <http://www.fws.gov/migratorybirds/pdf/management/nationwidestandardconservationmeasures.pdf>

THERE ARE NO MIGRATORY BIRDS OF CONSERVATION CONCERN EXPECTED TO OCCUR AT THIS LOCATION.

Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the migratory birds potentially occurring in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [AKN Phenology Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there), the [Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

Facilities

National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS AT THIS LOCATION.

Fish hatcheries

THERE ARE NO FISH HATCHERIES AT THIS LOCATION.

Wetlands in the National Wetlands Inventory

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

THERE ARE NO KNOWN WETLANDS AT THIS LOCATION.

Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Raleigh Ecological Services Field Office
Post Office Box 33726
Raleigh, NC 27636-3726
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:
Consultation code: 04EN2000-2021-TA-2244
Event Code: 04EN2000-2021-E-04608
Project Name: Love Mill Apartments

September 20, 2021

Subject: Verification letter for the 'Love Mill Apartments' project under the January 5, 2016, Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-eared Bat and Activities Excepted from Take Prohibitions.

Dear ryan kramer:

The U.S. Fish and Wildlife Service (Service) received on September 20, 2021 your effects determination for the 'Love Mill Apartments' (the Action) using the northern long-eared bat (*Myotis septentrionalis*) key within the Information for Planning and Consultation (IPaC) system. This IPaC key assists users in determining whether a Federal action is consistent with the activities analyzed in the Service's January 5, 2016, Programmatic Biological Opinion (PBO). The PBO addresses activities excepted from "take"¹ prohibitions applicable to the northern long-eared bat under the Endangered Species Act of 1973 (ESA) (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.).

Based upon your IPaC submission, the Action is consistent with activities analyzed in the PBO. The Action may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o). Unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.

Please report to our office any changes to the information about the Action that you submitted in IPaC, the results of any bat surveys conducted in the Action area, and any dead, injured, or sick northern long-eared bats that are found during Action implementation. If the Action is not completed within one year of the date of this letter, you must update and resubmit the information required in the IPaC key.

This IPaC-assisted determination allows you to rely on the PBO for compliance with ESA Section 7(a)(2) only for the northern long-eared bat. It **does not** apply to the following ESA-protected species that also may occur in the Action area:

- American Alligator *Alligator mississippiensis* Similarity of Appearance (Threatened)
- Cooley's Meadowrue *Thalictrum cooleyi* Endangered
- Monarch Butterfly *Danaus plexippus* Candidate
- Red-cockaded Woodpecker *Picoides borealis* Endangered
- Wood Stork *Mycteria americana* Threatened

If the Action may affect other federally listed species besides the northern long-eared bat, a proposed species, and/or designated critical habitat, additional consultation between you and this Service office is required. If the Action may disturb bald or golden eagles, additional coordination with the Service under the Bald and Golden Eagle Protection Act is recommended.

[1]Take means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct [ESA Section 3(19)].

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

Love Mill Apartments

2. Description

The following description was provided for the project 'Love Mill Apartments':

Love Mill Apartments is a proposed affordable housing community located in Whiteville, NC. This newly constructed community will contain 60 apartment homes built in the garden style. The buildings will have brick and hardi-plank siding. The development will also contain a clubhouse with community space, fitness room, and computer area. There will also be a playground on site. The location is in close proximity to many services and yet has a residential setting. The community will have a mix of one, two, and three bedroom units targeted for families. The site sits between a single family residential area and a commercial corridor making this an ideal site for multifamily development.

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@34.3048786,-78.72207907768399,14z>

**Determination Key Result**

This Federal Action may affect the northern long-eared bat in a manner consistent with the description of activities addressed by the Service's PBO dated January 5, 2016. Any taking that may occur incidental to this Action is not prohibited under the final 4(d) rule at 50 CFR §17.40(o). Therefore, the PBO satisfies your responsibilities for this Action under ESA Section 7(a)(2) relative to the northern long-eared bat.

Determination Key Description: Northern Long-eared Bat 4(d) Rule

This key was last updated in IPaC on May 15, 2017. Keys are subject to periodic revision.

This key is intended for actions that may affect the threatened northern long-eared bat.

The purpose of the key for Federal actions is to assist determinations as to whether proposed actions are consistent with those analyzed in the Service's PBO dated January 5, 2016.

Federal actions that may cause prohibited take of northern long-eared bats, affect ESA-listed species other than the northern long-eared bat, or affect any designated critical habitat, require ESA Section 7(a)(2) consultation in addition to the use of this key. Federal actions that may affect species proposed for listing or critical habitat proposed for designation may require a conference under ESA Section 7(a)(4).

Determination Key Result

This project may affect the threatened Northern long-eared bat; therefore, consultation with the Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.) is required. However, based on the information you provided, this project may rely on the Service's January 5, 2016, *Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions* to fulfill its Section 7(a)(2) consultation obligation.

Qualification Interview

1. Is the action authorized, funded, or being carried out by a Federal agency?
Yes
2. Have you determined that the proposed action will have "no effect" on the northern long-eared bat? (If you are unsure select "No")
No
3. Will your activity purposefully **Take** northern long-eared bats?
No
4. [Semantic] Is the project action area located wholly outside the White-nose Syndrome Zone?
Automatically answered
No
5. Have you contacted the appropriate agency to determine if your project is near a known hibernaculum or maternity roost tree?

Location information for northern long-eared bat hibernacula is generally kept in state Natural Heritage Inventory databases – the availability of this data varies state-by-state. Many states provide online access to their data, either directly by providing maps or by providing the opportunity to make a data request. In some cases, to protect those resources, access to the information may be limited. A web page with links to state Natural Heritage Inventory databases and other sources of information on the locations of northern long-eared bat roost trees and hibernacula is available at www.fws.gov/midwest/endangered/mammals/nleb/nhisites.html.

Yes

6. Will the action affect a cave or mine where northern long-eared bats are known to hibernate (i.e., hibernaculum) or could it alter the entrance or the environment (physical or other alteration) of a hibernaculum?
No
 7. Will the action involve Tree Removal?
Yes
-

8. Will the action only remove hazardous trees for the protection of human life or property?

No

9. Will the action remove trees within 0.25 miles of a known northern long-eared bat hibernaculum at any time of year?

No

10. Will the action remove a known occupied northern long-eared bat maternity roost tree or any trees within 150 feet of a known occupied maternity roost tree from June 1 through July 31?

No

Project Questionnaire

If the project includes forest conversion, report the appropriate acreages below. Otherwise, type '0' in questions 1-3.

1. Estimated total acres of forest conversion:

6.6

2. If known, estimated acres of forest conversion from April 1 to October 31

0

3. If known, estimated acres of forest conversion from June 1 to July 31

0

If the project includes timber harvest, report the appropriate acreages below. Otherwise, type '0' in questions 4-6.

4. Estimated total acres of timber harvest

0

5. If known, estimated acres of timber harvest from April 1 to October 31

0

6. If known, estimated acres of timber harvest from June 1 to July 31

0

If the project includes prescribed fire, report the appropriate acreages below. Otherwise, type '0' in questions 7-9.

7. Estimated total acres of prescribed fire

0

8. If known, estimated acres of prescribed fire from April 1 to October 31

0

9. If known, estimated acres of prescribed fire from June 1 to July 31

0

If the project includes new wind turbines, report the megawatts of wind capacity below. Otherwise, type '0' in question 10.

10. What is the estimated wind capacity (in megawatts) of the new turbine(s)?

0



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Raleigh Field Office
P.O. Box 33726
Raleigh, NC 27636-3726

Date: _____

Self-Certification Letter

Project Name _____

Dear Applicant:

Thank you for using the U.S. Fish and Wildlife Service (Service) Raleigh Ecological Services online project review process. By printing this letter in conjunction with your project review package, you are certifying that you have completed the online project review process for the project named above in accordance with all instructions provided, using the best available information to reach your conclusions. This letter, and the enclosed project review package, completes the review of your project in accordance with the Endangered Species Act of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as amended (ESA), and the Bald and Golden Eagle Protection Act (16 U.S.C. 668-668c, 54 Stat. 250), as amended (Eagle Act). This letter also provides information for your project review under the National Environmental Policy Act of 1969 (P.L. 91-190, 42 U.S.C. 4321-4347, 83 Stat. 852), as amended. A copy of this letter and the project review package must be submitted to this office for this certification to be valid. This letter and the project review package will be maintained in our records.

The species conclusions table in the enclosed project review package summarizes your ESA and Eagle Act conclusions. Based on your analysis, mark all the determinations that apply:

“no effect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, not likely to adversely affect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, likely to adversely affect” determination for the Northern long-eared bat (*Myotis septentrionalis*) and relying on the findings of the January 5, 2016, Programmatic Biological Opinion for the Final 4(d) Rule on the Northern long-eared bat;

“no Eagle Act permit required” determinations for eagles.

We certify that use of the online project review process in strict accordance with the instructions provided as documented in the enclosed project review package results in reaching the appropriate determinations. Therefore, we concur with the “no effect” or “not likely to adversely affect” determinations for proposed and listed species and proposed and designated critical habitat; the “may affect” determination for Northern long-eared bat; and/or the “no Eagle Act permit required” determinations for eagles. Additional coordination with this office is not needed. Candidate species are not legally protected pursuant to the ESA. However, the Service encourages consideration of these species by avoiding adverse impacts to them. Please contact this office for additional coordination if your project action area contains candidate species. Should project plans change or if additional information on the distribution of proposed or listed species, proposed or designated critical habitat, or bald eagles becomes available, this determination may be reconsidered. This certification letter is valid for 1 year. Information about the online project review process including instructions, species information, and other information regarding project reviews within North Carolina is available at our website <http://www.fws.gov/raleigh/pp.html>. If you have any questions, you can write to us at Raleigh@fws.gov or please contact Leigh Mann of this office at 919-856-4520, ext. 10.

Sincerely,

/s/Pete Benjamin

Pete Benjamin
Field Supervisor
Raleigh Ecological Services

Enclosures - project review package



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Raleigh Ecological Services Field Office
Post Office Box 33726
Raleigh, NC 27636-3726
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:
Consultation Code: 04EN2000-2021-SLI-2244
Event Code: 04EN2000-2021-E-04605
Project Name: Love Mill Apartments

September 20, 2021

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The species list generated pursuant to the information you provided identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

Section 7 of the Act requires that all federal agencies (or their designated non-federal representative), in consultation with the Service, insure that any action federally authorized, funded, or carried out by such agencies is not likely to jeopardize the continued existence of any federally-listed endangered or threatened species. A biological assessment or evaluation may be prepared to fulfill that requirement and in determining whether additional consultation with the Service is necessary. In addition to the federally-protected species list, information on the species' life histories and habitats and information on completing a biological assessment or

evaluation and can be found on our web page at <http://www.fws.gov/raleigh>. Please check the web site often for updated information or changes

If your project contains suitable habitat for any of the federally-listed species known to be present within the county where your project occurs, the proposed action has the potential to adversely affect those species. As such, we recommend that surveys be conducted to determine the species' presence or absence within the project area. The use of North Carolina Natural Heritage program data should not be substituted for actual field surveys.

If you determine that the proposed action may affect (i.e., likely to adversely affect or not likely to adversely affect) a federally-protected species, you should notify this office with your determination, the results of your surveys, survey methodologies, and an analysis of the effects of the action on listed species, including consideration of direct, indirect, and cumulative effects, before conducting any activities that might affect the species. If you determine that the proposed action will have no effect (i.e., no beneficial or adverse, direct or indirect effect) on federally listed species, then you are not required to contact our office for concurrence (unless an Environmental Impact Statement is prepared). However, you should maintain a complete record of the assessment, including steps leading to your determination of effect, the qualified personnel conducting the assessment, habitat conditions, site photographs, and any other related articles.

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

Not all Threatened and Endangered Species that occur in North Carolina are subject to section 7 consultation with the U.S Fish and Wildlife Service. Atlantic and shortnose sturgeon, sea turtles, when in the water, and certain marine mammals are under purview of the National Marine Fisheries Service. If your project occurs in marine, estuarine, or coastal river systems you should also contact the National Marine Fisheries Service, <http://www.nmfs.noaa.gov/>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office. If you have any questions or comments, please contact John Ellis of this office at john_ellis@fws.gov.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Raleigh Ecological Services Field Office

Post Office Box 33726

Raleigh, NC 27636-3726

(919) 856-4520

Project Summary

Consultation Code: 04EN2000-2021-SLI-2244

Event Code: Some(04EN2000-2021-E-04605)

Project Name: Love Mill Apartments

Project Type: DEVELOPMENT

Project Description: Love Mill Apartments is a proposed affordable housing community located in Whiteville, NC. This newly constructed community will contain 60 apartment homes built in the garden style. The buildings will have brick and hardi-plank siding. The development will also contain a clubhouse with community space, fitness room, and computer area. There will also be a playground on site. The location is in close proximity to many services and yet has a residential setting. The community will have a mix of one, two, and three bedroom units targeted for families. The site sits between a single family residential area and a commercial corridor making this an ideal site for multifamily development.

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@34.3048786,-78.72207907768399,14z>



Counties: Columbus County, North Carolina

Endangered Species Act Species

There is a total of 6 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

Birds

NAME	STATUS
Red-cockaded Woodpecker <i>Picoides borealis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/7614	Endangered
Wood Stork <i>Mycteria americana</i> Population: AL, FL, GA, MS, NC, SC No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8477	Threatened

Reptiles

NAME	STATUS
American Alligator <i>Alligator mississippiensis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/776	Similarity of Appearance (Threatened)

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Flowering Plants

NAME	STATUS
Cooley's Meadowrue <i>Thalictrum cooleyi</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/3281	Endangered

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

Species Conclusions Table

Project Name: Proposed Love Mill Apartments_____

Date: 9.20.21

Species / Resource Name	Conclusion	ESA Section 7 / Eagle Act Determination	Notes / Documentation
Northern Long-eared Bat <i>(Myotis septentrionalis)</i>	Suitable habitat present	Not Likely to Adversely Affect	The project is not located within 150 ft of a documented maternity roost or within .25 miles of a documented hibernaculum
Red-cockaded Woodpecker <i>(Picoides borealis)</i>	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
Wood Stork <i>(Mycteria americana)</i>	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
American Alligator (Alligator mississippiensis)	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
Monarch Butterfly <i>(Danaus plexippus)</i>	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
Cooley's Meadowrue <i>(Thalictrum cooleyi)</i>	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>

Acknowledgement: I agree that the above information about my proposed project is true. I used all of the provided resources to make an informed decision about impacts in the immediate and surrounding areas.


Signature /Title

9.20.21
Date



September 20, 2021

Mr. Pete Benjamin
 Field Supervisor
 U.S. Fish and Wildlife Service
 P.O. Box 33726
 Raleigh, NC 27636-3726

**Re: Request for Informal Consultation
 Love Mill Apartments
 181 W. Love Mill Road, Whiteville, NC**

Dear Mr. Benjamin,

The developer of the proposed Love Mill Apartments is applying for a loan from the HUD 221(d)(4) – New Construction of Multi-Family Housing Loan Program to construct a 60-unit multi-family apartment complex at 181 W. Love Mill Road, Whiteville, Columbus County, North Carolina. The site consists of approximately 6.3 acres of undeveloped land. The design for the project includes two three-story apartment buildings and one-story community building. The location of the site is shown on the attached topographic map, tax map, aerial photograph, and preliminary site plan.

Based on results from USFWS’s IPaC planning tool (attached), produced on September 20, 2021, the following species and/or habitats may be present in the action area:

Table of Endangered or Threatened Species
 Love Mill Apartments, Whiteville, NC

Species	Critical Habitat	Status	Notes
Mammals			
Northern Long-eared Bat <i>(Myotis septentrionalis)</i>	None	Threatened	No critical habitat has been designated for this species.
Birds			
Red-cockaded Woodpecker <i>(Picoides borealis)</i>	None	Endangered	No critical habitat has been designated for this species.
Wood Stork <i>(Mycteria americana)</i>	None	Threatened	No critical habitat has been designated for this species.

Reptiles			
American Alligator (<i>Alligator mississippiensis</i>)	None	Threatened	No critical habitat has been designated for this species.
Insects			
Monarch Butterfly (<i>Danaus plexippus</i>)	None	Candidate	No critical habitat has been designated for this species.
Flowering Plants			
Cooley's Meadowrue (<i>Thalictrum cooleyi</i>)	None	Endangered	No critical habitat has been designated for this species.

Also attached are the species reports for threatened or endangered species described above. No species surveys, habitat evaluations, etc., have been conducted at the site.

With this letter, we request your informal review and comment per Section 7 of the Endangered Species Act and seek your recommendations to prevent or minimize potential impacts to listed threatened or endangered species or their critical habitat. We respectfully request a response within 15 business days.

Sincerely,



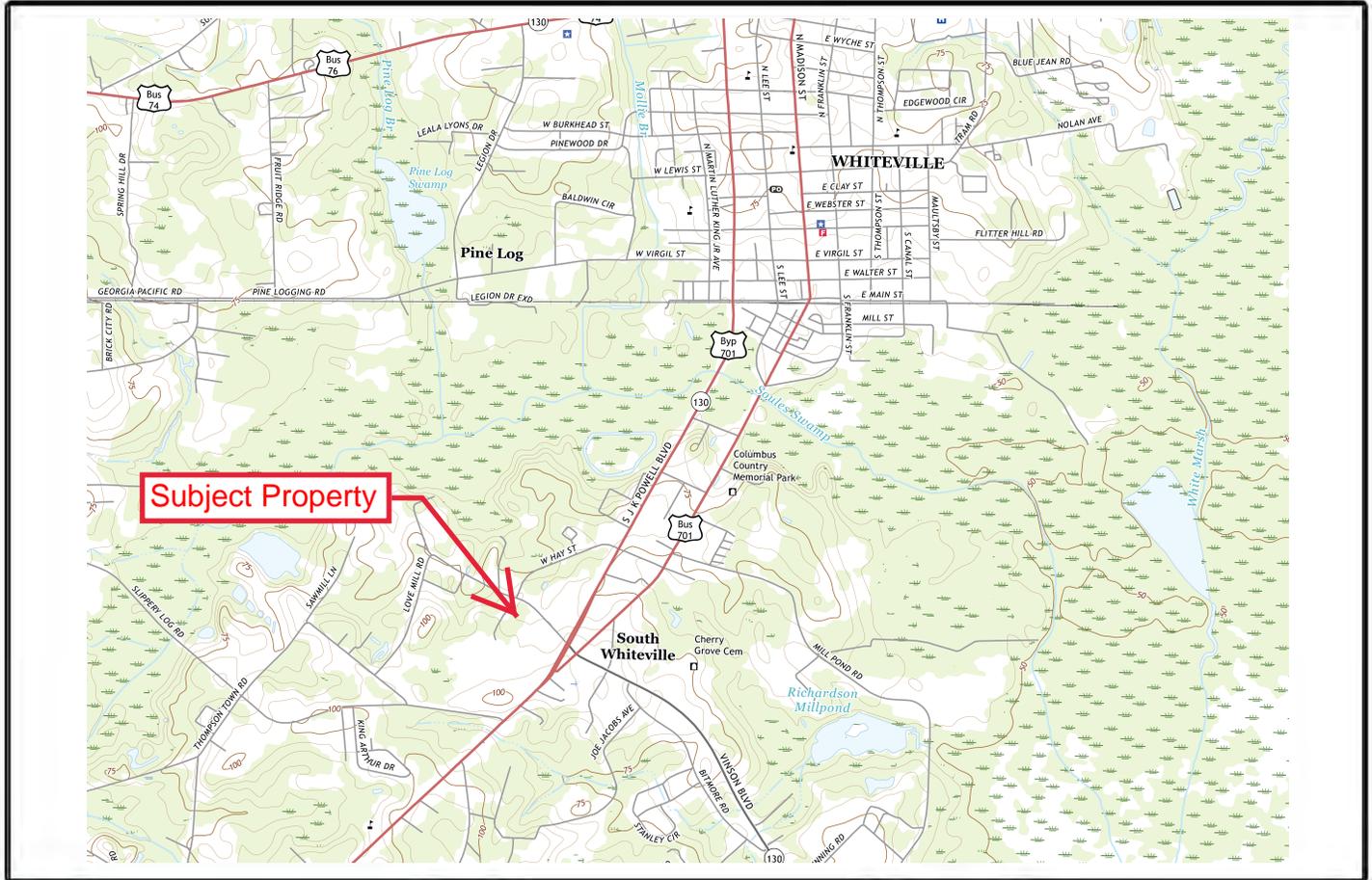
Ryan Kramer
Project Manager

Attachments: 7.5-Minute Topographic Map, Tax Map, Aerial, Site Plan, IPaC Species List & Species Reports

USGS TOPOGRAPHIC MAP

SITE: Love Mill Apartments

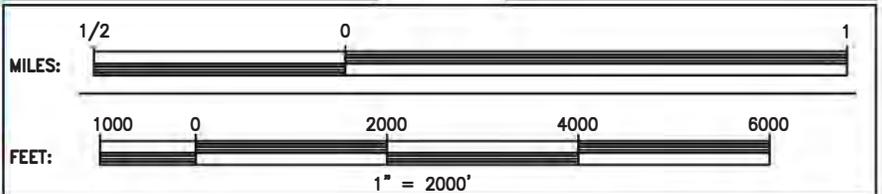
LOCATION: 181 W. Love Mill Rd., Whiteville, NC



USGS IDENTIFICATION

SCALES

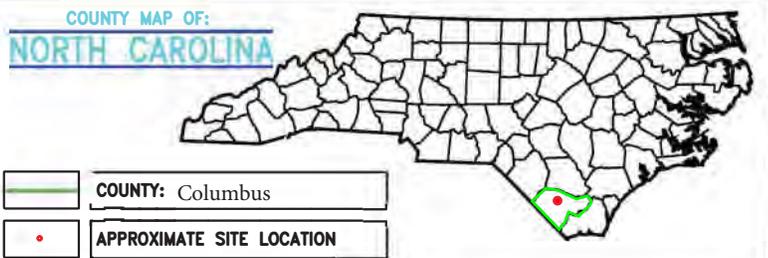
USGS 7.5 MINUTE MAP	Whiteville, NC
ORIGINAL DATE:	2019
PHOTOREVISION DATE:	N/A



	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 20 FEET
 ► PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH

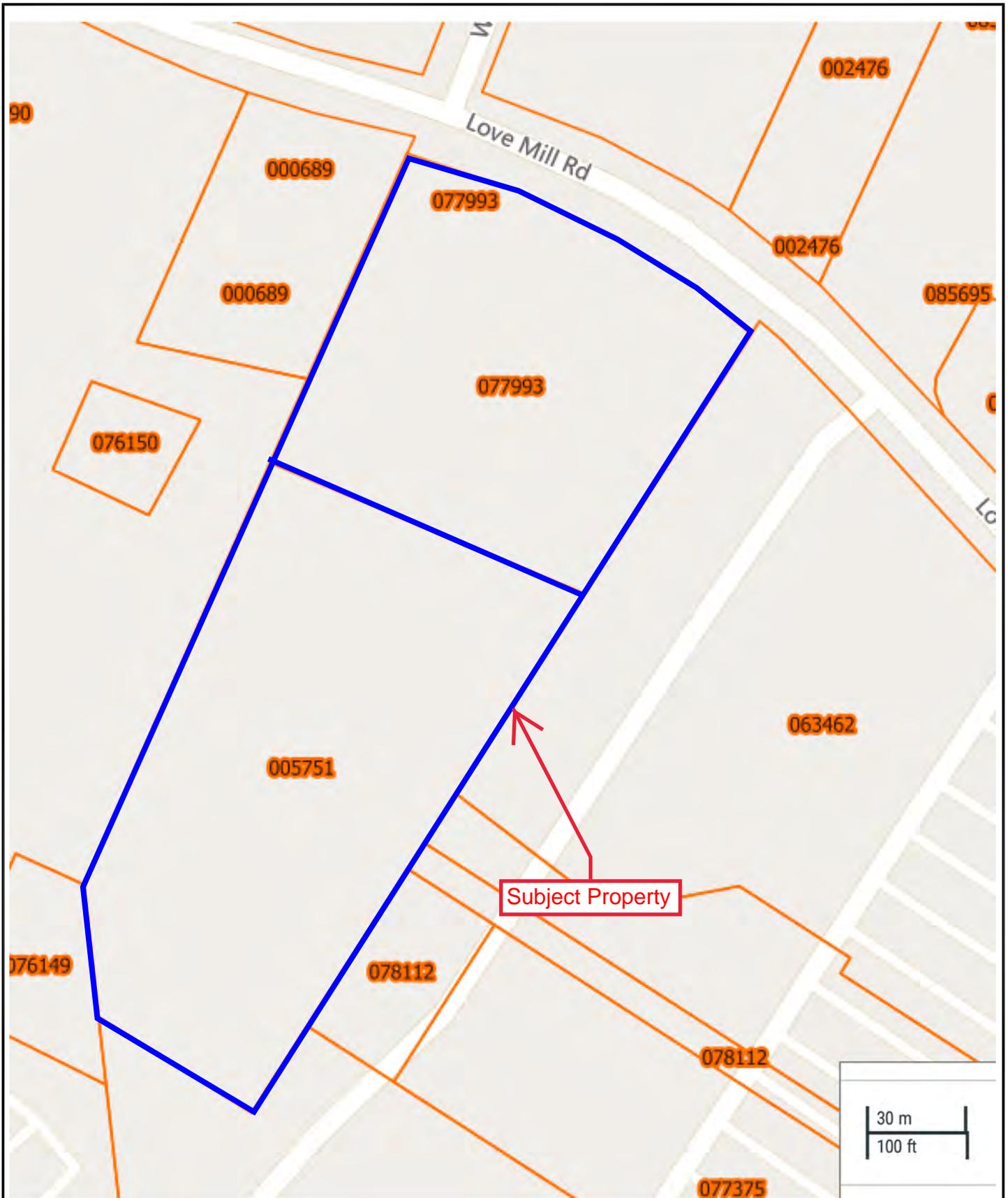


CLIENT: Flatiron Partners	SCALE: 1" = 2,000'
PROJECT NAME: Love Mill Apts. - 181 W. Love Mill Rd.	DRAWN BY: TC
CITY: Whiteville STATE: North Carolina	CHECK BY: RK
TITLE: Topographic Map	DATE: 9/14/21
	JOB NO.: 2021-266
	TYPE: PHASE I
	DRAWING NAME: USGSTOPO
	FIGURE NUMBER: 1

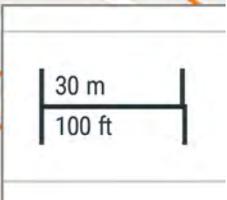
NOTES

TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON, VIRGINIA.

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



 PYRAMID ENVIRONMENTAL & ENGINEERING, P.C.	CLIENT	Flatiron Partners	COUNTY	Columbus
	SITE	Love Mill Apts. - 181 W. Love Mill Rd.	TAX-ID	#5751 & 77993
	CITY	Whiteville	STATE	North Carolina
	TITLE	Tax Map	L-NO	2021-266
			FIGURE	2



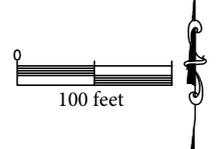


PYRAMID

ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	DATE	9/14/2021
CITY	Whiteville	STATE	North Carolina
TITLE	2020 Aerial Photograph	L-NO	2021-266
		FIGURE	Figure 3

GRAPHIC SCALE IN FEET



LOVE MILL APARTMENTS

WHITEVILLE, NORTH CAROLINA



SITE INFORMATION:

SITE: 6.6 +/- ACRES
 DENSITY: 9.09 UNITS/ACRES
 BUILDINGS: (1) 1 STORY CLUBHOUSE
 (2) 3-STORY APARTMENT BUILDINGS
 SPRINKLERS: 13R
 PARKING SPACES: 105 SPACES REQUIRED @ 1.75 SPACES / UNIT
 105 SPACES PROVIDED
 SETBACKS: FRONT = 25'
 SIDE = 10'
 REAR = 25'
 ZONING: R6-MF

UNIT INFORMATION:

	PAINT - TO - PAINT	HEAT	100	200	TOTALS
1 BEDROOM / 1 BATH "A"	842	900	0	6	6
1 BEDROOM & OFFICE / 1 BATH "A2"	1059	1107	0	3	3
2 BEDROOM / 2 BATH "B"	1059	1107	12	21	33
3 BEDROOM / 2 BATH "C"	1201	1251	12	6	18
CLUBHOUSE	1775	1715			
TOTALS:			24	36	60
NET BY BUILDING	27,120	34,497			63,392
HEATED BY BUILDING	28,296	36,153			66,164
					TOTAL UNIT AND CB SF
					TOTAL UNIT AND CB SF

NOTE: (6) TOTAL ACCESSIBILITY UNITS; (1) 1-BR. UNITS, (3) 2BR. UNITS, & (2) 3-BR. UNITS.

NOTES:

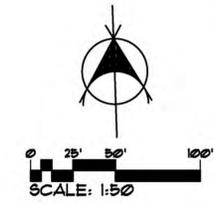
- ARRANGEMENTS WILL BE MADE FOR THE PERPETUAL MAINTENANCE OF ALL COMMON SPACE.
- THE PROPOSED RESIDENTIAL DEVELOPMENTS WILL BE COMPLETED IN ONE PHASE
- NO FLOOD PLAIN OR WETLANDS
- NO RETAINING WALLS ANTICIPATED.

REQUIRED SITE AMENITIES:

- A. PLAYGROUND - (W/ MIN. 1 BENCH)
- B. MULTI-PURPOSE ROOM (MIN. 250 SQ. FT.)
- C. COVERED PICNIC AREA - (150 SQ.FT. W/ 2 TABLES & GRILL)

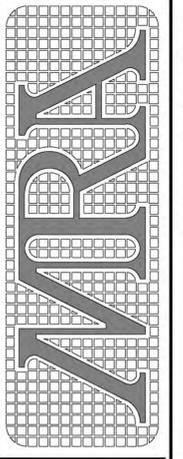
ADDITIONAL AMENITIES:

- D. EXERCISE ROOM (W/ NEW EQUIPMENT)
- E. COVERED PATIO WITH SEATING - (150 SQ. FT.)
- F. RESIDENT COMPUTER CENTER - (MIN. 2 COMPUTERS)



MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
 215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

LOVE MILL APARTMENTS
 WHITEVILLE, NORTH CAROLINA



CSP.1

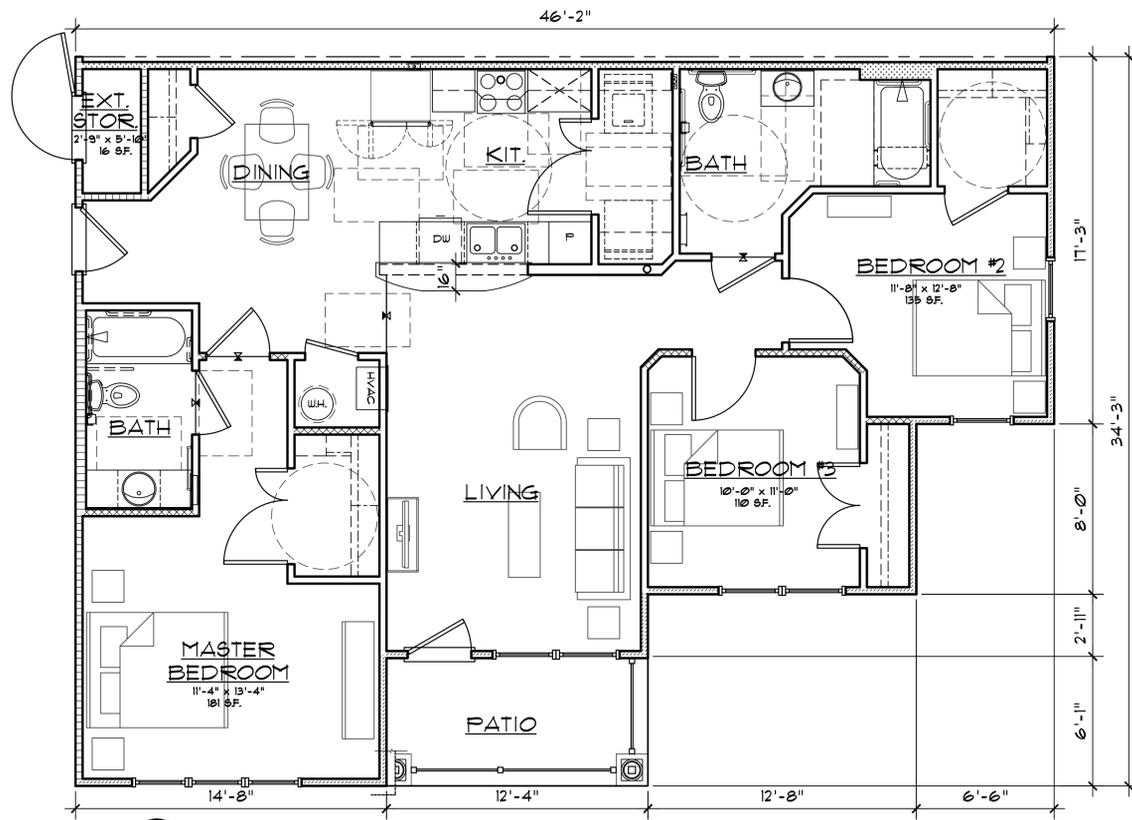
ARCHITECTURAL SITE PLAN

2021 PRELIMINARY SET

PLOTTED: 1/22/2021 3:34:18 AM - DRAWING: P:\FLATIRON - SURBER\2021-006 WHITEVILLE, NC\PRELIM\2021 PRELIM\REF\SITE PLAN 1-21-2021.DWG - PLOTTED BY: MICHAEL LEE - COPYRIGHT 2021

PROJECT	2021-006
DATE	1-21-2021
DRAWN BY / CHECKED BY	SK
REVISIONS	4-30-21

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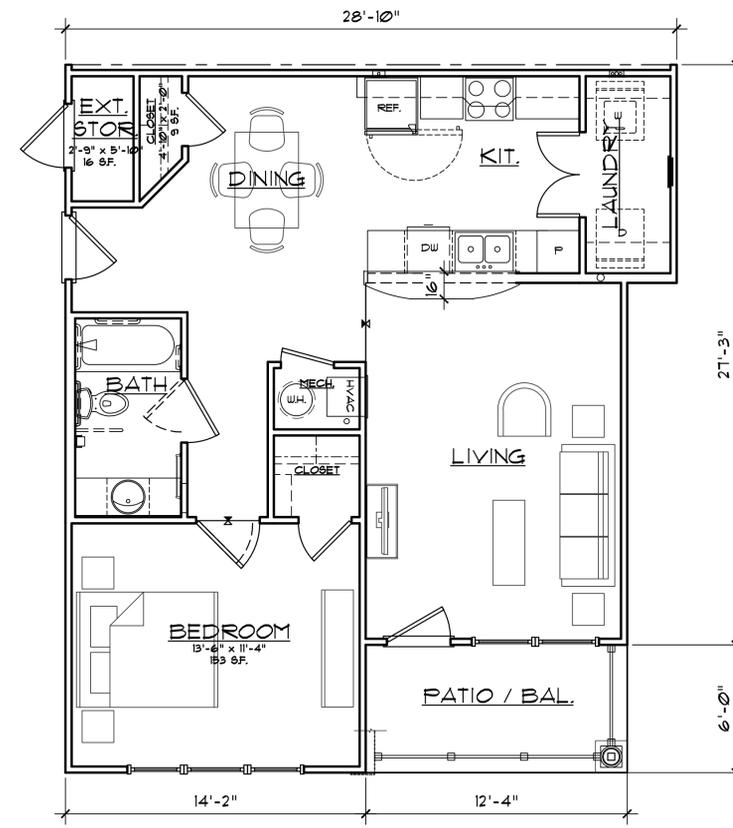


3 FAIR HOUSING - C UNIT 3 BED/2 BATHROOM
 1/4" = 1'-0" GROSS SF. = 1251, PAINT TO PAINT = 1201

GENERAL NOTES:
 1. STANDARD UNITS
 SIMILAR FAIR HOUSING
 UNIT, BUT WITH DASHED
 DOORS



2 FAIR HOUSING - B UNIT 2 BED/2 BATHROOM
 1/4" = 1'-0" GROSS SF. = 1101, PAINT TO PAINT SF. = 1053



1 FAIR HOUSING - A UNIT 1 BED/1 BATHROOM
 1/4" = 1'-0" GROSS SF. = 900, PAINT TO PAINT SF. = 842



MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
 215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

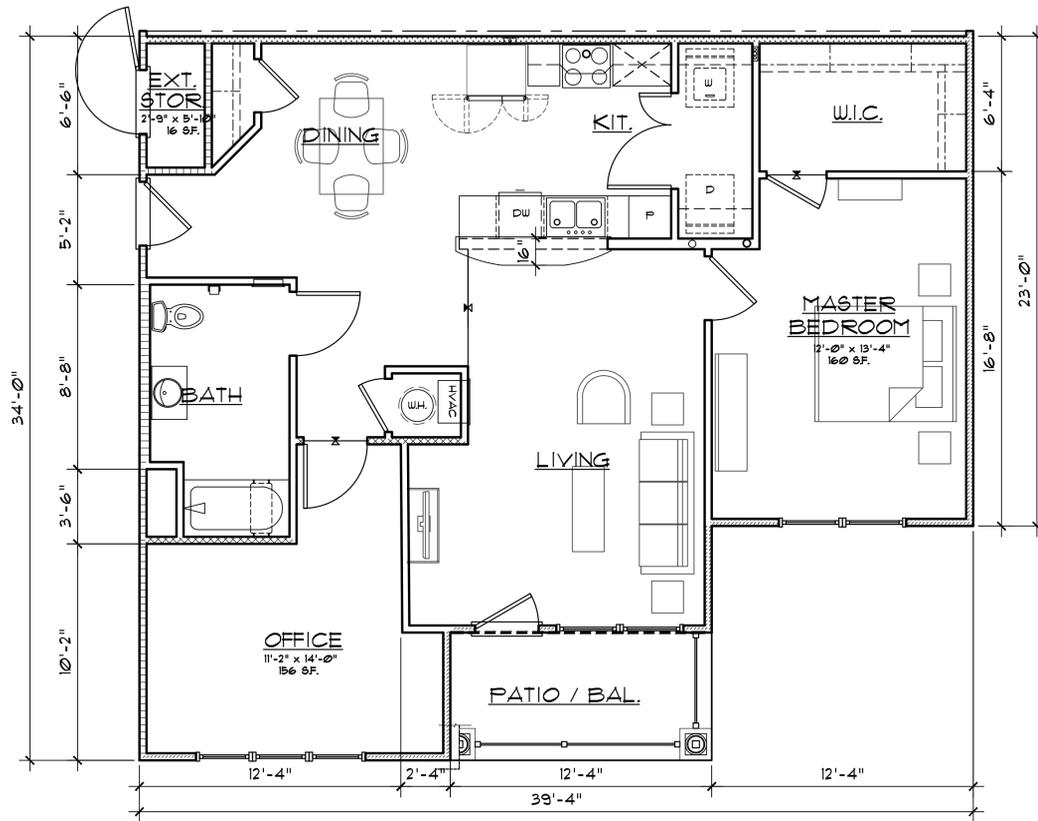
LOVE MILL APARTMENTS
 WHITEVILLE, NORTH CAROLINA

UNIT FLOOR PLANS

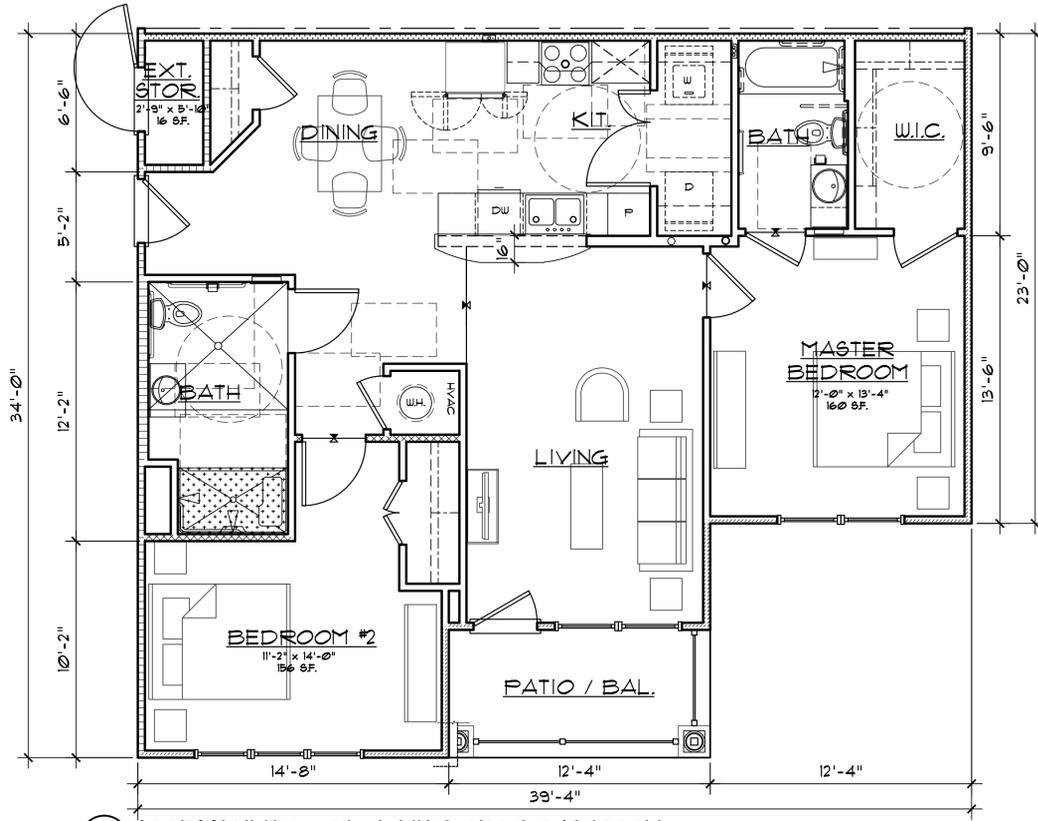
REVISIONS: 4-30-21
 PROJECT: 2021-006
 DATE: 1-21-2021
 DRAWN BY / CHECKED BY: SK

A.0

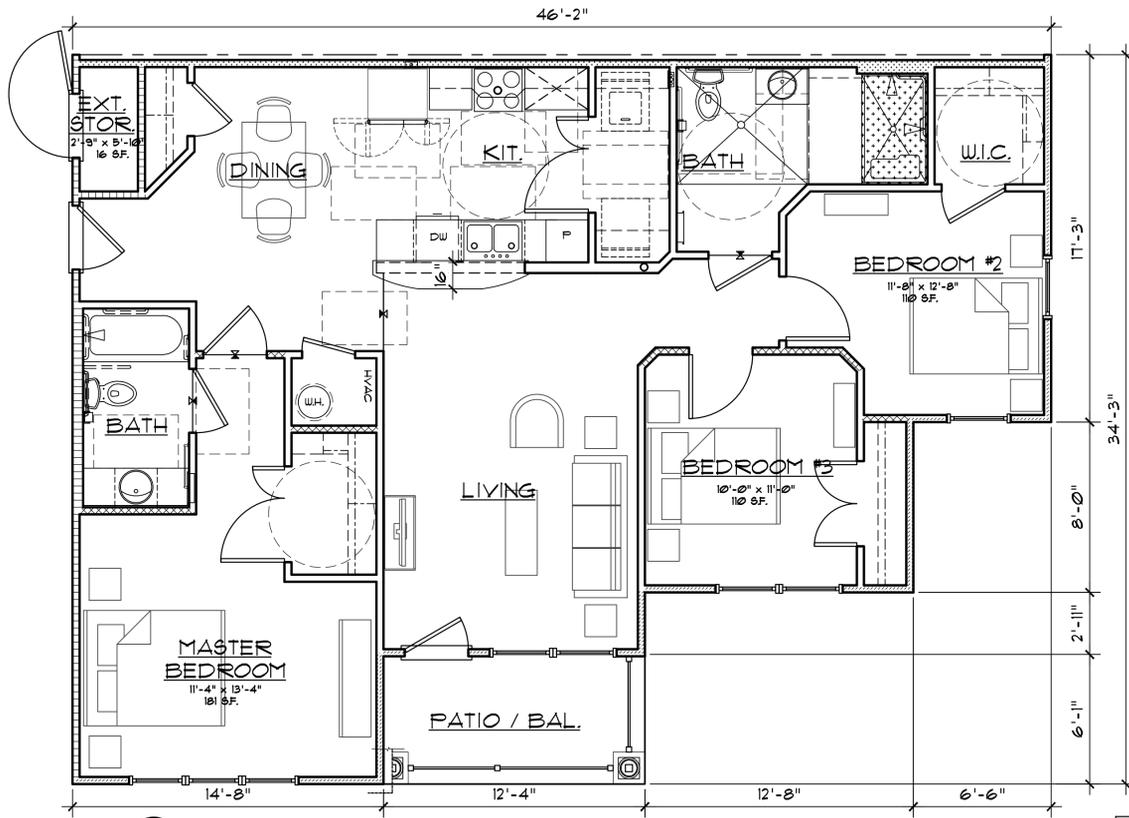
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4 ACCESSIBILITY - A2b UNIT 1 BED/1 BATHROOM
1/4" = 1'-0" GROSS SF. = 1107, PAINT TO PAINT SF. = 1055

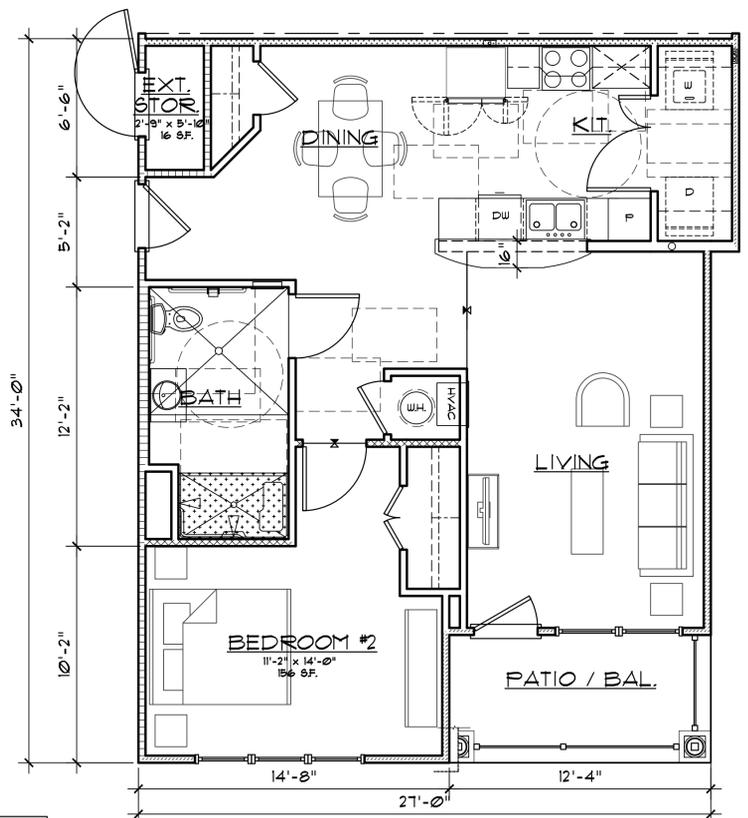


2 ACCESSIBILITY - B(a) UNIT 2 BED/2 BATHROOM
1/4" = 1'-0" GROSS SF. = 1107, PAINT TO PAINT SF. = 1055

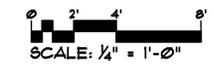


3 ACCESSIBILITY - C(a) UNIT 3 BED/2 BATHROOM
1/4" = 1'-0" GROSS SF. = 1251, PAINT TO PAINT SF. = 1198

NOTE: ACCESSIBILITY UNITS WITH TUBS SIMILAR TO ACCESSIBILITY UNITS WITH SHOWERS, AS SHOWN.



1 ACCESSIBILITY - A(a) UNIT 1 BED/1 BATHROOM
1/4" = 1'-0" GROSS SF. = 900, PAINT TO PAINT SF. = 842



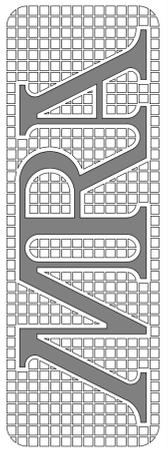
MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

LOVE MILL APARTMENTS
WHITEVILLE, NORTH CAROLINA

UNIT FLOOR PLANS

PROJECT: 2021-006
DATE: 1-21-2021
DRAWN BY / CHECKED BY: SK

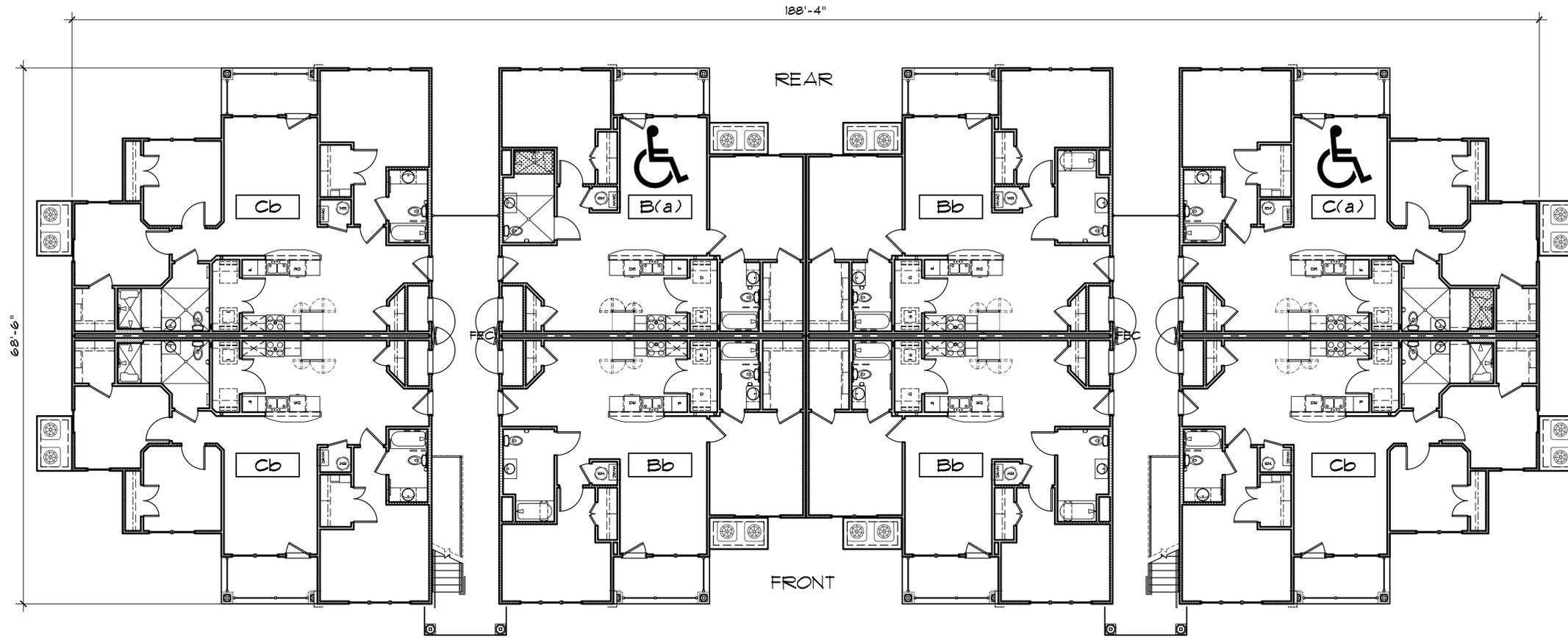
REVISIONS: 4-30-21



A1

2021 PRELIMINARY SET

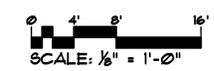
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GENERAL NOTES:
 1. THE ACCESSIBILITY UNITS ARE INTERCHANGEABLE WITH THE FAIR HOUSING UNITS. THE NUMBER AND LOCATION OF THE ACCESSIBILITY UNITS WILL BE COORDINATED WITH THE TAX CREDIT APPLICATION AND THE GRADING PLAN PREPARED BY THE CIVIL ENGINEER.

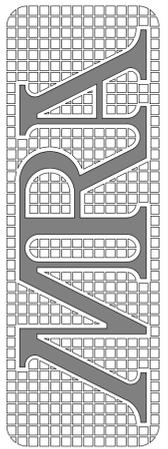
BUILDING 100 - SQUARE FOOTAGES:
 NET BUILDING AREA: = 25,560 SQ. FT.
 HEATED BUILDING AREA: = 21,156 SQ. FT.

1 BUILDING 100 - FIRST FLOOR PLANS
 1/8" = 1'-0" SECOND AND THIRD FLOOR SIMILAR



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 215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800
 LOVE MILL APARTMENTS
 WHITEVILLE, NORTH CAROLINA
 BUILDING 100 - FLOOR PLANS

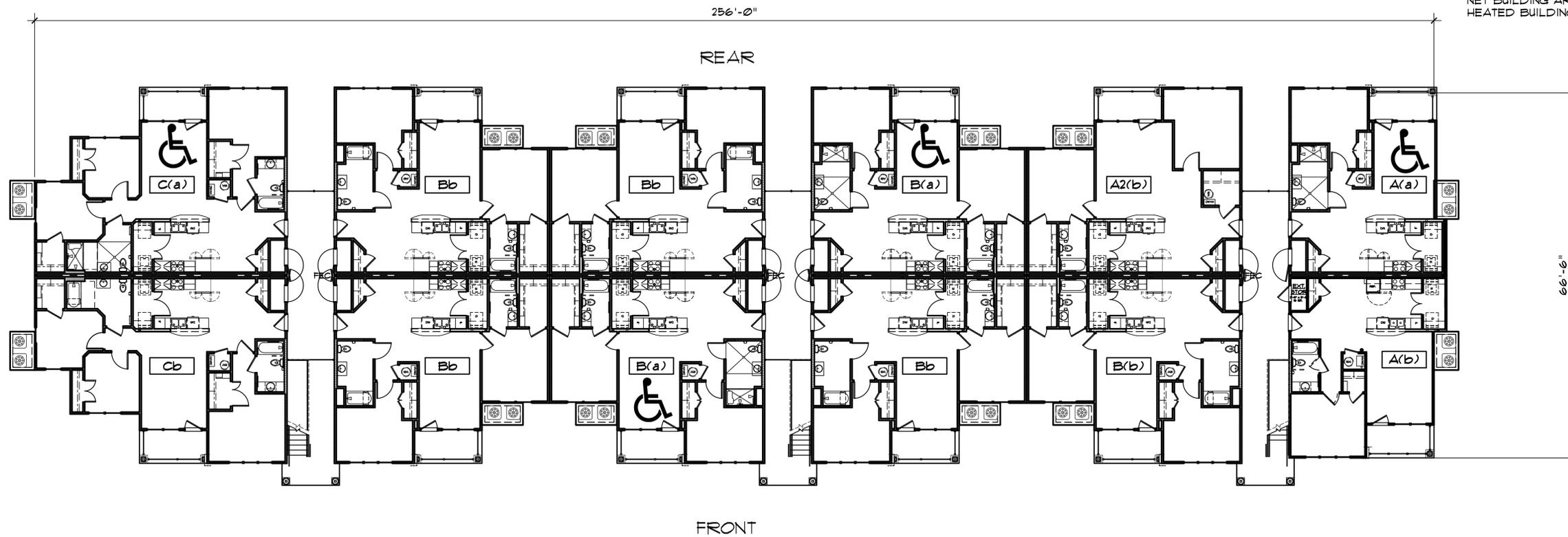
PROJECT: 2021-006
 DATE: 1-21-2021
 DRAWN BY / CHECKED BY: SK
 REVISIONS: 4-30-21



A.2

2021 PRELIMINARY SET

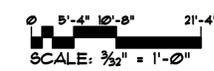
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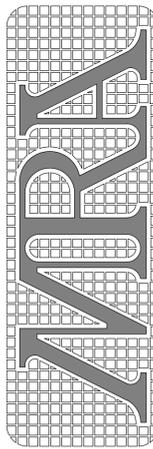


GENERAL NOTES:
 1. THE ACCESSIBILITY UNITS ARE INTERCHANGEABLE WITH THE FAIR HOUSING UNITS. THE NUMBER AND LOCATION OF THE ACCESSIBILITY UNITS WILL BE COORDINATED WITH THE TAX CREDIT APPLICATION AND THE GRADING PLAN PREPARED BY THE CIVIL ENGINEER.

BUILDING 200 - SQUARE FOOTAGES:
 NET BUILDING AREA: = 32,030 SQ. FT.
 HEATED BUILDING AREA: = 34,896 SQ. FT.

1 BUILDING 200 - FIRST FLOOR PLANS
 3/32" = 1'-0"
 SECOND AND THIRD FLOOR SIMILAR



		MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C. 215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800	
A.3		BUILDING 200 - FLOOR PLANS	
PROJECT 2021-006	REVISIONS 4-30-21	DATE 1-21-2021	DRAWN BY / CHECKED BY SK

2021 PRELIMINARY SET

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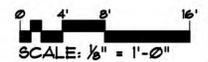
3 SIDE ELEVATION - BUILDINGS 100
1/8" = 1'-0"



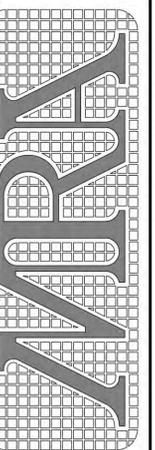
2 REAR ELEVATION - BUILDINGS 100
1/8" = 1'-0"



1 FRONT ELEVATION - BUILDINGS 100
1/8" = 1'-0"



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215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800
LOVE MILL APARTMENTS
WHITEVILLE, NORTH CAROLINA



A.4

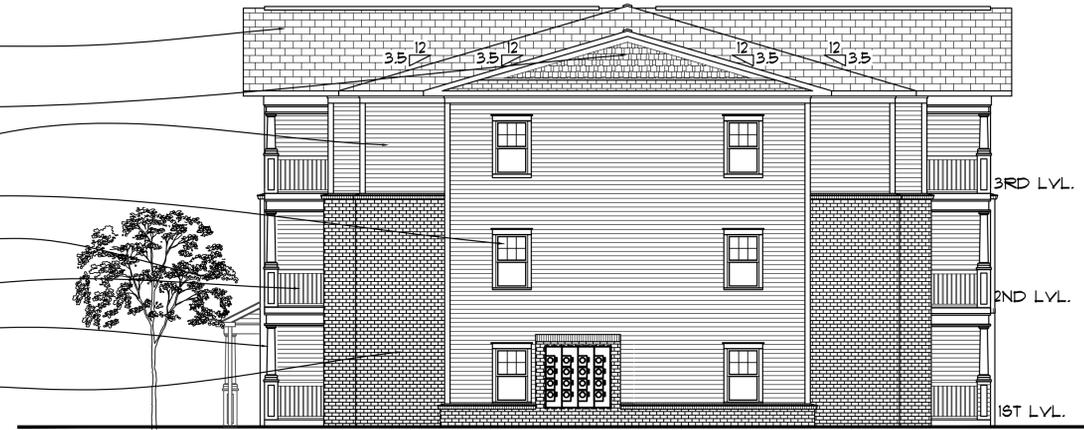
REVISIONS	4-30-21
PROJECT	2021-006
DATE	1-21-2021
DRAWN BY / CHECKED BY	SK

ELEVATIONS

2021 PRELIMINARY SET

PLOTTED: 5/4/2021 8:49:03 PM - DRAWING: P:\FITCH_DEV\2021-006 WHITEVILLE, NC\PRELIM\2021 PRELIM\SHEETS\A.5.DWG - PLOTTED BY: RONALD RICHARD - COPYRIGHT 2021

- 30 YR ARCHITECTURAL FIBERGLASS SHINGLES
- FIBER CEMENT SHAKES
- FIBER CEMENT PLANK SIDING
- SINGLE HUNG VINYL WINDOW
- ALUMINUM GUTTER AND DOWNSPOUT
- PREFINISHED VINYL RAILING
- STRUCTURAL COLUMN AND DEC. WRAP
- BRICK VENEER



3 SIDE ELEVATION - BUILDINGS 200
1/8" = 1'-0"

- 30 YR ARCHITECTURAL FIBERGLASS SHINGLES
- FIBER CEMENT SHAKES
- FIBER CEMENT PLANK SIDING
- SINGLE HUNG VINYL WINDOW
- 6" TRIM
- PREFINISHED VINYL RAILING
- STRUCTURAL COLUMN AND DEC. WRAP
- BRICK VENEER

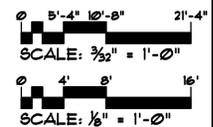


2 REAR ELEVATION - BUILDINGS 200
3/32" = 1'-0"

- 30 YR ARCHITECTURAL FIBERGLASS SHINGLES
- FIBER CEMENT SHAKES
- FIBER CEMENT PLANK SIDING
- SINGLE HUNG VINYL WINDOW
- 6" TRIM
- PREFINISHED VINYL RAILING
- STRUCTURAL COLUMN AND DEC. WRAP
- BRICK VENEER



1 FRONT ELEVATION - BUILDINGS 200
3/32" = 1'-0"



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215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

LOVE MILL APARTMENTS
WHITEVILLE, NORTH CAROLINA

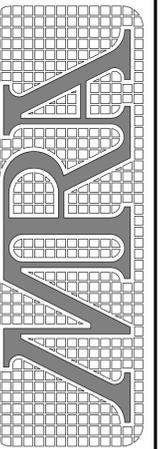
ELEVATIONS

REVISIONS
4-30-21

PROJECT
2021-006

DATE
1-21-2021

DRAWN BY / CHECKED BY
SK



A.5

2021 PRELIMINARY SET

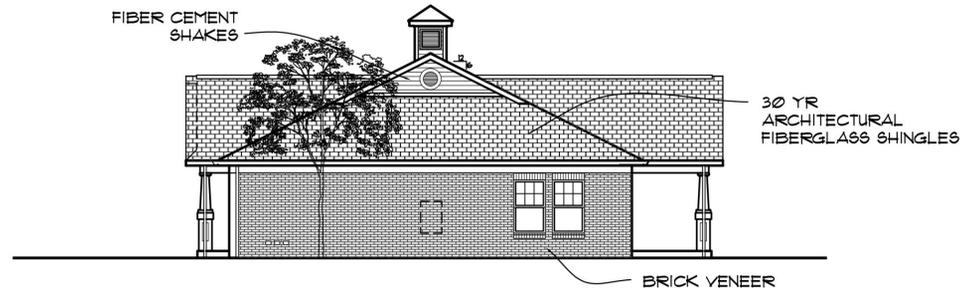
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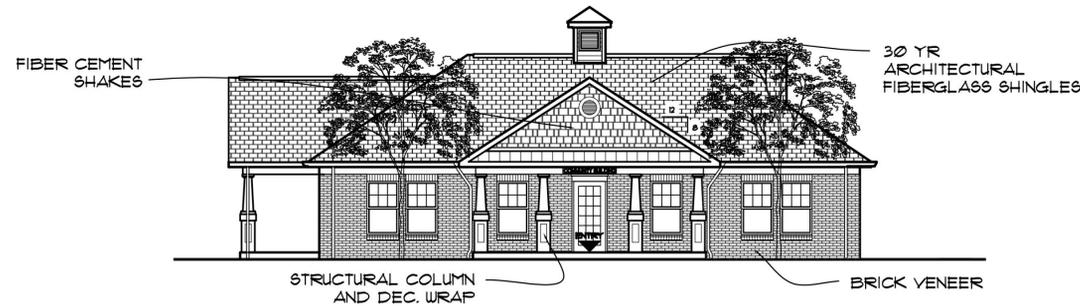
5 CLUBHOUSE SIDE ELEVATION
1/8" = 1'-0"



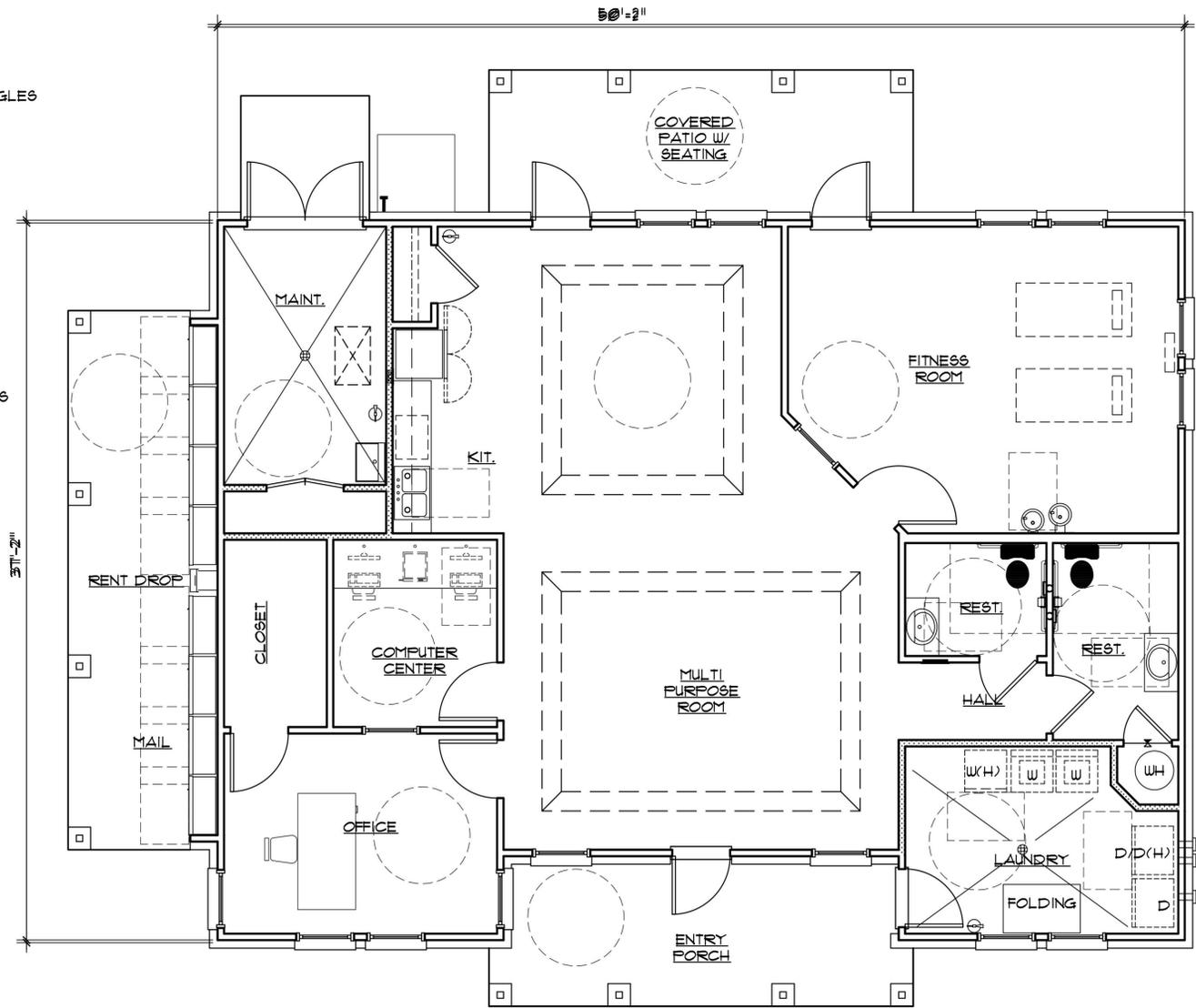
4 CLUBHOUSE REAR ELEVATION
1/8" = 1'-0"



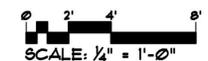
3 CLUBHOUSE SIDE ELEVATION
1/8" = 1'-0"



2 CLUBHOUSE FRONT ELEVATION
1/8" = 1'-0"



1 CLUBHOUSE FLOOR PLAN - 1715 SF P/P
1/4" = 1'-0"



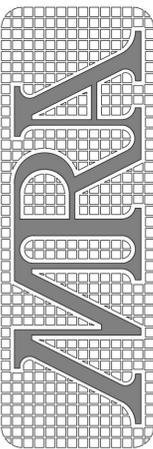
MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

LOVE MILL APARTMENTS
WHITEVILLE, NORTH CAROLINA

CLUBHOUSE - PLAN & ELEVATIONS

REVISIONS
4-30-21

PROJECT
2021-006
DATE
1-21-2021
DRAWN BY / CHECKED BY
SK



A.6

2021 PRELIMINARY SET



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Raleigh Ecological Services Field Office
Post Office Box 33726
Raleigh, NC 27636-3726
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:
Consultation Code: 04EN2000-2021-SLI-2244
Event Code: 04EN2000-2021-E-04605
Project Name: Love Mill Apartments

September 20, 2021

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The species list generated pursuant to the information you provided identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

Section 7 of the Act requires that all federal agencies (or their designated non-federal representative), in consultation with the Service, insure that any action federally authorized, funded, or carried out by such agencies is not likely to jeopardize the continued existence of any federally-listed endangered or threatened species. A biological assessment or evaluation may be prepared to fulfill that requirement and in determining whether additional consultation with the Service is necessary. In addition to the federally-protected species list, information on the species' life histories and habitats and information on completing a biological assessment or

evaluation and can be found on our web page at <http://www.fws.gov/raleigh>. Please check the web site often for updated information or changes

If your project contains suitable habitat for any of the federally-listed species known to be present within the county where your project occurs, the proposed action has the potential to adversely affect those species. As such, we recommend that surveys be conducted to determine the species' presence or absence within the project area. The use of North Carolina Natural Heritage program data should not be substituted for actual field surveys.

If you determine that the proposed action may affect (i.e., likely to adversely affect or not likely to adversely affect) a federally-protected species, you should notify this office with your determination, the results of your surveys, survey methodologies, and an analysis of the effects of the action on listed species, including consideration of direct, indirect, and cumulative effects, before conducting any activities that might affect the species. If you determine that the proposed action will have no effect (i.e., no beneficial or adverse, direct or indirect effect) on federally listed species, then you are not required to contact our office for concurrence (unless an Environmental Impact Statement is prepared). However, you should maintain a complete record of the assessment, including steps leading to your determination of effect, the qualified personnel conducting the assessment, habitat conditions, site photographs, and any other related articles.

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

Not all Threatened and Endangered Species that occur in North Carolina are subject to section 7 consultation with the U.S Fish and Wildlife Service. Atlantic and shortnose sturgeon, sea turtles, when in the water, and certain marine mammals are under purview of the National Marine Fisheries Service. If your project occurs in marine, estuarine, or coastal river systems you should also contact the National Marine Fisheries Service, <http://www.nmfs.noaa.gov/>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office. If you have any questions or comments, please contact John Ellis of this office at john_ellis@fws.gov.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Raleigh Ecological Services Field Office

Post Office Box 33726

Raleigh, NC 27636-3726

(919) 856-4520

Project Summary

Consultation Code: 04EN2000-2021-SLI-2244

Event Code: Some(04EN2000-2021-E-04605)

Project Name: Love Mill Apartments

Project Type: DEVELOPMENT

Project Description: Love Mill Apartments is a proposed affordable housing community located in Whiteville, NC. This newly constructed community will contain 60 apartment homes built in the garden style. The buildings will have brick and hardi-plank siding. The development will also contain a clubhouse with community space, fitness room, and computer area. There will also be a playground on site. The location is in close proximity to many services and yet has a residential setting. The community will have a mix of one, two, and three bedroom units targeted for families. The site sits between a single family residential area and a commercial corridor making this an ideal site for multifamily development.

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@34.3048786,-78.72207907768399,14z>



Counties: Columbus County, North Carolina

Endangered Species Act Species

There is a total of 6 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

Birds

NAME	STATUS
Red-cockaded Woodpecker <i>Picoides borealis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/7614	Endangered
Wood Stork <i>Mycteria americana</i> Population: AL, FL, GA, MS, NC, SC No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8477	Threatened

Reptiles

NAME	STATUS
American Alligator <i>Alligator mississippiensis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/776	Similarity of Appearance (Threatened)

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Flowering Plants

NAME	STATUS
Cooley's Meadowrue <i>Thalictrum cooleyi</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/3281	Endangered

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Raleigh Ecological Services Field Office
Post Office Box 33726
Raleigh, NC 27636-3726
Phone: (919) 856-4520 Fax: (919) 856-4556

In Reply Refer To:
Consultation code: 04EN2000-2021-TA-2244
Event Code: 04EN2000-2021-E-04608
Project Name: Love Mill Apartments

September 20, 2021

Subject: Verification letter for the 'Love Mill Apartments' project under the January 5, 2016, Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-eared Bat and Activities Excepted from Take Prohibitions.

Dear ryan kramer:

The U.S. Fish and Wildlife Service (Service) received on September 20, 2021 your effects determination for the 'Love Mill Apartments' (the Action) using the northern long-eared bat (*Myotis septentrionalis*) key within the Information for Planning and Consultation (IPaC) system. This IPaC key assists users in determining whether a Federal action is consistent with the activities analyzed in the Service's January 5, 2016, Programmatic Biological Opinion (PBO). The PBO addresses activities excepted from "take"¹ prohibitions applicable to the northern long-eared bat under the Endangered Species Act of 1973 (ESA) (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.).

Based upon your IPaC submission, the Action is consistent with activities analyzed in the PBO. The Action may affect the northern long-eared bat; however, any take that may occur as a result of the Action is not prohibited under the ESA Section 4(d) rule adopted for this species at 50 CFR §17.40(o). Unless the Service advises you within 30 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that the PBO satisfies and concludes your responsibilities for this Action under ESA Section 7(a)(2) with respect to the northern long-eared bat.

Please report to our office any changes to the information about the Action that you submitted in IPaC, the results of any bat surveys conducted in the Action area, and any dead, injured, or sick northern long-eared bats that are found during Action implementation. If the Action is not completed within one year of the date of this letter, you must update and resubmit the information required in the IPaC key.

This IPaC-assisted determination allows you to rely on the PBO for compliance with ESA Section 7(a)(2) only for the northern long-eared bat. It **does not** apply to the following ESA-protected species that also may occur in the Action area:

- American Alligator *Alligator mississippiensis* Similarity of Appearance (Threatened)
- Cooley's Meadowrue *Thalictrum cooleyi* Endangered
- Monarch Butterfly *Danaus plexippus* Candidate
- Red-cockaded Woodpecker *Picoides borealis* Endangered
- Wood Stork *Mycteria americana* Threatened

If the Action may affect other federally listed species besides the northern long-eared bat, a proposed species, and/or designated critical habitat, additional consultation between you and this Service office is required. If the Action may disturb bald or golden eagles, additional coordination with the Service under the Bald and Golden Eagle Protection Act is recommended.

[1]Take means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct [ESA Section 3(19)].

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

Love Mill Apartments

2. Description

The following description was provided for the project 'Love Mill Apartments':

Love Mill Apartments is a proposed affordable housing community located in Whiteville, NC. This newly constructed community will contain 60 apartment homes built in the garden style. The buildings will have brick and hardi-plank siding. The development will also contain a clubhouse with community space, fitness room, and computer area. There will also be a playground on site. The location is in close proximity to many services and yet has a residential setting. The community will have a mix of one, two, and three bedroom units targeted for families. The site sits between a single family residential area and a commercial corridor making this an ideal site for multifamily development.

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@34.3048786,-78.72207907768399,14z>

**Determination Key Result**

This Federal Action may affect the northern long-eared bat in a manner consistent with the description of activities addressed by the Service's PBO dated January 5, 2016. Any taking that may occur incidental to this Action is not prohibited under the final 4(d) rule at 50 CFR §17.40(o). Therefore, the PBO satisfies your responsibilities for this Action under ESA Section 7(a)(2) relative to the northern long-eared bat.

Determination Key Description: Northern Long-eared Bat 4(d) Rule

This key was last updated in IPaC on May 15, 2017. Keys are subject to periodic revision.

This key is intended for actions that may affect the threatened northern long-eared bat.

The purpose of the key for Federal actions is to assist determinations as to whether proposed actions are consistent with those analyzed in the Service's PBO dated January 5, 2016.

Federal actions that may cause prohibited take of northern long-eared bats, affect ESA-listed species other than the northern long-eared bat, or affect any designated critical habitat, require ESA Section 7(a)(2) consultation in addition to the use of this key. Federal actions that may affect species proposed for listing or critical habitat proposed for designation may require a conference under ESA Section 7(a)(4).

Determination Key Result

This project may affect the threatened Northern long-eared bat; therefore, consultation with the Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat.884, as amended; 16 U.S.C. 1531 et seq.) is required. However, based on the information you provided, this project may rely on the Service's January 5, 2016, *Programmatic Biological Opinion on Final 4(d) Rule for the Northern Long-Eared Bat and Activities Excepted from Take Prohibitions* to fulfill its Section 7(a)(2) consultation obligation.

Qualification Interview

1. Is the action authorized, funded, or being carried out by a Federal agency?
Yes
2. Have you determined that the proposed action will have "no effect" on the northern long-eared bat? (If you are unsure select "No")
No
3. Will your activity purposefully **Take** northern long-eared bats?
No
4. [Semantic] Is the project action area located wholly outside the White-nose Syndrome Zone?
Automatically answered
No
5. Have you contacted the appropriate agency to determine if your project is near a known hibernaculum or maternity roost tree?

Location information for northern long-eared bat hibernacula is generally kept in state Natural Heritage Inventory databases – the availability of this data varies state-by-state. Many states provide online access to their data, either directly by providing maps or by providing the opportunity to make a data request. In some cases, to protect those resources, access to the information may be limited. A web page with links to state Natural Heritage Inventory databases and other sources of information on the locations of northern long-eared bat roost trees and hibernacula is available at www.fws.gov/midwest/endangered/mammals/nleb/nhisites.html.

Yes

6. Will the action affect a cave or mine where northern long-eared bats are known to hibernate (i.e., hibernaculum) or could it alter the entrance or the environment (physical or other alteration) of a hibernaculum?
No
 7. Will the action involve Tree Removal?
Yes
-

8. Will the action only remove hazardous trees for the protection of human life or property?

No

9. Will the action remove trees within 0.25 miles of a known northern long-eared bat hibernaculum at any time of year?

No

10. Will the action remove a known occupied northern long-eared bat maternity roost tree or any trees within 150 feet of a known occupied maternity roost tree from June 1 through July 31?

No

Project Questionnaire

If the project includes forest conversion, report the appropriate acreages below. Otherwise, type '0' in questions 1-3.

1. Estimated total acres of forest conversion:

6.6

2. If known, estimated acres of forest conversion from April 1 to October 31

0

3. If known, estimated acres of forest conversion from June 1 to July 31

0

If the project includes timber harvest, report the appropriate acreages below. Otherwise, type '0' in questions 4-6.

4. Estimated total acres of timber harvest

0

5. If known, estimated acres of timber harvest from April 1 to October 31

0

6. If known, estimated acres of timber harvest from June 1 to July 31

0

If the project includes prescribed fire, report the appropriate acreages below. Otherwise, type '0' in questions 7-9.

7. Estimated total acres of prescribed fire

0

8. If known, estimated acres of prescribed fire from April 1 to October 31

0

9. If known, estimated acres of prescribed fire from June 1 to July 31

0

If the project includes new wind turbines, report the megawatts of wind capacity below. Otherwise, type '0' in question 10.

10. What is the estimated wind capacity (in megawatts) of the new turbine(s)?

0

Species Conclusions Table

Project Name: Proposed Love Mill Apartments_____

Date: __9.20.21_____

Species / Resource Name	Conclusion	ESA Section 7 / Eagle Act Determination	Notes / Documentation
Northern Long-eared Bat (<i>Myotis septentrionalis</i>)	Suitable habitat present	Not Likely to Adversely Affect	The project is not located within 150 ft of a documented maternity roost or within .25 miles of a documented hibernaculum
Red-cockaded Woodpecker (<i>Picoides borealis</i>)	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
Wood Stork (<i>Mycteria americana</i>)	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
American Alligator (Alligator mississippiensis)	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
Monarch Butterfly (<i>Danaus plexippus</i>)	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>
Cooley's Meadowrue (<i>Thalictrum cooleyi</i>)	No suitable habitat present	Not Likely to Adversely Affect	<i>There are no potential suitable areas for a colony habitat on the subject property.</i>

Acknowledgement: I agree that the above information about my proposed project is true. I used all of the provided resources to make an informed decision about impacts in the immediate and surrounding areas.



Signature /Title

9.20.21

Date



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Raleigh Field Office
P.O. Box 33726
Raleigh, NC 27636-3726

Date: _____

Self-Certification Letter

Project Name _____

Dear Applicant:

Thank you for using the U.S. Fish and Wildlife Service (Service) Raleigh Ecological Services online project review process. By printing this letter in conjunction with your project review package, you are certifying that you have completed the online project review process for the project named above in accordance with all instructions provided, using the best available information to reach your conclusions. This letter, and the enclosed project review package, completes the review of your project in accordance with the Endangered Species Act of 1973 (16 U.S.C. 1531-1544, 87 Stat. 884), as amended (ESA), and the Bald and Golden Eagle Protection Act (16 U.S.C. 668-668c, 54 Stat. 250), as amended (Eagle Act). This letter also provides information for your project review under the National Environmental Policy Act of 1969 (P.L. 91-190, 42 U.S.C. 4321-4347, 83 Stat. 852), as amended. A copy of this letter and the project review package must be submitted to this office for this certification to be valid. This letter and the project review package will be maintained in our records.

The species conclusions table in the enclosed project review package summarizes your ESA and Eagle Act conclusions. Based on your analysis, mark all the determinations that apply:

“no effect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, not likely to adversely affect” determinations for proposed/listed species and/or proposed/designated critical habitat; and/or

“may affect, likely to adversely affect” determination for the Northern long-eared bat (*Myotis septentrionalis*) and relying on the findings of the January 5, 2016, Programmatic Biological Opinion for the Final 4(d) Rule on the Northern long-eared bat;

“no Eagle Act permit required” determinations for eagles.

We certify that use of the online project review process in strict accordance with the instructions provided as documented in the enclosed project review package results in reaching the appropriate determinations. Therefore, we concur with the “no effect” or “not likely to adversely affect” determinations for proposed and listed species and proposed and designated critical habitat; the “may affect” determination for Northern long-eared bat; and/or the “no Eagle Act permit required” determinations for eagles. Additional coordination with this office is not needed. Candidate species are not legally protected pursuant to the ESA. However, the Service encourages consideration of these species by avoiding adverse impacts to them. Please contact this office for additional coordination if your project action area contains candidate species. Should project plans change or if additional information on the distribution of proposed or listed species, proposed or designated critical habitat, or bald eagles becomes available, this determination may be reconsidered. This certification letter is valid for 1 year. Information about the online project review process including instructions, species information, and other information regarding project reviews within North Carolina is available at our website <http://www.fws.gov/raleigh/pp.html>. If you have any questions, you can write to us at Raleigh@fws.gov or please contact Leigh Mann of this office at 919-856-4520, ext. 10.

Sincerely,

/s/Pete Benjamin

Pete Benjamin
Field Supervisor
Raleigh Ecological Services

Enclosures - project review package

Ryan Kramer

From: Mann, Leigh <leigh_mann@fws.gov> on behalf of Raleigh, FW4 <raleigh@fws.gov>
Sent: Monday, October 25, 2021 11:41 AM
To: Ryan Kramer
Subject: Re: [EXTERNAL] Section 7 of the Endangered Informal Review - Love Mill Apartments - 181 W. Love Mill Rd., Whiteville, NC

Mr. Kramer,

The biologist that reviewed your submission agreed with your determinations.

Respectfully,

Leigh Mann

From: Ryan Kramer <ryan@pyramidenvironmental.com>
Sent: Wednesday, October 20, 2021 1:46 PM
To: Raleigh, FW4 <raleigh@fws.gov>
Subject: RE: [EXTERNAL] Section 7 of the Endangered Informal Review - Love Mill Apartments - 181 W. Love Mill Rd., Whiteville, NC

Hello,

On September 20, 2021, I submitted an online project package for our project – Love Mill Apartments located at 181 West Love Mill Road in Whiteville, NC. I wanted to check in on the status of the determination. Please let me know if you have any questions.

Thanks,

Ryan Kramer
Project Manager
Pyramid Environmental & Engineering, P.C.
PO Box 15324
Wilmington, NC 28408-5324
Ph: (336) 335-3174 Cell: (503) 307-7919
<http://pyramidenvironmental.com/>

From: Raleigh, FW4 <raleigh@fws.gov>
Sent: Monday, September 20, 2021 4:29 PM
To: Ryan Kramer <ryan@pyramidenvironmental.com>
Subject: Automatic reply: [EXTERNAL] Section 7 of the Endangered Informal Review - Love Mill Apartments - 181 W. Love Mill Rd., Whiteville, NC

Thank you for submitting your online project package. We will review your package within 30 days of receipt. If you have submitted an online **project review request letter**, expect our response within 30 days. If you have submitted an online **project review certification letter**, you will typically not receive a response from us since the certification letter is our official response. However, if we have additional questions or we do not concur with your determinations, we will contact you during the review period.

Gievers, Andrea

From: Ellis, John <john_ellis@fws.gov>
Sent: Tuesday, March 22, 2022 11:08 AM
To: Gievers, Andrea; Mann, Leigh
Subject: Re: [EXTERNAL] Confirmed on 10/25/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Love Mill Apts)

CAUTION: External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam.](#)

We have no concerns with the proposed revision.

.

John

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Tuesday, January 11, 2022 3:21 PM
To: Ellis, John <john_ellis@fws.gov>; Mann, Leigh <leigh_mann@fws.gov>
Subject: RE: [EXTERNAL] Confirmed on 10/25/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Love Mill Apts)

Hello:

I am attaching the **updated site plan** and the original site plan for Love Mill Apartments, which you have previously reviewed. The proposed project remains the same with only the *site configuration changing*. Please let me know if you have any concerns or questions. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700

From: Ellis, John <john_ellis@fws.gov>
Sent: Tuesday, November 23, 2021 5:06 PM
To: Mann, Leigh <leigh_mann@fws.gov>; Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Subject: Re: [EXTERNAL] Confirmed on 10/25/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Love Mill Apts)

CAUTION: External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to [Report Spam.](#)

Andrea,

As stated previously, we concur with the determinations.

John

From: Mann, Leigh <leigh_mann@fws.gov>
Sent: Tuesday, November 23, 2021 9:11 AM
To: Ellis, John <john_ellis@fws.gov>
Subject: Fw: [EXTERNAL] Confirmed on 10/25/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Love Mill Apts)

Same with this one

Leigh Mann
Office Automation
USFWS Raleigh ES FO
551-F Pylon Drive
Raleigh, NC 27606
Office: 1-919-856-4520 ext. 10
Fax: 1-919-856-4556
leigh_mann@fws.gov

NOTE: This email correspondence and any attachments to and from this sender is subject to the Freedom of Information Act (FOIA) and may be disclosed to third parties.

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Thursday, November 18, 2021 12:57 PM
To: Mann, Leigh <leigh_mann@fws.gov>
Subject: [EXTERNAL] Confirmed on 10/25/21 - Online Project Review Certification Letter (NCORR HUD CDBG-DR - Love Mill Apts)

This email has been received from outside of DOI - Use caution before clicking on links, opening attachments, or responding.

Hello:

This is a notification and confirmation for our records that the Love Mill Apartments proposed project located at 181 West Love Mill Road, Whiteville, NC is requesting that the North Carolina Office of Recovery and Resiliency (NCORR) as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) consider funding the proposed project in part by the North Carolina Affordable Housing Development Fund Program for Hurricane Florence storm recovery activities in North Carolina.

A Self-certification Letter and 10-step Project Review Package were prepared by Pyramid Environmental was **completed and submitted** to your office for review on September 20, 2021. Leigh Mann at USFWS – Raleigh ES Field Office

responded/confirmed via email that the biologist reviewed and agreed with the submitted determinations. The emails are attached for your reference.

NCORR kindly requests *acknowledgement* from USFWS that they have received this determination *on behalf of NCORR* that the proposed project would have No Effect on migratory birds, endangered/threatened species, or critical habitat for species under USFWS jurisdiction.

If you have any questions or require additional information regarding this request, please feel free to contact me at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700

Email correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized state official.

Ryan Kramer

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Monday, February 28, 2022 10:22 AM
To: Ryan Kramer
Subject: FW: NCORR NLEB - Love Mill Apartments

For the ESA section regarding NLEB. Thank you.

Sincerely,

Andrea Gievers

From: Ratcliffe, Judith
Sent: Tuesday, February 22, 2022 8:38 AM
To: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Cc: Butler, Rodney A <Rodney.Butler@ncdcr.gov>
Subject: RE: NCORR NLEB - Love Mill Apartments

Hello Andrea,

Thank you for the opportunity to review **Love Mill Apartments, 181 West Love Mill Road, Whitesville, Columbus County, North Carolina 28472.**

There are no documented Northern Long-eared Bat maternity roost trees within 150 feet of this project boundary. There are no documented Northern Long-eared Bat hibernacula within 0.25 mile of this project boundary.

Sincerely,

Judith Ratcliffe

JUDITH RATCLIFFE
Zoologist, NC Natural Heritage Program

121 W Jones St MSC 1651 Raleigh, NC 27699
919 707 8628 office



Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties.

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#StayStrongNC
Learn more @ nc.gov/covid19

And don't forget your Ws! **Wear. Wait. Wash.**
WEAR a face covering.
WAIT 6 feet apart from other people.

[WASH](#) your hands often.

From: Gievers, Andrea <andrea.l.gievers@rebuild.nc.gov>
Sent: Friday, February 18, 2022 2:07 PM
To: Ratcliffe, Judith <judith.ratcliffe@ncdcr.gov>
Cc: Butler, Rodney A <Rodney.Butler@ncdcr.gov>
Subject: NCORR NLEB - Love Mill Apartments

Hello Judy:

The North Carolina Office of Recovery and Resiliency (NCORR) as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD) is considering funding this proposed *affordable housing* project, **Love Mill Apartments, 181 West Love Mill Road in Whitesville, Columbus County, North Carolina 28472**. I have attached the proposed project map from the consultant to assist in your NLEB 4(d) Rule review. Please feel free to contact me if you have any questions. Thank you so much for your time and assistance.

Please feel free to contact me if you have any questions or need anything at all. Thank you so much for your time and assistance!

Sincerely,

Andrea

Andrea Gievers, JD, MSEL, ERM
Environmental SME
Community Development
NC Office of Recovery and Resiliency
Andrea.L.Gievers@Rebuild.NC.Gov
(845) 682-1700

Email correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized state official.

Northern Long-Eared Bat 4(d) Rule Streamlined Consultation Form

Federal agencies should use this form for the optional streamlined consultation framework for the northern long-eared bat (NLEB). This framework allows federal agencies to rely upon the U.S. Fish and Wildlife Service's (USFWS) January 5, 2016, intra-Service Programmatic Biological Opinion (BO) on the final 4(d) rule for the NLEB for section 7(a)(2) compliance by: (1) notifying the USFWS that an action agency will use the streamlined framework; (2) describing the project with sufficient detail to support the required determination; and (3) enabling the USFWS to track effects and determine if reinitiation of consultation is required per 50 CFR 402.16.

This form is not necessary if an agency determines that a proposed action will have no effect to the NLEB or if the USFWS has concurred in writing with an agency's determination that a proposed action may affect, but is not likely to adversely affect the NLEB (i.e., the standard informal consultation process). Actions that may cause prohibited incidental take require separate formal consultation. Providing this information does not address section 7(a)(2) compliance for any other listed species.

Information to Determine 4(d) Rule Compliance:	YES	NO
1. Does the project occur wholly outside of the WNS Zone ¹ ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Have you contacted the appropriate agency ² to determine if your project is near known hibernacula or maternity roost trees?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Could the project disturb hibernating NLEBs in a known hibernaculum?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Could the project alter the entrance or interior environment of a known hibernaculum?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Does the project remove any trees within 0.25 miles of a known hibernaculum at any time of year?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Would the project cut or destroy known occupied maternity roost trees, or any other trees within a 150-foot radius from the maternity roost tree from June 1 through July 31.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

You are eligible to use this form if you have answered yes to question #1 **or** yes to question #2 **and** no to questions 3, 4, 5 and 6. The remainder of the form will be used by the USFWS to track our assumptions in the BO.

Agency and Applicant³ (Name, Email, Phone No.): HUD CDBG-DR through NCORR to Applicant Love Mill NC LLC

Project Name: Love Mill Apartments

Project Location (include coordinates if known): 181 West Love Mill Road, Whiteville, NC 28472

Basic Project Description (provide narrative below or attach additional information):

Love Mill Apartments (proposed project) is a multifamily, affordable housing construction project consisting of 2 three-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multi-purpose room, exercise room, playground, covered picnic area and resident computer center. The community will have a mix of one-, two-, and three-bedroom units targeted for low- and moderate-income families.

¹ <http://www.fws.gov/midwest/endangered/mammals/nleb/pdf/WNSZone.pdf>

² See <http://www.fws.gov/midwest/endangered/mammals/nleb/nhisites.html>

³ If applicable - only needed for federal actions with applicants (e.g., for a permit, etc.) who are party to the consultation.

General Project Information	YES	NO
Does the project occur within 0.25 miles of a known hibernaculum?	<input type="checkbox"/>	<input type="checkbox"/>
Does the project occur within 150 feet of a known maternity roost tree?	<input type="checkbox"/>	<input type="checkbox"/>
Does the project include forest conversion ⁴ ? (if yes, report acreage below)	<input type="checkbox"/>	<input type="checkbox"/>
Estimated total acres of forest conversion		
If known, estimated acres ⁵ of forest conversion from April 1 to October 31		
If known, estimated acres of forest conversion from June 1 to July 31 ⁶		
Does the project include timber harvest? (if yes, report acreage below)	<input type="checkbox"/>	<input type="checkbox"/>
Estimated total acres of timber harvest		
If known, estimated acres of timber harvest from April 1 to October 31		
If known, estimated acres of timber harvest from June 1 to July 31		
Does the project include prescribed fire? (if yes, report acreage below)	<input type="checkbox"/>	<input type="checkbox"/>
Estimated total acres of prescribed fire		
If known, estimated acres of prescribed fire from April 1 to October 31		
If known, estimated acres of prescribed fire from June 1 to July 31		
Does the project install new wind turbines? (if yes, report capacity in MW below)	<input type="checkbox"/>	<input type="checkbox"/>
Estimated wind capacity (MW)		

Agency Determination:

By signing this form, the action agency determines that this project may affect the NLEB, but that any resulting incidental take of the NLEB is not prohibited by the final 4(d) rule.

If the USFWS does not respond within 30 days from submittal of this form, the action agency may presume that its determination is informed by the best available information and that its project responsibilities under 7(a)(2) with respect to the NLEB are fulfilled through the USFWS January 5, 2016, Programmatic BO. The action agency will update this determination annually for multi-year activities.

The action agency understands that the USFWS presumes that all activities are implemented as described herein. The action agency will promptly report any departures from the described activities to the appropriate USFWS Field Office. The action agency will provide the appropriate USFWS Field Office with the results of any surveys conducted for the NLEB. Involved parties will promptly notify the appropriate USFWS Field Office upon finding a dead, injured, or sick NLEB.

Signature: Andrea Siwers

Date Submitted: N/A

USF&WS response to Consultant re 4(d) Rule

⁴ Any activity that temporarily or permanently removes suitable forested habitat, including, but not limited to, tree removal from development, energy production and transmission, mining, agriculture, etc. (see page 48 of the BO).

⁵ If the project removes less than 10 trees and the acreage is unknown, report the acreage as less than 0.1 acre.

⁶ If the activity includes tree clearing in June and July, also include those acreage in April to October.



Roy Cooper, Governor

D. Reid Wilson, Secretary

Misty Buchanan
Deputy Director, Natural Heritage Program

NCNHDE-17611

April 3, 2022

Andrea Gievers
NCORR
P.O. Box 110465
Durham, NC 27709
RE: Love Mill Apartments, 181 West Love Mill Road, Whiteville, NC 28472

Dear Andrea Gievers:

The North Carolina Natural Heritage Program (NCNHP) appreciates the opportunity to provide information about natural heritage resources for the project referenced above.

Based on the project area mapped with your request, a query of the NCNHP database indicates that there are no records for rare species, important natural communities, natural areas, and/or conservation/managed areas within the proposed project boundary. Please note that although there may be no documentation of natural heritage elements within the project boundary, it does not imply or confirm their absence; the area may not have been surveyed. The results of this query should not be substituted for field surveys where suitable habitat exists. In the event that rare species are found within the project area, please contact the NCNHP so that we may update our records.

The attached 'Potential Occurrences' table summarizes rare species and natural communities that have been documented within a one-mile radius of the property boundary. The proximity of these records suggests that these natural heritage elements may potentially be present in the project area if suitable habitat exists. Tables of natural areas and conservation/managed areas within a one-mile radius of the project area, if any, are also included in this report.

If a Federally-listed species is found within the project area or is indicated within a one-mile radius of the project area, the NCNHP recommends contacting the US Fish and Wildlife Service (USFWS) for guidance. Contact information for USFWS offices in North Carolina is found here: <https://www.fws.gov/offices/Directory/ListOffices.cfm?statecode=37>.

Please note that natural heritage element data are maintained for the purposes of conservation planning, project review, and scientific research, and are not intended for use as the primary criteria for regulatory decisions. Information provided by the NCNHP database may not be published without prior written notification to the NCNHP, and the NCNHP must be credited as an information source in these publications. Maps of NCNHP data may not be redistributed without permission.

The NC Natural Heritage Program may follow this letter with additional correspondence if a Dedicated Nature Preserve, Registered Heritage Area, Land and Water Fund easement, or Federally-listed species are documented near the project area.

If you have questions regarding the information provided in this letter or need additional assistance, please contact Rodney A. Butler at rodney.butler@ncdcr.gov or 919-707-8603.

Sincerely,
NC Natural Heritage Program

Natural Heritage Element Occurrences, Natural Areas, and Managed Areas Within a One-mile Radius of the Project Area
 Love Mill Apartments, 181 West Love Mill Road, Whiteville, NC 28472
 April 3, 2022
 NCNHDE-17611

Element Occurrences Documented Within a One-mile Radius of the Project Area

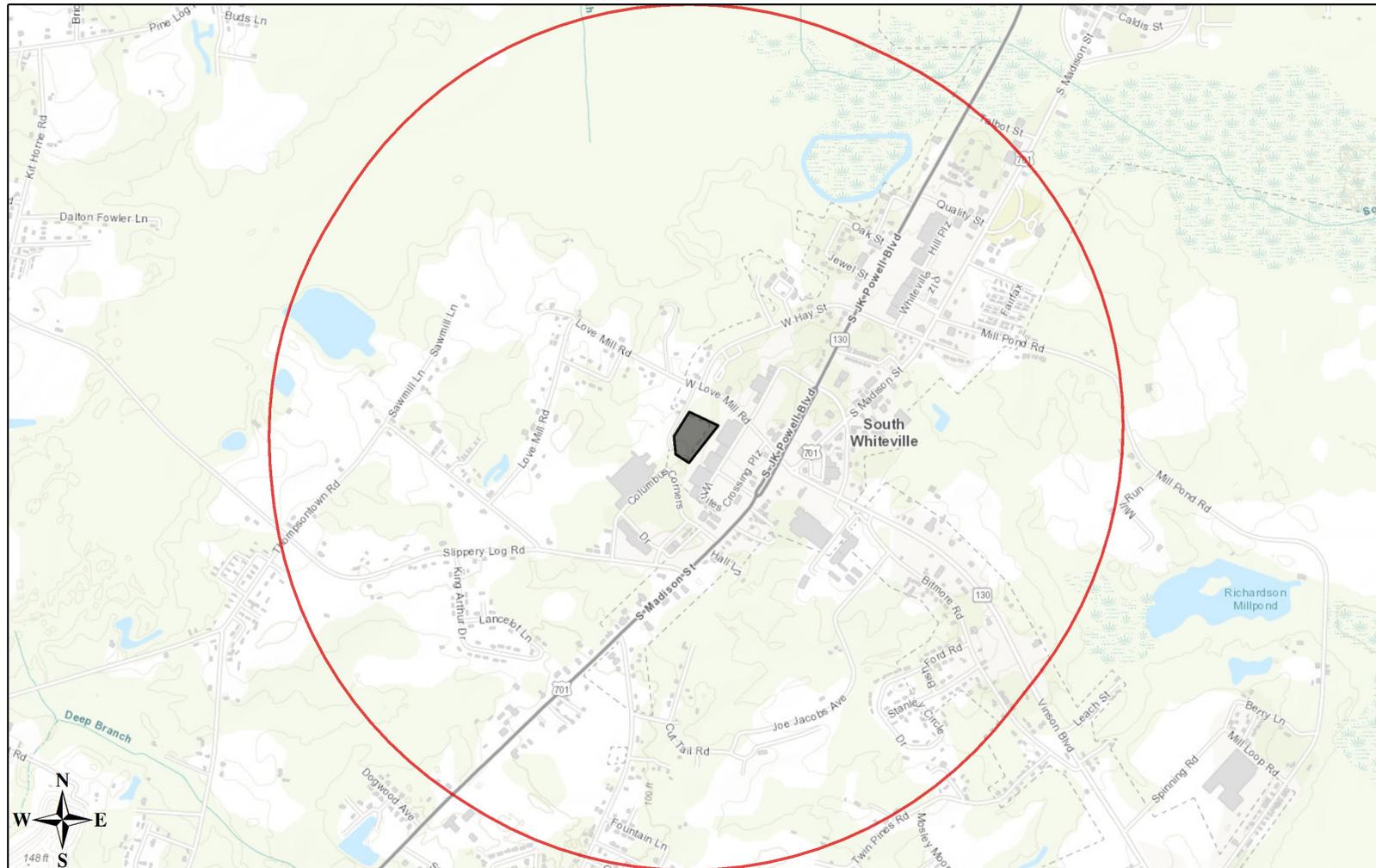
Taxonomic Group	EO ID	Scientific Name	Common Name	Last Observation Date	Element Occurrence Rank	Accuracy	Federal Status	State Status	Global Rank	State Rank
Dragonfly or Damselfly	33739	Somatochlora georgiana	Coppery Emerald	2004-Pre	H?	5-Very Low	---	Significantly Rare	G3G4	S1?

No Natural Areas are Documented Within a One-mile Radius of the Project Area

No Managed Areas are Documented Within a One-mile Radius of the Project Area

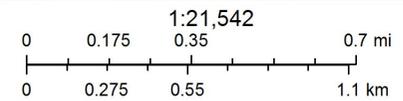
Definitions and an explanation of status designations and codes can be found at <https://ncnhde.natureserve.org/help>. Data query generated on April 3, 2022; source: NCNHP, Q4, January 2022. Please resubmit your information request if more than one year elapses before project initiation as new information is continually added to the NCNHP database.

NCNHDE-17611: Love Mill Apartments, 181 West Love Mill Road, Whiteville, NC 28472



April 3, 2022

-  Project Boundary
-  Buffered Project Boundary



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

ATTACHMENT H

Explosive and Flammable Hazards



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Explosive and Flammable Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/explosive-and-flammable-facilities>

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

No

→ Continue to Question 2.

Yes

Explain:

Click here to enter text.

→ Go directly to Question 5.

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Yes → Continue to Question 3.

3. Within 1 mile of the project site, are there any current *or planned* stationary aboveground storage containers that are covered by 24 CFR 51C? Containers that are NOT covered under the regulation include:

- Containers 100 gallons or less in capacity, containing common liquid industrial fuels OR
- Containers of liquified petroleum gas (LPG) or propane with a water volume capacity of 1,000 gallons or less that meet the requirements of the 2017 or later version of National Fire Protection Association (NFPA) Code 58.

If all containers within the search area fit the above criteria, answer “no.” For any other type of aboveground storage container within the search area that holds one of the flammable or explosive materials listed in Appendix I of 24 CFR part 51 subpart C, answer “yes.”

No

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide all documents used to make your determination.

Yes

→ Continue to Question 4.

4. Visit HUD's website to identify the appropriate tank or tanks to assess and to calculate the required separation distance using the [electronic assessment tool](#). To document this step in the analysis, please attach the following supporting documents to this screen:

- Map identifying the tank selected for assessment, and showing the distance from the tank to the proposed HUD-assisted project site; and
- Electronic assessment tool calculation of the required separation distance.

Based on the analysis, is the proposed HUD-assisted project site located at or beyond the required separation distance from all covered tanks?

Yes

→ Based on the response, the review is in compliance with this section. Continue to the Worksheet Summary below.

No

→ Go directly to Question 6.

5. **Is the hazardous facility located at an acceptable separation distance from residences and any other facility or area where people may congregate or be present?**

Please visit HUD's website for information on calculating Acceptable Separation Distance.

Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

No

→ Continue to Question 6.

Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

6. **For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Mitigation measures may include both natural and manmade barriers, modification of the project design, burial or removal of the hazard, or other engineered solutions. Describe selected mitigation measures, including the timeline for implementation, and attach an implementation plan. If negative effects cannot be mitigated, cancel the project at this location.**

Note that only licensed professional engineers should design and implement blast barriers. If a barrier will be used or the project will be modified to compensate for an unacceptable separation distance, provide approval from a licensed professional engineer.

[Click here to enter text.](#)

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates

- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Based on the investigation of the subject property conducted as part of the Phase I Environmental Site Assessment, dated October 15, 2021, and the site inspection, which occurred on October 6, 2021, no current or planned stationary aboveground storage containers were discovered that are covered by 24 CFR 51C within one mile of the project site. As indicated in the Phase I ESA, the subject property consists of mostly wooded/undeveloped land.

The surrounding areas includes land that is predominantly undeveloped or used for residential, agricultural and commercial purposes. The nearest gas station, BP Gas station at 1707 S. Madison Street, is approximately 1,000 feet east of the site and all tanks are USTs. Copies of the site maps and Phase I ESA Executive Summary are attached. Additionally, a signed and completed Thermal & Explosive Hazards Checklist is attached and indicates no hazards were observed at the time of the site inspection on October 6, 2021.

Thermal and Explosive Hazards

Project Name	Investigator(s)	Site Visit Date
Love Mill Apartments	Ryan Kramer	October 6, 2021

Part I –Above Ground Storage Tanks – Site Review

Are any above ground storage tanks visible from the site?

Yes No

If yes, are these tanks 100-gallons or larger?

Yes No

List visible tanks of 100-gallons or more						
Tank Identifier	Tank Distance (ft)	Tank Size/Contents	Flammable? (Yes or No)	Pressurized? (Yes or No)	ASD ¹ (ft) Thermal Radiation	ASD (ft) Blast Pressure
NA	NA	NA	NA	NA	NA	NA

¹ASD = Acceptable Separation Distance as defined in "Siting of HUD-Assisted Projects Near Hazardous Facilities"

Is the project site within the ASD of any above ground storage tank visible from the site?

Yes No

If yes, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
Not Applicable

Part II –Above Ground Storage Tanks – Agency Consultation

Has consultation with the Local Public Safety or Fire Department indicated the presence of thermal/explosive hazards that may affect the site (Attach record of consultation)?

Yes No

If yes, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)
Not Applicable

Part III – Above Ground Storage Tanks – Record Review

Are above ground storage tanks, which visible on aerial photographs and USGS topographic maps, located within 1-mile of the site (Attach copies of documents reviewed)?

Yes No

If yes, are these tanks 100-gallons or larger?

Yes No

List tanks of 100-gallons or more.						
Tank Identifier	Tank Distance (ft)	Tank Size/Contents	Flammable? (Yes or No)	Pressurized? (Yes or No)	ASD ¹ (ft) Thermal Radiation	ASD (ft) Blast Pressure
NA	NA	NA	NA	NA	NA	NA

¹ASD = Acceptable Separation Distance as defined in "Siting of HUD-Assisted Projects Near Hazardous Facilities"

Is the project site within the ASD of any above ground storage tank?

Yes No

If yes are there acceptable barriers (natural or manmade) between the site and the tank?

Yes No

Identify Acceptable Barriers ²
Not Applicable

²Acceptable barriers must meet the conditions of 24 CFR § 51.205

If no, list the proposed mitigation strategies or reject the site?

Mitigation (attach additional documentation)	
Additional Comments or Recommendations	


 Lead Investigator's Signature

October 22, 2021
 Date

PHASE I ENVIRONMENTAL SITE ASSESSMENT

PROPOSED LOVE MILL APARTMENTS
181 WEST LOVE MILL ROAD
WHITEVILLE, NORTH CAROLINA 28472
October 15, 2021



Pyramid Environmental & Engineering, P.C.

P.O. Box 16265
503 Industrial Ave.
Greensboro, North Carolina 27416 (27406)
(336) 335-3174

**C-257 Geology
C1251 Engineering**

Report prepared for:

Luke Daube
Fitch Irick Corporation
1515 Mockingbird Lane
Charlotte, NC 28209



October 15, 2021

Ref. No. 2021-281

Luke Daube
Fitch Irick Corporation
1515 Mockingbird Lane
Charlotte, NC 28209

**Re: Phase I Environmental Site Assessment
Proposed Love Mill Apartments
181 West Love Mill Road, Whiteville, North Carolina 28472**

Dear Mr. Daube,

Pyramid Environmental is pleased to submit our report describing the findings of the Phase I Environmental Site Assessment (ESA) for property located at 181 West Love Mill Road in Whiteville, NC. This assessment was prepared in general accordance with the American Society of Testing and Materials (ASTM) Standard Practices for Environmental Site Assessments: Phase I ESA Process (ASTM Designation: E1527-2013). In addition to this ESA, Pyramid is also completing a Housing and Urban Development (HUD) Part 58 Environmental Assessment for the subject property. The Environmental Assessment will be submitted under different cover.

The purpose of the Phase I ESA was to gather sufficient information to render an independent professional opinion about the environmental condition of the property. This assessment included a site reconnaissance as well as research and interviews with representatives of the public, property management, and regulatory agencies.

If you have any questions or require further clarification of the report findings, please contact Pyramid at 336-335-3174. Thank you for the opportunity to be of service to Fitch Irick Corporation.

Yours very truly,

A handwritten signature in black ink that reads "Ryan Kramer".

Ryan Kramer
Project Manager

A handwritten signature in black ink that reads "Douglas Canavello".

Douglas Canavello
Principal

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LIST OF ACRONYMS

AAI	all appropriate inquiries
ASTM	American Society for Testing and Materials
CERCLA	Comprehensive Environmental Response
EP	Environmental Professional
ESA	Environmental Site Assessment, Compensation, and Liability Act
LLP	Limited Liability Protection
LUST	leaking underground storage tank
PCB	polychlorinated biphenyl
Pyramid	Pyramid Environmental & Engineering, P.C.
UST	underground storage tank
NCDEQ	North Carolina Department of Environmental Quality

PHASE I ENVIRONMENTAL SITE ASSESSMENT
Proposed Love Mill Apartments
181 West Love Mill Road
Whiteville, Columbus County, North Carolina 28472

EXECUTIVE SUMMARY

Pyramid Environmental and Engineering, P.C. (Pyramid) conducted a Phase I Environmental Site Assessment (ESA), in general conformance with the scope and limitations of ASTM Practice E 1527-13, for the property located at 181 West Love Mill Road, Columbus County, Whiteville, North Carolina. The subject property consists of two unimproved / wooded parcels totaling 6.33-acres. Parcel #005751 is 3.720-acres and Parcel #77993-acres is 2.610-acres. The parcels are currently owned by Judith H. Barnes at the time of the site inspection. The property is proposed to be acquired by Fitch Irick Corporation to develop the multifamily apartment complex called Love Mill Apartments. Any exceptions to or deletions from this practice are described in **Section 1.4** of this report.

Historical information reviewed as part of this Phase I ESA indicates that the subject property was previously cleared and used for agricultural purposes as early 1938 until 1999, as shown on the earliest available aerial photograph. From 1999 to the present, the historical aerial photographs depict the property as wooded and no longer used for agricultural purposes. The property has remained wooded and unimproved since this time. The surrounding properties are residential and commercial including a Walmart Supercenter, Tractor Supply and Big Lots.

Recognized Environmental Conditions

Recognized Environmental Conditions (RECs) are defined by the ASTM Standard Practice E1527-13 as the presence or likely presence of any hazardous substances or petroleum products in, at, or on a property: (1) due to any release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment. *De minimis* conditions are not recognized environmental conditions.

This assessment did not reveal any recognized environmental conditions (RECs) associated with the subject site.

Historical Recognized Environmental Conditions (HRECs) are defined by the ASTM Standard Practice E1527-13 as a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, land use restrictions (LURs), activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any historical recognized environmental conditions (HRECs) associated with the subject site.

Controlled Recognized Environmental Conditions (CRECs) are defined by the ASTM Standard Practice E1527-13 as a recognized environmental condition resulting from a past release of

hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

This assessment did not reveal any controlled recognized environmental conditions (CRECs) associated with the subject property.

Observations

- The subject property was unimproved and wooded during the site inspection. Minor, non-hazardous debris was observed that included empty bottles/cans, wood pallets, and other typical roadside trash.
- Surface water was observed near the northeast corner of the property.
- Small intermittent stream beds were observed but were dry during the site inspection.

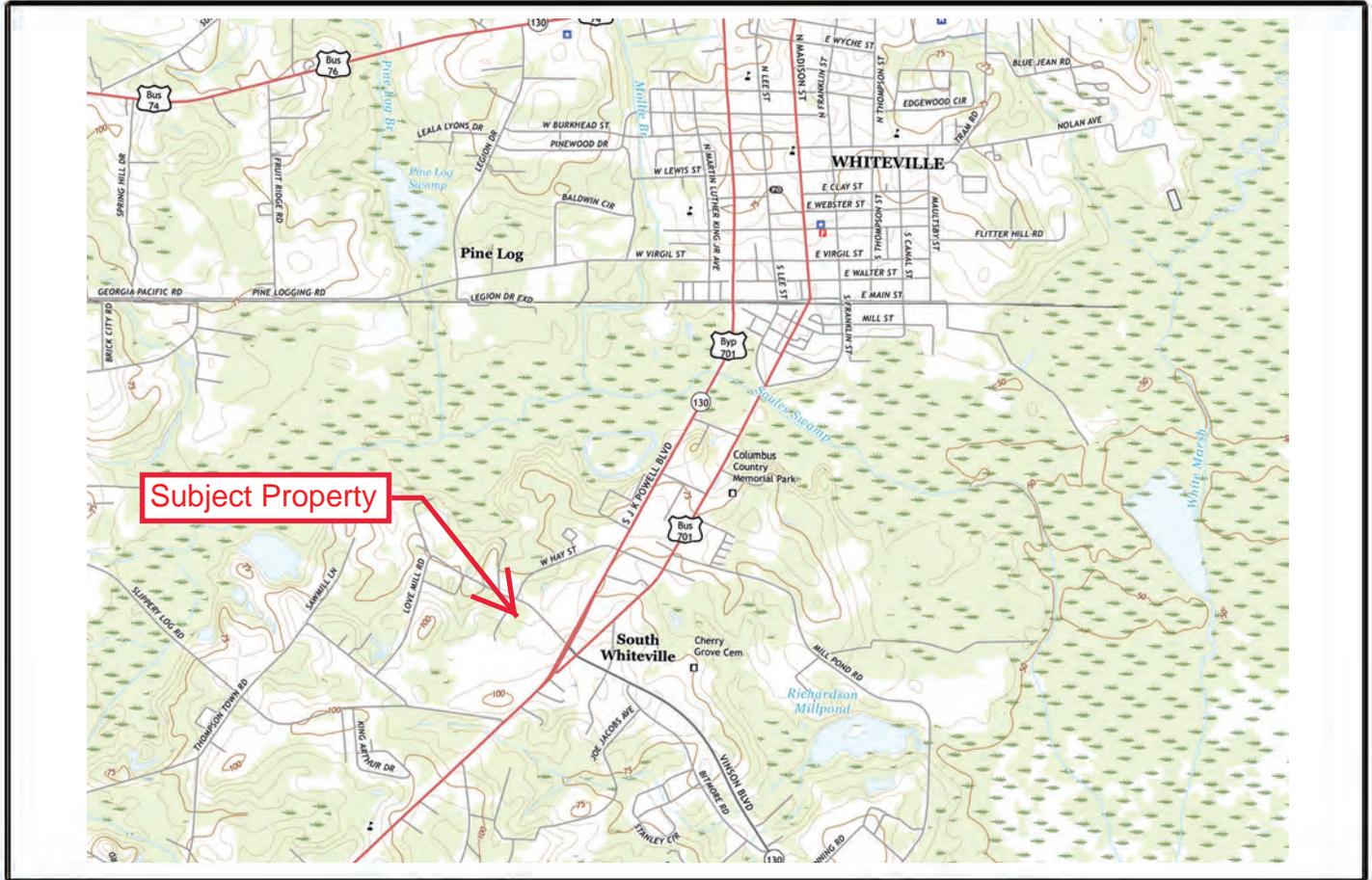
Recommendations

- This assessment did not reveal any recognized environmental conditions (RECs) historical recognized environmental conditions (HRECs) or controlled recognized environmental conditions (CRECs) associated with the subject property. No further environmental assessments are recommended at this time.

USGS TOPOGRAPHIC MAP

SITE: Love Mill Apartments

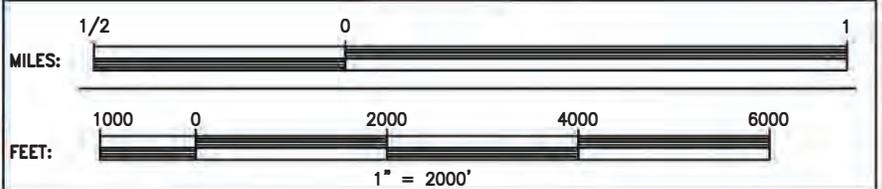
LOCATION: 181 W. Love Mill Rd., Whiteville, NC



USGS IDENTIFICATION

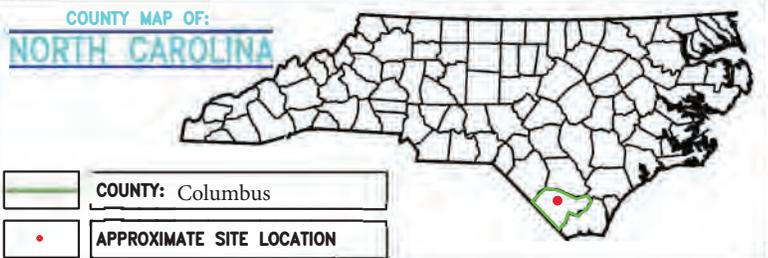
SCALES

USGS 7.5 MINUTE MAP	Whiteville, NC
ORIGINAL DATE:	2019
PHOTOREVISION DATE:	N/A



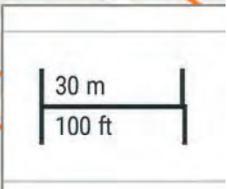
	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 20 FEET
 ► PHOTOREVISIONS DENOTED IN PURPLE

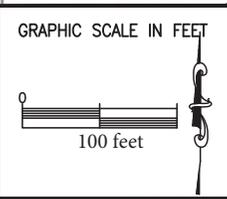


CLIENT: Flatiron Partners	SCALE: 1" = 2,000'	DRAWN BY: TC
PROJECT NAME: Love Mill Apts. - 181 W. Love Mill Rd.	DATE: 9/14/21	CHECK BY: RK
CITY: Whiteville STATE: North Carolina	JOB NO.: 2021-266	TYPE: PHASE I
TITLE: Topographic Map	DRAWING NAME: USGSTOPO	FIGURE NUMBER: 1

NOTES
TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON, VIRGINIA.
THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



CLIENT	Flatiron Partners		COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.		TAX-ID	#5751 & 77993
CITY	Whiteville	STATE	North Carolina	TAX-MAP
TITLE	Tax Map		L-NO	2021-266
			FIGURE	2



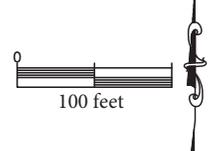


PYRAMID

ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	DATE	9/14/2021
CITY	Whiteville	STATE	North Carolina
TITLE	2020 Aerial Photograph	L-NO	2021-266
		FIGURE	Figure 3

GRAPHIC SCALE IN FEET



ATTACHMENT I

Farmlands Protection



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Farmlands Protection (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/farmlands-protection>

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

Yes → Continue to Question 2.

No

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

2. Does “important farmland,” including prime farmland, unique farmland, or farmland of statewide or local importance regulated under the Farmland Protection Policy Act, occur on the project site?

You may use the links below to determine important farmland occurs on the project site:

- Utilize USDA Natural Resources Conservation Service’s (NRCS) Web Soil Survey <http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm>
- Check with your city or county’s planning department and ask them to document if the project is on land regulated by the FPPA (zoning important farmland as non-agricultural does not exempt it from FPPA requirements)
- Contact NRCS at the local USDA service center <http://offices.sc.egov.usda.gov/locator/app?agency=nrcs> or your NRCS state soil scientist https://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951 for assistance

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

Yes → Continue to Question 3.

3. Consider alternatives to completing the project on important farmland and means of avoiding impacts to important farmland.

- Complete form [AD-1006, “Farmland Conversion Impact Rating”](#) and contact the state soil scientist before sending it to the local NRCS District Conservationist.
- Work with NRCS to minimize the impact of the project on the protected farmland. When you have finished with your analysis, return a copy of form AD-1006 to the USDA-NRCS State Soil Scientist or his/her designee informing them of your determination.

Work with the RE/HUD to determine how the project will proceed. Document the conclusion:

Project will proceed with mitigation.

Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.*

[Click here to enter text.](#)

Project will proceed without mitigation.

Explain why mitigation will not be made here:

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

The subject property was reviewed in accordance with the Farmland Protection Policy Act (FPPA) to determine the potential presence of important farmlands. A USDA Soil Survey Report was generated using the USDA Natural Resource Conservation Service's (NRCS) Web Soil Survey (WSS). The USDA Soil Survey Report indicates that the proposed site includes Lynchburg fine sandy loam - 0-2 percent slopes (LyA) classified as "Prime farmland if drained; Norfolk loamy fine sand – 0-2 percent slopes (NoA) classified as "all areas are prime farmland"; Rains fine sandy loam, 0 to 2 percent slopes (RaA) classified as "Prime farmland if drained"; and Wagram loamy fine sand (WaB) which are classified as "Farmland of statewide importance."

The FPPA recognizes that if an area is already committed to urban development, as indicated by the most recent US Census Bureau "Urbanized Areas" data, the project can proceed without considering the effects of the development on prime farmlands. Therefore, Pyramid generated an "Urbanized Areas" map using EPA's NEPAAssist online mapping application. The map indicates that the site is located within the "Urbanized Areas" of Whiteville, which is already committed to urban development and, therefore, is excluded from consideration under the Farmland Protection Policy Act.

On October 22, 2021, Pyramid issued a letter to the USDA for comments regarding the proposed project and the if the proposed project was on land regulated by the FPPA.

On October 25, 2021, Laurie Muzzy, Resource Soil Scientist with the USDA issued a letter commenting on Pyramid's request for comments regarding the FPPA. According to Ms. Muzzy," The area in question does include land classified as Prime Farmland. In accordance with the Code of Federal Regulations 7CFR 658, Farmland Protection Policy Act, the AD-1006 was initiated. NRCS has completed Parts II, IV, V of the form, and returned for completion by the requesting agency". The USDA also completed the Farmland Conversion Impact Ratings form. No prime, unique, or local important farmlands will be impacted as part of this proposed development. The response letter and form as well as the comprehensive Farmlands Protection documentation are included as attachments.



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Columbus County, North Carolina



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

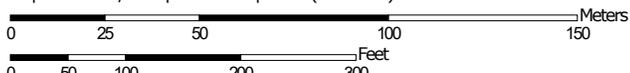
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:1,990 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Columbus County, North Carolina
 Survey Area Data: Version 22, Jun 2, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Sep 30, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
LyA	Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	3.6	42.9%
NoA	Norfolk loamy fine sand, 0 to 2 percent slopes	1.2	14.8%
RaA	Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.5	6.5%
WaB	Wagram loamy fine sand, 0 to 6 percent slopes	3.0	35.9%
Totals for Area of Interest		8.4	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

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The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Columbus County, North Carolina

LyA—Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2vx8m
Elevation: 20 to 200 feet
Mean annual precipitation: 40 to 55 inches
Mean annual air temperature: 64 to 70 degrees F
Frost-free period: 200 to 280 days
Farmland classification: Prime farmland if drained

Map Unit Composition

Lynchburg and similar soils: 82 percent
Minor components: 18 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Lynchburg

Setting

Landform: Marine terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam
Bt - 8 to 50 inches: sandy clay loam
Btg - 50 to 68 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 6 to 18 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Low (about 4.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2w
Hydrologic Soil Group: B/D
Hydric soil rating: No

Minor Components

Goldsboro

Percent of map unit: 8 percent
Landform: Flats on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Linear

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Across-slope shape: Linear

Hydric soil rating: No

Rains, drained

Percent of map unit: 5 percent

Landform: Carolina bays on marine terraces, flats on marine terraces, broad interstream divides on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

Rains, undrained

Percent of map unit: 5 percent

Landform: Carolina bays on marine terraces, broad interstream divides on marine terraces, flats on marine terraces

Landform position (three-dimensional): Dip, talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: Yes

NoA—Norfolk loamy fine sand, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 3wby

Elevation: 80 to 330 feet

Mean annual precipitation: 38 to 55 inches

Mean annual air temperature: 59 to 70 degrees F

Frost-free period: 210 to 265 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Norfolk and similar soils: 85 percent

Minor components: 5 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Norfolk

Setting

Landform: Broad interstream divides on marine terraces, flats on marine terraces

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 9 inches: loamy sand

E - 9 to 14 inches: loamy sand

Bt - 14 to 70 inches: sandy clay loam

C - 70 to 100 inches: sandy clay loam

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Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 40 to 72 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 7.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 1
Hydrologic Soil Group: A
Hydric soil rating: No

Minor Components

Rains, undrained

Percent of map unit: 5 percent
Landform: Flats on marine terraces, carolina bays on marine terraces, broad interstream divides on marine terraces
Landform position (two-dimensional): Summit
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: Yes

RaA—Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2v75b
Elevation: 30 to 330 feet
Mean annual precipitation: 40 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 200 to 280 days
Farmland classification: Prime farmland if drained

Map Unit Composition

Rains, undrained, and similar soils: 70 percent
Rains, drained, and similar soils: 16 percent
Minor components: 14 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Rains, Undrained

Setting

Landform: Flats on marine terraces, carolina bays on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Dip, talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

A - 0 to 8 inches: fine sandy loam
Eg - 8 to 13 inches: fine sandy loam
Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: B/D
Hydric soil rating: Yes

Description of Rains, Drained

Setting

Landform: Flats on marine terraces, carolina bays on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Dip, talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam
Eg - 8 to 13 inches: fine sandy loam
Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 24 to 36 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: High (about 9.7 inches)

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Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 3w
Hydrologic Soil Group: B/D
Hydric soil rating: Yes

Minor Components

Lynchburg

Percent of map unit: 8 percent
Landform: Flats on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Pantego, ponded

Percent of map unit: 6 percent
Landform: Flats, broad interstream divides
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Concave
Hydric soil rating: Yes

WaB—Wagram loamy fine sand, 0 to 6 percent slopes

Map Unit Setting

National map unit symbol: 3wcd
Elevation: 20 to 160 feet
Mean annual precipitation: 40 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 200 to 280 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Wagram and similar soils: 75 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wagram

Setting

Landform: Broad interstream divides on marine terraces, ridges on marine terraces
Landform position (two-dimensional): Shoulder, summit
Landform position (three-dimensional): Crest
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy marine deposits

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Typical profile

Ap - 0 to 8 inches: loamy fine sand
E - 8 to 24 inches: loamy fine sand
Bt - 24 to 75 inches: sandy clay loam
BC - 75 to 83 inches: sandy loam

Properties and qualities

Slope: 0 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
(0.57 to 1.98 in/hr)
Depth to water table: About 60 to 80 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 6.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2s
Hydrologic Soil Group: A
Hydric soil rating: No

Soil Information for All Uses

Soil Reports

The Soil Reports section includes various formatted tabular and narrative reports (tables) containing data for each selected soil map unit and each component of each unit. No aggregation of data has occurred as is done in reports in the Soil Properties and Qualities and Suitabilities and Limitations sections.

The reports contain soil interpretive information as well as basic soil properties and qualities. A description of each report (table) is included.

Land Classifications

This folder contains a collection of tabular reports that present a variety of soil groupings. The reports (tables) include all selected map units and components for each map unit. Land classifications are specified land use and management groupings that are assigned to soil areas because combinations of soil have similar behavior for specified practices. Most are based on soil properties and other factors that directly influence the specific use of the soil. Example classifications include ecological site classification, farmland classification, irrigated and nonirrigated land capability classification, and hydric rating.

Prime and other Important Farmlands

This table lists the map units in the survey area that are considered important farmlands. Important farmlands consist of prime farmland, unique farmland, and farmland of statewide or local importance. This list does not constitute a recommendation for a particular land use.

In an effort to identify the extent and location of important farmlands, the Natural Resources Conservation Service, in cooperation with other interested Federal, State, and local government organizations, has inventoried land that can be used for the production of the Nation's food supply.

Prime farmland is of major importance in meeting the Nation's short- and long-range needs for food and fiber. Because the supply of high-quality farmland is limited, the U.S. Department of Agriculture recognizes that responsible levels of government, as well as individuals, should encourage and facilitate the wise use of our Nation's prime farmland.

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Prime farmland, as defined by the U.S. Department of Agriculture, is land that has the best combination of physical and chemical characteristics for producing food, feed, forage, fiber, and oilseed crops and is available for these uses. It could be cultivated land, pastureland, forestland, or other land, but it is not urban or built-up land or water areas. The soil quality, growing season, and moisture supply are those needed for the soil to economically produce sustained high yields of crops when proper management, including water management, and acceptable farming methods are applied. In general, prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation, a favorable temperature and growing season, acceptable acidity or alkalinity, an acceptable salt and sodium content, and few or no rocks. The water supply is dependable and of adequate quality. Prime farmland is permeable to water and air. It is not excessively erodible or saturated with water for long periods, and it either is not frequently flooded during the growing season or is protected from flooding. Slope ranges mainly from 0 to 6 percent. More detailed information about the criteria for prime farmland is available at the local office of the Natural Resources Conservation Service.

For some of the soils identified in the table as prime farmland, measures that overcome a hazard or limitation, such as flooding, wetness, and droughtiness, are needed. Onsite evaluation is needed to determine whether or not the hazard or limitation has been overcome by corrective measures.

A recent trend in land use in some areas has been the loss of some prime farmland to industrial and urban uses. The loss of prime farmland to other uses puts pressure on marginal lands, which generally are more erodible, droughty, and less productive and cannot be easily cultivated.

Unique farmland is land other than prime farmland that is used for the production of specific high-value food and fiber crops, such as citrus, tree nuts, olives, cranberries, and other fruits and vegetables. It has the special combination of soil quality, growing season, moisture supply, temperature, humidity, air drainage, elevation, and aspect needed for the soil to economically produce sustainable high yields of these crops when properly managed. The water supply is dependable and of adequate quality. Nearness to markets is an additional consideration. Unique farmland is not based on national criteria. It commonly is in areas where there is a special microclimate, such as the wine country in California.

In some areas, land that does not meet the criteria for prime or unique farmland is considered to be *farmland of statewide importance* for the production of food, feed, fiber, forage, and oilseed crops. The criteria for defining and delineating farmland of statewide importance are determined by the appropriate State agencies. Generally, this land includes areas of soils that nearly meet the requirements for prime farmland and that economically produce high yields of crops when treated and managed according to acceptable farming methods. Some areas may produce as high a yield as prime farmland if conditions are favorable. Farmland of statewide importance may include tracts of land that have been designated for agriculture by State law.

In some areas that are not identified as having national or statewide importance, land is considered to be *farmland of local importance* for the production of food, feed, fiber, forage, and oilseed crops. This farmland is identified by the appropriate local agencies. Farmland of local importance may include tracts of land that have been designated for agriculture by local ordinance.

Report—Prime and other Important Farmlands

Custom Soil Resource Report

Prime and other Important Farmlands—Columbus County, North Carolina		
Map Symbol	Map Unit Name	Farmland Classification
LyA	Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	Prime farmland if drained
NoA	Norfolk loamy fine sand, 0 to 2 percent slopes	All areas are prime farmland
RaA	Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	Prime farmland if drained
WaB	Wagram loamy fine sand, 0 to 6 percent slopes	Farmland of statewide importance

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FARMLAND CONVERSION IMPACT RATING

PART I (To be completed by Federal Agency)		Date Of Land Evaluation Request			
Name of Project		Federal Agency Involved			
Proposed Land Use		County and State			
PART II (To be completed by NRCS)		Date Request Received By NRCS		Person Completing Form:	
Does the site contain Prime, Unique, Statewide or Local Important Farmland? <i>(If no, the FPPA does not apply - do not complete additional parts of this form)</i>		YES <input type="checkbox"/>	NO <input type="checkbox"/>	Acres Irrigated	Average Farm Size
Major Crop(s)	Farmable Land In Govt. Jurisdiction Acres: %		Amount of Farmland As Defined in FPPA Acres: %		
Name of Land Evaluation System Used	Name of State or Local Site Assessment System		Date Land Evaluation Returned by NRCS		
PART III (To be completed by Federal Agency)		Alternative Site Rating			
		Site A	Site B	Site C	Site D
A. Total Acres To Be Converted Directly					
B. Total Acres To Be Converted Indirectly					
C. Total Acres In Site					
PART IV (To be completed by NRCS) Land Evaluation Information					
A. Total Acres Prime And Unique Farmland					
B. Total Acres Statewide Important or Local Important Farmland					
C. Percentage Of Farmland in County Or Local Govt. Unit To Be Converted					
D. Percentage Of Farmland in Govt. Jurisdiction With Same Or Higher Relative Value					
PART V (To be completed by NRCS) Land Evaluation Criterion Relative Value of Farmland To Be Converted (Scale of 0 to 100 Points)					
PART VI (To be completed by Federal Agency) Site Assessment Criteria <i>(Criteria are explained in 7 CFR 658.5 b. For Corridor project use form NRCS-CPA-106)</i>		Maximum Points	Site A	Site B	Site C
1. Area In Non-urban Use		(15)			
2. Perimeter In Non-urban Use		(10)			
3. Percent Of Site Being Farmed		(20)			
4. Protection Provided By State and Local Government		(20)			
5. Distance From Urban Built-up Area		(15)			
6. Distance To Urban Support Services		(15)			
7. Size Of Present Farm Unit Compared To Average		(10)			
8. Creation Of Non-farmable Farmland		(10)			
9. Availability Of Farm Support Services		(5)			
10. On-Farm Investments		(20)			
11. Effects Of Conversion On Farm Support Services		(10)			
12. Compatibility With Existing Agricultural Use		(10)			
TOTAL SITE ASSESSMENT POINTS		160			
PART VII (To be completed by Federal Agency)					
Relative Value Of Farmland (From Part V)		100			
Total Site Assessment (From Part VI above or local site assessment)		160			
TOTAL POINTS (Total of above 2 lines)		260			
Site Selected:	Date Of Selection	Was A Local Site Assessment Used? YES <input type="checkbox"/> NO <input type="checkbox"/>			
Reason For Selection:					
Name of Federal agency representative completing this form:					Date:

STEPS IN THE PROCESSING THE FARMLAND AND CONVERSION IMPACT RATING FORM

- Step 1 - Federal agencies (or Federally funded projects) involved in proposed projects that may convert farmland, as defined in the Farmland Protection Policy Act (FPPA) to nonagricultural uses, will initially complete Parts I and III of the form. For Corridor type projects, the Federal agency shall use form NRCS-CPA-106 in place of form AD-1006. The Land Evaluation and Site Assessment (LESA) process may also be accessed by visiting the FPPA website, <http://fppa.nrcs.usda.gov/lesa/>.
- Step 2 - Originator (Federal Agency) will send one original copy of the form together with appropriate scaled maps indicating location(s) of project site(s), to the Natural Resources Conservation Service (NRCS) local Field Office or USDA Service Center and retain a copy for their files. (NRCS has offices in most counties in the U.S. The USDA Office Information Locator may be found at http://offices.usda.gov/scripts/ndISAPI.dll/oip_public/USA_map, or the offices can usually be found in the Phone Book under U.S. Government, Department of Agriculture. A list of field offices is available from the NRCS State Conservationist and State Office in each State.)
- Step 3 - NRCS will, within 10 working days after receipt of the completed form, make a determination as to whether the site(s) of the proposed project contains prime, unique, statewide or local important farmland. (When a site visit or land evaluation system design is needed, NRCS will respond within 30 working days.
- Step 4 - For sites where farmland covered by the FPPA will be converted by the proposed project, NRCS will complete Parts II, IV and V of the form.
- Step 5 - NRCS will return the original copy of the form to the Federal agency involved in the project, and retain a file copy for NRCS records.
- Step 6 - The Federal agency involved in the proposed project will complete Parts VI and VII of the form and return the form with the final selected site to the servicing NRCS office.
- Step 7 - The Federal agency providing financial or technical assistance to the proposed project will make a determination as to whether the proposed conversion is consistent with the FPPA.

INSTRUCTIONS FOR COMPLETING THE FARMLAND CONVERSION IMPACT RATING FORM

(For Federal Agency)

Part I: When completing the "County and State" questions, list all the local governments that are responsible for local land use controls where site(s) are to be evaluated.

Part III: When completing item B (Total Acres To Be Converted Indirectly), include the following:

1. Acres not being directly converted but that would no longer be capable of being farmed after the conversion, because the conversion would restrict access to them or other major change in the ability to use the land for agriculture.
2. Acres planned to receive services from an infrastructure project as indicated in the project justification (e.g. highways, utilities planned build out capacity) that will cause a direct conversion.

Part VI: Do not complete Part VI using the standard format if a State or Local site assessment is used. With local and NRCS assistance, use the local Land Evaluation and Site Assessment (LESA).

1. Assign the maximum points for each site assessment criterion as shown in § 658.5(b) of CFR. In cases of corridor-type project such as transportation, power line and flood control, criteria #5 and #6 will not apply and will, be weighted zero, however, criterion #8 will be weighed a maximum of 25 points and criterion #11 a maximum of 25 points.
2. Federal agencies may assign relative weights among the 12 site assessment criteria other than those shown on the FPPA rule after submitting individual agency FPPA policy for review and comment to NRCS. In all cases where other weights are assigned, relative adjustments must be made to maintain the maximum total points at 160. For project sites where the total points equal or exceed 160, consider alternative actions, as appropriate, that could reduce adverse impacts (e.g. Alternative Sites, Modifications or Mitigation).

Part VII: In computing the "Total Site Assessment Points" where a State or local site assessment is used and the total maximum number of points is other than 160, convert the site assessment points to a base of 160.

Example: if the Site Assessment maximum is 200 points, and the alternative Site "A" is rated 180 points:

$$\frac{\text{Total points assigned Site A}}{\text{Maximum points possible}} = \frac{180}{200} \times 160 = 144 \text{ points for Site A}$$

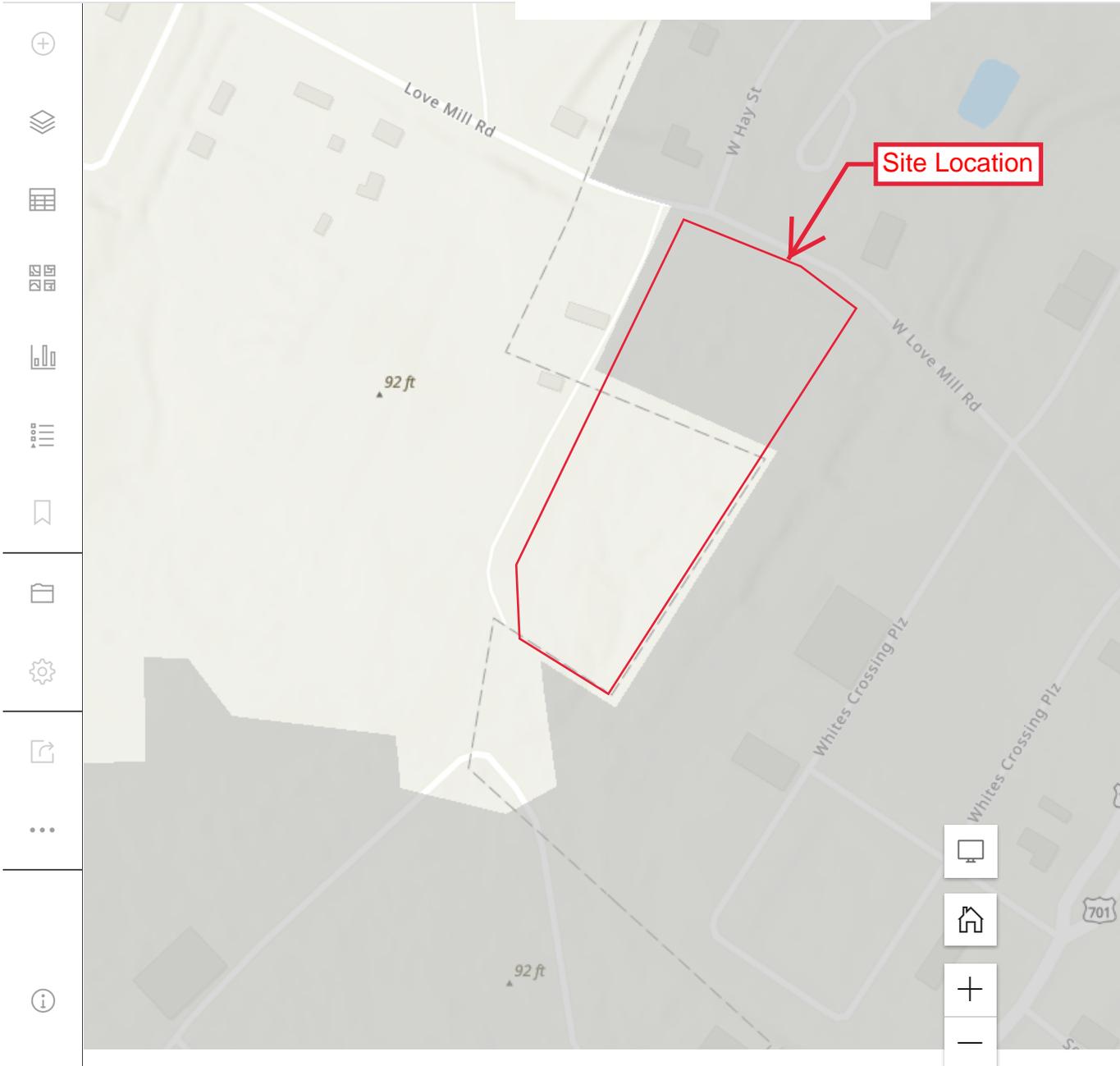
For assistance in completing this form or FPPA process, contact the local NRCS Field Office or USDA Service Center.

NRCS employees, consult the FPPA Manual and/or policy for additional instructions to complete the AD-1006 form.



Open in Map Viewer Classic >

Untitled map



Site Location

USA Urban Areas - USA Urba...

Properties ×

Use the selector above to switch between layers in the map. ×

Information ∨

Symbology ^
USA Urban Areas - USA Urban Areas (below 1:500k)

Appearance ^

Blending
▼ Normal

Transparency
50%
25% 50% 75%





Natural Resources
Conservation Service

October 25, 2021

North Carolina
State Office

Ryan Kramer, Project Manager
Pyramid Environmental & Engineering, P.C.
PO Box 15324
Wilmington, NC 28408-5324
Ph: (336) 335-3174 Cell: (503) 307-7919

4407 Bland Rd.
Suite 117
Raleigh
North Carolina 27609
Voice (704) 680-3541
Fax (844) 325-2156

Dear Mr. Kramer,

The following information is in response to your request soliciting comments regarding the Love Mill Apartments project in Columbus County, NC.

Projects are subject to Farmland Protection Policy Act (FPPA) requirements if they may irreversibly convert farmland (directly or indirectly) to nonagricultural use and are completed by a Federal agency or with assistance from a Federal agency.

For the purpose of FPPA, farmland includes prime farmland, unique farmland, and land of statewide or local importance. Farmland subject to FPPA requirements does not have to be currently used for cropland. It can be forest land, pastureland, cropland, or other land, but not water or urban built-up land. Farmland means prime or unique farmlands as defined in section 1540(c)(1) of the Act or farmland that is determined by the appropriate state or unit of local government agency or agencies with concurrence of the Secretary to be farmland of statewide or local importance.

"Farmland" does not include land already in or committed to urban development or water storage. Farmland "already in" urban development or water storage includes all such land with a density of 30 structures per 40-acre area. Farmland already in urban development also includes lands identified as "urbanized area" (UA) on the Census Bureau Map, or as urban area mapped with a "tint overprint" on the USGS topographical maps, or as "urban-built-up" on the USDA Important Farmland Maps. See over for more information.

The area in question **does include** land classified as Prime Farmland. In accordance with the Code of Federal Regulations 7CFR 658, Farmland Protection Policy Act, the AD-1006 was initiated. NRCS has completed Parts II, IV, V of the form, and returned for completion by the requesting agency.

If you have any questions, please feel free to email me at Laura.Muzzy@usda.gov.

Sincerely,

Laurie F. Muzzy
Resource Soil Scientist

cc:

Joshua Davis, Supervisory Soil Conservationist, NRCS, Lumberton, NC
Mike Jones, State Soil Scientist, Raleigh, NC

FARMLAND CONVERSION IMPACT RATING

PART I (To be completed by Federal Agency)		Date Of Land Evaluation Request 10.22.21			
Name of Project Love Mill Apts		Federal Agency Involved HUD			
Proposed Land Use Multi-family residential		County and State : Whiteville, Columbus County, North Carolina			
PART II (To be completed by NRCS)		Date Request Received By NRCS 10/25/2021		Person Completing Form: Laurie F. Muzzv	
Does the site contain Prime, Unique, Statewide or Local Important Farmland? <i>(If no, the FPPA does not apply - do not complete additional parts of this form)</i>		YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	Acres Irrigated 0	Average Farm Size 274
Major Crop(s) corn	Farmable Land In Govt. Jurisdiction Acres: 65.74 % 401,082	Amount of Farmland As Defined in FPPA Acres: 65.74 % 401,082			
Name of Land Evaluation System Used Columbus County LESA	Name of State or Local Site Assessment System NA	Date Land Evaluation Returned by NRCS 10/26/2021			
PART III (To be completed by Federal Agency)		Alternative Site Rating			
		Site A	Site B	Site C	Site D
A. Total Acres To Be Converted Directly		8.4			
B. Total Acres To Be Converted Indirectly		0			
C. Total Acres In Site		8.4			
PART IV (To be completed by NRCS) Land Evaluation Information					
A. Total Acres Prime And Unique Farmland		5.4			
B. Total Acres Statewide Important or Local Important Farmland		3			
C. Percentage Of Farmland in County Or Local Govt. Unit To Be Converted		0.00002			
D. Percentage Of Farmland in Govt. Jurisdiction With Same Or Higher Relative Value		58.6			
PART V (To be completed by NRCS) Land Evaluation Criterion Relative Value of Farmland To Be Converted (Scale of 0 to 100 Points)		71			
PART VI (To be completed by Federal Agency) Site Assessment Criteria <i>(Criteria are explained in 7 CFR 658.5 b. For Corridor project use form NRCS-CPA-106)</i>		Maximum Points	Site A	Site B	Site C
1. Area In Non-urban Use		(15)			
2. Perimeter In Non-urban Use		(10)			
3. Percent Of Site Being Farmed		(20)			
4. Protection Provided By State and Local Government		(20)			
5. Distance From Urban Built-up Area		(15)			
6. Distance To Urban Support Services		(15)			
7. Size Of Present Farm Unit Compared To Average		(10)			
8. Creation Of Non-farmable Farmland		(10)			
9. Availability Of Farm Support Services		(5)			
10. On-Farm Investments		(20)			
11. Effects Of Conversion On Farm Support Services		(10)			
12. Compatibility With Existing Agricultural Use		(10)			
TOTAL SITE ASSESSMENT POINTS		160	0	0	0
PART VII (To be completed by Federal Agency)					
Relative Value Of Farmland (From Part V)		100	71	0	0
Total Site Assessment (From Part VI above or local site assessment)		160	0	0	0
TOTAL POINTS (Total of above 2 lines)		260	71	0	0
Site Selected:	Date Of Selection	Was A Local Site Assessment Used? YES <input type="checkbox"/> NO <input type="checkbox"/>			
Reason For Selection:					

ATTACHMENT J

Floodplain Management



This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Floodplain Management (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/floodplain-management>

1. Does [24 CFR 55.12\(c\)](#) exempt this project from compliance with HUD’s floodplain management regulations in Part 55?

Yes

Provide the applicable citation at 24 CFR 55.12(c) here. If project is exempt under 55.12(c)(6) or (8), provide supporting documentation.

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary.

No → Continue to Question 2.

2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

Does your project occur in a floodplain?

No → Continue to the Worksheet Summary below.

Yes

Select the applicable floodplain using the FEMA map or the best available information:

Floodway → Continue to Question 3, Floodways

Coastal High Hazard Area (V Zone) → Continue to Question 4, Coastal High Hazard Areas

500-year floodplain (B Zone or shaded X Zone) → Continue to Question 5, 500-year Floodplains

100-year floodplain (A Zone) → The 8-Step Process is required. Continue to Question 6, 8-Step Process

3. **Floodways**

Is this a functionally dependent use?

Yes

The 8-Step Process is required. Work with HUD or the RE to assist with the 8-Step Process.
→ *Continue to Worksheet Summary.*

- No → *Federal assistance may not be used at this location unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

4. Coastal High Hazard Area

Is this a critical action such as a hospital, nursing home, fire station, or police station?

- Yes → *Critical actions are prohibited in coastal high hazard areas unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

- No

Does this action include new construction that is not a functionally dependent use, existing construction (including improvements), or reconstruction following destruction caused by a disaster?

- Yes, there is new construction of something that is not a functionally dependent use.
New construction must be designed to FEMA standards for V Zones at 44 CFR 60.3(e) (24 CFR 55.1(c)(3)(i)).

→ *Continue to Question 6, 8-Step Process*

- No, this action concerns only existing construction.

Existing construction must have met FEMA elevation and construction standards for a coastal high hazard area or other standards applicable at the time of construction.

→ *Continue to Question 6, 8-Step Process*

5. 500-year Floodplain

Is this a critical action?

- No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

- Yes → *Continue to Question 6, 8-Step Process*

6. 8-Step Process.

Is this 8-Step Process required? Select one of the following options:

- 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.

→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

- 5-Step Process is applicable per 55.12(a)(1-3).

Provide the applicable citation at 24 CFR 55.12(a) here.

[Click here to enter text.](#)

→ *Work with the RE/HUD to assist with the 5-Step Process. Continue to Worksheet Summary.*

- 8-Step Process is inapplicable per 55.12(b)(1-4).

Provide the applicable citation at 24 CFR 55.12(b) here.

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

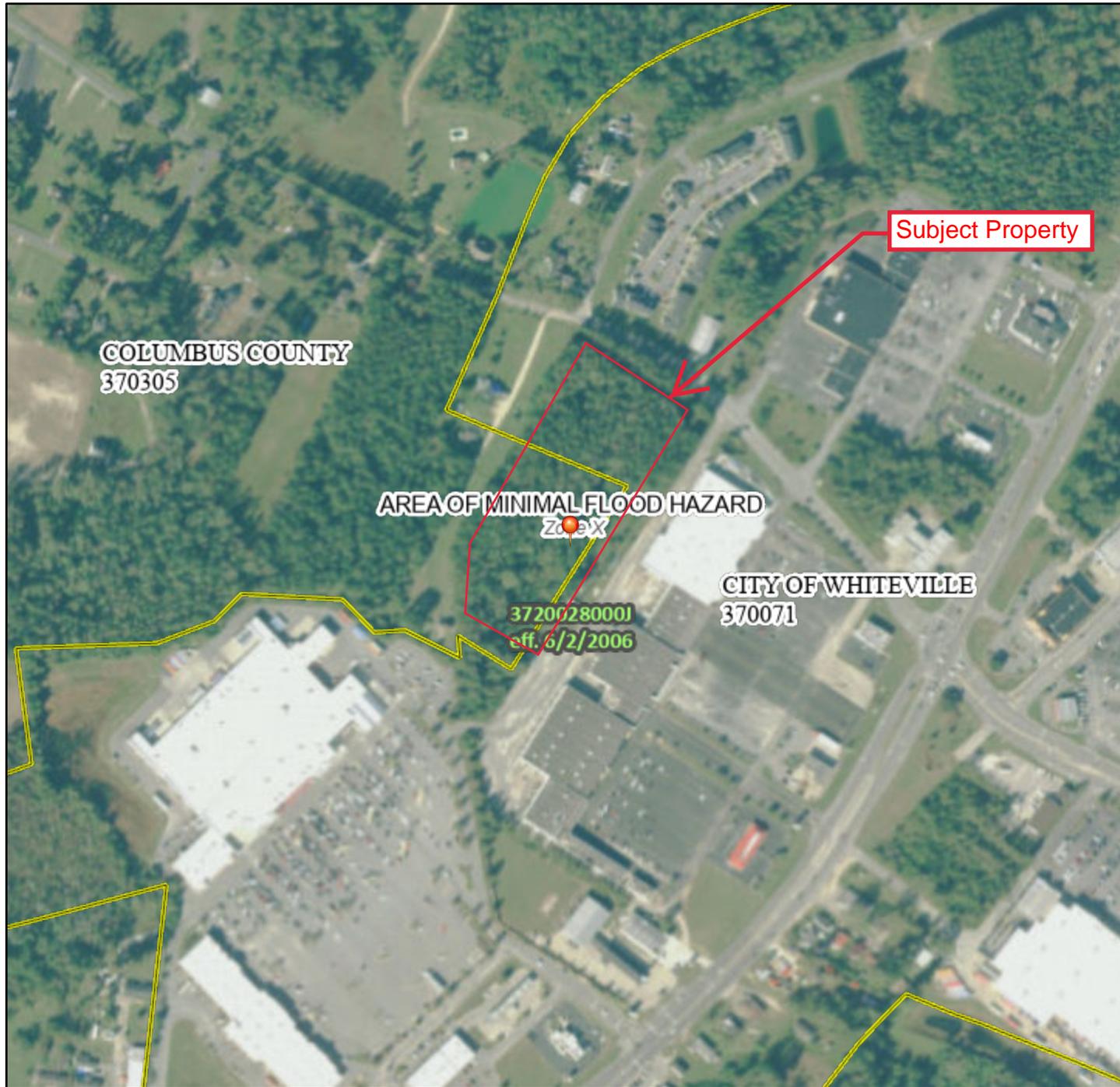
Include all documentation supporting your findings in your submission to HUD.

According to the FEMA National Flood Hazard Layer FIRMette Map, generated at the FEMA Flood Map Service Center website (<https://msc.fema.gov/portal/home>), the proposed project site is not located in a floodplain area. The map indicates that all portions of the proposed project area will be within Zone X (Areas of Minimal Flood Hazard). A copy of the FEMA National Flood Hazard Layer FIRMette Map, Panel 3720028000J (eff. 06/2/06), is attached for reference.

National Flood Hazard Layer FIRMMette



78°43'38"W 34°18'31"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **9/27/2021 at 5:15 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

ATTACHMENT K

Historic Preservation



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Historic Preservation (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/historic-preservation>

Threshold

Is Section 106 review required for your project?

- No, because a Programmatic Agreement states that all activities included in this project are exempt. (See the [PA Database](#) to find applicable PAs.)

Either provide the PA itself or a link to it here. Mark the applicable exemptions or include the text here:

[Click here to enter text.](#)

→ *Continue to the Worksheet Summary.*

- No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

Either provide the memo itself or a link to it here. Explain and justify the other determination here:

[Click here to enter text.](#)

→ *Continue to the Worksheet Summary.*

- Yes, because the project includes activities with potential to cause effects (direct or indirect). → *Continue to Step 1.*

The Section 106 Process

After determining the need to do a Section 106 review, HUD or the RE will initiate consultation with regulatory and other interested parties, identify and evaluate historic properties, assess effects of the project on properties listed on or eligible for the National Register of Historic Places, and resolve any adverse effects through project design modifications or mitigation.

Step 1: Initiate consultation

Step 2: Identify and evaluate historic properties

Step 3: Assess effects of the project on historic properties

Step 4: Resolve any adverse effects

Only RE or HUD staff may initiate the Section 106 consultation process. Partner entities may gather information, including from SHPO records, identify and evaluate historic properties, and make initial assessments of effects of the project on properties listed in or eligible for the National Register of Historic Places. Partners should then provide their RE or HUD with all of their analysis and documentation so that they may initiate consultation.

Step 1 - Initiate Consultation

The following parties are entitled to participate in Section 106 reviews: Advisory Council on Historic Preservation; State Historic Preservation Officers (SHPOs); federally recognized Indian tribes/Tribal Historic Preservation Officers (THPOs); Native Hawaiian Organizations (NHOs); local governments; and project grantees. The general public and individuals and organizations with a demonstrated interest in a project may participate as consulting parties at the discretion of the RE or HUD official. Participation varies with the nature and scope of a project. Refer to HUD's website for guidance on consultation, including the required timeframes for response. Consultation should begin early to enable full consideration of preservation options.

Use the [When To Consult With Tribes checklist](#) within [Notice CPD-12-006: Process for Tribal Consultation](#) to determine if the RE or HUD should invite tribes to consult on a particular project. Use the [Tribal Directory Assessment Tool \(TDAT\)](#) to identify tribes that may have an interest in the area where the project is located. Note that only HUD or the RE may initiate consultation with Tribes. Partner entities may prepare a draft letter for the RE or HUD to use to initiate consultation with tribes, but may not send the letter themselves.

List all organizations and individuals that you believe may have an interest in the project here:

Pyramid believes that the North Carolina SHPO and the Catawba Indian Nation may have an interest in the proposed project. Copies of the TDAT results for Columbus County and the When to Consult with Tribes checklist are attached. Rebuild NC contacted the SHPO and THPO or consultation.

→ Continue to Step 2.

Step 2 - Identify and Evaluate Historic Properties

Provide a preliminary definition of the Area of Potential Effect (APE), either by entering the address(es) or providing a map depicting the APE. Attach an additional page if necessary.

The APE includes a 6.3-acre lot located at 181 West Love Mill Road, Whiteville, NC 28472 and is shown in the attached maps.

Gather information about known historic properties in the APE. Historic buildings, districts and archeological sites may have been identified in local, state, and national surveys and registers, local historic districts, municipal plans, town and county histories, and local history websites. If not already listed on the National Register of Historic Places, identified properties are then evaluated to see if they are eligible for the National Register. Refer to HUD's website for guidance on identifying and evaluating historic properties.

In the space below, list historic properties identified and evaluated in the APE.

Every historic property that may be affected by the project should be listed. For each historic property or district, include the National Register status, whether the SHPO has concurred with the finding, and whether information on the site is sensitive. Attach an additional page if necessary.

We have defined the Area of Potential Effect (APE) as the boundary of the Subject Property consisting of two parcels #5751 & #77993, located at 181 West Love Mill Road, Whiteville, NC 28472. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina State Historic

Preservation Office's HPOWEB, and site review performed by Pyramid Environmental & Engineering, P.C., no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State and National Register of Historic Places are located on or adjacent to the Subject Property. On January 11, 2022, NCORR consulted with the NC State Historic Preservation Office (SHPO) on the proposed project. On February 1, 2022, the NC SHPO concurred with NCORR's Finding of "No Historic Properties Affected" pursuant to 36 CFR 800.4(d)(1) for the proposed project.

According to the HUD Tribal Directory Assessment Tool (TDAT), the Catawba Indian Nation is the only tribe with interests in Columbus County, North Carolina. On January 14, 2022, NCORR consulted with the Catawba Indian Nation for discussion of historic properties in the proposed project area that may have religious and cultural significance. On February 14, 2022, the Catawba Indian Nation's Tribal Historic Preservation Office (THPO) responded that "[t]he Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project."

Copies of the NCORR correspondence with SHPO and the Catawba Indian Nation are attached.

Provide the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination.

Was a survey of historic buildings and/or archeological sites done as part of the project?

If the APE contains previously unsurveyed buildings or structures over 50 years old, or there is a likely presence of previously unsurveyed archeological sites, a survey may be necessary. For Archeological surveys, refer to HP Fact Sheet #6, [Guidance on Archeological Investigations in HUD Projects](#).

Yes → *Provide survey(s) and report(s) and continue to Step 3.*

Additional notes:

[Click here to enter text.](#)

No → *Continue to Step 3.*

Step 3 - Assess Effects of the Project on Historic Properties

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. ([36 CFR 800.5](#)) Consider direct and indirect effects as applicable as per HUD guidance.

Choose one of the findings below to recommend to the RE or HUD.

Please note: this is a recommendation only. It is **not the official finding, which will be made by the RE or HUD, but only your suggestion as a Partner entity.**

No Historic Properties Affected

Document reason for finding:

No historic properties present.

Historic properties present, but project will have no effect upon them.

No Adverse Effect

Document reason for finding and provide any comments below.

Comments may include recommendations for mitigation, monitoring, a plan for unanticipated discoveries, etc.

[Click here to enter text.](#)

Adverse Effect

Document reason for finding:

Copy and paste applicable Criteria into text box with summary and justification.

Criteria of Adverse Effect: [36 CFR 800.5](#)]

[Click here to enter text.](#)

Provide any comments below:

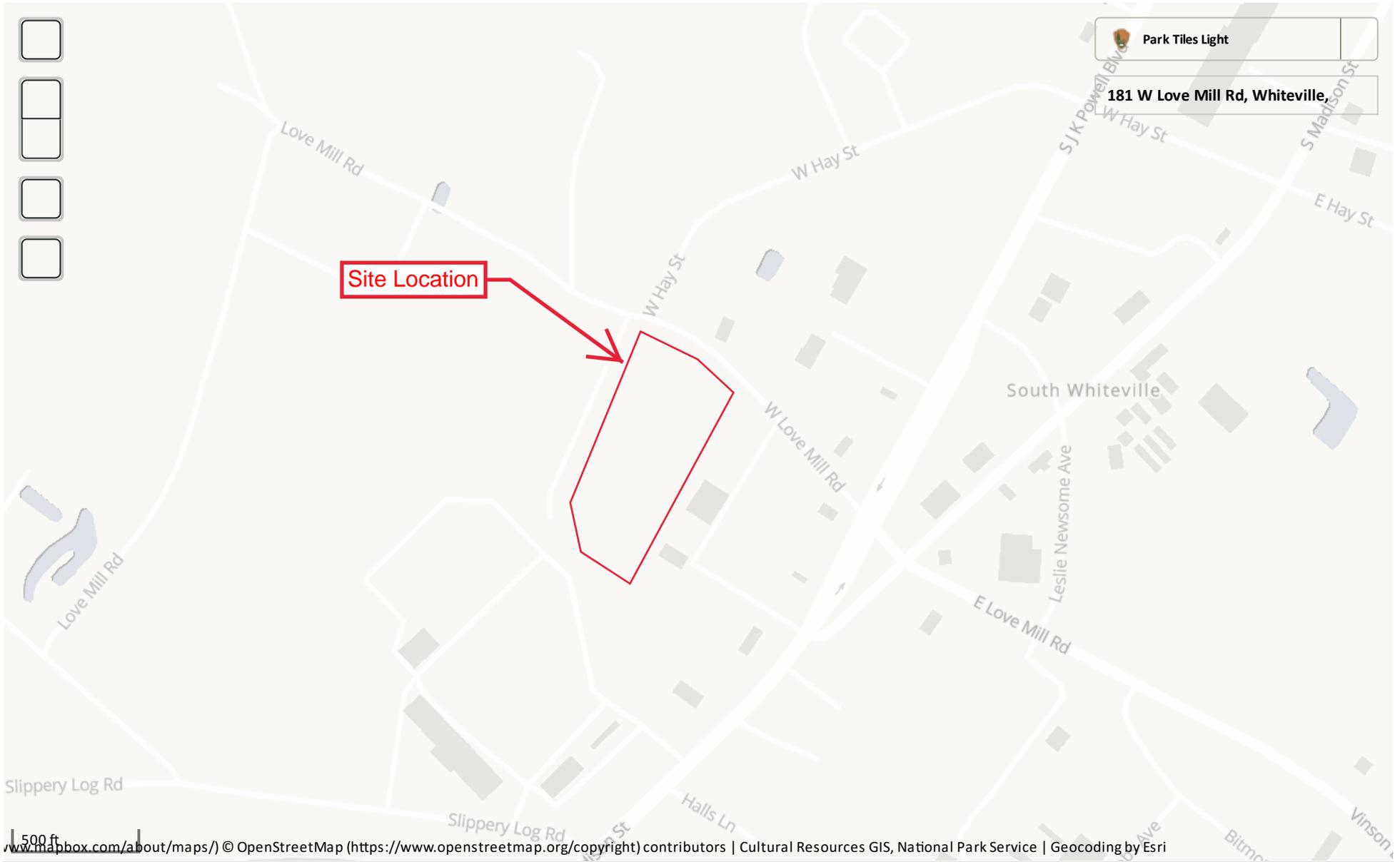
Comments may include recommendations for avoidance, minimization, and/or mitigation.

Remember to provide all documentation that justifies your National Register Status determination and recommendations along with this worksheet.

National Register of Historic Places

National Park Service
U.S. Department of the Interior

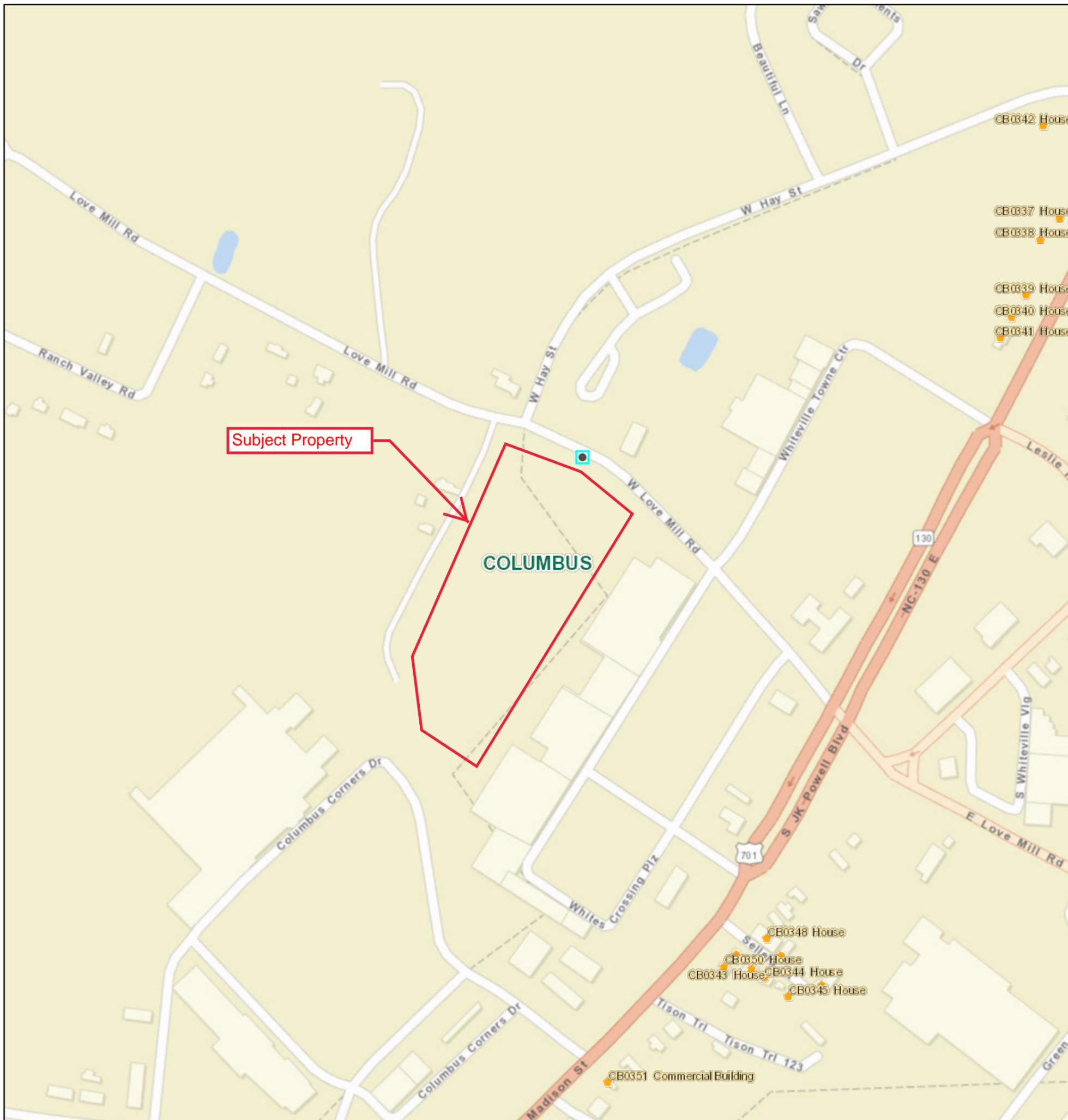
Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. L...



www.mapbox.com/about/maps/ | © OpenStreetMap (https://www.openstreetmap.org/copyright) contributors | Cultural Resources GIS, National Park Service | Geocoding by Esri

Home (https://www.nps.gov) | Frequently Asked Questions (https://www.nps.gov/faqs.htm) | Website Policies (https://www.nps.gov/aboutus/website-policies.htm)

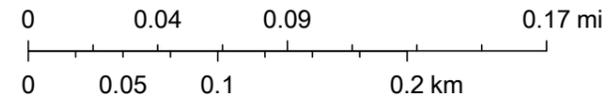
NC State Historic Preservation Office



10/14/2021, 9:30:35 AM

1:4,514

- ⋯ Local districts & boundaries
- Local individual resources & centerpoints
 - Local Landmark
 - Local Landmark, Gone
 - ★ Local HD Center Point
- Surveyed Only individual resources & centerpoints
 - Surveyed Only
 - Surveyed in NRHD
 - Surveyed Only, Gone
 - Surveyed in NRHD, Gone
 - + Blockface- Multiple properties
 - + Blockface in NRHD
 - ★ Surveyed Area, No designation
 - ★ Surveyed Area in NHRD
- DOE districts & boundaries
 - Determined Eligible Boundary
- Both DOE and Study List Boundary
- DOE individual resources & centerpoints
 - ▲ Determined Eligible
 - ▲ DOE, Gone
 - ▲ SL and DOE
 - ▲ SL and DOE, Gone
 - ★ DOEHD Center Point
 - ★ SLDOEHD Center Point
- SL districts & boundaries
 - Study List Boundary
 - Both SL and Determined Eligible Boundary
- SL individual resources & centerpoints
 - SL Individual Entry
 - ▲ SL and DOE entry
 - Study List Entry, Gone
 - ▲ SL and DOE, Gone
- NR districts & boundaries
 - National Register Boundary
- ★ SLHD Center Point
- ★ SLDOEHD Center Point



State of North Carolina DOT, Esri, HERE, Garmin, INCREMENT P, NGA, USGS



North Carolina Department of Public Safety
Office of Recovery and Resiliency

Roy Cooper, Governor
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

January 11, 2022

Ms. Renee Gledhill-Earley
Environmental Review Coordinator
NC State Historic Preservation Office
4617 Mail Service Center
Raleigh, NC 27699-4617

Via email: Environmental.Review@ncdcr.gov
renee.gledhill-earley@ncdcr.gov

RE: State Historic Preservation Office Request for Concurrence
Section 106 Review - HUD CDBG-DR Program
Proposed Love Mill Apartments
181 West Love Mill Road
Whiteville, NC 28472
Parcels #5751 & #77993

Dear Ms. Gledhill-Earley:

In accordance with Section 106 of the National Historic Preservation Act and its implementing regulations, 36 CFR Part 800, we are providing information for your review and concurrence regarding the above-referenced project. The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and request for consultation.

We have defined the Area of Potential Effect (APE) as the boundary of the Subject Property consisting of two parcels #5751 & #77993, located at 181 West Love Mill Road, Whiteville, NC 28472. The proposed project location maps are included in **Attachment 1** for your review. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina

Mailing Address:
Post Office Box 110465
Durham, NC 27709



Phone: (984) 833-5350
www.ncdps.gov
www.rebuild.nc.gov

State Historic Preservation Office's HPOWEB, and site review performed by Pyramid Environmental & Engineering, P.C., no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State and National Register of Historic Places are located on or adjacent to the Subject Property. See **Attachment 1**.

We have made a Finding of "No Historic Properties Affected" pursuant to 36 CFR 800.4(d)(1) based on the following:

Love Mill Apartments is a proposed affordable housing community located at 181 West Love Mill Road, Whiteville, NC 28472. This newly constructed community will contain 60 apartment homes built in the garden style. The buildings will have brick and hardi-plank siding. The location is in close proximity to many services and yet has a residential setting. The community will have a mix of one-, two-, and three-bedroom units targeted for families. The site is situated between a single-family residential area and a commercial corridor making this an ideal setting for multifamily development. The property consists of two parcels recorded at the Columbus County, NC Tax Office as Parcel Numbers #5751 & #77993 totaling 6.3-acres. The design includes two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multi-purpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents. The proposed project site plans are included in **Attachment 2**.

The Subject Property is vacant land and is not located within a historic district listed on or determined eligible for the National Register of Historic Places or within or near a local landmark and local historic district according to HPOWEB. The Subject Property was used for agricultural purposes from at least the late 1930s until 1999. It has remained unused since this time and is wooded and undeveloped. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the property during construction. The Subject Property photographs are included in **Attachment 3**.

Attached for your review are copies of relevant documents supporting our finding, along with photographs and a map showing the location of the Subject Property. This documentation satisfies requirements set forth at §800.11(d).

NCORR processes environmental reviews for projects funded with HUD CDBG-DR on a case-by-case basis. A consultation request for the proposed project described herein will also be sent to the Catawba Indian Nation. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 Code of Federal Regulations (CFR) Part 800, this letter serves as notification of the proposed action.

NCORR respectfully requests your review of the proposed project described herein. In accordance with §800.4(d)(1)(i), your office has thirty days to object to this finding. Please respond within this timeframe, otherwise we will assume that you concur with our finding. If you concur, please

sign on the line below and return a copy of this letter by email to Andrea Gievers at Andrea.L.Gievers@Rebuild.NC.gov.

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 293-7021 or via email at Andrea.L.Gievers@Rebuild.NC.gov.

Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
Environmental Subject Matter Expert
NCORR Community Development

Proposed Love Mill Apartments Enclosures:

- Attachment 1: Proposed Project Location, and NRHP and NC HPOWEB Maps
- Attachment 2: Proposed Project Site Plans (12/3/21)
- Attachment 3: Subject Property Photographs

Concurrence:



February 1, 2022

State Historic Preservation Officer

Date



Tribal Directory Assessment Information



[Download Excel](#)

Contact Information for Tribes with Interests in Columbus County, North Carolina

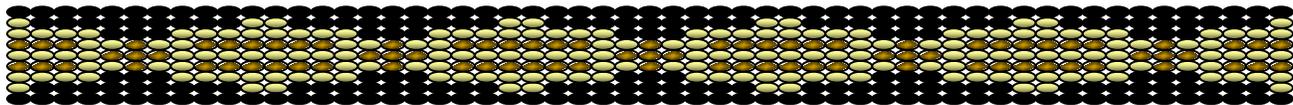
Tribal Name		County Name					
- Catawba Indian Nation		Columbus					
Contact Name	Title	Mailing Address	Work Phone	Fax Number	Cell Phone	Email Address	URL
Dr. Wenonah G. Haire	THPO and Catawba Cultural Center Executive Director	1536 Tom Steven Road Rock Hill, SC 29730	(803) 328-2427 ext. 224		(803) 328-5791		
Bill Harris	Chief	996 Avenue of the Nations Rock Hill, SC 29730	(803) 366-4792		(803) 327-4853		

1 - 1 of 1 results « < 1 > » 10 ▾

[Download Excel](#)

Catawba Indian Nation
Tribal Historic Preservation Office
1536 Tom Steven Road
Rock Hill, South Carolina 29730

Office 803-328-2427
Fax 803-328-5791



February 14, 2022

Attention: Andrea Gievers
NCORR – Environmental
P.O. Box 110465
Durham, NC 27709

Re. THPO #	TCNS #	Project Description
2022-1119-6		Proposed Love Mill Apartments – 181 West Love Mill Road, Whiteville, NC 28472

Dear Ms. Gievers,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail Caitlin.Rogers@catawba.com.

Sincerely,

Wenonah G. Haire
Tribal Historic Preservation Officer



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

January 11, 2022

Dr. Wenonah George Haire
Tribal Historic Preservation Officer
ATTN: THPO Archaeology Dept.
Catawba Indian Nation
1536 Tom Steven Road
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program
Proposed Love Mill Apartments
181 West Love Mill Road
Whiteville, NC 28472
Parcels #5751 & #77993

Dear Dr. Wenonah George Haire:

The North Carolina Office of Recovery and Resiliency (NCORR), as a recipient of Community Development Block Grant – Disaster Recovery (CDBG-DR) funds from the United States Department of Housing and Urban Development (HUD), is serving as the responsible entity for compliance with the HUD environmental review procedures set forth in 24 CFR Part 58. NCORR is acting on behalf of HUD in providing the enclosed project information and inviting this discussion with your Nation.

NCORR processes environmental reviews for proposed projects funded with HUD CDBG-DR on a case-by-case basis. In accordance with Section 101(d)(6)(B) of the National Historic Preservation Act (NHPA) of 1966, as amended (16 U.S.C. 470f), and its implementing regulations, 36 CFR Part 800, this letter serves as notification of the proposed action. This letter also serves as an invitation to discussion as a consulting party in this review to help identify historic properties in the proposed project area that may have religious and cultural significance to your Nation, and if such properties exist, to help assess how the proposed project might affect them. If the proposed project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

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Durham, NC 27709



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www.rebuild.nc.gov

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Area of Potential Effects (APE) under §800.16(d): We have defined the APE as the boundary of the Subject Property consisting of two parcels #5751 & #77993, located at 181 West Love Mill Road, Whiteville, NC 28472. The proposed project location maps are included in **Attachment 1** for your review.

The State of North Carolina was adversely impacted by the landfall of Hurricanes Matthew (October 8, 2016) and Florence (September 14, 2018). These hurricanes damaged or destroyed hundreds of homes worsening the affordable housing shortage. This proposed project will increase affordable housing inventory for low- and moderate-income families.

Proposed Project Description: Love Mill Apartments is a proposed affordable housing community located at 181 West Love Mill Road, Whiteville, NC 28472. This newly constructed community will contain 60 apartment homes built in the garden style. The buildings will have brick and hardiplank siding. The location is in close proximity to many services and yet has a residential setting. The community will have a mix of one-, two-, and three-bedroom units targeted for families. The site is situated between a single-family residential area and a commercial corridor making this an ideal setting for multifamily development. The property consists of two parcels recorded at the Columbus County, NC Tax Office as Parcel Numbers #5751 & #77993 totaling 6.3-acres. The design includes two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multi-purpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents. The proposed project site plan is included in **Attachment 2**.

We have completed an initial review of this project in compliance with Section 106 of the NHPA and its implementing regulations 36 CFR Part 800. Based on our research of the Subject Property in the National Register of Historic Places, North Carolina State Historic Preservation Office's (NC SHPO) HPOWEB, and site review performed by Pyramid Environmental & Engineering, P.C., no publicly recorded historic properties which are locally designated or listed in or eligible for inclusion in the State or National Register of Historic Places are located on or adjacent to the Subject Property. The results are included in **Attachment 1**.

The proposed project information has been sent to the NC SHPO in accordance with Section 106 of the NHPA and its implementing regulations, 36 CFR Part 800. The Subject Property is vacant land that was used for agricultural purposes from at least the late 1930s until 1999. It has remained unused since this time and is currently wooded and undeveloped. The proposed development will be a multifamily apartment complex and, therefore, typical clearing and grading will take place on the Subject Property during construction. The Subject Property photographs are included in **Attachment 3**.

With this letter, NCORR respectfully submits for your review the attached documentation for the proposed project described herein. If the APE encompasses historic properties of religious or cultural significance to your Nation, please respond within 30 days of receipt of this letter indicating a desire to consult. If you have any concerns with potential impacts of the proposed project on historic properties, please note them in your response along with your preferred principal representative's point of contact. Please respond within this timeframe, otherwise we

will assume that the proposed project will have no effect to historic properties of religious or cultural significance. Please respond via email at Andrea.L.Gievers@Rebuild.NC.gov or in writing to the address listed below.

Ms. Andrea Gievers
NCORR - Environmental
ATTN: THPO Comments
P.O. Box 110465
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Enclosures:

Attachment 1: Proposed Project Location and NRHP and NC HPOWEB Maps

Attachment 2: Proposed Project Site Plan

Attachment 3: Subject Property Photographs

cc: Chief Bill Harris, Catawba Indian Nation, 996 Avenue of the Nations, Rock Hill, SC 29730

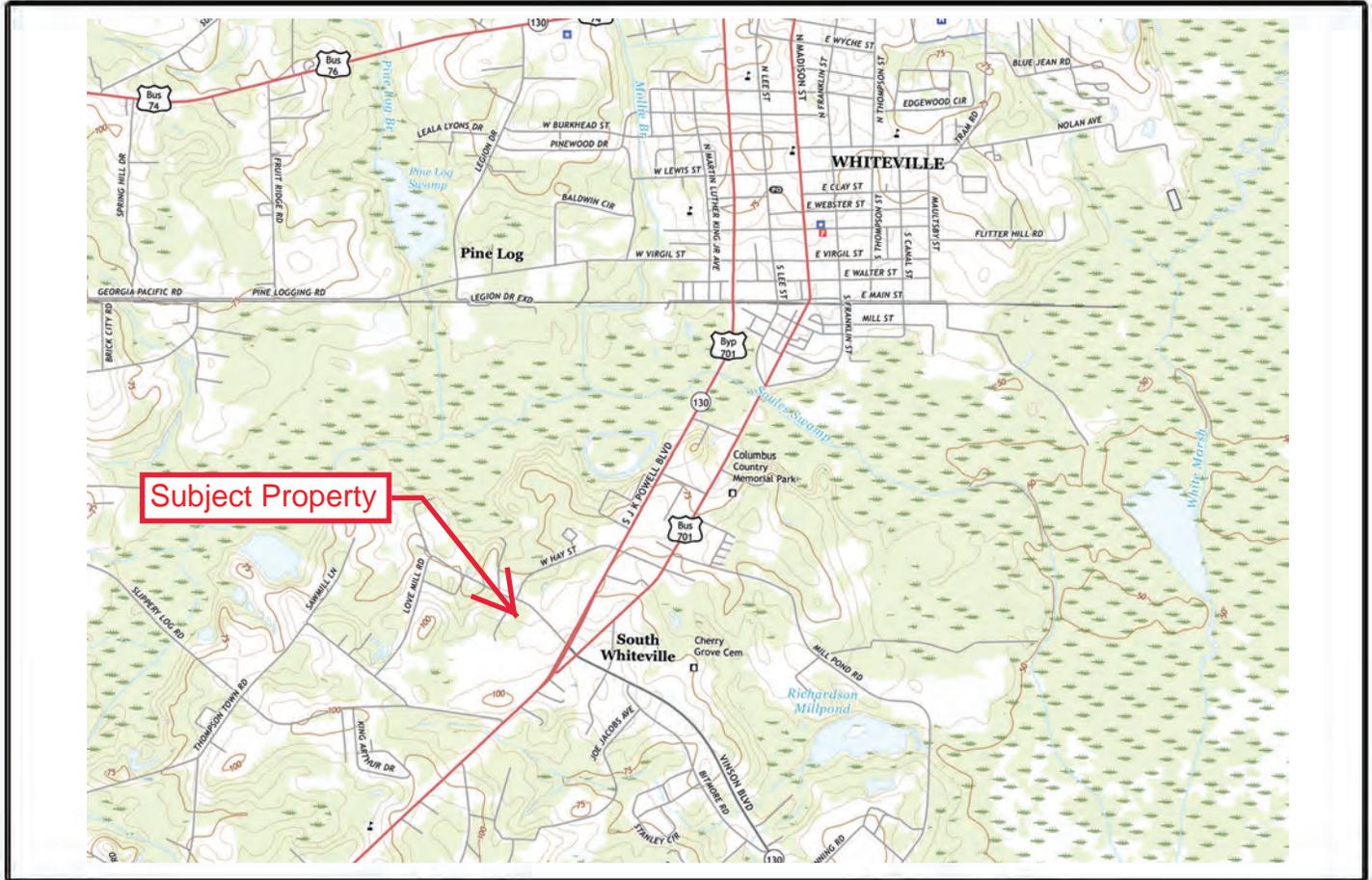
ATTACHMENT 1:

**Proposed Project Location,
NRHP, and NC HPOWEB Maps**

USGS TOPOGRAPHIC MAP

SITE: Love Mill Apartments

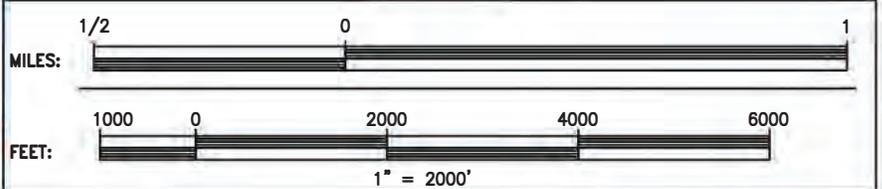
LOCATION: 181 W. Love Mill Rd., Whiteville, NC



USGS IDENTIFICATION

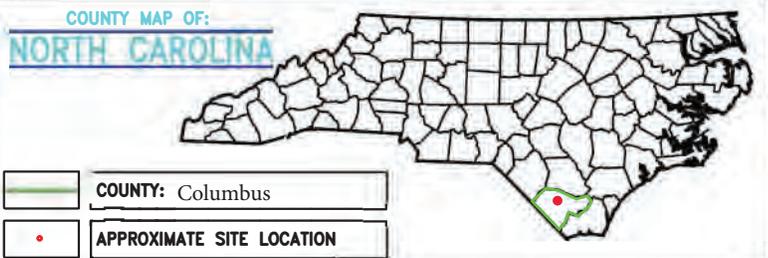
SCALES

USGS 7.5 MINUTE MAP	Whiteville, NC
ORIGINAL DATE:	2019
PHOTOREVISION DATE:	N/A



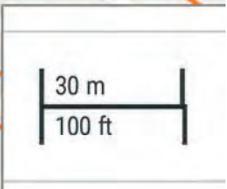
	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 20 FEET
 ► PHOTOREVISIONS DENOTED IN PURPLE

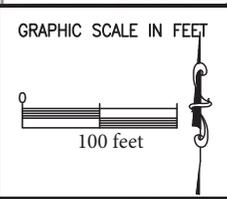


CLIENT: Flatiron Partners	SCALE: 1" = 2,000'	DRAWN BY: TC
PROJECT NAME: Love Mill Apts. - 181 W. Love Mill Rd.	DATE: 9/14/21	CHECK BY: RK
CITY: Whiteville STATE: North Carolina	JOB NO.: 2021-266	TYPE: PHASE I
TITLE: Topographic Map	DRAWING NAME: USGSTOPO	FIGURE NUMBER: 1

NOTES
TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON, VIRGINIA.
THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	TAX-ID	#5751 & 77993
CITY	Whiteville	STATE	North Carolina
TITLE	Tax Map	DWG	Tax-Map
		L-NO	2021-266
		FIGURE	2



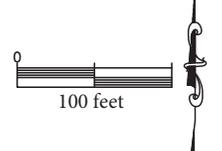


PYRAMID

ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	DATE	9/14/2021
CITY	Whiteville	STATE	North Carolina
TITLE	2020 Aerial Photograph	L-NO	2021-266
		FIGURE	Figure 3

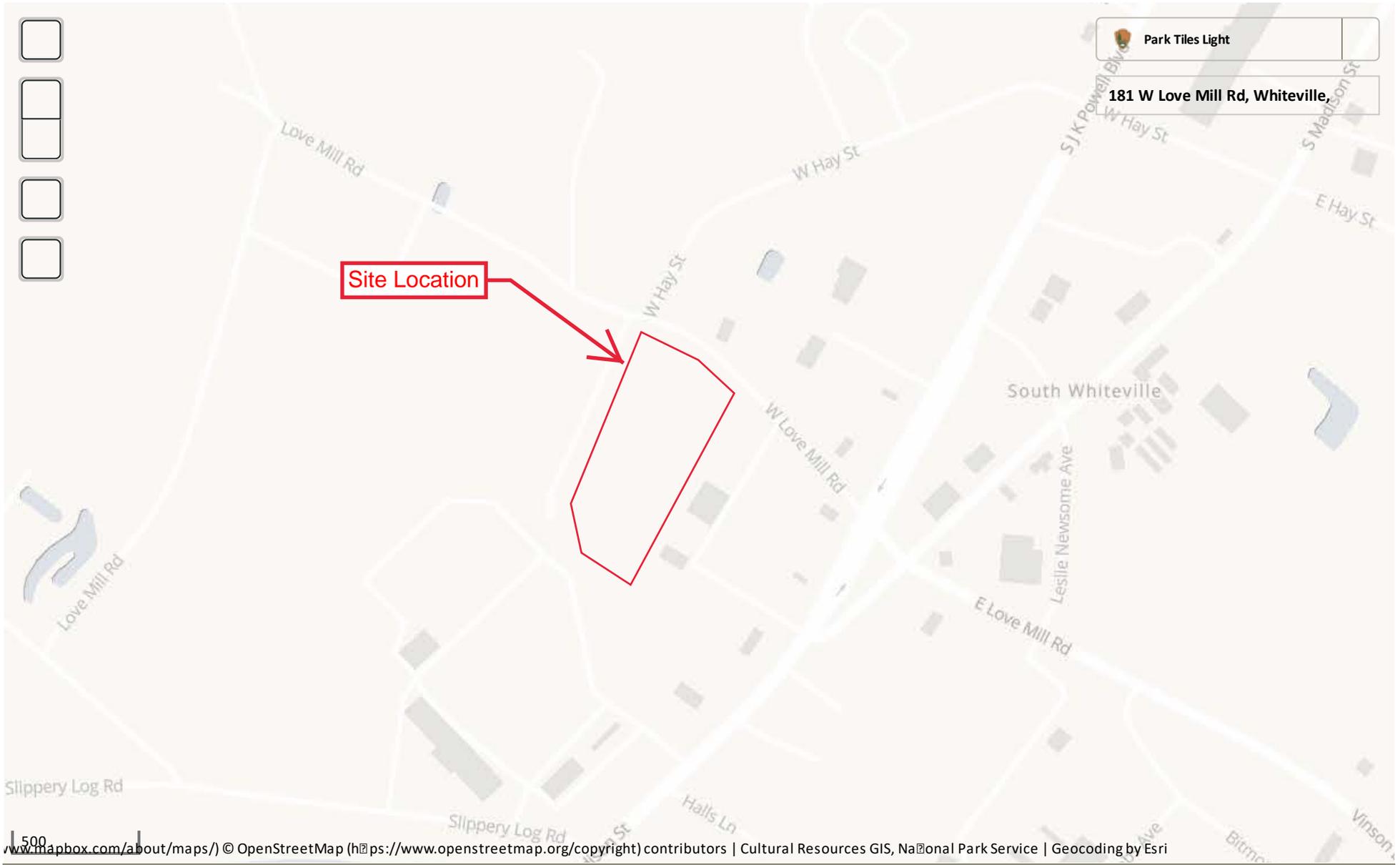
GRAPHIC SCALE IN FEET



National Register of Historic Places

National Park Service
U.S. Department of the Interior

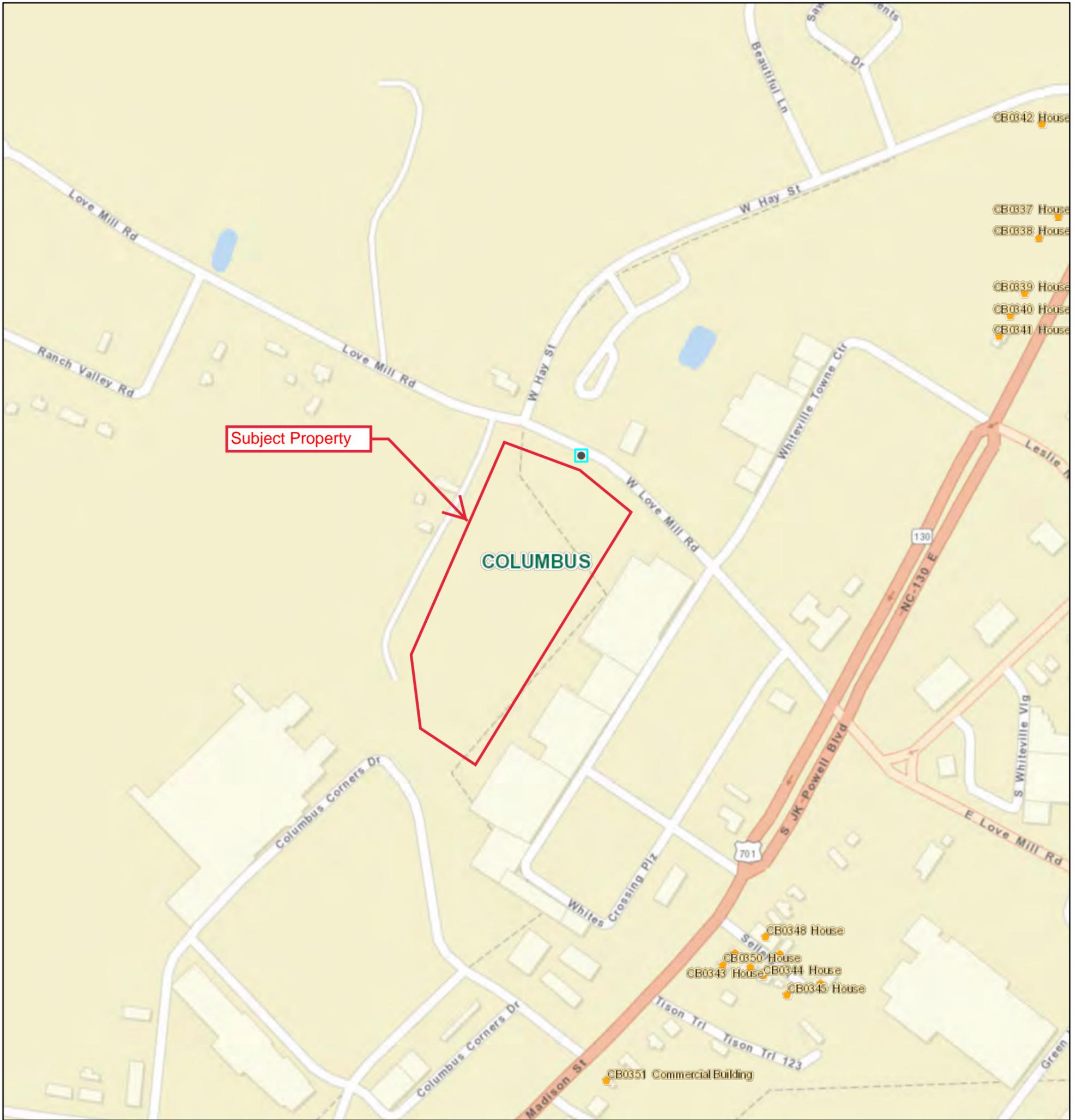
Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. L...



www.mapbox.com/about/maps/ | © OpenStreetMap (https://www.openstreetmap.org/copyright) contributors | Cultural Resources GIS, National Park Service | Geocoding by Esri

Home (https://www.nps.gov) | Frequently Asked Questions (https://www.nps.gov/faqs.htm) | Website Policies (https://www.nps.gov/aboutus/website-policies.htm)

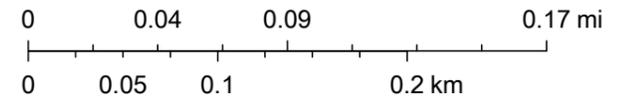
NCHPO HPOWEB



10/14/2021, 9:30:35 AM

1:4,514

- ⋯ Local districts & boundaries
- Local individual resources & centerpoints
 - Local Landmark
 - Local Landmark, Gone
 - ★ Local HD Center Point
- Surveyed Only individual resources & centerpoints
 - Surveyed Only
 - Surveyed in NRHD
 - Surveyed Only, Gone
 - Surveyed in NRHD, Gone
 - + Blockface- Multiple properties
 - + Blockface in NRHD
 - ★ Surveyed Area, No designation
 - ★ Surveyed Area in NHRD
- DOE districts & boundaries
 - Determined Eligible Boundary
- Both DOE and Study List Boundary
- DOE individual resources & centerpoints
 - ▲ Determined Eligible
 - ▲ DOE, Gone
 - ▲ SL and DOE
 - ▲ SL and DOE, Gone
 - ★ DOEHD Center Point
 - ★ SLDOEHD Center Point
- SL districts & boundaries
 - Study List Boundary
 - Both SL and Determined Eligible Boundary
- SL individual resources & centerpoints
 - SL Individual Entry
 - ▲ SL and DOE entry
 - Study List Entry, Gone
 - ▲ SL and DOE, Gone
- ★ SLHD Center Point
- ★ SLDOEHD Center Point
- NR districts & boundaries
 - National Register Boundary



State of North Carolina DOT, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

ATTACHMENT 2:

Proposed Project Site Plans

ATTACHMENT 3:

Subject Property Photographs



Photo 1. For sale sign off Love Mill Road frontage.



Photo 2. Love Mill Road – property on the left.



Photo 3. Across Love Mill Road facing subject property.



Photo 4. Property boundary on the northwest extent.



Photo 5. Wooded area on the northern portion of site.



Photo 6. Typical debris – cans and bottles.



Photo 7. Wood pallet near the center of the property.



Photo 8. Typical wooded area on the property.



Photo 9. Small pond located on the northeast section.



Photo 10. Another photo of the small pond.



Photo 11. Wooded area on the southern boundary facing east.



Photo 12. Facing north on the southern boundary of the subject property.



North Carolina Department of Public Safety

Office of Recovery and Resiliency

Roy Cooper, Governor
Eddie M. Buffaloe, Jr., Secretary

Laura H. Hogshead, Director

January 11, 2022

Chief Bill Harris
Catawba Indian Nation
996 Avenue of the Nations
Rock Hill, SC 29730

RE: Section 106 Review - HUD CDBG-DR Program
Proposed Love Mill Apartments
181 West Love Mill Road
Whiteville, NC 28472
Parcels #5751 & #77993

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Durham, NC 27709



Phone: (984) 833-5350
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NCORR - Environmental
ATTN: THPO Comments
P.O. Box 110465
Durham, NC 27709

If you have any questions or require additional information regarding this request, please feel free to contact Andrea Gievers at (845) 682-1700 or via email at Andrea.L.Gievers@Rebuild.NC.gov. Thank you for your time and assistance.

Sincerely,



Andrea Gievers, JD, MSEL, ERM
NCORR Environmental Subject Matter Expert

Enclosures:

- Attachment 1: Proposed Project Location and NRHP and NC HPOWEB Maps
- Attachment 2: Proposed Project Site Plan (12/3/21)
- Attachment 3: Subject Property Photographs

cc: Dr. Wenonah George Haire, THPO, Catawba Indian Nation, 1536 Tom Steven Road, Rock Hill, SC 29730

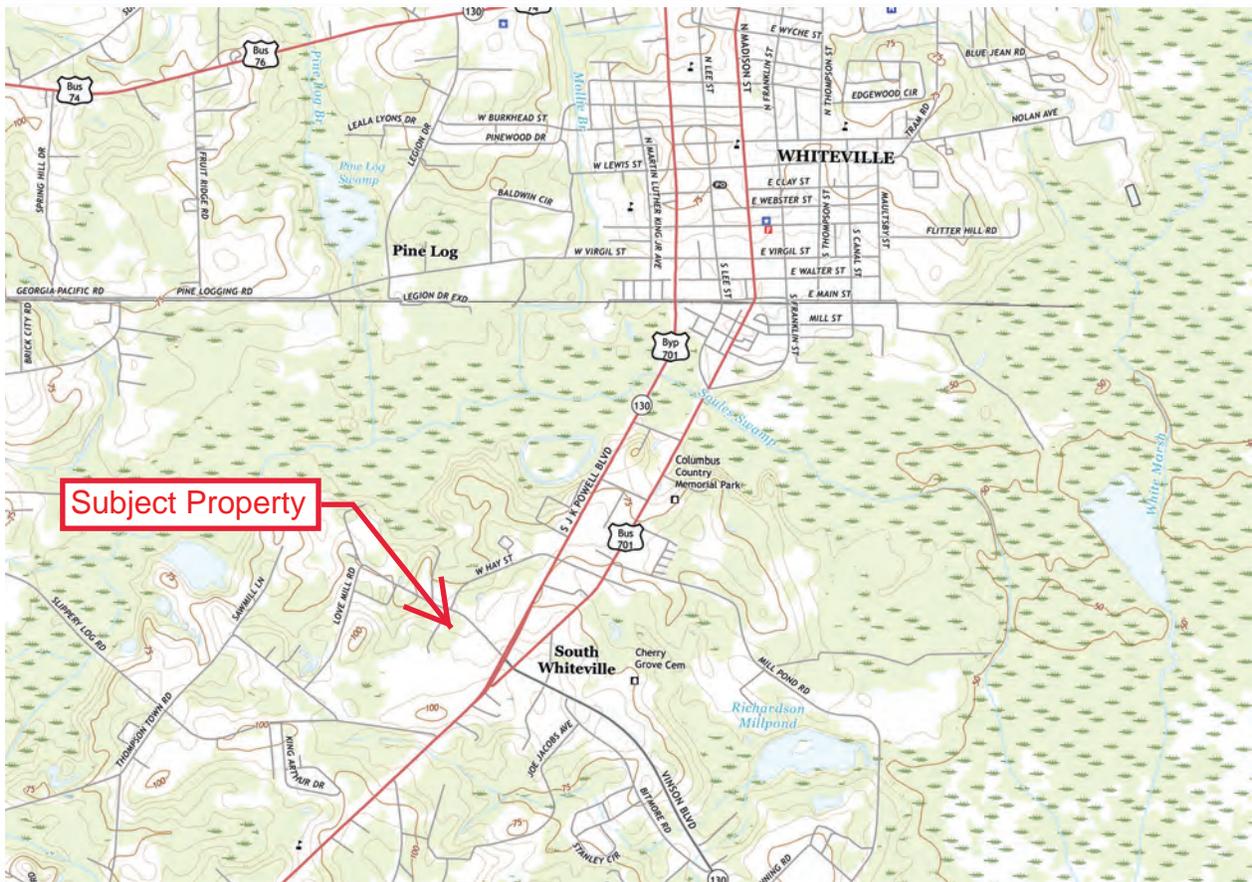
ATTACHMENT 1:

**Proposed Project Location,
NRHP, and NC HPOWEB Maps**

USGS TOPOGRAPHIC MAP

SITE: Love Mill Apartments

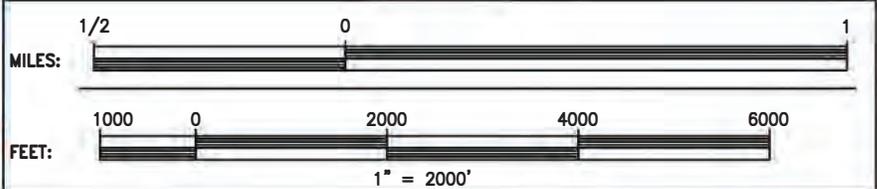
LOCATION: 181 W. Love Mill Rd., Whiteville, NC



USGS IDENTIFICATION

SCALES

USGS 7.5 MINUTE MAP	Whiteville, NC
ORIGINAL DATE:	2019
PHOTOREVISION DATE:	N/A



	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 20 FEET
 ► PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH

COUNTY MAP OF: NORTH CAROLINA

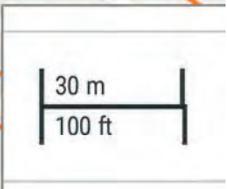
COUNTY: Columbus

APPROXIMATE SITE LOCATION

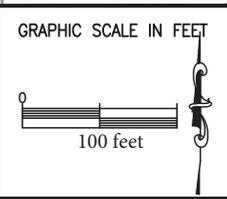
PYRAMID
 ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT: Flatiron Partners	SCALE: 1" = 2,000'	DRAWN BY: TC
PROJECT NAME: Love Mill Apts. - 181 W. Love Mill Rd.	DATE: 9/14/21	CHECK BY: RK
CITY: Whiteville STATE: North Carolina	DRAWING NAME: USGSTOPO	JOB NO.: 2021-266
TITLE: Topographic Map	FIGURE NUMBER: 1	TYPE: PHASE I

NOTES
TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON, VIRGINIA.
THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	TAX-ID	#5751 & 77993
CITY	Whiteville	STATE	North Carolina
TITLE	Tax Map	DWG	Tax-Map
		L-NO	2021-266
		FIGURE	2



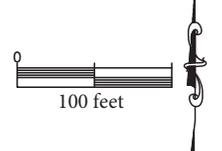


PYRAMID

ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	DATE	9/14/2021
CITY	Whiteville	STATE	North Carolina
TITLE	2020 Aerial Photograph	FIGURE	Figure 3

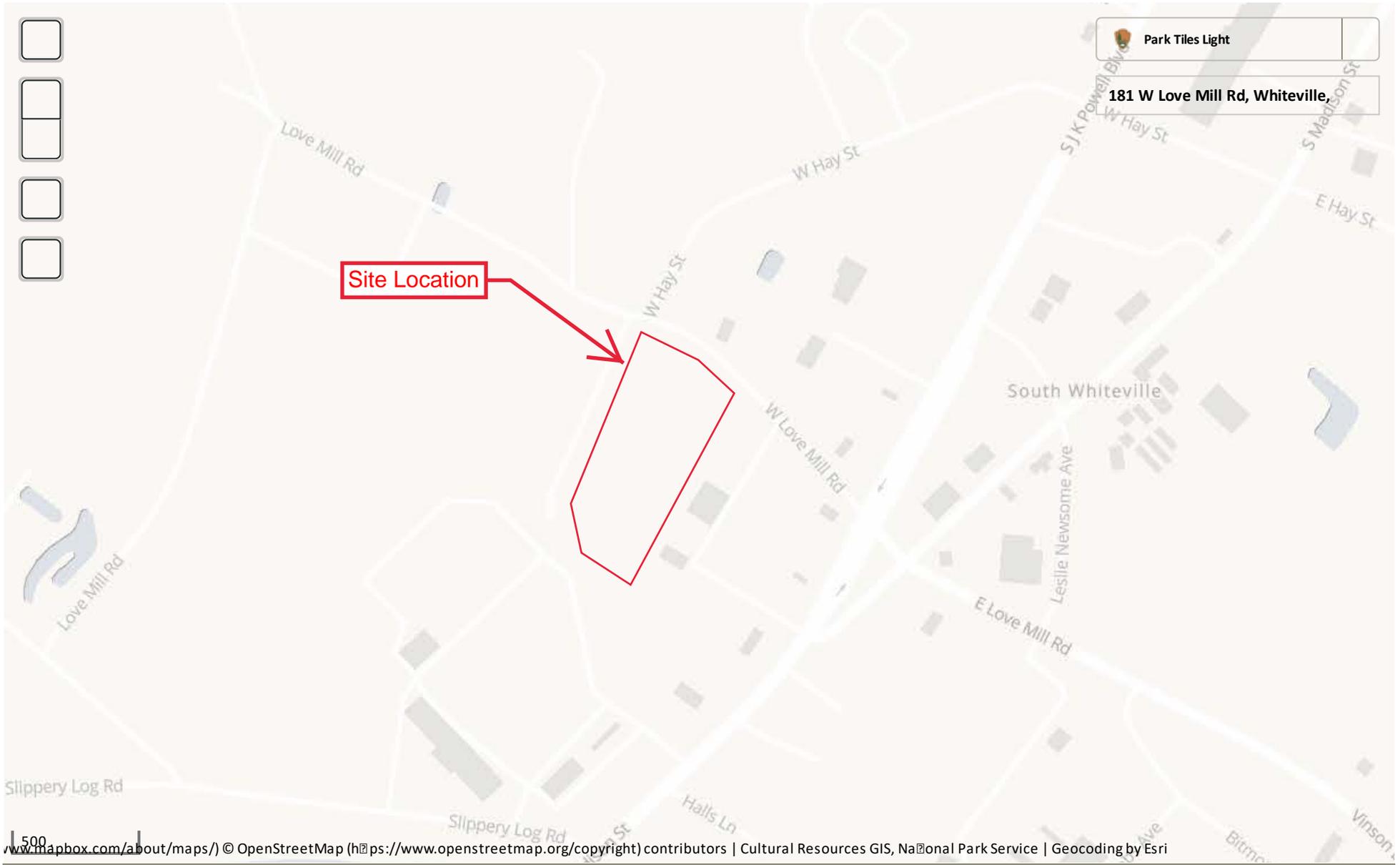
GRAPHIC SCALE IN FEET



National Register of Historic Places

National Park Service
U.S. Department of the Interior

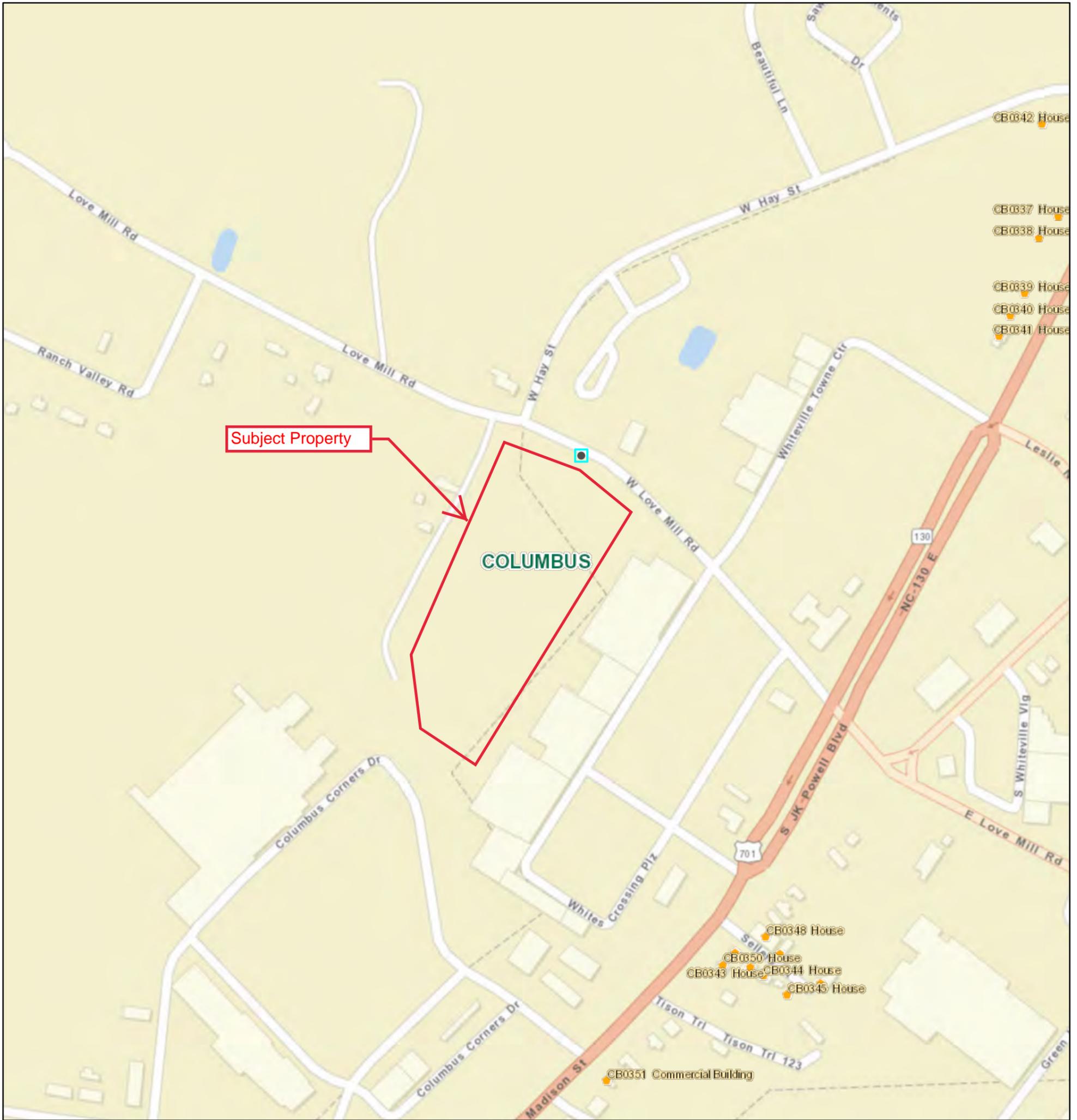
Public, non-restricted data depicting National Register spatial data processed by the Cultural Resources GIS facility. L...



www.mapbox.com/about/maps/ | © OpenStreetMap (https://www.openstreetmap.org/copyright) contributors | Cultural Resources GIS, National Park Service | Geocoding by Esri

Home (https://www.nps.gov) | Frequently Asked Questions (https://www.nps.gov/faqs.htm) | Website Policies (https://www.nps.gov/aboutus/website-policies.htm)

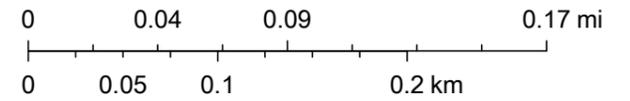
NCHPO HPOWEB



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- ⋯ Local districts & boundaries
- Local individual resources & centerpoints
 - Local Landmark
 - Local Landmark, Gone
 - ★ Local HD Center Point
- Surveyed Only individual resources & centerpoints
 - Surveyed Only
 - Surveyed in NRHD
 - Surveyed Only, Gone
 - Surveyed in NRHD, Gone
 - + Blockface- Multiple properties
 - + Blockface in NRHD
 - ★ Surveyed Area, No designation
 - ★ Surveyed Area in NHRD
- DOE districts & boundaries
 - Determined Eligible Boundary
- Both DOE and Study List Boundary
- DOE individual resources & centerpoints
 - ▲ Determined Eligible
 - ▲ DOE, Gone
 - ▲ SL and DOE
 - ▲ SL and DOE, Gone
 - ★ DOEHD Center Point
 - ★ SLDOEHD Center Point
- SL districts & boundaries
 - Study List Boundary
 - Both SL and Determined Eligible Boundary
- SL individual resources & centerpoints
 - SL Individual Entry
 - ▲ SL and DOE entry
 - Study List Entry, Gone
 - ▲ SL and DOE, Gone
- ★ SLHD Center Point
- ★ SLDOEHD Center Point
- NR districts & boundaries
 - National Register Boundary



State of North Carolina DOT, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

ATTACHMENT 2:

Proposed Project Site Plans

ATTACHMENT 3:

Subject Property Photographs



Photo 1. For sale sign off Love Mill Road frontage.



Photo 2. Love Mill Road – property on the left.



Photo 3. Across Love Mill Road facing subject property.



Photo 4. Property boundary on the northwest extent.

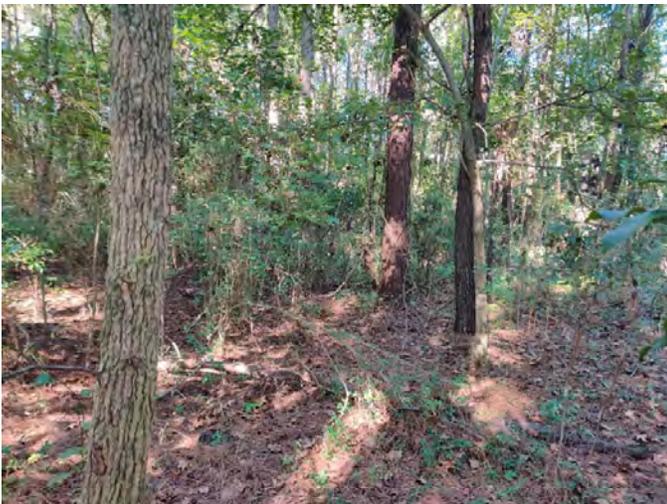


Photo 5. Wooded area on the northern portion of site.



Photo 6. Typical debris – cans and bottles.



Photo 7. Wood pallet near the center of the property.



Photo 8. Typical wooded area on the property.



Photo 9. Small pond located on the northeast section.



Photo 10. Another photo of the small pond.



Photo 11. Wooded area on the southern boundary facing east.



Photo 12. Facing north on the southern boundary of the subject property.

ATTACHMENT L

Noise Abatement and Control



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Noise (EA Level Reviews) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control>

1. What activities does your project involve? Check all that apply:

- New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

→ Continue to Question 2.

- Rehabilitation of an existing residential property

NOTE: For major or substantial rehabilitation in Normally Unacceptable zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. For major rehabilitation in Unacceptable zones, HUD strongly encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.

→ Continue to Question 2.

- None of the above

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

2. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000’ from a major road, 3000’ from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

- There are no noise generators found within the threshold distances above.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing the location of the project relative to any noise generators.

- Noise generators were found within the threshold distances.

→ Continue to Question 3.

3. Complete the Noise Assessment Guidelines to quantify the noise exposure. Indicate the findings of the Noise Assessment below:

- Acceptable (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Indicate noise level here: 52 decibels

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide noise analysis, including noise level and data used to complete the analysis.*

Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in 24 CFR 51.105(a))

Indicate noise level here: [Click here to enter text.](#)

If project is rehabilitation:

→ *Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.*

If project is new construction:

Is the project in a largely undeveloped area¹?

No

Yes → ***The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i).***

→ *Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.*

Unacceptable: (Above 75 decibels)

Indicate noise level here: [Click here to enter text.](#)

If project is rehabilitation:

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels. Consider converting this property to a non-residential use compatible with high noise levels.

→ *Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis, and any other relevant information.*

If project is new construction:

The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i). Work with HUD or the RE to either complete an EIS or obtain a waiver signed by the appropriate authority.

→ *Continue to Question 4.*

4. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Work with the RE/HUD on the development of the mitigation measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

Mitigation as follows will be implemented:

¹ A largely undeveloped area means the area within 2 miles of the project site is less than 50 percent developed with urban uses or does not have water and sewer capacity to serve the project.

→ Provide drawings, specifications, and other materials as needed to describe the project's noise mitigation measures.
Continue to the Worksheet Summary.

No mitigation is necessary.

Explain why mitigation will not be made here:

[Click here to enter text.](#)

→ Continue to the Worksheet Summary.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

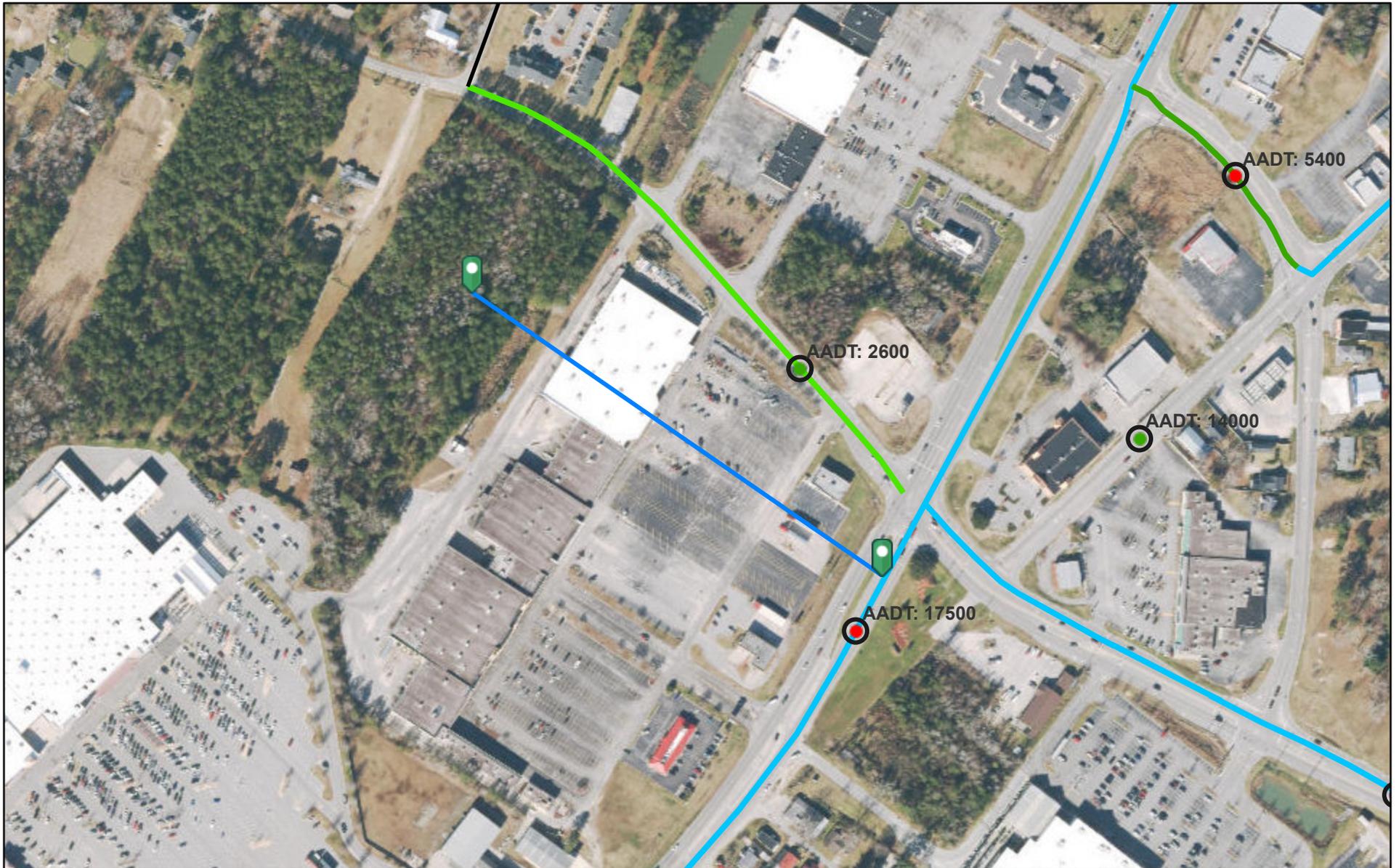
Based on the preliminary screening of the surrounding area of the proposed project site, no noise generators were discovered within the prescribed search distances set forth by HUD.

The research conducted by Pyramid did not reveal any noise sources within the prescribed search distances set forth by HUD that were required to be used in the noise calculations. No highways, railroads or airports are located within the respective designated radius of the subject property.

In addition, a U.S. Department of Transportation National Transportation Noise Map was generated, which shows that the proposed site location is outside the noise contours of the nearest airports.

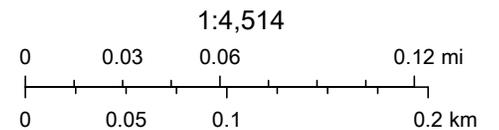
Based on the findings of the DNL calculations, no further consideration of noise is warranted since the levels are well below the acceptable DNL set forth by HUD. See attachments for Noise Abatement and Control documentation.

NCDOT AADT Station Map



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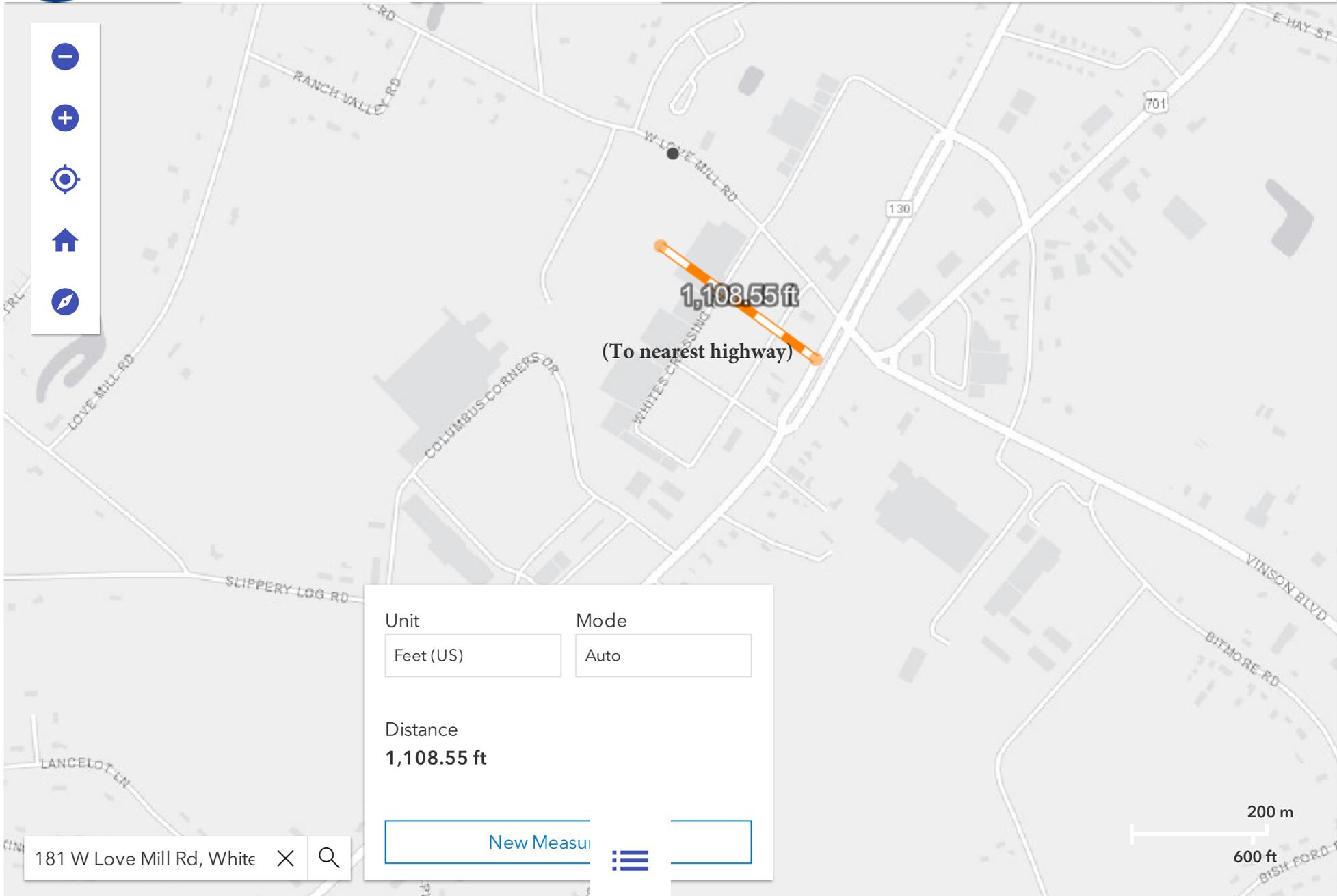
- Traffic Factors
- NCDOT_AADT_Stations
- US Routes
- NC Routes
- Secondary Routes



NC CGIA, Maxar



U.S. Department of Transportation FRA - Safety Map



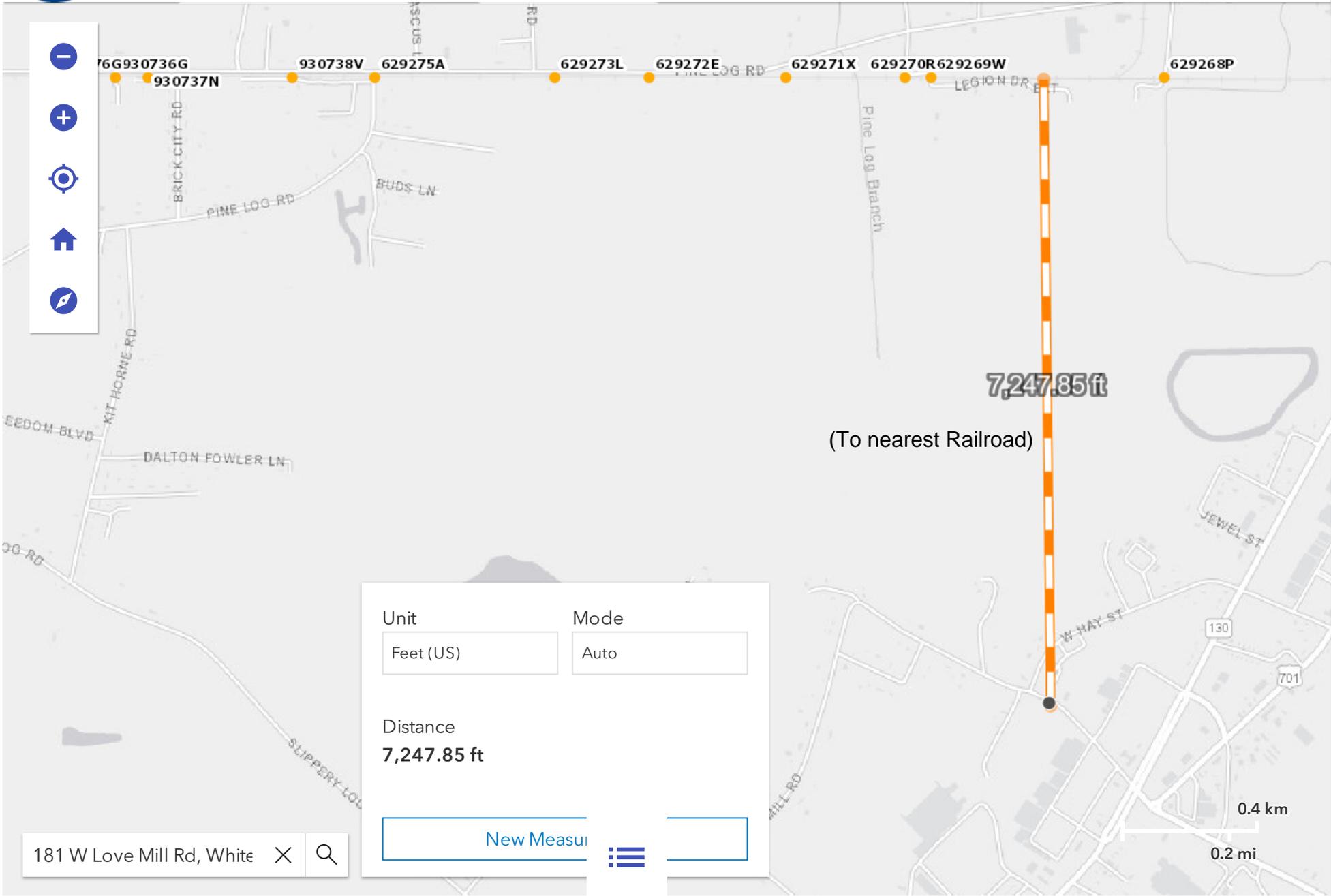
Unit	Mode
Feet (US)	Auto
Distance	
1,108.55 ft	
<input type="button" value="New Measure"/>	

181 W Love Mill Rd, White X Q





U.S. Department of Transportation FRA - Safety Map



Unit	Mode
Feet (US)	Auto
Distance	
7,247.85 ft	
<input type="button" value="New Measure"/>	



Measurement

| Feet

Measurement Result

1,105.9 Feet

Clear

Press CTRL to enable snapping

ATTACHMENT M

Sole Source Aquifers



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Sole Source Aquifers (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/sole-source-aquifers>

1. Is the project located on a sole source aquifer (SSA)¹?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination, such as a map of your project or jurisdiction in relation to the nearest SSA.*

Yes → *Continue to Question 2.*

2. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes → *The review is in compliance with this section. Continue to the Worksheet Summary below.*

No → *Continue to Question 3.*

3. Does your region have a memorandum of understanding (MOU) or other working agreement with EPA for HUD projects impacting a sole source aquifer?

Contact your Field or Regional Environmental Officer or visit the HUD webpage at the link above to determine if an MOU or agreement exists in your area.

Yes → *Continue to Question 4.*

No → *Continue to Question 5.*

4. Does your MOU or working agreement exclude your project from further review?

Yes → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination and document where your project fits within the MOU or agreement.*

No → *Continue to Question 5.*

5. Will the proposed project contaminate the aquifer and create a significant hazard to public health?

Consult with your Regional EPA Office. Your consultation request should include detailed information about your proposed project and its relationship to the aquifer and associated streamflow source area. EPA will also want to know about water, storm water and waste water at the proposed project. Follow

¹ A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

your MOU or working agreement or contact your Regional EPA office for specific information you may need to provide. EPA may request additional information if impacts to the aquifer are questionable after this information is submitted for review.

- No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide your correspondence with the EPA and all documents used to make your determination.*
- Yes → *The RE/HUD will work with EPA to develop mitigation measures. If mitigation measures are approved, attach correspondence with EPA and include the mitigation measures in your environmental review documents and project contracts. If EPA determines that the project continues to pose a significant risk to the aquifer, federal financial assistance must be denied. Continue to Question 6.*

Worksheet Summary

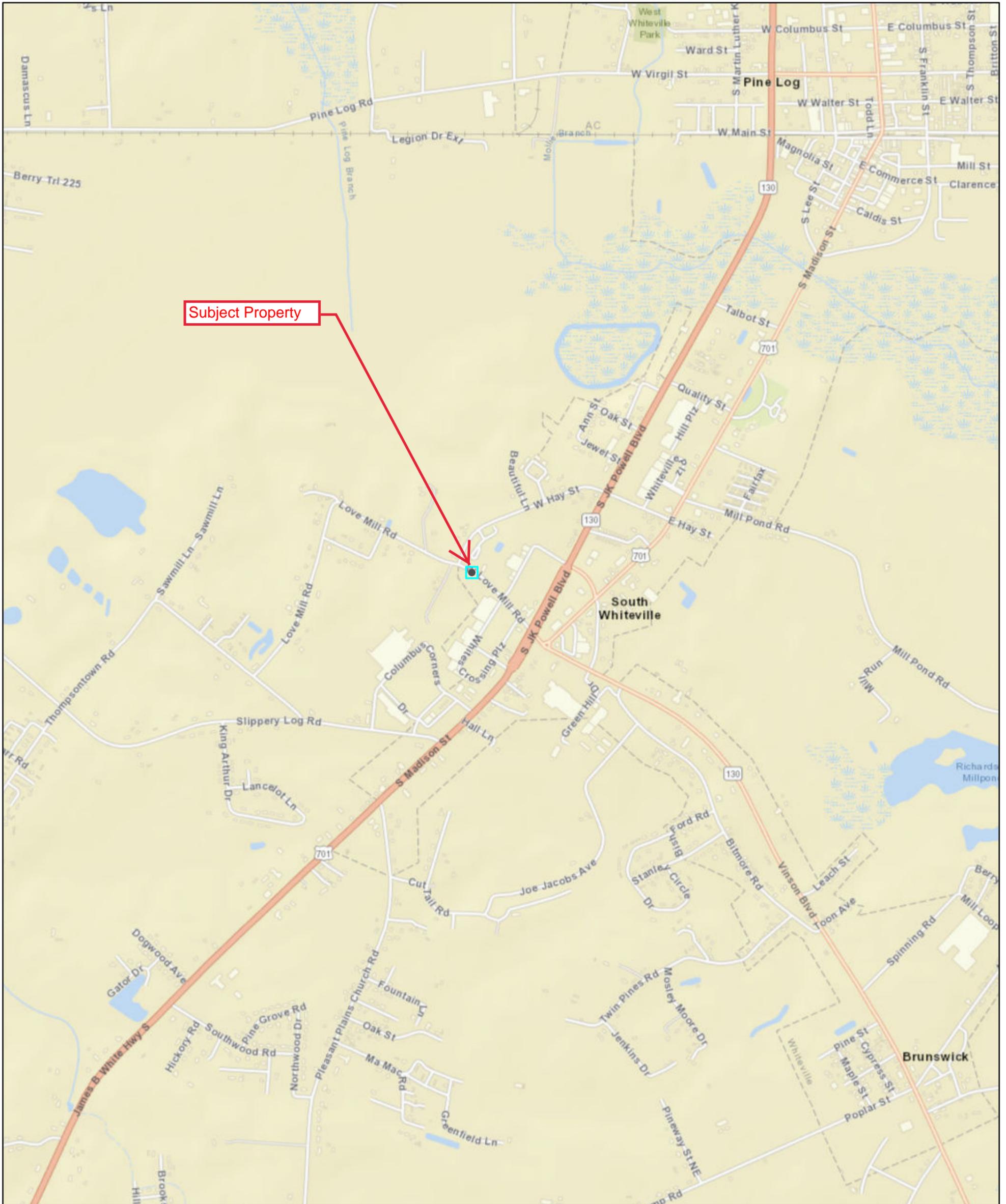
Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

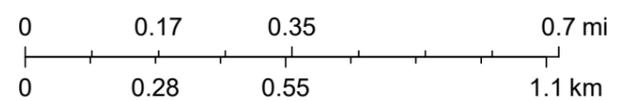
According to the EPA's Interactive Map of Sole Source Aquifers online (<https://www.epa.gov/dwssa/map-sole-source-aquifer-locations>), the proposed site is not located in an area served by a sole-source aquifer. A map generated using the interactive online map application is attached showing the proposed subject site in relation to the nearest sole source aquifer.

Sole Source Aquifer Map



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Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

ATTACHMENT N

Wetlands Protection



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Documentation of the 8-step Wetlands (CEST and EA) – Partner

<https://www.hudexchange.info/environmental-review/wetlands-protection>

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building’s footprint, or ground disturbance?

The term "new construction" includes draining, dredging, channelizing, filling, diking, impounding, and related activities and construction of any structures or facilities.

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Yes → *Continue to Question 2.*

2. Will the new construction or other ground disturbance impact a wetland as defined in E.O. 11990?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map or any other relevant documentation to explain your determination.*

Yes → *Work with HUD or the RE to assist with the 8-Step Process.* *Continue to Question 3.*

3. Does Section 55.12 state that the 8-Step Process is not required?

No, the 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD’s elevation requirements.

→ *Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.*

5-Step Process is applicable per 55.12(a).

Provide the applicable citation at 24 CFR 55.12(a) here.

[Click here to enter text.](#)

→ *Work with the RE/HUD to assist with the 5-Step Process. This project may require mitigation or alternations. Continue to Worksheet Summary.*

8-Step Process is inapplicable per 55.12(b).

Provide the applicable citation at 24 CFR 55.12(b) here.

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.

8-Step Process is inapplicable per 55.12(c).

Provide the applicable citation at 24 CFR 55.12(c) here.

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

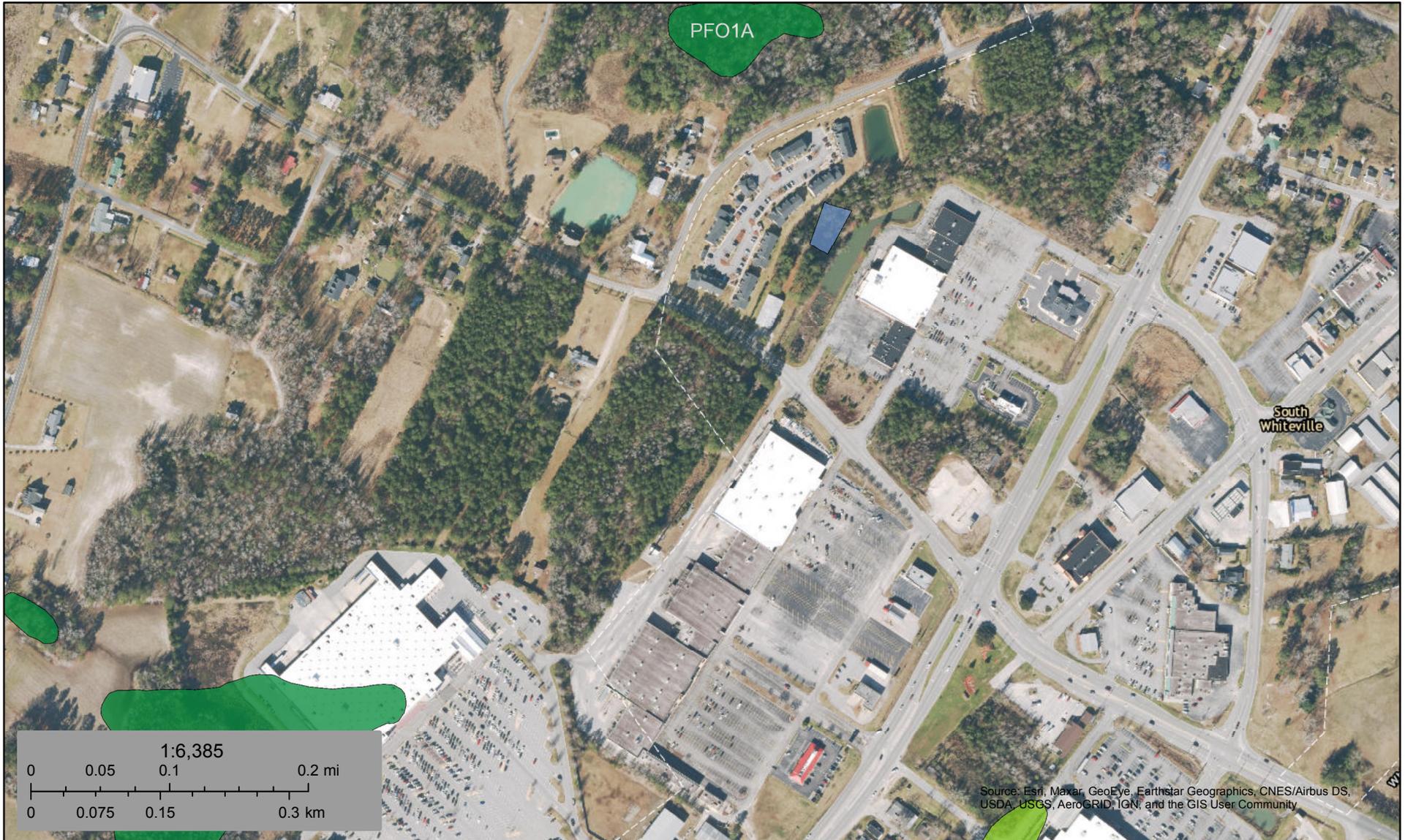
On February 18, 2022, a Jurisdiction Determination was issued by the United States Army Corps. of Engineers (USACE). The USACE made a determination that no wetlands are located on the subject property. According to Thomas Charles with the USACE, "There are no waters of the U.S., to include wetlands, present on the above-described project area which are subject to the permit requirements of Section 404 of the Clean Water Act (33 USC 1344). Unless there is a change in the law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification." The determination letter signed by Thomas Charles with the USACE is included.

Based on the National Wetlands Inventory (NWI) Map, curated by the U.S. Fish & Wildlife Service, there are no designated wetlands located on the proposed site.

According to a recent property survey completed by Anderson Surveying, the subject property does not show designated wetlands on the subject property.

Based on conditions observed at the site during the proposed Love Mill Apts. Phase I ESA project site inspection on October 6, 2021, the proposed site is located in a wooded area between two developed parcels. A dried intermittent tributary was observed during the site inspection. The USDA-NRCS Web Soil Survey report for the proposed site location indicates that the primary soil units at the site include Lynchburg fine sandy loam (LyA), 0 to 2 percent slopes, Southern Coastal Plain; Norfolk loamy fine sane (NoA), 0 to 2 percent slopes, Rains fine sandy loam (RaA), 0 to 2 percent slopes, Southern Coastal Plain, Wagram loamy fine sane, 0 to 6 percent slopes. All soil units are well-drained with a very high to medium run-off class, are not prone to flooding or pooling, and are classified as non-hydric.

The referenced wetlands maps, surveys and soil reports are included.



September 27, 2021

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
|  | Freshwater Pond |  | |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

U.S. ARMY CORPS OF ENGINEERS
WILMINGTON DISTRICT

Action Id. SAW-2021-02492 County: Columbus County U.S.G.S. Quad: Whiteville

NOTIFICATION OF JURISDICTIONAL DETERMINATION

Property Owner/Applicant: Fitch Irck Corporation
1515 Mockingbird Lane, Ste 1010
Address: Charlotte, NC, 28209

Telephone Number: 980-335-2042

Size (acres)	<u>6.33</u>	Nearest Town	<u>Whiteville</u>
Nearest Waterway	<u>Western Prong</u>	River Basin	<u>Lower Pee Dee</u>
USGS HUC	<u>03040206</u>	Coordinates	Latitude: <u>34.305619</u> Longitude: <u>-78.723714</u>

Location description: The project area is on 6.33 acres, Columbus County, North Carolina. Property #s 005751 & 077993.

Indicate Which of the Following Apply:

A. Preliminary Determination

- There are waters, including wetlands, on the above described project area that may be subject to Section 404 of the Clean Water Act (CWA)(33 USC § 1344) and/or Section 10 of the Rivers and Harbors Act (RHA) (33 USC § 403). The waters, including wetlands, have been delineated, and the delineation has been verified by the Corps to be sufficiently accurate and reliable. Therefore this preliminary jurisdiction determination may be used in the permit evaluation process, including determining compensatory mitigation. For purposes of computation of impacts, compensatory mitigation requirements, and other resource protection measures, a permit decision made on the basis of a preliminary JD will treat all waters and wetlands that would be affected in any way by the permitted activity on the site as if they are jurisdictional waters of the U.S. This preliminary determination is not an appealable action under the Regulatory Program Administrative Appeal Process (Reference 33 CFR Part 331). However, you may request an approved JD, which is an appealable action, by contacting the Corps district for further instruction.
- There are wetlands on the above described property, that may be subject to Section 404 of the Clean Water Act (CWA)(33 USC § 1344) and/or Section 10 of the Rivers and Harbors Act (RHA) (33 USC § 403). However, since the waters, including wetlands, have not been properly delineated, this preliminary jurisdiction determination may not be used in the permit evaluation process. Without a verified wetland delineation, this preliminary determination is merely an effective presumption of CWA/RHA jurisdiction over all of the waters, including wetlands, at the project area, which is not sufficiently accurate and reliable to support an enforceable permit decision. We recommend that you have the waters of the U.S. on your property delineated. As the Corps may not be able to accomplish this wetland delineation in a timely manner, you may wish to obtain a consultant to conduct a delineation that can be verified by the Corps.

B. Approved Determination

- There are Navigable Waters of the United States within the above described property subject to the permit requirements of Section 10 of the Rivers and Harbors Act (RHA) (33 USC § 403) and Section 404 of the Clean Water Act (CWA)(33 USC § 1344). Unless there is a change in law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.
- There are waters of the U.S., including wetlands, on the above described project area subject to the permit requirements of Section 404 of the Clean Water Act (CWA)(33 USC § 1344). Unless there is a change in the law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.
- We recommend you have the waters of the U.S. on your property delineated. As the Corps may not be able to accomplish this wetland delineation in a timely manner, you may wish to obtain a consultant to conduct a delineation that can be verified by the Corps.

SAW-2021-02492

The waters of the U.S., including wetlands, on your project area have been delineated and the delineation has been verified by the Corps. We strongly suggest you have this delineation surveyed. Upon completion, this survey should be reviewed and verified by the Corps. Once verified, this survey will provide an accurate depiction of all areas subject to CWA jurisdiction on your property which, provided there is no change in the law or our published regulations, may be relied upon for a period not to exceed five years.

The waters of the U.S., including wetlands, have been delineated and surveyed and are accurately depicted on the plat signed by the Corps Regulatory Official identified below on _____. Unless there is a change in the law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.

There are no waters of the U.S., to include wetlands, present on the above described project area which are subject to the permit requirements of Section 404 of the Clean Water Act (33 USC 1344). Unless there is a change in the law or our published regulations, this determination may be relied upon for a period not to exceed five years from the date of this notification.

The property is located in one of the 20 Coastal Counties subject to regulation under the Coastal Area Management Act (CAMA). You should contact the Division of Coastal Management in Morehead City, NC, at (252) 808-2808 to determine their requirements.

Placement of dredged or fill material within waters of the US, including wetlands, without a Department of the Army permit may constitute a violation of Section 301 of the Clean Water Act (33 USC § 1311). Placement of dredged or fill material, construction or placement of structures, or work within navigable waters of the United States without a Department of the Army permit may constitute a violation of Sections 9 and/or 10 of the Rivers and Harbors Act (33 USC § 401 and/or 403). If you have any questions regarding this determination and/or the Corps regulatory program, please contact **Thomas Charles at (910) 251-4101 or thomas.p.charles@usace.army.mil**.

C. Basis For Determination: See attached Approved JD forms.

D. Remarks: NPR

E. Attention USDA Program Participants

The delineation included herein has been conducted to identify the location and extent of the aquatic resource boundaries and/or the jurisdictional status of aquatic resources for purposes of the Clean Water Act for the particular site identified in this request. This delineation and/or jurisdictional determination may not be valid for the Wetland Conservation Provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should discuss the applicability of a certified wetland determination with the local USDA service center, prior to starting work.

F. Appeals Information for Approved Jurisdiction Determinations (as indicated in Section B. above)

If you object to this determination, you may request an administrative appeal under Corps regulations at 33 CFR Part 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination you must submit a completed RFA form to the following address:

US Army Corps of Engineers
South Atlantic Division
Attn: Mr. Philip A. Shannin
Administrative Appeal Review Officer
60 Forsyth Street SW, Floor M9
Atlanta, Georgia 30303-8803

AND

PHILIP.A.SHANNIN@USACE.ARMY.MIL

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR part 331.5, and that it has been received by the Division Office within 60 days of the date of the NAP. Should you decide to submit an RFA form, it must be received at the above address by _____.

It is not necessary to submit an RFA form to the Division Office if you do not object to the determination in this correspondence.

Corps Regulatory Official: _____

SAW-2021-02492

Date: February 18, 2022 Expiration Date: 2/18/2027

The Wilmington District is committed to providing the highest level of support to the public. To help us ensure we continue to do so, please complete our Customer Satisfaction Survey, located online at http://corpsmapu.usace.army.mil/cm_apex/f?p=136:4:0.

Copy Furnished:

Red Bay Environmental
John W Scott
720 Hawksbill Court
Mount Pleasant, SC, 29464

NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL

Applicant: Fitch Irick Corporation	File Number: SAW-2021-02492	Date: February 18, 2022
Attached is:	See Section below	
<input type="checkbox"/> INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A	
<input type="checkbox"/> PROFFERED PERMIT (Standard Permit or Letter of permission)	B	
<input type="checkbox"/> PERMIT DENIAL	C	
<input checked="" type="checkbox"/> APPROVED JURISDICTIONAL DETERMINATION	D	
<input type="checkbox"/> PRELIMINARY JURISDICTIONAL DETERMINATION	E	

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits.aspx> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:
District Engineer, Wilmington Regulatory Division,
Attn: Thomas Charles

If you only have questions regarding the appeal process you may also contact:
US Army Corps of Engineers
South Atlantic Division
Attn: Mr. Philip A. Shannin
Administrative Appeal Review Officer
60 Forsyth Street SW, Floor M9
Atlanta, Georgia 30303-8803
PHILIP.A.SHANNIN@USACE.ARMY.MIL

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

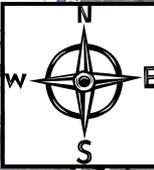
_____ Signature of appellant or agent.	Date:	Telephone number:
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For appeals on Initial Proffered Permits send this form to:

District Engineer, Wilmington Regulatory Division, Attn: Thomas Charles, 69 Darlington Avenue, Wilmington, North Carolina 28403

For Permit denials, Proffered Permits and approved Jurisdictional Determinations send this form to:

Division Engineer, Commander, U.S. Army Engineer Division, South Atlantic, Attn: Mr. Philip Shannin, Administrative Appeal Officer, CESAD-PDO, 60 Forsyth Street, Room 10M15, Atlanta, Georgia 30303-8801
Phone: (404) 562-5137, PHILIP.A.SHANNIN@USACE.ARMY.MIL



PROJECT SITE
(Comprised entirely of
uplands)

UPLAND

AERIAL EXHIBIT
Love Mill Apartments - 6.33 Acre Project Area
Property # 005751 & 077993
Whiteville, Columbus County, North Carolina





United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Columbus County, North Carolina



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 720-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD). USDA is an equal opportunity provider and employer.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

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scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

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identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

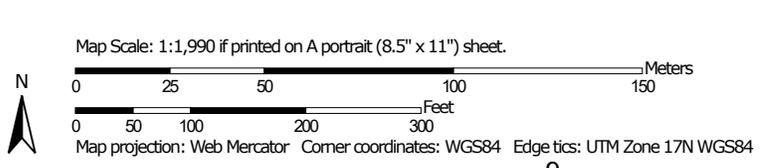
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Columbus County, North Carolina
 Survey Area Data: Version 22, Jun 2, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Sep 30, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
LyA	Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	3.6	42.9%
NoA	Norfolk loamy fine sand, 0 to 2 percent slopes	1.2	14.8%
RaA	Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	0.5	6.5%
WaB	Wagram loamy fine sand, 0 to 6 percent slopes	3.0	35.9%
Totals for Area of Interest		8.4	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

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The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Columbus County, North Carolina

LyA—Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2vx8m
Elevation: 20 to 200 feet
Mean annual precipitation: 40 to 55 inches
Mean annual air temperature: 64 to 70 degrees F
Frost-free period: 200 to 280 days
Farmland classification: Prime farmland if drained

Map Unit Composition

Lynchburg and similar soils: 82 percent
Minor components: 18 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Lynchburg

Setting

Landform: Marine terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam
Bt - 8 to 50 inches: sandy clay loam
Btg - 50 to 68 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 6 to 18 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Low (about 4.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2w
Hydrologic Soil Group: B/D
Hydric soil rating: No

Minor Components

Goldsboro

Percent of map unit: 8 percent
Landform: Flats on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Linear

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Across-slope shape: Linear
Hydric soil rating: No

Rains, drained

Percent of map unit: 5 percent
Landform: Carolina bays on marine terraces, flats on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Dip, talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: Yes

Rains, undrained

Percent of map unit: 5 percent
Landform: Carolina bays on marine terraces, broad interstream divides on marine terraces, flats on marine terraces
Landform position (three-dimensional): Dip, talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: Yes

NoA—Norfolk loamy fine sand, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 3wby
Elevation: 80 to 330 feet
Mean annual precipitation: 38 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 210 to 265 days
Farmland classification: All areas are prime farmland

Map Unit Composition

Norfolk and similar soils: 85 percent
Minor components: 5 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Norfolk

Setting

Landform: Broad interstream divides on marine terraces, flats on marine terraces
Landform position (two-dimensional): Summit, shoulder
Landform position (three-dimensional): Crest
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 9 inches: loamy sand
E - 9 to 14 inches: loamy sand
Bt - 14 to 70 inches: sandy clay loam
C - 70 to 100 inches: sandy clay loam

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Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 40 to 72 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 7.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 1
Hydrologic Soil Group: A
Hydric soil rating: No

Minor Components

Rains, undrained

Percent of map unit: 5 percent
Landform: Flats on marine terraces, carolina bays on marine terraces, broad interstream divides on marine terraces
Landform position (two-dimensional): Summit
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: Yes

RaA—Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain

Map Unit Setting

National map unit symbol: 2v75b
Elevation: 30 to 330 feet
Mean annual precipitation: 40 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 200 to 280 days
Farmland classification: Prime farmland if drained

Map Unit Composition

Rains, undrained, and similar soils: 70 percent
Rains, drained, and similar soils: 16 percent
Minor components: 14 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Rains, Undrained

Setting

Landform: Flats on marine terraces, carolina bays on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Dip, talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

A - 0 to 8 inches: fine sandy loam
Eg - 8 to 13 inches: fine sandy loam
Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 0 to 12 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: High (about 9.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: B/D
Hydric soil rating: Yes

Description of Rains, Drained

Setting

Landform: Flats on marine terraces, carolina bays on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Dip, talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy marine deposits

Typical profile

Ap - 0 to 8 inches: fine sandy loam
Eg - 8 to 13 inches: fine sandy loam
Btg - 13 to 72 inches: sandy clay loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: About 24 to 36 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: High (about 9.7 inches)

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Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 3w
Hydrologic Soil Group: B/D
Hydric soil rating: Yes

Minor Components

Lynchburg

Percent of map unit: 8 percent
Landform: Flats on marine terraces, broad interstream divides on marine terraces
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Pantego, ponded

Percent of map unit: 6 percent
Landform: Flats, broad interstream divides
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Concave
Hydric soil rating: Yes

WaB—Wagram loamy fine sand, 0 to 6 percent slopes

Map Unit Setting

National map unit symbol: 3wcd
Elevation: 20 to 160 feet
Mean annual precipitation: 40 to 55 inches
Mean annual air temperature: 59 to 70 degrees F
Frost-free period: 200 to 280 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Wagram and similar soils: 75 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wagram

Setting

Landform: Broad interstream divides on marine terraces, ridges on marine terraces
Landform position (two-dimensional): Shoulder, summit
Landform position (three-dimensional): Crest
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy marine deposits

Custom Soil Resource Report

Typical profile

Ap - 0 to 8 inches: loamy fine sand
E - 8 to 24 inches: loamy fine sand
Bt - 24 to 75 inches: sandy clay loam
BC - 75 to 83 inches: sandy loam

Properties and qualities

Slope: 0 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high
(0.57 to 1.98 in/hr)
Depth to water table: About 60 to 80 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Moderate (about 6.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2s
Hydrologic Soil Group: A
Hydric soil rating: No

Soil Information for All Uses

Soil Reports

The Soil Reports section includes various formatted tabular and narrative reports (tables) containing data for each selected soil map unit and each component of each unit. No aggregation of data has occurred as is done in reports in the Soil Properties and Qualities and Suitabilities and Limitations sections.

The reports contain soil interpretive information as well as basic soil properties and qualities. A description of each report (table) is included.

Land Classifications

This folder contains a collection of tabular reports that present a variety of soil groupings. The reports (tables) include all selected map units and components for each map unit. Land classifications are specified land use and management groupings that are assigned to soil areas because combinations of soil have similar behavior for specified practices. Most are based on soil properties and other factors that directly influence the specific use of the soil. Example classifications include ecological site classification, farmland classification, irrigated and nonirrigated land capability classification, and hydric rating.

Prime and other Important Farmlands

This table lists the map units in the survey area that are considered important farmlands. Important farmlands consist of prime farmland, unique farmland, and farmland of statewide or local importance. This list does not constitute a recommendation for a particular land use.

In an effort to identify the extent and location of important farmlands, the Natural Resources Conservation Service, in cooperation with other interested Federal, State, and local government organizations, has inventoried land that can be used for the production of the Nation's food supply.

Prime farmland is of major importance in meeting the Nation's short- and long-range needs for food and fiber. Because the supply of high-quality farmland is limited, the U.S. Department of Agriculture recognizes that responsible levels of government, as well as individuals, should encourage and facilitate the wise use of our Nation's prime farmland.

Custom Soil Resource Report

Prime farmland, as defined by the U.S. Department of Agriculture, is land that has the best combination of physical and chemical characteristics for producing food, feed, forage, fiber, and oilseed crops and is available for these uses. It could be cultivated land, pastureland, forestland, or other land, but it is not urban or built-up land or water areas. The soil quality, growing season, and moisture supply are those needed for the soil to economically produce sustained high yields of crops when proper management, including water management, and acceptable farming methods are applied. In general, prime farmland has an adequate and dependable supply of moisture from precipitation or irrigation, a favorable temperature and growing season, acceptable acidity or alkalinity, an acceptable salt and sodium content, and few or no rocks. The water supply is dependable and of adequate quality. Prime farmland is permeable to water and air. It is not excessively erodible or saturated with water for long periods, and it either is not frequently flooded during the growing season or is protected from flooding. Slope ranges mainly from 0 to 6 percent. More detailed information about the criteria for prime farmland is available at the local office of the Natural Resources Conservation Service.

For some of the soils identified in the table as prime farmland, measures that overcome a hazard or limitation, such as flooding, wetness, and droughtiness, are needed. Onsite evaluation is needed to determine whether or not the hazard or limitation has been overcome by corrective measures.

A recent trend in land use in some areas has been the loss of some prime farmland to industrial and urban uses. The loss of prime farmland to other uses puts pressure on marginal lands, which generally are more erodible, droughty, and less productive and cannot be easily cultivated.

Unique farmland is land other than prime farmland that is used for the production of specific high-value food and fiber crops, such as citrus, tree nuts, olives, cranberries, and other fruits and vegetables. It has the special combination of soil quality, growing season, moisture supply, temperature, humidity, air drainage, elevation, and aspect needed for the soil to economically produce sustainable high yields of these crops when properly managed. The water supply is dependable and of adequate quality. Nearness to markets is an additional consideration. Unique farmland is not based on national criteria. It commonly is in areas where there is a special microclimate, such as the wine country in California.

In some areas, land that does not meet the criteria for prime or unique farmland is considered to be *farmland of statewide importance* for the production of food, feed, fiber, forage, and oilseed crops. The criteria for defining and delineating farmland of statewide importance are determined by the appropriate State agencies. Generally, this land includes areas of soils that nearly meet the requirements for prime farmland and that economically produce high yields of crops when treated and managed according to acceptable farming methods. Some areas may produce as high a yield as prime farmland if conditions are favorable. Farmland of statewide importance may include tracts of land that have been designated for agriculture by State law.

In some areas that are not identified as having national or statewide importance, land is considered to be *farmland of local importance* for the production of food, feed, fiber, forage, and oilseed crops. This farmland is identified by the appropriate local agencies. Farmland of local importance may include tracts of land that have been designated for agriculture by local ordinance.

Report—Prime and other Important Farmlands

Custom Soil Resource Report

Prime and other Important Farmlands—Columbus County, North Carolina		
Map Symbol	Map Unit Name	Farmland Classification
LyA	Lynchburg fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	Prime farmland if drained
NoA	Norfolk loamy fine sand, 0 to 2 percent slopes	All areas are prime farmland
RaA	Rains fine sandy loam, 0 to 2 percent slopes, Southern Coastal Plain	Prime farmland if drained
WaB	Wagram loamy fine sand, 0 to 6 percent slopes	Farmland of statewide importance

References

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- United States Department of Agriculture, Natural Resources Conservation Service. National forestry manual. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/home/?cid=nrcs142p2_053374
- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>

Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242

United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624

United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf

ATTACHMENT O

Wild and Scenic Rivers Act



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Wild and Scenic Rivers (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/wild-and-scenic-rivers>

1. Is your project within proximity of a Wild and Scenic River, Study River, or Nationwide Rivers Inventory River?

No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation used to make your determination.*

Yes → *Continue to Question 2.*

2. Could the project do *any* of the following?

- Have a direct and adverse effect within Wild and Scenic River Boundaries,
- Invade the area or unreasonably diminish the river outside Wild and Scenic River Boundaries, or
- Have an adverse effect on the natural, cultural, and/or recreational values of a NRI segment.

Consult with the appropriate federal/state/local/tribal Managing Agency(s), pursuant to Section 7 of the Act, to determine if the proposed project may have an adverse effect on a Wild & Scenic River or a Study River and, if so, to determine the appropriate avoidance or mitigation measures.

Select one:

The Managing Agency has concurred that the proposed project will not alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide documentation of the consultation (including the Managing Agency’s concurrence) and any other documentation used to make your determination.*

The Managing Agency was consulted and the proposed project may alter, directly, or indirectly, any of the characteristics that qualifies or potentially qualifies the river for inclusion in the NWSRS.

→ *The RE/HUD must work with the Managing Agency to identify mitigation measures to mitigate the impact or effect of the project on the river.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

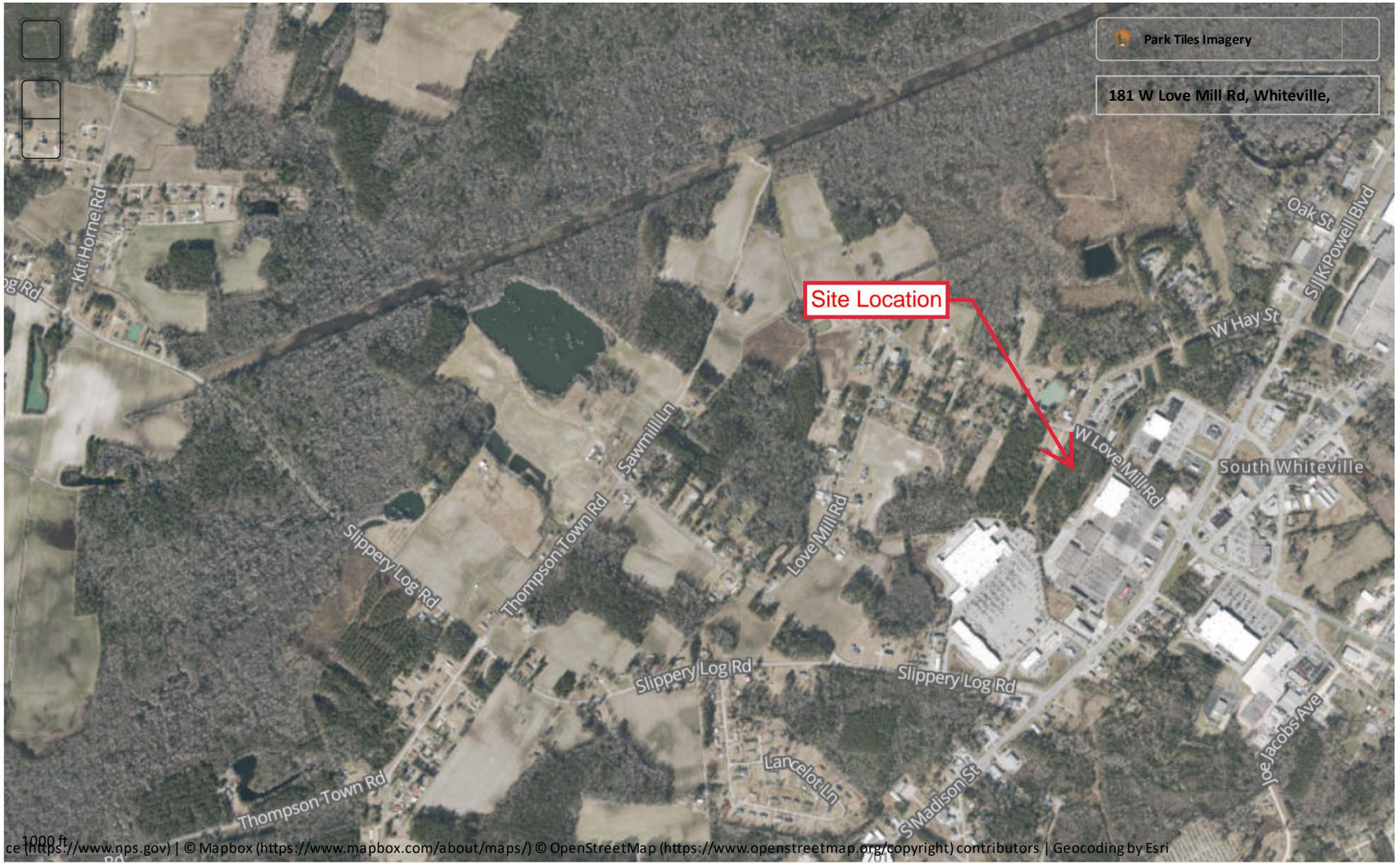
Include all documentation supporting your findings in your submission to HUD.

A map generated using the National Park Service – Wild and Scenic Rivers Program Interactive Map (<https://www.nps.gov/orgs/1912/plan-your-visit.htm>) indicates that there are no designated wild and scenic rivers in the project area. The Department of Interior (DOI) Nationwide Rivers Inventory Map, generated using the NEPAAssist online assessment tool (<https://www.epa.gov/nepa/nepassist>), indicates that there are no DOI classified rivers in the project area that possess one or more remarkable values. A Scenic Rivers Map generated using the <https://www.rivers.gov/river-app/index.html?state=NC>) indicates that the proposed site is not located near a Designated Scenic River. No Wild and Scenic Rivers, Study Rivers, or Nationwide Rivers Inventory Rivers are anticipated to be impacted by the proposed project. Copies of the referenced NPS Wild and Scenic Rivers Program map, DOI Nationwide Rivers Inventory Map and NEPA Assist Map are attached.

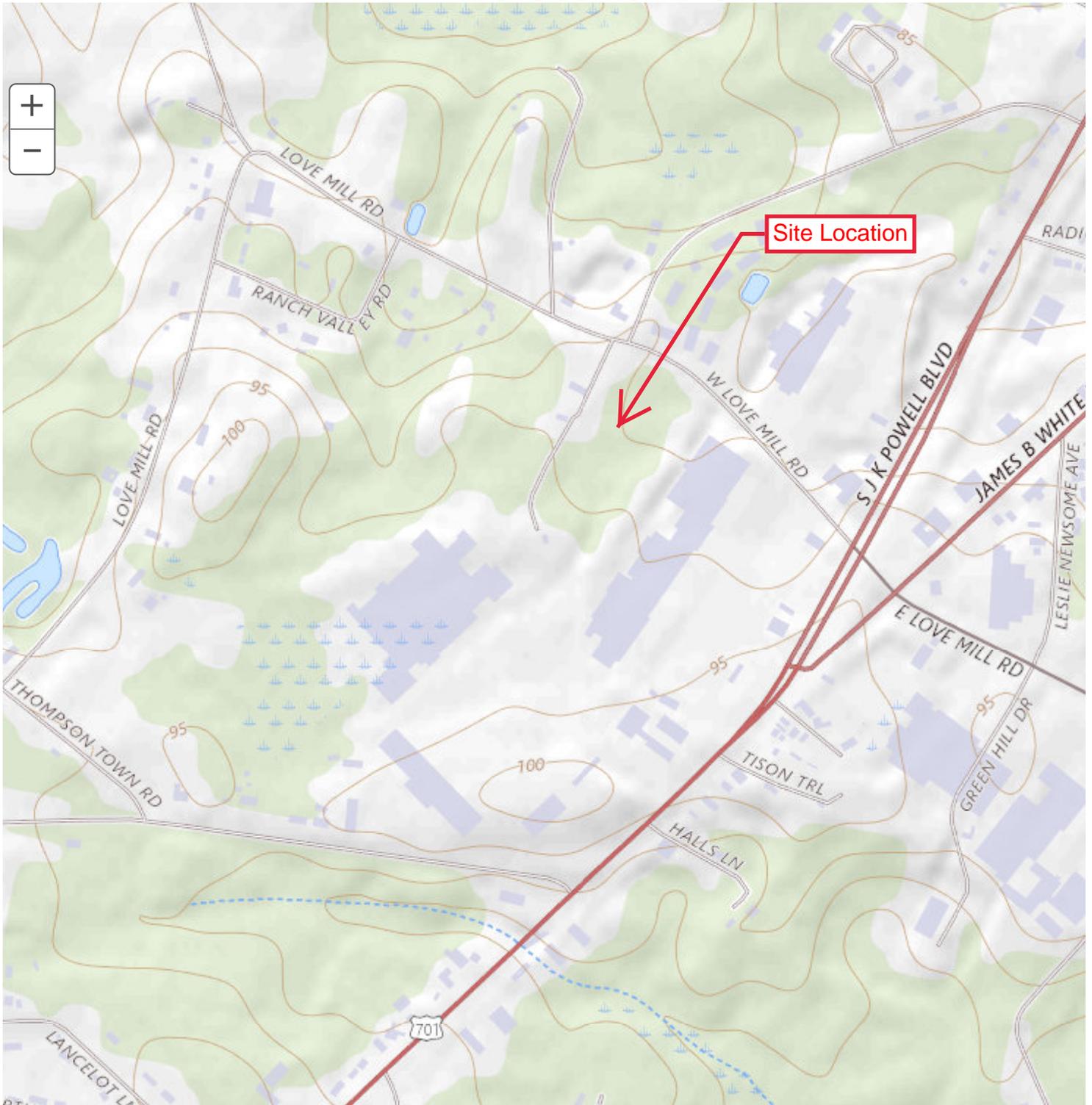
Nationwide Rivers Inventory

National Park Service
U.S. Department of the Interior

This is a listing of more than 3,200 free-flowing river segments in the U.S. that are believed to possess one or more "o...



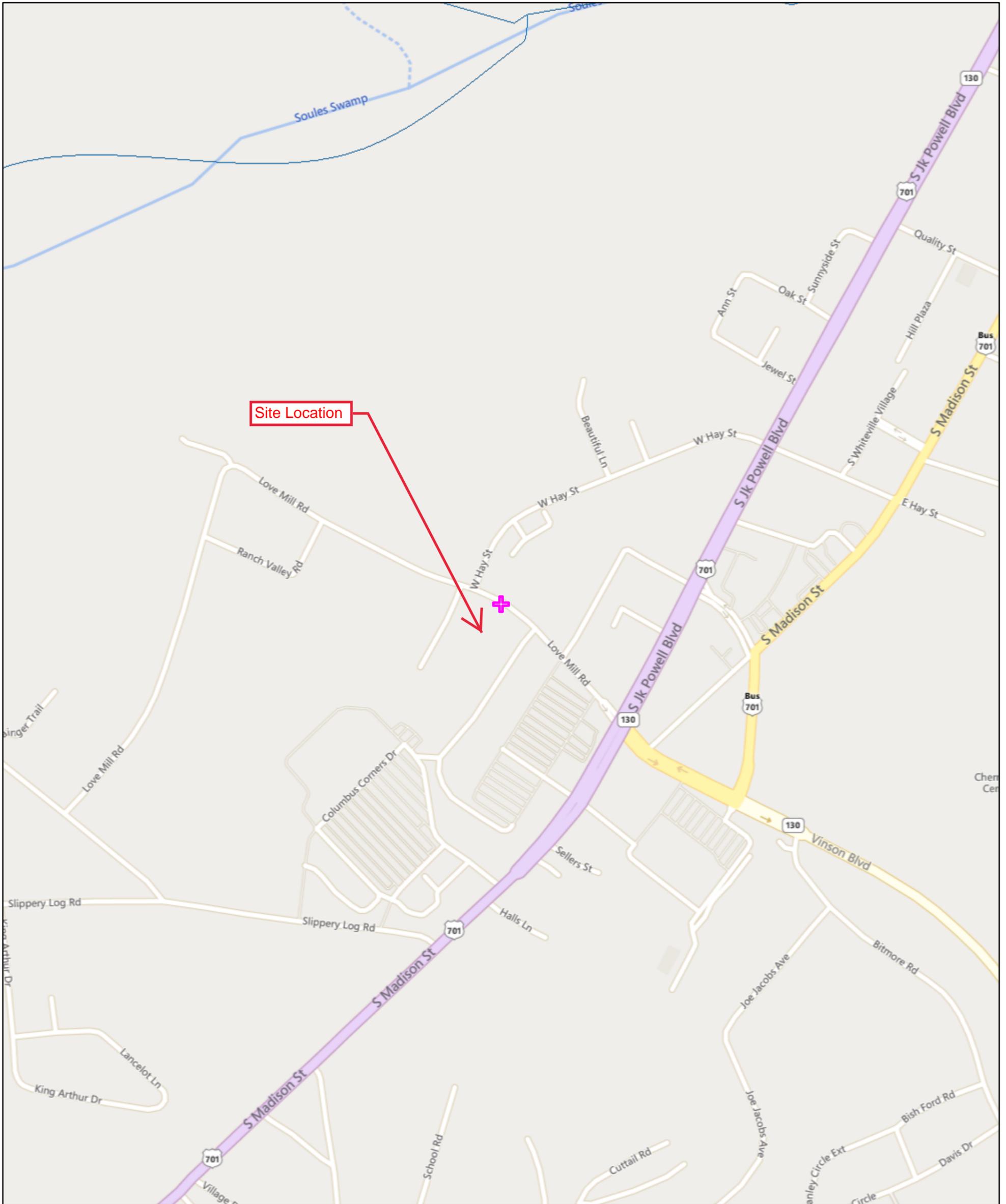
NC Scenic Rivers



Legend ↙

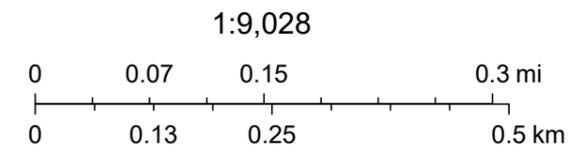
A legend box containing the word "Legend" and a blue line segment. The blue line segment is a solid horizontal line.

NEPA Assist - DOI classified rivers



October 20, 2021

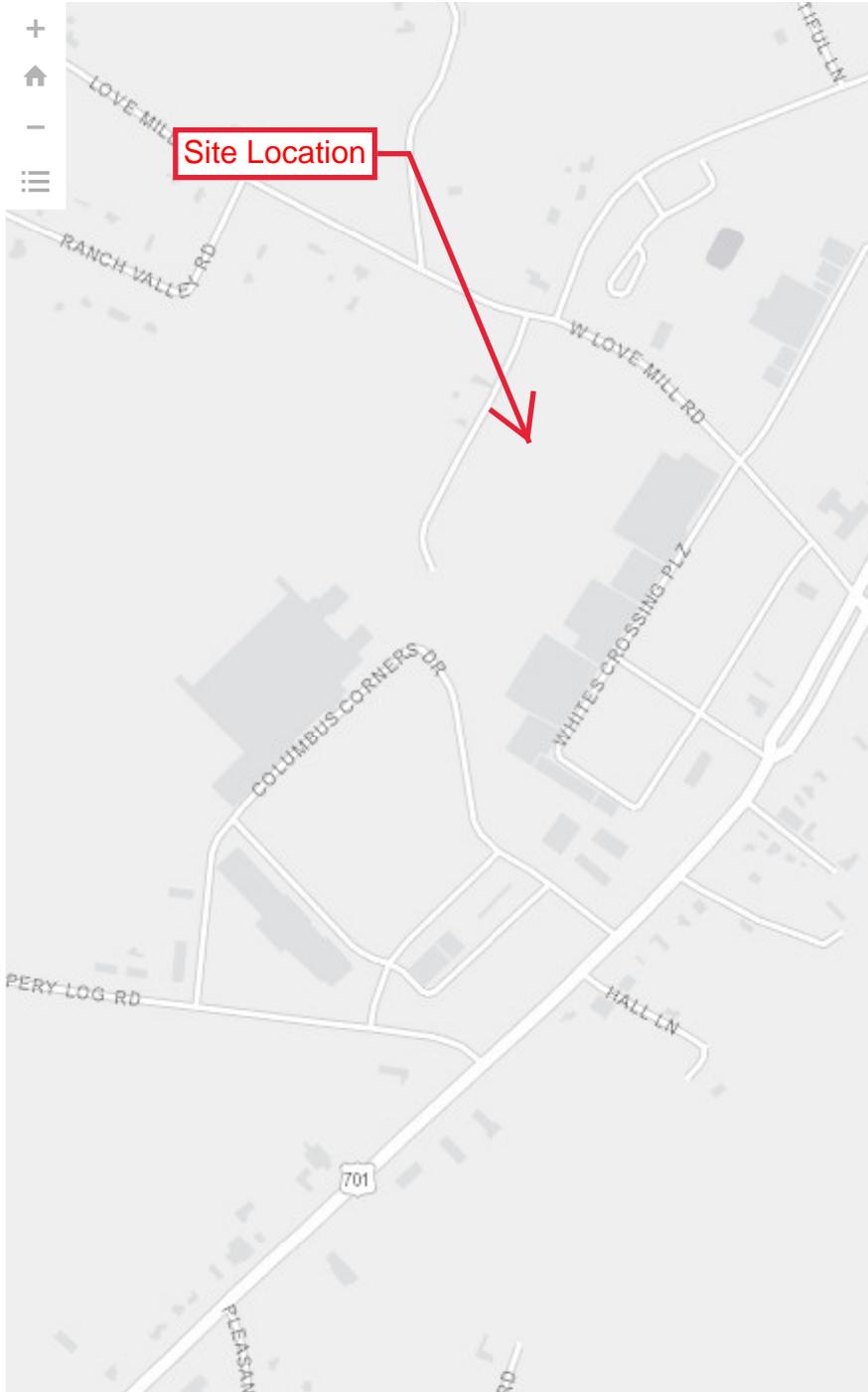
- + Search Result (point)
- Impaired Water Points
- Impaired Streams
- ▭ Impaired Waterbodies
- Catchments (ATTAINS)
- Streams
- ▭ Water Bodies
- ▭ Sole Source Aquifers
- Wild and Scenic Rivers



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Wild & Scenic Rivers

181 w. love mill road



Legend

- Designated Wild and Scenic Rivers where NPS has a role
- Wild and Scenic-Like Rivers managed by the NPS
- Designated Wild and Scenic Rivers managed by other agencies



Property Information

Order Number:	21100700200p
Date Completed:	October 7, 2021
Project Number:	2021-281
Project Property:	Proposed Love Mill Apartments 181 W. Love Mill Road Whiteville NC 28472
Coordinates:	
Latitude:	34.30499495
Longitude:	-78.72206809
UTM Northing:	3798323.37562 Meters
UTM Easting:	709627.570847 Meters
UTM Zone:	UTM Zone 17S
Elevation:	84.97 ft
Slope Direction:	NNW

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Hydrologic Information.....	4
Geologic Information.....	7
Soil Information.....	9
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Detail Report.....	20
Radon Information.....	25
Appendix.....	26
Liability Notice.....	28

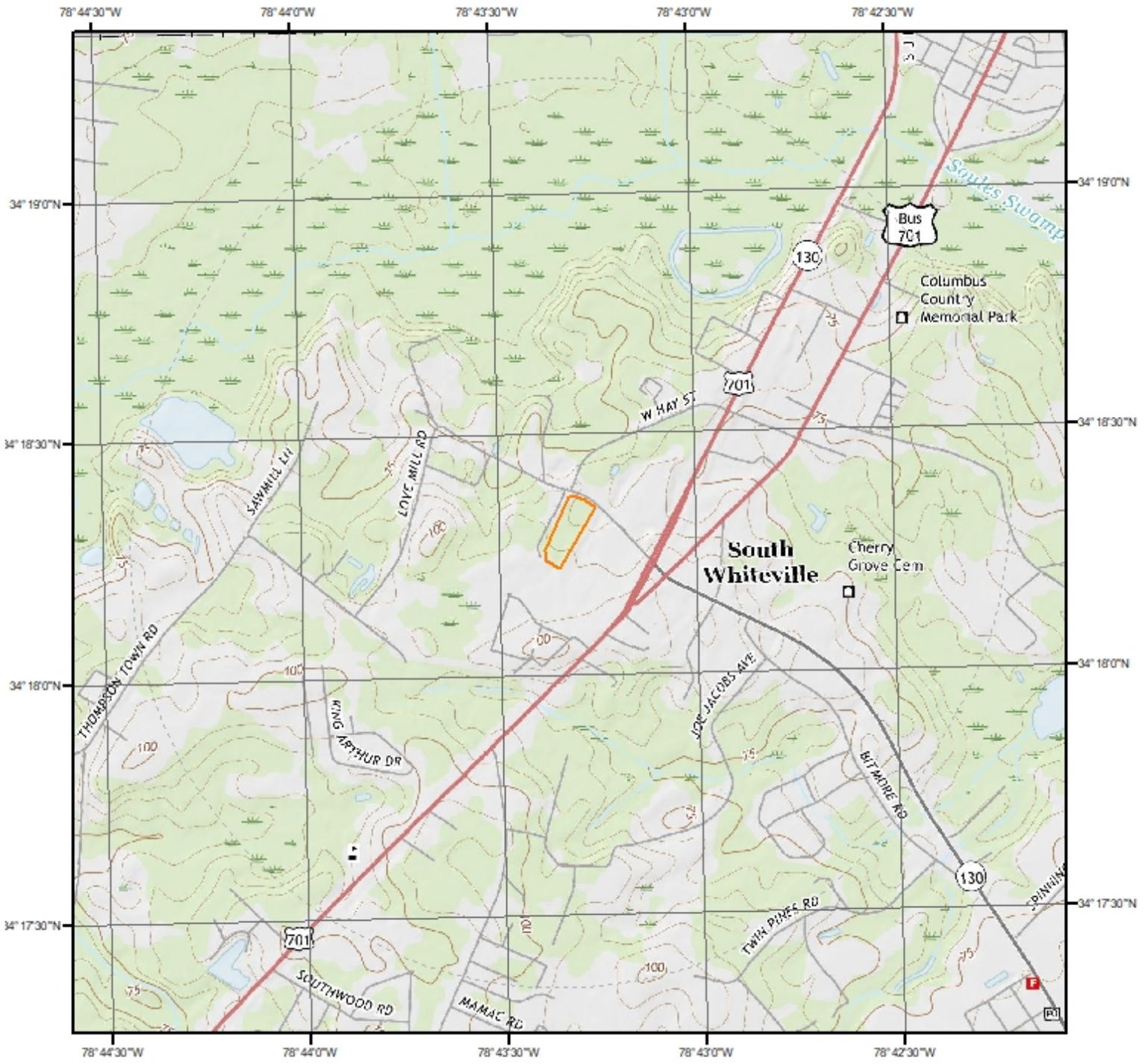
The ERIS **Physical Setting Report - PSR** provides comprehensive information about the physical setting around a site and includes a complete overview of topography and surface topology, in addition to hydrologic, geologic and soil characteristics. The location and detailed attributes of oil and gas wells, water wells, public water systems and radon are also included for review.

The compilation of both physical characteristics of a site and additional attribute data is useful in assessing the impact of migration of contaminants and subsequent impact on soils and groundwater.

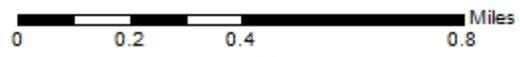
Disclaimer

This Report does not provide a full environmental evaluation for the site or adjacent properties. Please see the terms and disclaimer at the end of the Report for greater detail.

Topographic Information



Current USGS Topo (2016)



Quadrangle(s): Whiteville, NC

Source: USGS 7.5 Minute Topographic Map

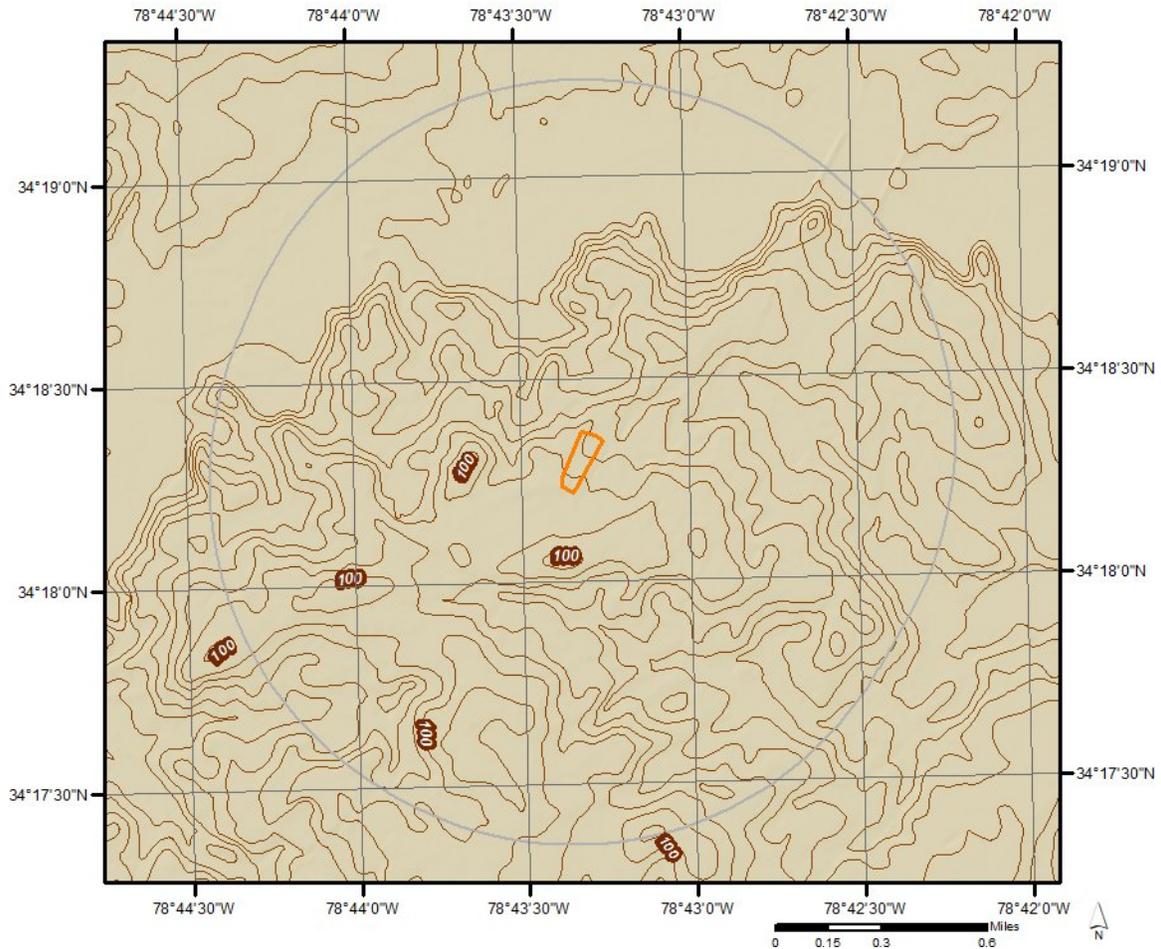


Topographic Information

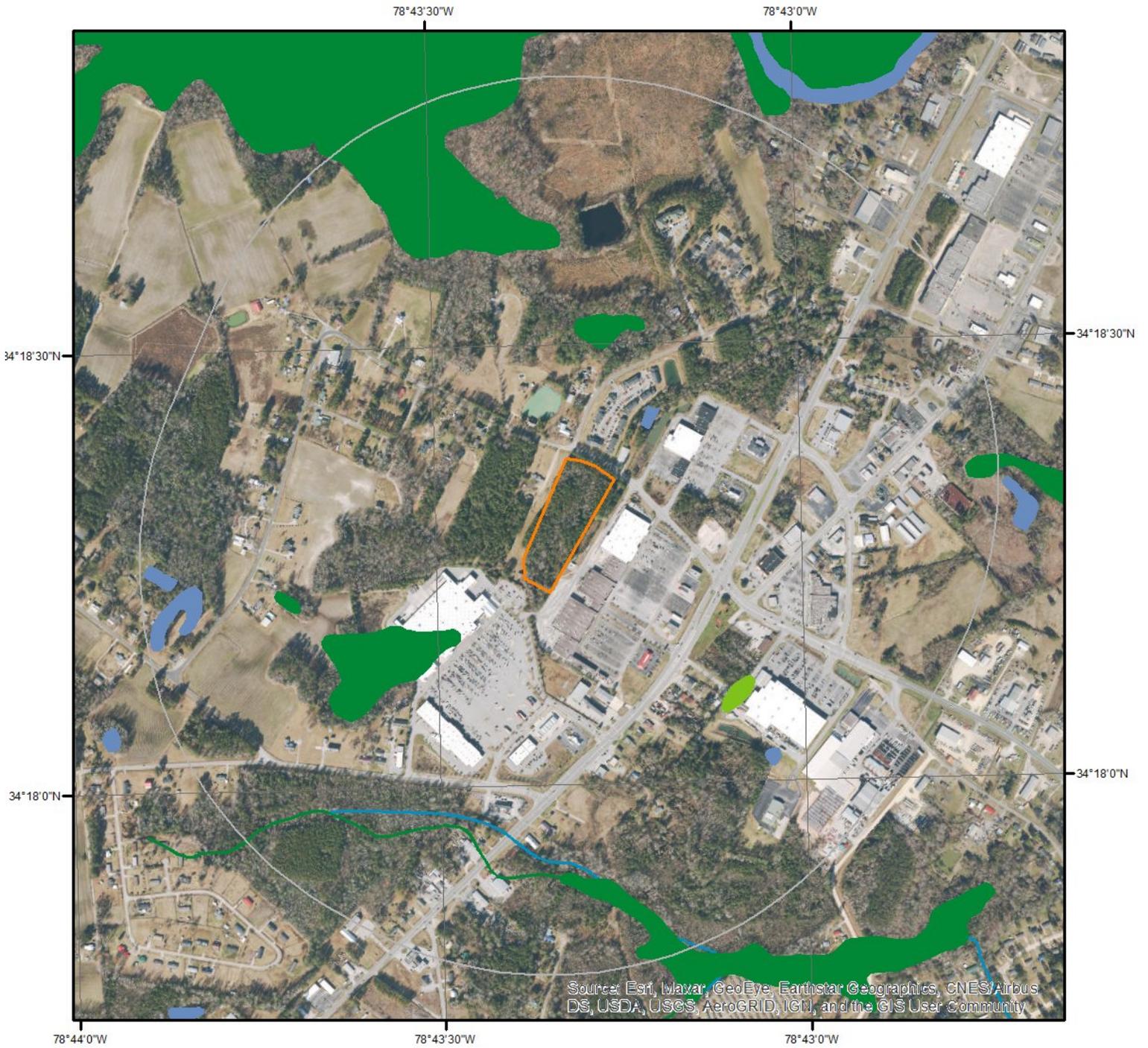
The previous topographic map(s) are created by seamlessly merging and cutting current USGS topographic data. Below are shaded relief map(s), derived from USGS elevation data to show surrounding topography in further detail.

Topographic information at project property:

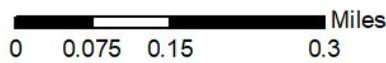
Elevation: 84.97 ft
Slope Direction: NNW



Hydrologic Information

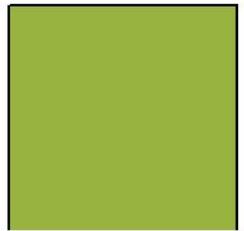


Wetland

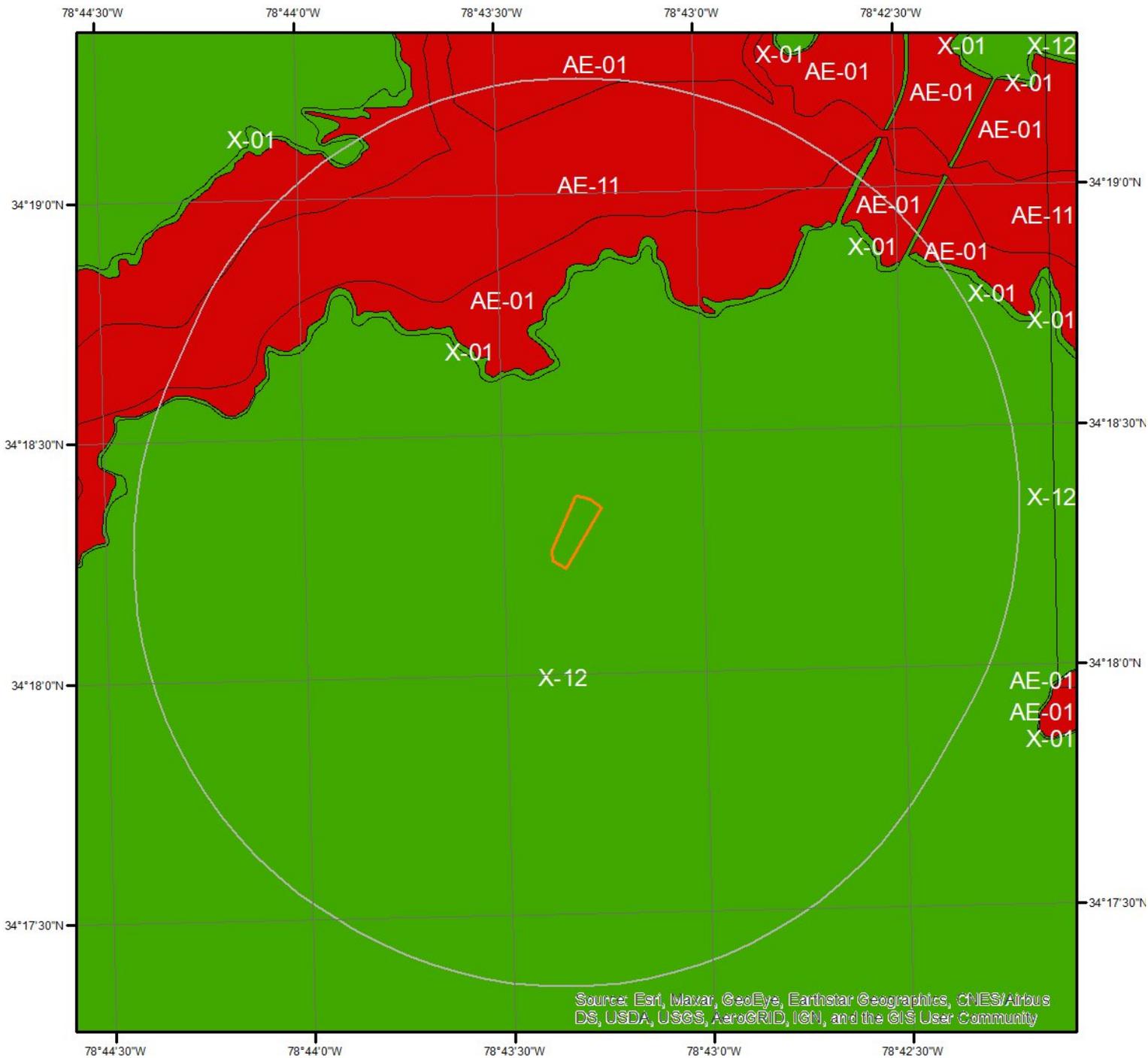


This map shows wetland existence using data from US Fish & Wildlife. Data coverage is shown to the right. Gray indicates no data available in the area.

- | | |
|---|---|
|  Estuarine and Marine Deepwater |  Freshwater Pond |
|  Estuarine and Marine Wetland |  Lake |
|  Freshwater Emergent Wetland |  Other |
|  Freshwater Forested/Shrub Wetland |  Riverine |



Hydrologic Information



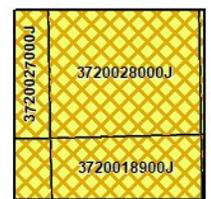
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Flood Hazard Zones



This map shows FEMA flood hazard zones. FIRM panels are shown to the right, and blank indicates no data is available.

- | | | |
|-----|----|-------------------|
| A | AO | X |
| A99 | V | OPEN WATER |
| AE | VE | NOT POPULATED |
| AH | D | AREA NOT INCLUDED |



Hydrologic Information

The Wetland Type map shows wetland existence overlaid on an aerial imagery. The Flood Hazard Zones map shows FEMA flood hazard zones overlaid on an aerial imagery. Relevant FIRM panels and detailed zone information is provided below.

Available FIRM Panels in area: 3720027000J(effective:2006-06-02) 3720028000J(effective:2006-06-02)
3720016800J(effective:2006-06-02) 3720018900J(effective:2006-06-02)

Flood Zone AE-01

Zone: AE
Zone subtype:

Flood Zone AE-11

Zone: AE
Zone subtype: FLOODWAY

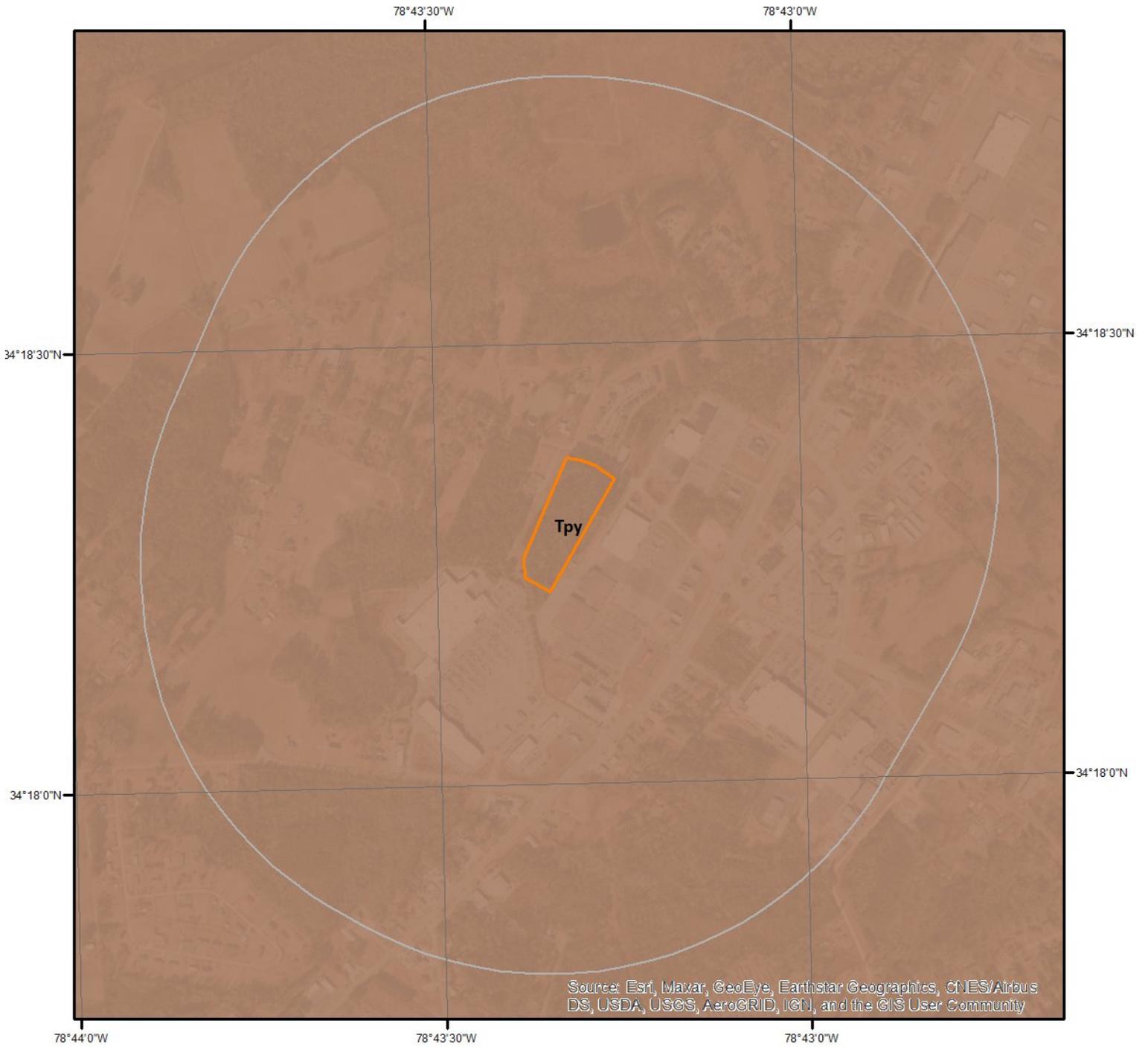
Flood Zone X-01

Zone: X
Zone subtype: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD

Flood Zone X-12

Zone: X
Zone subtype: AREA OF MINIMAL FLOOD HAZARD

Geologic Information



Geologic Units

This maps shows geologic units in the area. Please refer to the report for detailed descriptions.



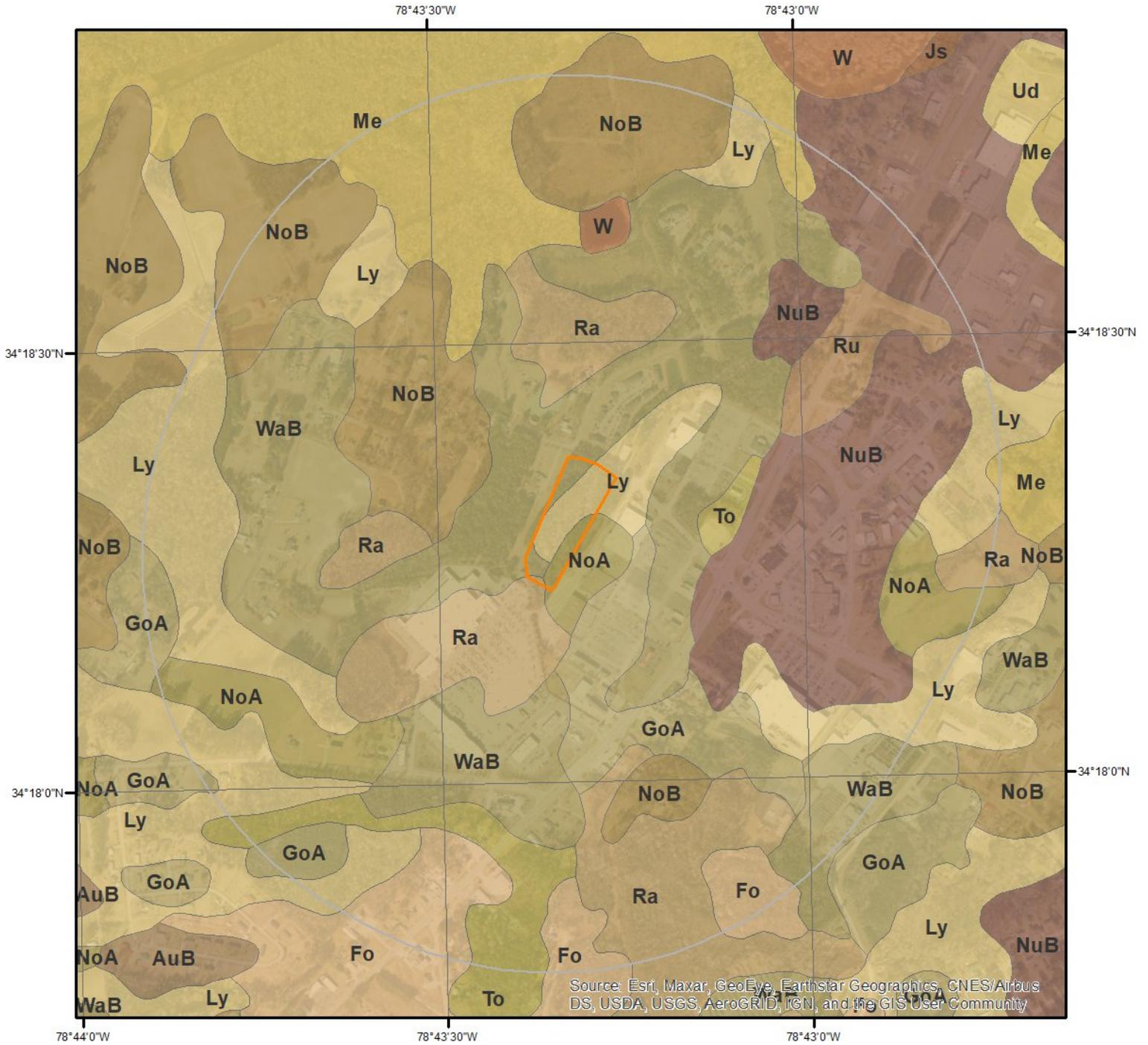
Geologic Information

The previous page shows USGS geology information. Detailed information about each unit is provided below.

Geologic Unit Tpy

Unit Name:	Yorktown Formation and Duplin Formation, Undivided
Unit Age:	Tertiary
Primary Rock Type:	clay or mud
Secondary Rock Type:	sand
Unit Description:	Yorktown Formation and Duplin Formation, Undivided - Yorktown Formation: fossiliferous clay with varying amounts of fine-grained sand, bluish gray, shell material commonly concentrated in lenses; mainly in area north of Neuse River. Duplin Formation: shelly, medium- to coarse-grained sand, sandy marl, and limestone, bluish gray; mainly in area south of Neuse River.

Soil Information



SSURGO Soils



This maps shows SSURGO soil units around the target property. Please refer to the report for detailed soil descriptions.



Soil Information

The previous page shows a soil map using SSURGO data from USDA Natural Resources Conservation Service. Detailed information about each unit is provided below.

Map Unit Fo (3.51%)

Map Unit Name:	Foreston loamy fine sand
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	61cm
Drainage Class - Dominant:	Moderately well drained
Hydrologic Group - Dominant:	B - Soils in this group have moderately low runoff potential when thoroughly wet. Water transmission through the soil is unimpeded.

Major components are printed below

Foreston(80%)	
horizon A(0cm to 15cm)	Loamy fine sand
horizon E(15cm to 30cm)	Loamy fine sand
horizon Bt(30cm to 102cm)	Fine sandy loam
horizon E'(102cm to 130cm)	Sand
horizon Btg(130cm to 216cm)	Fine sandy loam
horizon C(216cm to 229cm)	Loamy fine sand

Component Description:

Minor map unit components are excluded from this report.

Map Unit: Fo - Foreston loamy fine sand

Component: Foreston (80%)

The Foreston component makes up 80 percent of the map unit. Slopes are 0 to 2 percent. This component is on broad interstream divides on marine terraces, coastal plains. The parent material consists of loamy and sandy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately low. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 24 inches during January, February. Organic matter content in the surface horizon is about 1 percent. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

Component: Woodington (5%)

Generated brief soil descriptions are created for major soil components. The Woodington, undrained soil is a minor component.

Map Unit GoA (1.71%)

Map Unit Name:	Goldsboro fine sandy loam, 0 to 2 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	61cm
Drainage Class - Dominant:	Moderately well drained
Hydrologic Group - Dominant:	B - Soils in this group have moderately low runoff potential when thoroughly wet. Water transmission through the soil is unimpeded.

Major components are printed below

Goldsboro(90%)	
horizon Ap(0cm to 18cm)	Fine sandy loam
horizon E(18cm to 33cm)	Fine sandy loam
horizon Bt(33cm to 102cm)	Sandy clay loam
horizon Btg(102cm to 203cm)	Sandy clay loam

Component Description:

Soil Information

Minor map unit components are excluded from this report.

Map Unit: GoA - Goldsboro fine sandy loam, 0 to 2 percent slopes

Component: Goldsboro (87%)

The Goldsboro component makes up 87 percent of the map unit. Slopes are 0 to 2 percent. This component is on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is moderately well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 0 inches during March. Organic matter content in the surface horizon is about 2 percent. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

Component: Norfolk (7%)

Generated brief soil descriptions are created for major soil components. The Norfolk soil is a minor component.

Component: Lynchburg (6%)

Generated brief soil descriptions are created for major soil components. The Lynchburg soil is a minor component.

Map Unit Ly (7.18%)

Map Unit Name:	Lynchburg fine sandy loam
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	15cm
Drainage Class - Dominant:	Somewhat poorly drained
Hydrologic Group - Dominant:	A/D - These soils have low runoff potential when drained and high runoff potential when undrained.

Major components are printed below

Lynchburg(85%)

horizon Ap(0cm to 23cm)	Fine sandy loam
horizon E(23cm to 36cm)	Sandy loam
horizon Btg(36cm to 165cm)	Sandy clay loam
horizon Cg(165cm to 203cm)	Clay

Lynchburg(5%)

horizon Ap(0cm to 23cm)	Fine sandy loam
horizon E(23cm to 36cm)	Sandy loam
horizon Btg(36cm to 165cm)	Sandy clay loam
horizon Cg(165cm to 203cm)	Clay

Component Description:

Minor map unit components are excluded from this report.

Map Unit: Ly - Lynchburg fine sandy loam, 0 to 2 percent slopes, Atlantic Coast Flatwoods

Component: Lynchburg (82%)

The Lynchburg component makes up 82 percent of the map unit. Slopes are 0 to 2 percent. This component is on marine terraces on coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is somewhat poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 6 inches during January, February, March, April, November, December. Organic matter content in the surface horizon is about 3 percent. Nonirrigated land capability classification is 2w. This soil does not meet hydric criteria.

Component: Goldsboro (8%)

Generated brief soil descriptions are created for major soil components. The Goldsboro soil is a minor component.

Component: Rains (5%)

Generated brief soil descriptions are created for major soil components. The Rains, undrained soil is a minor component.

Component: Rains (5%)

Generated brief soil descriptions are created for major soil components. The Rains, drained soil is a minor component.

Soil Information

Map Unit Me (58.79%)

Map Unit Name:	Meggett fine sandy loam, frequently flooded
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	0cm
Drainage Class - Dominant:	Poorly drained
Hydrologic Group - Dominant:	C/D - These soils have moderately high runoff potential when drained and high runoff potential when undrained.

Major components are printed below

Meggett(80%)

horizon A(0cm to 20cm)	Loam
horizon E(20cm to 36cm)	Fine sandy loam
horizon Btg(36cm to 122cm)	Clay
horizon Cg(122cm to 203cm)	Clay

Meggett(10%)

horizon Ap(0cm to 20cm)	Loam
horizon E(20cm to 36cm)	Fine sandy loam
horizon Btg(36cm to 122cm)	Clay
horizon Cg(122cm to 203cm)	Clay

Component Description:

Minor map unit components are excluded from this report.

Map Unit: Me - Meggett fine sandy loam, frequently flooded

Component: Meggett (80%)

The Meggett, undrained component makes up 80 percent of the map unit. Slopes are 0 to 2 percent. This component is on low stream terraces, coastal plains. The parent material consists of loamy fluviomarine deposits over marly sandy and clayey alluvium. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is poorly drained. Water movement in the most restrictive layer is low. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is high. This soil is frequently flooded. It is rarely ponded. A seasonal zone of water saturation is at 0 inches during January, February. Organic matter content in the surface horizon is about 5 percent. Nonirrigated land capability classification is 6w. This soil meets hydric criteria.

Component: Meggett (10%)

The Meggett, drained component makes up 10 percent of the map unit. Slopes are 0 to 2 percent. This component is on low stream terraces, coastal plains. The parent material consists of loamy fluviomarine deposits over marly sandy and clayey alluvium. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is poorly drained. Water movement in the most restrictive layer is low. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is high. This soil is frequently flooded. It is not ponded. A seasonal zone of water saturation is at 0 inches during January, February. Organic matter content in the surface horizon is about 5 percent. Nonirrigated land capability classification is 3w. This soil meets hydric criteria.

Map Unit NoA (1.14%)

Map Unit Name:	Norfolk loamy fine sand, 0 to 2 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	122cm
Drainage Class - Dominant:	Well drained
Hydrologic Group - Dominant:	A - Soils in this group have low runoff potential when thoroughly wet. Water is transmitted freely through the soil.

Major components are printed below

Norfolk(85%)

horizon Ap(0cm to 23cm)	Loamy sand
horizon E(23cm to 36cm)	Loamy sand
horizon Bt(36cm to 178cm)	Sandy clay loam
horizon C(178cm to 254cm)	Sandy clay loam

Soil Information

Component Description:

Minor map unit components are excluded from this report.

Map Unit: NoA - Norfolk loamy fine sand, 0 to 2 percent slopes

Component: Norfolk (85%)

The Norfolk component makes up 85 percent of the map unit. Slopes are 0 to 2 percent. This component is on broad interstream divides on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 48 inches during January, February, March, December. Organic matter content in the surface horizon is about 1 percent. Nonirrigated land capability classification is 1. This soil does not meet hydric criteria.

Component: Rains (5%)

Generated brief soil descriptions are created for major soil components. The Rains, undrained soil is a minor component.

Map Unit NoB (8.55%)

Map Unit Name:	Norfolk loamy fine sand, 2 to 6 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	122cm
Drainage Class - Dominant:	Well drained
Hydrologic Group - Dominant:	A - Soils in this group have low runoff potential when thoroughly wet. Water is transmitted freely through the soil.

Major components are printed below

Norfolk(85%)	
horizon Ap(0cm to 23cm)	Loamy sand
horizon E(23cm to 36cm)	Loamy sand
horizon Bt(36cm to 178cm)	Sandy clay loam
horizon C(178cm to 254cm)	Sandy clay loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: NoB - Norfolk loamy fine sand, 2 to 6 percent slopes

Component: Norfolk (85%)

The Norfolk component makes up 85 percent of the map unit. Slopes are 2 to 6 percent. This component is on broad interstream divides on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 48 inches during January, February, March, December. Organic matter content in the surface horizon is about 1 percent. Nonirrigated land capability classification is 2e. This soil does not meet hydric criteria.

Component: Bibb (3%)

Generated brief soil descriptions are created for major soil components. The Bibb, undrained soil is a minor component.

Component: Johnston (2%)

Generated brief soil descriptions are created for major soil components. The Johnston, undrained soil is a minor component.

Map Unit NuB (6.95%)

Map Unit Name:	Norfolk-Urban land complex, 0 to 6 percent slopes
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	122cm
Drainage Class - Dominant:	Well drained

Soil Information

Hydrologic Group - Dominant:

A - Soils in this group have low runoff potential when thoroughly wet. Water is transmitted freely through the soil.

Major components are printed below

Norfolk(60%)

horizon Ap(0cm to 23cm)	Loamy sand
horizon E(23cm to 36cm)	Loamy sand
horizon Bt(36cm to 178cm)	Sandy clay loam
horizon C(178cm to 254cm)	Sandy clay loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: NuB - Norfolk-Urban land complex, 0 to 6 percent slopes

Component: Norfolk (60%)

The Norfolk component makes up 60 percent of the map unit. Slopes are 0 to 6 percent. This component is on urban land, broad interstream divides on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 48 inches during January, February, March, December. Organic matter content in the surface horizon is about 1 percent. Nonirrigated land capability classification is 2e. This soil does not meet hydric criteria.

Component: Urban land (35%)

Generated brief soil descriptions are created for major soil components. The Urban land is a miscellaneous area.

Map Unit Ra (3.71%)

Map Unit Name:

Rains fine sandy loam

Bedrock Depth - Min:

null

Watertable Depth - Annual Min:

15cm

Drainage Class - Dominant:

Poorly drained

Hydrologic Group - Dominant:

B/D - These soils have moderately low runoff potential when drained and high runoff potential when undrained.

Major components are printed below

Rains(85%)

horizon Ap(0cm to 18cm)	Fine sandy loam
horizon Eg(18cm to 30cm)	Fine sandy loam
horizon Btg1(30cm to 51cm)	Sandy loam
horizon Btg2(51cm to 157cm)	Sandy clay loam
horizon Cg(157cm to 216cm)	Sandy clay loam

Rains(10%)

horizon A(0cm to 18cm)	Fine sandy loam
horizon Eg(18cm to 30cm)	Fine sandy loam
horizon Btg1(30cm to 51cm)	Sandy loam
horizon Btg2(51cm to 157cm)	Sandy clay loam
horizon Cg(157cm to 216cm)	Sandy clay loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: Ra - Rains fine sandy loam, 0 to 2 percent slopes, Atlantic Coast Flatwoods

Component: Rains (70%)

The Rains, undrained component makes up 70 percent of the map unit. Slopes are 0 to 2 percent. This component is on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is poorly drained. Water movement in the most restrictive layer is moderately high. Available

Soil Information

water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 6 inches during January, February, March, April, December. Organic matter content in the surface horizon is about 2 percent. Nonirrigated land capability classification is 4w. This soil meets hydric criteria.

Component: Rains (16%)

The Rains, drained component makes up 16 percent of the map unit. Slopes are 0 to 2 percent. This component is on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 30 inches during January, February, March, April, November, December. Organic matter content in the surface horizon is about 2 percent. Nonirrigated land capability classification is 3w. This soil meets hydric criteria.

Component: Lynchburg (8%)

Generated brief soil descriptions are created for major soil components. The Lynchburg soil is a minor component.

Component: Pantego (6%)

Generated brief soil descriptions are created for major soil components. The Pantego, ponded soil is a minor component.

Map Unit Ru (0.46%)

Map Unit Name:	Rains-Urban land complex
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	15cm
Drainage Class - Dominant:	Poorly drained
Hydrologic Group - Dominant:	B/D - These soils have moderately low runoff potential when drained and high runoff potential when undrained.

Major components are printed below

Rains(60%)

horizon Ap(0cm to 18cm)	Fine sandy loam
horizon Eg(18cm to 30cm)	Fine sandy loam
horizon Btg1(30cm to 51cm)	Sandy loam
horizon Btg2(51cm to 157cm)	Sandy clay loam
horizon Cg(157cm to 216cm)	Sandy clay loam

Component Description:

Minor map unit components are excluded from this report.

Map Unit: Ru - Rains-Urban land complex

Component: Rains (60%)

The Rains, drained component makes up 60 percent of the map unit. Slopes are 0 to 2 percent. This component is on flats on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 6 inches during January, February, March, December. Organic matter content in the surface horizon is about 4 percent. Nonirrigated land capability classification is 3w. This soil meets hydric criteria.

Component: Urban land (35%)

Generated brief soil descriptions are created for major soil components. The Urban land is a miscellaneous area.

Map Unit To (1.06%)

Map Unit Name:	Torhunta fine sandy loam
Bedrock Depth - Min:	null
Watertable Depth - Annual Min:	0cm
Drainage Class - Dominant:	Very poorly drained
Hydrologic Group - Dominant:	A/D - These soils have low runoff potential when drained and high runoff potential when undrained.

Soil Information

Major components are printed below

Torhunta(80%)

horizon A(0cm to 38cm)	Mucky fine sandy loam
horizon Bg(38cm to 102cm)	Fine sandy loam
horizon Cg(102cm to 203cm)	Loamy sand

Torhunta(10%)

horizon A(0cm to 38cm)	Mucky fine sandy loam
horizon Bg(38cm to 102cm)	Fine sandy loam
horizon Cg(102cm to 203cm)	Loamy sand

Component Description:

Minor map unit components are excluded from this report.

Map Unit: To - Torhunta fine sandy loam

Component: Torhunta (80%)

The Torhunta, drained component makes up 80 percent of the map unit. Slopes are 0 to 2 percent. This component is on flats on marine terraces, depressions, coastal plains. The parent material consists of sandy and loamy alluvium and/or fluviomarine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is very poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 0 inches during January, February, December. Organic matter content in the surface horizon is about 12 percent. Nonirrigated land capability classification is 3w. This soil meets hydric criteria.

Component: Torhunta (10%)

The Torhunta, undrained component makes up 10 percent of the map unit. Slopes are 0 to 2 percent. This component is on flats on marine terraces, depressions, coastal plains. The parent material consists of sandy and loamy alluvium and/or fluviomarine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is very poorly drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is low. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 0 inches during January, February. Organic matter content in the surface horizon is about 12 percent. Nonirrigated land capability classification is 6w. This soil meets hydric criteria.

Map Unit W (0.09%)

Map Unit Name: Water

No more attributes available for this map unit

Component Description:

Minor map unit components are excluded from this report.

Map Unit: W - Water

Component: Water (100%)

Generated brief soil descriptions are created for major soil components. The Water is a miscellaneous area.

Map Unit WaB (6.85%)

Map Unit Name: Wagram loamy fine sand, 0 to 6 percent slopes

Bedrock Depth - Min: null

Watertable Depth - Annual Min: 192cm

Drainage Class - Dominant: Well drained

Hydrologic Group - Dominant: A - Soils in this group have low runoff potential when thoroughly wet. Water is transmitted freely through the soil.

Major components are printed below

Wagram(75%)

Soil Information

horizon Ap(0cm to 20cm)	Loamy fine sand
horizon E(20cm to 61cm)	Loamy fine sand
horizon Bt(61cm to 190cm)	Sandy clay loam
horizon BC(190cm to 211cm)	Sandy loam

Component Description:

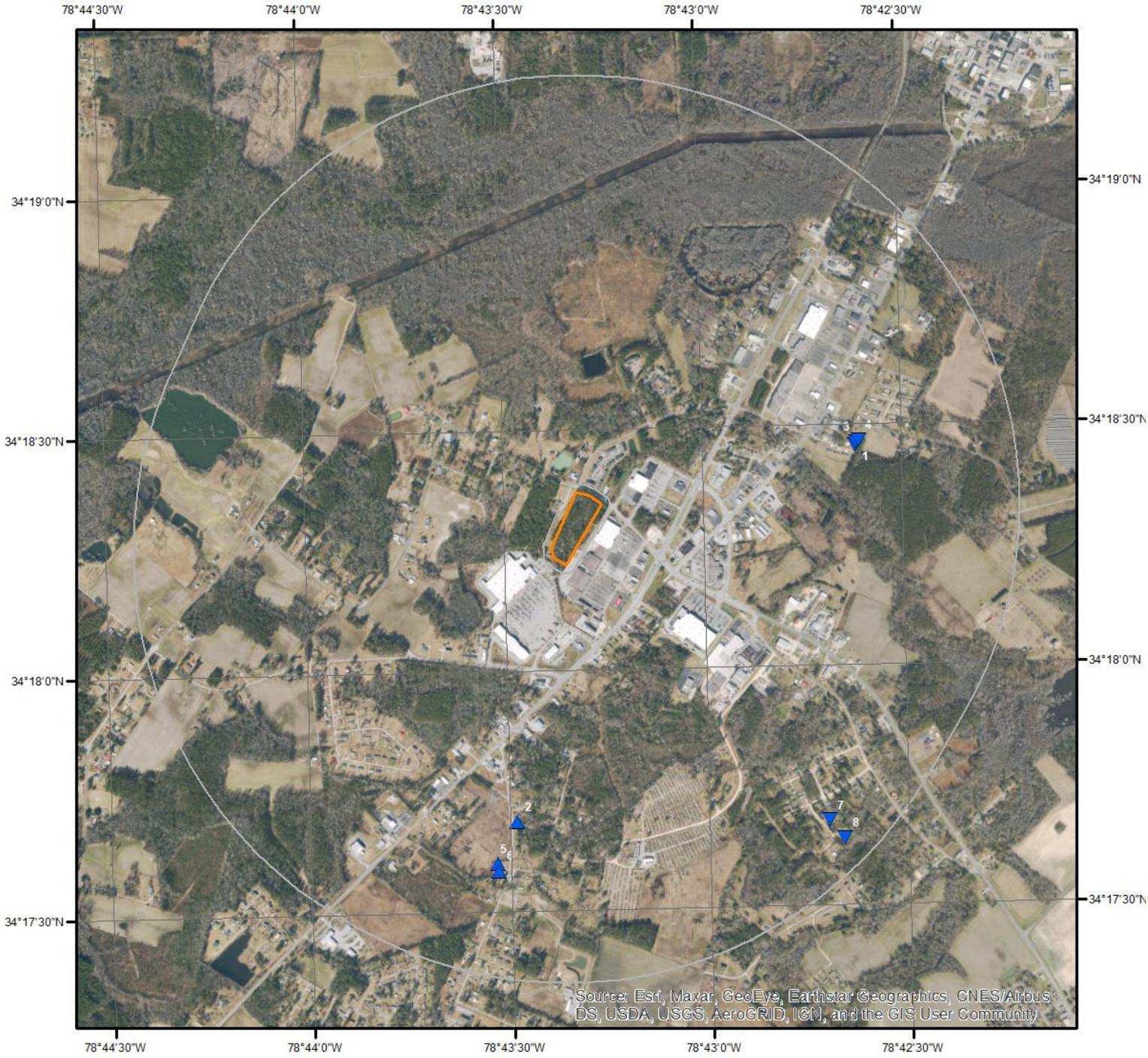
Minor map unit components are excluded from this report.

Map Unit: WaB - Wagram loamy fine sand, 0 to 6 percent slopes

Component: Wagram (75%)

The Wagram component makes up 75 percent of the map unit. Slopes are 0 to 6 percent. This component is on broad interstream divides on marine terraces, low ridges on marine terraces, coastal plains. The parent material consists of loamy marine deposits. Depth to a root restrictive layer is greater than 60 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Available water to a depth of 60 inches (or restricted depth) is moderate. Shrink-swell potential is low. This soil is not flooded. It is not ponded. A seasonal zone of water saturation is at 76 inches during January, February, March, December. Organic matter content in the surface horizon is about 1 percent. Nonirrigated land capability classification is 2s. This soil does not meet hydric criteria.

Wells and Additional Sources



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Wells & Additional Sources



- | | |
|--------------------------------|------------------------------------|
| ▲ Sites with Higher Elevation | ▲ OGW Sites with Higher Elevation |
| ■ Sites with Same Elevation | ■ OGW Sites with Same Elevation |
| ▼ Sites with Lower Elevation | ▼ OGW Sites with Lower Elevation |
| ○ Sites with Unknown Elevation | ● OGW Sites with Unknown Elevation |



Wells and Additional Sources Summary

Federal Sources

Public Water Systems Violations and Enforcement Data

Map Key	ID	Distance (ft)	Direction
	No records found		

Safe Drinking Water Information System (SDWIS)

Map Key	ID	Distance (ft)	Direction
	No records found		

USGS National Water Information System

Map Key	Monitoring Loc Identifier	Distance (ft)	Direction
3	USGS-341825078423704	3305.28	ENE
5	USGS-341736078433201	3871.39	SSW

State Sources

Oil and Gas Wells

Map Key	ID	Distance (ft)	Direction
	No records found		

Public Water Supply Sources

Map Key	PWS ID	Distance (ft)	Direction
1	0424010	3287.39	ENE
6	0424010	3955.13	SSW
8	0424040	4928.57	SE

Underground Injection Control Wells

Map Key	ID	Distance (ft)	Direction
	No records found		

Water Distribution Wells

Map Key	Wwells ID	Distance (ft)	Direction
2	112	3301.58	S
4	113	3339.77	ENE
7	111	4639.17	SE

Wells and Additional Sources Detail Report

USGS National Water Information System

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
3	ENE	0.63	3,305.28	72.17	FED USGS

Organiz Identifier:	USGS-NC	Formation Type:	Black Creek Aquifer
Organiz Name:	USGS North Carolina Water Science Center	Aquifer Name:	Northern Atlantic Coastal Plain aquifer system
Well Depth:	315	Aquifer Type:	Confined multiple aquifers
Well Depth Unit:	ft	Country Code:	US
Well Hole Depth:	477	Provider Name:	NWIS
W Hole Depth Unit:	ft	County:	COLUMBUS
Construction Date:		Latitude:	34.3076944
Source Map Scale:	24000	Longitude:	-78.7102222
Monitoring Loc Name:	CO-087 IN WHITEVILLE, NC		
Monitoring Loc Identifier:	USGS-341825078423704		
Monitoring Loc Type:	Well		
Monitoring Loc Desc:			
HUC Eight Digit Code:	03040206		
Drainage Area:			
Drainage Area Unit:			
Contrib Drainage Area:			
Contrib Drainage Area Unit:			
Horizontal Accuracy:	.5		
Horizontal Accuracy Unit:	seconds		
Horizontal Collection Mthd:	Mapping grade GPS unit (handheld accuracy range 12 to 40 ft)		
Horiz Coord Refer System:	NAD83		
Vertical Measure:	75		
Vertical Measure Unit:	feet		
Vertical Accuracy:	2.5		
Vertical Accuracy Unit:	feet		
Vertical Collection Mthd:	Interpolated from topographic map.		
Vert Coord Refer System:	NGVD29		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
5	SSW	0.73	3,871.39	104.08	FED USGS

Organiz Identifier:	USGS-NC	Formation Type:	Black Creek Aquifer
Organiz Name:	USGS North Carolina Water Science Center	Aquifer Name:	Northern Atlantic Coastal Plain aquifer system
Well Depth:	334	Aquifer Type:	Confined multiple aquifers
Well Depth Unit:	ft	Country Code:	US
Well Hole Depth:		Provider Name:	NWIS
W Hole Depth Unit:		County:	COLUMBUS

Wells and Additional Sources Detail Report

Construction Date:		Latitude:	34.2933333
Source Map Scale:	24000	Longitude:	-78.7255556
Monitoring Loc Name:	CO-163 IN WHITEVILLE, NC		
Monitoring Loc Identifier:	USGS-341736078433201		
Monitoring Loc Type:	Well		
Monitoring Loc Desc:			
HUC Eight Digit Code:	03040206		
Drainage Area:			
Drainage Area Unit:			
Contrib Drainage Area:			
Contrib Drainage Area Unit:			
Horizontal Accuracy:	1		
Horizontal Accuracy Unit:	seconds		
Horizontal Collection Mthd:	Mapping grade GPS unit (handheld accuracy range 12 to 40 ft)		
Horiz Coord Refer System:	NAD83		
Vertical Measure:	106		
Vertical Measure Unit:	feet		
Vertical Accuracy:	2.5		
Vertical Accuracy Unit:	feet		
Vertical Collection Mthd:	Interpolated from topographic map.		
Vert Coord Refer System:	NGVD29		

Public Water Supply Sources

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
1	ENE	0.62	3,287.39	71.50	PWSS

PWS ID:	0424010	Recharge Rate:	600000
Source ID:		RTL NBR CN:	2837
EPA Source ID:	32557	RTL Pop:	5347
PWS Type:	C	RWQ Rate:	
Source Type:	G	Own Loc Co:	W04
Source Name:	WELL #4	Owner:	WHITEVILLE CITY OF
Source Avail:	P	Owner Address 1:	PO BOX 607
Begin Date:	01-Jun-1977	Owner Address 2:	ATTN DARREN CURRIE
WSW Class:		Owner City:	WHITEVILLE
Yield GPM:	529	Owner State:	NC
Well Integrity :	H	Owner Zip 1:	28472
Intake Location:		Owner Zip 2:	
Degree of Confine:	HC	System County:	COLUMBUS
Aquifer Rating:	L	DEQ Region Name:	WILMINGTON REGIONAL OFFICE
Avg Production Cap:	1000000	County:	24
Design Prod Cap:	2168640	Depth (ft):	298
Emergency Prod Cap:	4337200	Shape Source:	
Max Production Cap:	1600000		
Source Location:	SOUTH WHITEVILLE/HAY STREET		

Wells and Additional Sources Detail Report

Source Location Method: E
 Description: WHITEVILLE CITY OF HWY 701 & 74&76
 PWS Type Name: Community
 PWS Type Desc: Serves 15+ connections or regularly serves 25+ year-round residents. ex. cities, towns, subdivisions.

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
6	SSW	0.75	3,955.13	104.83	PWSS

PWS ID:	0424010	Recharge Rate:	600000
Source ID:		RTL NBR CN:	2837
EPA Source ID:	32560	RTL Pop:	5347
PWS Type:	C	RWQ Rate:	
Source Type:	G	Own Loc Co:	W07
Source Name:	WELL #7	Owner:	WHITEVILLE CITY OF
Source Avail:	P	Owner Address 1:	PO BOX 607
Begin Date:	01-Jun-1977	Owner Address 2:	ATTN DARREN CURRIE
WSW Class:		Owner City:	WHITEVILLE
Yield GPM:	660	Owner State:	NC
Well Integrity :	H	Owner Zip 1:	28472
Intake Location:		Owner Zip 2:	
Degree of Confine:	HC	System County:	COLUMBUS
Aquifer Rating:	L	DEQ Region Name:	WILMINGTON REGIONAL OFFICE
Avg Production Cap:	1000000	County:	24
Design Prod Cap:	2168640	Depth (ft):	335
Emergency Prod Cap:	4337200	Shape Source:	
Max Production Cap:	1600000		
Source Location:	PLEASANT PLAIN RD/SR1166		
Source Location Method:	E		
Description:	WHITEVILLE CITY OF HWY 701 & 74&76		
PWS Type Name:	Community		
PWS Type Desc:	Serves 15+ connections or regularly serves 25+ year-round residents. ex. cities, towns, subdivisions.		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
8	SE	0.93	4,928.57	66.98	PWSS

PWS ID:	0424040	Recharge Rate:	600000
Source ID:		RTL NBR CN:	250
EPA Source ID:	32572	RTL Pop:	367
PWS Type:	C	RWQ Rate:	
Source Type:	G	Own Loc Co:	W02
Source Name:	WELL #2	Owner:	TOWN OF BRUNSWICK_0424040
Source Avail:	P	Owner Address 1:	PO BOX 68
Begin Date:	01-Jun-1977	Owner Address 2:	ATTN TOWN HALL
WSW Class:		Owner City:	BRUNSWICK
Yield GPM:	50	Owner State:	NC

Wells and Additional Sources Detail Report

Well Integrity :	H	Owner Zip 1:	28424
Intake Location:		Owner Zip 2:	
Degree of Confine:	SC	System County:	COLUMBUS
Aquifer Rating:	M	DEQ Region Name:	WILMINGTON REGIONAL OFFICE
Avg Production Cap:	33000	County:	24
Design Prod Cap:	102240	Depth (ft):	140
Emergency Prod Cap:	204480	Shape Source:	
Max Production Cap:	40000		
Source Location:	CHERRY ACRES S/D		
Source Location Method:	E		
Description:	HWY 130 EAST JUST SOUTH OF WHITEVILLE		
PWS Type Name:	Community		
PWS Type Desc:	Serves 15+ connections or regularly serves 25+ year-round residents. ex. cities, towns, subdivisions.		

Water Distribution Wells

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
2	S	0.63	3,301.58	105.31	WATER WELLS

Wwells ID:	112	Latitude:	34.2947775096
Wawe ID:	0470424010007	Longitude:	-78.7247087379
Wawe Cstr:	1994	Sys ID:	0424010
Wawe Renv:	0	Owner ID:	42410
Wawe Yeld:	0.46799999	Contact:	ASURE SPIVEY , WWTP SUPERINTENDENT
Area:	0	Phone:	9106425818
Perimeter:	0	City:	WHITEVILLE
Polygon ID:	0	St:	NC
Scale:	1	Zip:	28472
Angle:	1	Engineer N:	Eddie Staley (HUA)
Feat ID:	0470424010007	Eng Phone:	910-692-5616
Owname:	CITY OF WHITEVILLE	County:	047
Data:	Did not completed the survey sheet supplied Did not supplied data accessible maps to HUA.		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
4	ENE	0.63	3,339.77	72.02	WATER WELLS

Wwells ID:	113	Latitude:	34.3077664848
Wawe ID:	0470424010004	Longitude:	-78.7101244192
Wawe Cstr:	1972	Sys ID:	0424010
Wawe Renv:	1997	Owner ID:	42410
Wawe Yeld:	0.38100001	Contact:	ASURE SPIVEY , WWTP SUPERINTENDENT
Area:	0	Phone:	9106425818
Perimeter:	0	City:	WHITEVILLE
Polygon ID:	0	St:	NC
Scale:	1	Zip:	28472

Wells and Additional Sources Detail Report

Angle:	1	Engineer N:	Eddie Staley (HUA)
Feat ID:	0470424010004	Eng Phone:	910-692-5616
Owname:	CITY OF WHITEVILLE	County:	047
Data:	Did not completed the survey sheet supplied Did not supplied data accessible maps to HUA.		

Map Key	Direction	Distance (mi)	Distance (ft)	Elevation (ft)	DB
7	SE	0.88	4,639.17	67.69	WATER WELLS

Wwells ID:	111	Latitude:	34.2945886858
Wawe ID:	0470424040002	Longitude:	-78.7116507119
Wawe Cstr:	1970	Sys ID:	0424040
Wawe Renv:	0	Owner ID:	42440
Wawe Yeld:	0.07199999	Contact:	BENNETT J. WILLIAMS, MAYOR
Area:	0	Phone:	9106426741
Perimeter:	0	City:	BRUNSWICK
Polygon ID:	0	St:	NC
Scale:	1	Zip:	28424
Angle:	1	Engineer N:	Eddie Staley (HUA)
Feat ID:	0470424040002	Eng Phone:	910-692-5616
Owname:	TOWN OF BRUNSWICK	County:	047
Data:	Did not completed the survey sheet supplied Did not supplied data accessible maps to HUA.		

Radon Information

This section lists any relevant radon information found for the target property.

Federal EPA Radon Zone for *COLUMBUS* County: **3**

Zone 1: Counties with predicted average indoor radon screening levels greater than 4 pCi/L

Zone 2: Counties with predicted average indoor radon screening levels from 2 to 4 pCi/L

Zone 3: Counties with predicted average indoor radon screening levels less than 2 pCi/L

Federal Area Radon Information for *COLUMBUS* County

No Measures/Homes:	19
Arithmetic Mean:	0.4
Maximum:	0.8
Minimum:	0
Notes on Data Table:	TABLE 1. Summary of screening indoor radon data in North Carolina from the EPA/State Residential Radon Survey, the North Carolina Cooperative Extension Service Radon Survey, and non-random data collected from vendors of charcoal canister radon detectors. Data represent 2-7 day screening tests.

Federal Sources

FEMA National Flood Hazard Layer

FEMA FLOOD

The National Flood Hazard Layer (NFHL) data incorporates Flood Insurance Rate Map (FIRM) databases published by the Federal Emergency Management Agency (FEMA), and any Letters Of Map Revision (LOMRs) that have been issued against those databases since their publication date. The FIRM Database is the digital, geospatial version of the flood hazard information shown on the published paper FIRMs. The FIRM Database depicts flood risk information and supporting data used to develop the risk data. The FIRM Database is derived from Flood Insurance Studies (FISs), previously published FIRMs, flood hazard analyses performed in support of the FISs and FIRMs, and new mapping data, where available.

Indoor Radon Data

INDOOR RADON

Indoor radon measurements tracked by the Environmental Protection Agency(EPA) and the State Residential Radon Survey.

Public Water Systems Violations and Enforcement Data

PWSV

List of drinking water violations and enforcement actions from the Safe Drinking Water Information System (SDWIS) made available by the Drinking Water Protection Division of the US EPA's Office of Groundwater and Drinking Water. Enforcement sensitive actions are not included in the data released by the EPA. Address information provided in SWDIS may correspond either with the physical location of the water system, or with a contact address.

Radon Zone Level

RADON ZONE

Areas showing the level of Radon Zones (level 1, 2 or 3) by county. This data is maintained by the Environmental Protection Agency (EPA).

Safe Drinking Water Information System (SDWIS)

SDWIS

The Safe Drinking Water Information System (SDWIS) contains information about public water systems as reported to US Environmental Protection Agency (EPA) by the states. Addresses may correspond with the location of the water system, or with a contact address.

Soil Survey Geographic database

SSURGO

The Soil Survey Geographic database (SSURGO) contains information about soil as collected by the National Cooperative Soil Survey at the Natural Resources Conservation Service (NRCS). Soil maps outline areas called map units. The map units are linked to soil properties in a database. Each map unit may contain one to three major components and some minor components.

U.S. Fish & Wildlife Service Wetland Data

US WETLAND

The U.S. Fish & Wildlife Service Wetland layer represents the approximate location and type of wetlands and deepwater habitats in the United States.

USGS Current Topo

US TOPO

US Topo topographic maps are produced by the National Geospatial Program of the U.S. Geological Survey (USGS). The project was launched in late 2009, and the term "US Topo" refers specifically to quadrangle topographic maps published in 2009 and later.

USGS Geology

US GEOLOGY

Seamless maps depicting geological information provided by the United States Geological Survey (USGS).

USGS National Water Information System

FED USGS

The U.S. Geological Survey (USGS)'s National Water Information System (NWIS) is the nation's principal repository of water resources data. This database includes comprehensive information of well-construction details, time-series data for gage height, streamflow, groundwater level, and precipitation and water use data.

State Sources

Oil and Gas Wells

OGW

As of NC state regulatory agencies, FracTracker Alliance - state of North Carolina confirmed not to have

Appendix

any active (drilled but not plugged) oil and gas wells.

Public Water Supply Sources

PWSS

The North Carolina Department of Environmental Quality (DEQ), Division of Environmental Health, Public Water Supply Section in cooperation with the NC Center for Geographic Information and Analysis, tracks the locations of public water supply system sources in North Carolina.

Underground Injection Control Wells

UIC

This list of Underground Injection Control Wells is made available by the North Carolina Department of Environment and Natural Resources.

Water Distribution Wells

WATER WELLS

The North Carolina Rural Economic Development Center (NCREDC) in conjunction with Hobbs, Upchurch & Associates developed digital well locations data by individual system owners as required by contract. The data collected was to facilitate planning, siting and impact analysis in the 70 individual counties of North Carolina. This data contains information on groundwater intake wells, including: Well ID, construction date, latest renovation date, and safe yield. There has been no plan by the NCREDC or Hobbs, Upchurch & Associates to update this database.

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ATTACHMENT P

Environmental Justice



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Environmental Justice (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/environmental-justice>

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project’s total environmental review?

Yes → Continue to Question 2.

No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

2. Were these adverse environmental impacts disproportionately high for low-income and/or minority communities?

Yes

Explain:

Click here to enter text.

→ The RE/HUD must work with the affected low-income or minority community to decide what mitigation actions, if any, will be taken. Provide any supporting documentation.

No

Explain:

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

According to information reviewed using the EPA EJSCREEN Environmental Justice Screening and Mapping Tool (<https://www.epa.gov/environmentaljustice>), the area of the proposed site is generally consistent with or lower than most of the State of North Carolina and EPA regional (Region 4) averages in the selected environmental indicators. The average value for the Lead Paint Indicator in the proposed project area (0.14%) was lower than the state average (0.16%) and the regional average (0.15%). This data point indicates the average percentage of housing that was built prior to 1960 in the area.

Demographic indicators from the EPA EJSCREEN report show that the people of color population in the proposed project area is approximately 35%, which is lower than the state average of 37% and regional average of 39%. Additionally, the area is reported to have 47% low-income population, which is higher than the state average of 36% and the regional average of 36%. The population with less than high school education in the project area (14%) is higher than the state (13%) or regional averages (13%). Other demographic indicators, such as linguistic isolation and population under 5 years of age are fairly consistent with state averages. The population of people over 64 years of age is higher in the project area at 20% as compared to the state average of 15% and regional average of 17%. Copies of the reports generated using the EPA EJSCREEN Environmental Justice Screening and Mapping Tool are attached for reference.

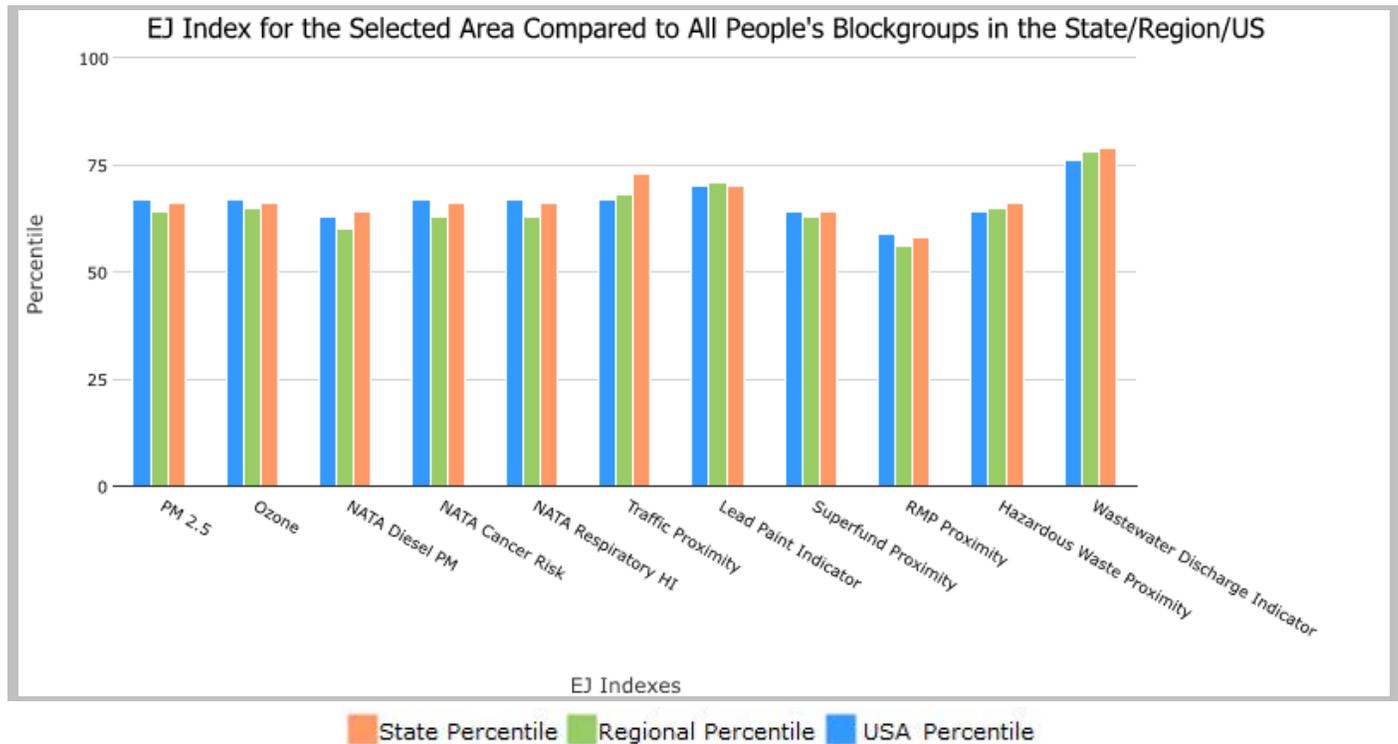
No adverse environmental impacts were identified in any other compliance review portion of this project's total environmental review. The proposed project does not facilitate development which would result in disproportionate adverse environmental impacts on low-income or minority populations. Rather, the proposed project will benefit low- and moderate-income residents through the construction of 60 units of affordable residential rental housing.

1 mile Ring Centered at 34.306045,-78.721247, NORTH CAROLINA, EPA Region 4

Approximate Population: 705

Input Area (sq. miles): 3.14

Selected Variables	State Percentile	EPA Region Percentile	USA Percentile
EJ Indexes			
EJ Index for PM2.5	66	64	67
EJ Index for Ozone	66	65	67
EJ Index for NATA* Diesel PM	64	60	63
EJ Index for NATA* Air Toxics Cancer Risk	66	63	67
EJ Index for NATA* Respiratory Hazard Index	66	63	67
EJ Index for Traffic Proximity and Volume	73	68	67
EJ Index for Lead Paint Indicator	70	71	70
EJ Index for Superfund Proximity	64	63	64
EJ Index for RMP Proximity	58	56	59
EJ Index for Hazardous Waste Proximity	66	65	64
EJ Index for Wastewater Discharge Indicator	79	78	76

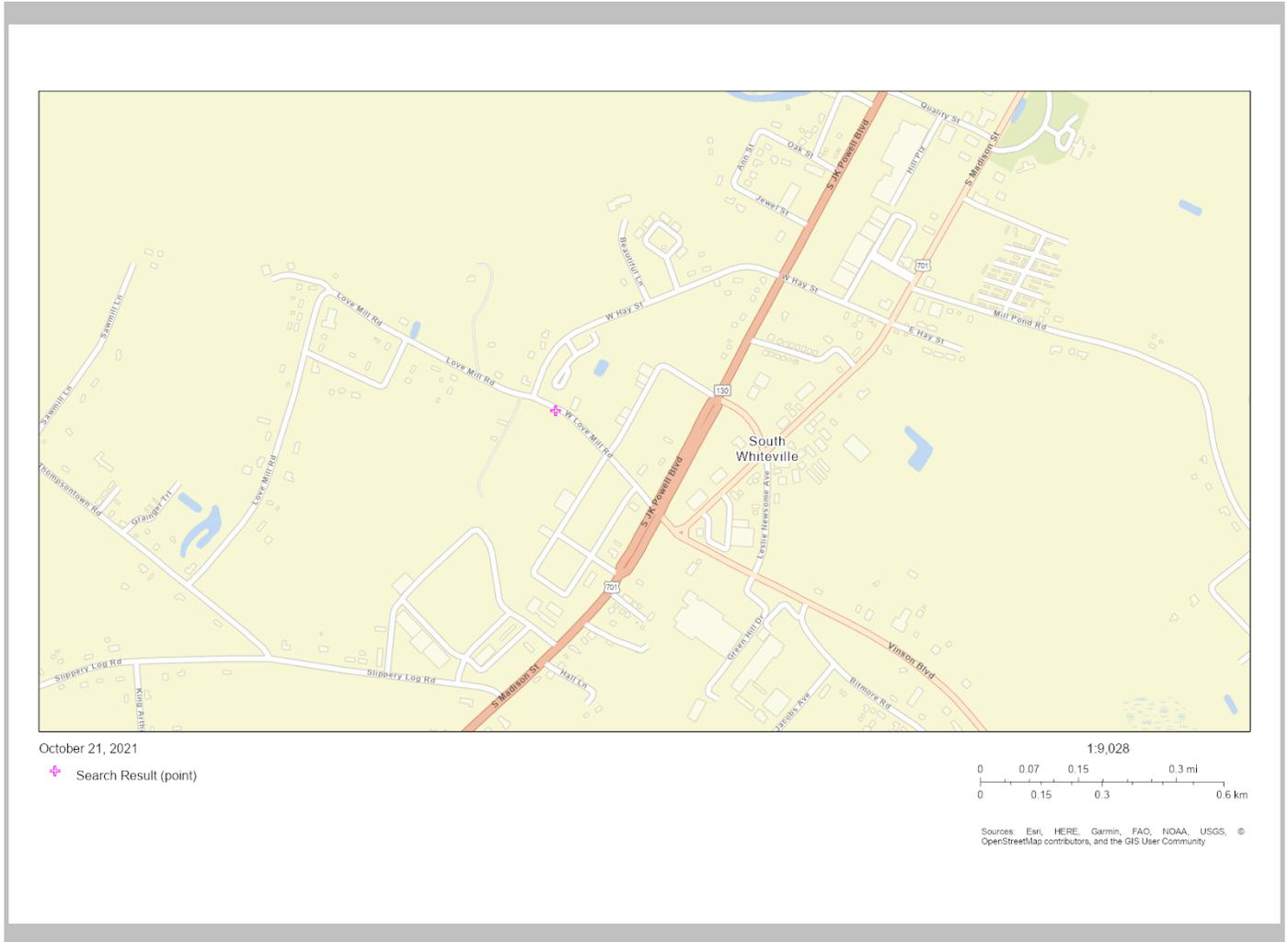


This report shows the values for environmental and demographic indicators and EJSCREEN indexes. It shows environmental and demographic raw data (e.g., the estimated concentration of ozone in the air), and also shows what percentile each raw data value represents. These percentiles provide perspective on how the selected block group or buffer area compares to the entire state, EPA region, or nation. For example, if a given location is at the 95th percentile nationwide, this means that only 5 percent of the US population has a higher block group value than the average person in the location being analyzed. The years for which the data are available, and the methods used, vary across these indicators. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports.

1 mile Ring Centered at 34.306045,-78.721247, NORTH CAROLINA, EPA Region 4

Approximate Population: 705

Input Area (sq. miles): 3.14



Sites reporting to EPA	
Superfund NPL	0
Hazardous Waste Treatment, Storage, and Disposal Facilities (TSDF)	0

EJSCREEN Report (Version 2020)



1 mile Ring Centered at 34.306045,-78.721247, NORTH CAROLINA, EPA Region 4

Approximate Population: 705

Input Area (sq. miles): 3.14

Selected Variables	Value	State Avg.	%ile in State	EPA Region Avg.	%ile in EPA Region	USA Avg.	%ile in USA
Environmental Indicators							
Particulate Matter (PM 2.5 in $\mu\text{g}/\text{m}^3$)	7.56	8.25	19	8.57	7	8.55	21
Ozone (ppb)	37.5	42.9	4	38	44	42.9	18
NATA* Diesel PM ($\mu\text{g}/\text{m}^3$)	0.159	0.309	13	0.417	<50th	0.478	<50th
NATA* Cancer Risk (lifetime risk per million)	31	34	26	36	<50th	32	<50th
NATA* Respiratory Hazard Index	0.42	0.46	27	0.52	<50th	0.44	<50th
Traffic Proximity and Volume (daily traffic count/distance to road)	130	230	60	350	53	750	39
Lead Paint Indicator (% Pre-1960 Housing)	0.14	0.16	61	0.15	66	0.28	45
Superfund Proximity (site count/km distance)	0.021	0.082	20	0.083	32	0.13	18
RMP Proximity (facility count/km distance)	0.025	0.39	0	0.6	0	0.74	1
Hazardous Waste Proximity (facility count/km distance)	0.28	1.3	37	0.91	45	5	30
Wastewater Discharge Indicator (toxicity-weighted concentration/m distance)	7.4E-05	0.16	65	0.65	62	9.4	52
Demographic Indicators							
Demographic Index	41%	36%	63	37%	62	36%	64
People of Color Population	35%	37%	54	39%	53	39%	54
Low Income Population	47%	36%	72	36%	71	33%	77
Linguistically Isolated Population	0%	2%	52	3%	51	4%	45
Population With Less Than High School Education	14%	13%	61	13%	60	13%	65
Population Under 5 years of age	5%	6%	37	6%	38	6%	36
Population over 64 years of age	20%	15%	75	17%	73	15%	76

* The National-Scale Air Toxics Assessment (NATA) is EPA's ongoing, comprehensive evaluation of air toxics in the United States. EPA developed the NATA to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that NATA provides broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. More information on the NATA analysis can be found at: <https://www.epa.gov/national-air-toxics-assessment>.

For additional information, see: www.epa.gov/environmentaljustice

EJSCREEN is a screening tool for pre-decisional use only. It can help identify areas that may warrant additional consideration, analysis, or outreach. It does not provide a basis for decision-making, but it may help identify potential areas of EJ concern. Users should keep in mind that screening tools are subject to substantial uncertainty in their demographic and environmental data, particularly when looking at small geographic areas. Important caveats and uncertainties apply to this screening-level information, so it is essential to understand the limitations on appropriate interpretations and applications of these indicators. Please see EJSCREEN documentation for discussion of these issues before using reports. This screening tool does not provide data on every environmental impact and demographic factor that may be relevant to a particular location. EJSCREEN outputs should be supplemented with additional information and local knowledge before taking any action to address potential EJ concerns.

Location: User-specified point center at 34.306045, -78.721247
 Ring (buffer): 1-miles radius
 Description:

Summary of ACS Estimates		2014 - 2018
Population		705
Population Density (per sq. mile)		250
People of Color Population		243
% People of Color Population		35%
Households		365
Housing Units		403
Housing Units Built Before 1950		22
Per Capita Income		15,296
Land Area (sq. miles) (Source: SF1)		2.81
% Land Area		99%
Water Area (sq. miles) (Source: SF1)		0.02
% Water Area		1%

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population by Race			
Total	705	100%	490
Population Reporting One Race	694	98%	1,058
White	462	65%	443
Black	205	29%	437
American Indian	7	1%	50
Asian	16	2%	82
Pacific Islander	0	0%	12
Some Other Race	4	1%	34
Population Reporting Two or More Races	11	2%	46
Total Hispanic Population	6	1%	39
Total Non-Hispanic Population	699		
White Alone	462	65%	443
Black Alone	204	29%	437
American Indian Alone	7	1%	50
Non-Hispanic Asian Alone	16	2%	82
Pacific Islander Alone	0	0%	12
Other Race Alone	0	0%	12
Two or More Races Alone	11	2%	46
Population by Sex			
Male	405	57%	332
Female	300	43%	283
Population by Age			
Age 0-4	32	5%	89
Age 0-17	107	15%	182
Age 18+	599	85%	298
Age 65+	141	20%	156

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2014 - 2018

Location: User-specified point center at 34.306045, -78.721247

Ring (buffer): 1-miles radius

Description:

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population 25+ by Educational Attainment			
Total	506	100%	302
Less than 9th Grade	17	3%	41
9th - 12th Grade, No Diploma	52	10%	89
High School Graduate	200	40%	189
Some College, No Degree	178	35%	175
Associate Degree	39	8%	86
Bachelor's Degree or more	59	12%	130
Population Age 5+ Years by Ability to Speak English			
Total	673	100%	434
Speak only English	637	95%	391
Non-English at Home ¹⁺²⁺³⁺⁴	36	5%	113
¹ Speak English "very well"	21	3%	75
² Speak English "well"	14	2%	83
³ Speak English "not well"	1	0%	16
⁴ Speak English "not at all"	1	0%	14
³⁺⁴ Speak English "less than well"	2	0%	18
²⁺³⁺⁴ Speak English "less than very well"	15	2%	83
Linguistically Isolated Households*			
Total	0	0%	12
Speak Spanish	0	0%	12
Speak Other Indo-European Languages	0	0%	12
Speak Asian-Pacific Island Languages	0	0%	12
Speak Other Languages	0	0%	12
Households by Household Income			
Household Income Base	365	100%	174
< \$15,000	64	18%	84
\$15,000 - \$25,000	66	18%	118
\$25,000 - \$50,000	112	31%	133
\$50,000 - \$75,000	39	11%	65
\$75,000 +	84	23%	120
Occupied Housing Units by Tenure			
Total	365	100%	174
Owner Occupied	248	68%	176
Renter Occupied	117	32%	150
Employed Population Age 16+ Years			
Total	605	100%	391
In Labor Force	254	42%	253
Civilian Unemployed in Labor Force	19	3%	76
Not In Labor Force	350	58%	266

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of anyrace.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS)

*Households in which no one 14 and over speaks English "very well" or speaks English only.

Location: User-specified point center at 34.306045, -78.721247

Ring (buffer): 1-miles radius

Description:

	2014 - 2018 ACS Estimates	Percent	MOE (±)
Population by Language Spoken at Home*			
Total (persons age 5 and above)	N/A	N/A	N/A
English	N/A	N/A	N/A
Spanish	N/A	N/A	N/A
French	N/A	N/A	N/A
French Creole	N/A	N/A	N/A
Italian	N/A	N/A	N/A
Portuguese	N/A	N/A	N/A
German	N/A	N/A	N/A
Yiddish	N/A	N/A	N/A
Other West Germanic	N/A	N/A	N/A
Scandinavian	N/A	N/A	N/A
Greek	N/A	N/A	N/A
Russian	N/A	N/A	N/A
Polish	N/A	N/A	N/A
Serbo-Croatian	N/A	N/A	N/A
Other Slavic	N/A	N/A	N/A
Armenian	N/A	N/A	N/A
Persian	N/A	N/A	N/A
Gujarathi	N/A	N/A	N/A
Hindi	N/A	N/A	N/A
Urdu	N/A	N/A	N/A
Other Indic	N/A	N/A	N/A
Other Indo-European	N/A	N/A	N/A
Chinese	N/A	N/A	N/A
Japanese	N/A	N/A	N/A
Korean	N/A	N/A	N/A
Mon-Khmer, Cambodian	N/A	N/A	N/A
Hmong	N/A	N/A	N/A
Thai	N/A	N/A	N/A
Laotian	N/A	N/A	N/A
Vietnamese	N/A	N/A	N/A
Other Asian	N/A	N/A	N/A
Tagalog	N/A	N/A	N/A
Other Pacific Island	N/A	N/A	N/A
Navajo	N/A	N/A	N/A
Other Native American	N/A	N/A	N/A
Hungarian	N/A	N/A	N/A
Arabic	N/A	N/A	N/A
Hebrew	N/A	N/A	N/A
African	N/A	N/A	N/A
Other and non-specified	N/A	N/A	N/A
Total Non-English	N/A	N/A	N/A

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

N/A means not available. **Source:** U.S. Census Bureau, American Community Survey (ACS) 2014 - 2018.

*Population by Language Spoken at Home is available at the census tract summary level and up.



Location: User-specified point center at 34.306045, -78.721247

Ring (buffer): 1-miles radius

Description:

Summary	Census 2010
Population	704
Population Density (per sq. mile)	244
People of Color Population	267
% People of Color Population	38%
Households	339
Housing Units	385
Land Area (sq. miles)	2.88
% Land Area	99%
Water Area (sq. miles)	0.02
% Water Area	1%

Population by Race	Number	Percent
Total	704	-----
Population Reporting One Race	692	98%
White	448	64%
Black	208	30%
American Indian	12	2%
Asian	2	0%
Pacific Islander	0	0%
Some Other Race	22	3%
Population Reporting Two or More Races	12	2%
Total Hispanic Population	37	5%
Total Non-Hispanic Population	667	95%
White Alone	437	62%
Black Alone	207	29%
American Indian Alone	11	2%
Non-Hispanic Asian Alone	2	0%
Pacific Islander Alone	0	0%
Other Race Alone	0	0%
Two or More Races Alone	10	1%

Population by Sex	Number	Percent
Male	377	54%
Female	327	46%

Population by Age	Number	Percent
Age 0-4	46	7%
Age 0-17	159	23%
Age 18+	545	77%
Age 65+	98	14%

Households by Tenure	Number	Percent
Total	339	
Owner Occupied	227	67%
Renter Occupied	113	33%

Data Note: Detail may not sum to totals due to rounding. Hispanic population can be of any race.

Source: U.S. Census Bureau, Census 2010 Summary File 1.

Columbus County, North Carolina†



POPULATION: 57,194

INCOME

Average Household Income

Columbus County: \$36,862

North Carolina: \$53,922

Residents who live below the poverty line



25.3%

Columbus
County

14.1%

North Carolina

QUICK FACTS:

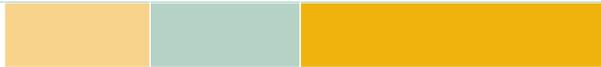
Out of 10 people living in this county

SEX



5 are male & 5 are female

AGE



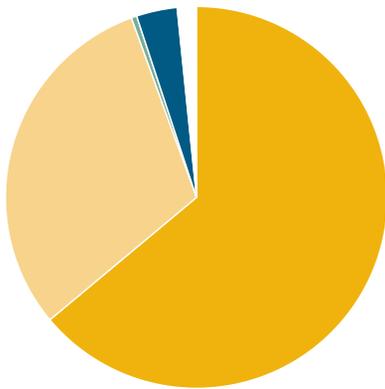
About 2 are between the ages of 0 and 19 years
 About 2 are between the ages of 20 and 34 years
 About 2 are between the ages of 35 and 49 years
 About 4 are 50 years and older

ETHNICITY



Less than 1 are Hispanic and 10 are non-Hispanic

RACE



[tps://twitter.com/share?](https://twitter.com/share?)

[3A%2F%2Fephtracking.cdc.gov/InfoByLocation?text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking\)](https://ephtracking.cdc.gov/InfoByLocation?text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

[out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation?to%20find%20out%20facts%20for%20your%20county.\)](https://ephtracking.cdc.gov/InfoByLocation?to%20find%20out%20facts%20for%20your%20county)

Discover the data ([../DataExplorer?query=C7380B65-728D-4621-A122-47283CF8B444&G5=9999](https://ephtracking.cdc.gov/DataExplorer?query=C7380B65-728D-4621-A122-47283CF8B444&G5=9999)) | Learn more about this topic ([../InfoByLocation/showPcMain.action](https://ephtracking.cdc.gov/InfoByLocation/showPcMain.action))

† 2019 data from the National Environmental Public Health Tracking Network ([../showHome.action](https://ephtracking.cdc.gov/InfoByLocation/showHome.action))



Asthma[†]

Percent of adults who currently have asthma

%

%

Asthma is a chronic disease that affects the airways that carry oxygen in and out of the lungs. Asthma can cause

- shortness of breath,
- wheezing,
- coughing, and
- tightness in the chest.

Asthma attacks have been linked to many factors, including exposure to environmental hazards like

- allergens,
- tobacco smoke, and
- indoor and outdoor air pollution.

Asthma can be controlled by taking medication and avoiding triggers that can cause an attack.

tps://twitter.com/share?

3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showAsthma.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Air Quality: Ground-Level Ozone[†]



Columbus County residents were exposed to unhealthy levels of ozone for in .

Ozone occurs naturally in the sky and helps protect us from the sun's harmful rays. But ground-level ozone can be bad for your health and the environment. Ground-level ozone is one of the biggest parts of smog.

When ozone levels are above the national standard, everyone should try to limit their contact with it by reducing the amount of time spent outside.

Columbus County residents were exposed to unhealthy levels of ozone for in .

Check the EPA's Air Quality Index (AQI) at AirNow.gov (<http://www.AirNow.gov>) to see the current air quality conditions for your location. You can use the AQI to plan your daily activities to reduce exposure to ozone.

[tps://twitter.com/share?](https://twitter.com/share?)

[3A%2F%2Fephtracking.cdc.gov/InfoByLocation?text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking](https://www.ephtracking.cdc.gov/InfoByLocation?text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

[out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation?to%20find%20out%20facts%20for%20your%20county.](https://www.ephtracking.cdc.gov/InfoByLocation?to%20find%20out%20facts%20for%20your%20county)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic ([../showAirHealth.action](#))

† data from the National Environmental Public Health Tracking Network ([../showHome.action](#))



Air Quality: Particulate Matter[†]

ANNUAL AMBIENT CONCENTRATION OF PM_{2.5}

µg/m³*

Columbus County, North Carolina

$\mu\text{g}/\text{m}^3$ *

Annual National Standard

*Micrograms Per Cubic Meter ($\mu\text{g}/\text{m}^3$)

Air pollution is a leading environmental threat to human health. Particles in the air like dust, dirt, soot, and smoke are one kind of air pollution called particulate matter. Fine particulate matter, or $\text{PM}_{2.5}$, is so small that it cannot be seen in the air. Breathing in $\text{PM}_{2.5}$ may

- lead to breathing problems,
- make asthma symptoms or some heart conditions worse, and
- lead to low birth weight.

The national standard for annual $\text{PM}_{2.5}$ levels is $12.0\mu\text{g}/\text{m}^3$. When $\text{PM}_{2.5}$ levels are above 12, this means that air quality is more likely to affect your health.

In , the annual level of $\text{PM}_{2.5}$ in Columbus County was $\mu\text{g}/\text{m}^3$. *

* Micrograms per cubic meter (../InfoByLocation/images/content/PM2-5_5.jpg) ($\mu\text{g}/\text{m}^3$)

tps://twitter.com/share?

3A%2F%2Fephrtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephrtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

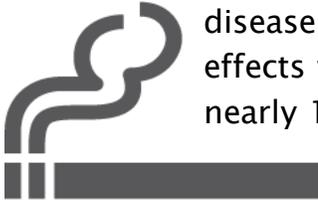
Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showAirLanding.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Smoking[†]





Tobacco use is the single most preventable cause of death and disease in the United States. Smoking harms nearly every organ of the body. It causes many diseases and reduces the health of smokers in general. The negative health effects from cigarette smoking account for an estimated 500,000 deaths, or nearly 1 of every 5 deaths, each year in the United States.

tps://twitter.com/share?

3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

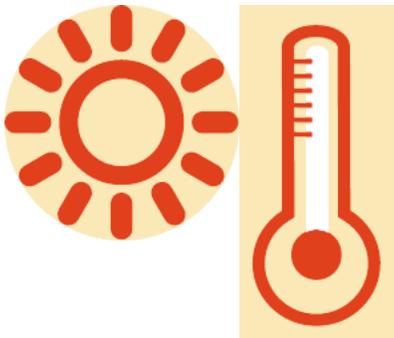
out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showHBSmokingPrevalence.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Extreme Heat[†]



with temperatures above 90°F

Extreme summer heat is increasing in the United States, and climate projections indicate that extreme heat events will be more frequent and intense in coming decades. Extremely hot weather can cause illness or even death. Knowing how hot it gets in your area can help you prepare for extremely hot temperatures and prevent heat related illness (<http://emergency.cdc.gov/disasters/extremeheat/heattips.asp>).

Columbus County had with maximum temperatures above 90°F during May–September .

Heat-related death or illnesses are preventable if you follow a few simple steps.

- Stay cool.
- Stay hydrated.
- Stay informed.

tps://twitter.com/share?

3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showClimateChangeExtremeHeat.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Heart Attacks[†]



The environment is one of several factors (../showHeartExpRisk.action) that can lead to an increased risk for heart disease. High levels of air pollution and extreme hot and cold temperatures have been linked to increases in heart disease and deaths from heart attacks. A heart attack happens when a part of the heart muscle dies or gets damaged because of reduced blood supply.

In , there were

- deaths from heart attacks in Columbus County.
- deaths from heart attacks in North Carolina.

tps://twitter.com/share?

3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showHeartAttack.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Access To Parks[†]



Live within half a mile of a park in Columbus County



Having access to places for physical activity, like parks, encourages people to get active and do so more often. The closer you live to a park, the more likely you are to walk or bike there. Walking and biking to parks can decrease air pollution and car crashes, which in turn, can reduce chronic disease rates and traffic-related injuries.

In ,
of people living in Columbus County lived within half a mile of a park.
of people living in North Carolina lived within half a mile of a park.

as://twitter.com/share?

A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20#environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showPcMain.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Proximity To Highways[†]



of Columbus County population that live within 150m of a highway

Traffic-related air pollution is a major cause of unhealthy air quality, especially in urban areas. Many health problems have been linked to exposure to traffic-related air pollution. The closer your home or school is to a major highway, the more likely you and your family are to be exposed to traffic-related air pollution.

In , of the population of Columbus County lived within 150 meters* of a major highway.

In , of Columbus County public schools (preK-4th grade) were sited within 150 meters* of a major highway.

* 150 meters is about 2 blocks.

tps://twitter.com/share?

3A%2F%2Fephtracking.cdc.gov%2FInfoByLocation%2F&text=Check%20out%20environmental%20health%20in%20your%20county&hashtags=PublicHealth,Tracking)

out%20the%20people%20in%20my%20county.%20Visit%20https://ephtracking.cdc.gov/InfoByLocation%2F%20to%20find%20out%20facts%20for%20your%20county.)

Discover the data (REPLACED BY JAVASCRIPT) | Learn more about this topic (../showProximityToHighways.action)

† data from the National Environmental Public Health Tracking Network (../showHome.action)



Visit the Tracking Network for more information about your health and the environment.

www.cdc.gov/ephtracking (http://www.cdc.gov/ephtracking/)

Connect With Us



Follow us on Twitter

(http://twitter.com/CDC_EPHTracking)

Like us on Facebook

(http://www.facebook.com/CDCEPHTracking)

Join our List-serv

(mailto:EPHT@LISTSERV.CDC.GOV?)

subject=Please%20add%20me%20to%20CDC's%20Environment serv.&body=Please%20fill%20in%20the%20information%20belc



ATTACHMENT Q

Housing Requirements / Zoning



City of Whiteville

Inspection & Planning Department

317 S. Madison St.

Whiteville, NC 28472

(910) 640-1380

(910) 642-4407 (fax)

May 10, 2021

Charlie Irick
Fitch Irick Partners
1515 Mockingbird Lane
Charlotte, NC 28209

**RE: 181 W. Love Mill Rd.
Columbus County PID#77993 & 5751
Zoning Verification Letter**

Dear Mr. Irick,

This letter is in response to your inquiry about the zoning status of property located at 181 W. Love Mill Rd. within the City of Whiteville's jurisdiction (Columbus County Parcel No. 77993 & 5751). The property is located in the municipal limits of the City of Whiteville and is zoned Residential Multi-Family (R6-MF). A rezoning petition for the properties was approved by Whiteville City Council on April 27th, 2021 from Highway Serving Business (B-3) to Residential Multi-Family (R6-MF) of ±6.33 acres. Columbus County PID# 5751 was also voluntary contiguously annexed into the City of Whiteville by City Council approval at the same meeting.

The property is currently undeveloped. Any development of the property will require site development, building plans, and stormwater plans and calculations.

Please feel free to contact me with any questions or comments you may have regarding the information provided in this letter. I can be reached by email at rlewis@ci.whiteville.nc.us or by phone at (910) 640-1380.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Lewis", written over a horizontal line.

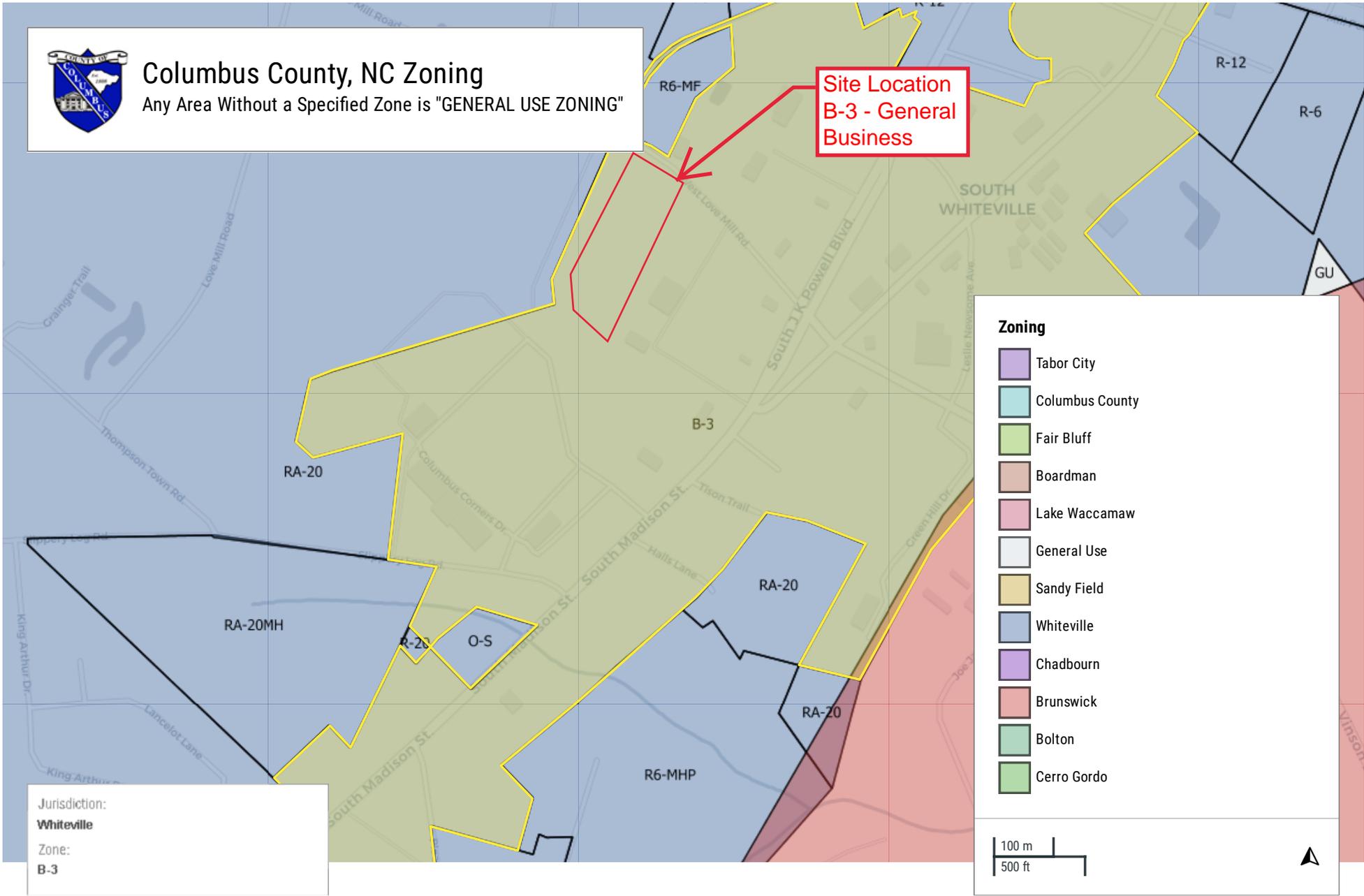
Robert J. Lewis
Planning Director



Columbus County, NC Zoning

Any Area Without a Specified Zone is "GENERAL USE ZONING"

Site Location
B-3 - General
Business



Jurisdiction:
Whiteville
Zone:
B-3

- Zoning**
- Tabor City
 - Columbus County
 - Fair Bluff
 - Boardman
 - Lake Waccamaw
 - General Use
 - Sandy Field
 - Whiteville
 - Chadbourn
 - Brunswick
 - Bolton
 - Cerro Gordo



ATTACHMENT R

Nuisances and Hazards



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet is designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Housing Requirements – PARTNER

Many Housing Division programs have additional requirements beyond those listed at 50.4. Some of these relate to compliance with 50.3(i) and others relate to site nuisances and hazards.

Requirements for evaluating additional housing requirements vary by program. Refer to the appropriate guidance for your program area (i.e. the Multifamily Accelerated Processing (MAP) guide, Chapter 7 of the Healthcare Mortgage Insurance Handbook, etc.) for specific requirements.

Lead-based paint

Lead-based paint may be present in buildings built prior to 1978. Guidance materials related to lead-based paint, including a helpful online Lead Rule Compliance Advisor, may found by following on HUD’s website. Buildings constructed in 1978 or later do not require lead-based paint testing. Refer to specific program guidance for additional exemptions and requirements.

Was a lead-based paint inspection or survey performed by the appropriate certified lead professional?

- Yes. → *Continue to next question.*
- No, because the project was previously deemed to be lead free. → *Provide all lead free certificates.*
- No, because the project does not involve any buildings constructed prior to 1978. → *Provide documentation of construction date(s).*
- No, because program guidance does not require testing for this type of project. (For example: HUD’s lead-based paint requirements at 24 CFR Part 35 do not apply to housing designated exclusively for the elderly or persons with disabilities, unless a child of less than 6 years of age resides or is expected to reside in such housing. In addition, the requirements do not apply to 0-bedroom dwelling units.) → *Explain determination below.*

Was lead-based paint identified on site?

- Yes. → *Refer to program guidance for remediation requirements. Describe the testing procedure and findings in the textbox below and any necessary mitigation measures in the Mitigation textbox at the bottom of this screen. Upload all documentation below.*
- No. → *Provide all testing documents demonstrating that no lead-based paint was found.*

Describe how exemption or compliance was met and provide any relevant documents such as reports, surveys, and letters.

No lead paint testing was conducted at the proposed project site. The subject property was undeveloped and wooded at the time of this investigation. There are no structures on the property and, therefore, no

potential for lead-based paints to be present on the property. At the time of the site inspection in October 2021, no suspect lead-based paints were observed.

Radon

Many Housing Programs require radon testing and mitigation. Radon is a colorless, odorless gas that can enter the air inside of buildings. Refer to specific program guidance for testing and mitigation requirements.

Was radon testing performed following the appropriate and latest ANSI-AARST standard?

- Yes → *Continue to next question.*
- No, because program guidance does not require testing for this type of project. → *Note that radon testing is encouraged for all HUD projects, even where it is not required. Explain why radon testing was not completed below.*

Did testing identify one or more units with radon levels above the EPA action level for mitigation?

- Yes → *Refer to program guidance for remediation requirements. Describe the testing procedure, findings, and mitigation measures below and provide all documentation.*
- No → *Provide all testing documents demonstrating that radon was not found above EPA action levels for mitigation.*

Describe how exemption or compliance was met and provide any relevant documents such as reports, surveys, and letters.

No radon testing was conducted at the proposed project site. According to the North Carolina - Radon Zones map, generated at the EPA State Maps of Radon Zones website <https://www.epa.gov/radon/state-maps-radon-zones>, Columbus County is considered a Zone 3 county for potential radon exposure in North Carolina. Zone 3 counties have a predicted indoor radon screening level lower than 2 picocuries per liter (pCi/L) of air. Above 4 pCi/L of air is considered above the EPA standards for indoor air concentrations. Radon testing was not performed as part of this investigation.

For new construction projects, a post-construction report by a radon professional is required only after testing has been conducted, in accordance with Section 9.5.C of the MAP guide. HUD will rely on the project Architect (who has E & O insurance) to incorporate any required radon resistant construction design or radon mitigation system(s) into the architectural plans, if necessary. HUD encourages the Architect to seek technical advice from a licensed radon professional should they believe it to be necessary in their professional judgment. During construction, all radon resistant construction must be completed under the direct supervision of a Radon Professional. In addition, post-construction testing and a Radon O&M Plan are required and are to be completed by a Radon Professional in accordance with the HUD MAP Guide. A copy of the North Carolina - Radon Zones map showing the Columbus County, NC is attached.

Asbestos

Asbestos may be present in buildings built prior to 1978. Buildings constructed in 1978 or later do not require an asbestos survey. Refer to specific program guidance for additional exemptions and requirements.

Was a comprehensive asbestos building survey performed pursuant to the relevant requirements of the latest ASTM standard?

- Yes
- No, because the project does not involve any buildings constructed prior to 1978. → *Provide documentation of construction date(s).*
- No, because program guidance does not require testing for this type of project. → *Explain in textbox below.*

Was asbestos identified on site?

- Yes, friable or damaged asbestos was identified. → *Refer to program guidance for remediation requirements. Describe the testing procedure, findings, and mitigation measures below and provide all documentation.*
- Yes, asbestos was identified, but it was not friable or damaged. → *Refer to program guidance for remediation requirements. Describe the testing procedure, findings, and mitigation measures below and provide all documentation.*
- No → *Provide all testing documents demonstrating that no asbestos was found.*

Describe how exemption or compliance was met and provide any relevant documents such as reports, surveys, and letters.

No asbestos testing was conducted at the proposed project site. The subject property was undeveloped and wooded at the time of this investigation. There are no structures on the property and, therefore, no potential for suspect asbestos-containing materials to be present on the property. At the time of the site inspection in October 2021, no suspect asbestos-containing materials were observed.

Additional Nuisances and Hazards

Many Housing Programs have additional requirements with respect to common nuisances and hazards. These include High Pressure Pipelines; Fall Hazards (High Voltage Transmission Lines and Support Structures); Oil or Gas Wells, Sour Gas Wells and Slush Pits; and Development planned on filled ground. There may also be additional regional or local requirements.

Describe how compliance was met for any relevant nuisance, hazard or local requirement and provide any relevant documents such as reports, surveys, and letters.

The proposed project site is located in an area predominantly used for residential, commercial, and agricultural purposes in Whitesville, NC. The property to the east and south is developed for commercial purposes (pharmacy, offices, and stores). The properties to the west and north have been cleared for residential and agricultural properties. No nuisances were observed in connection with surrounding properties at the time of the site inspection in October 2021.

No high voltage transmission lines or support structures were observed in the vicinity of the subject property during the time of the site inspection in October 2021. Based on observations during the site inspection, which occurred on October 6, 2021, there were no nuisances or hazards found in connection with the subject site. A Nuisance and Hazard Checklist was completed by the site investigator at the time of the site inspection and a copy is attached along with the figures and site plans showing the site location and surrounding area.

The American Geosciences Institute (AGI) National Pipeline Mapping System Interactive Map online (<https://pvnpm.phmsa.dot.gov/PublicViewer/>) shows that the nearest gas transmission pipeline is approximately 0.5 miles southwest of the subject property. No other high-pressure pipelines were discovered near the proposed site. According to the AGI map, no accidents or incidents were discovered in the vicinity of the subject property. A copy of the map is attached showing the location of the subject property in relation to the nearest high-pressure pipelines.

According to the map of Gas and Oil Wells, generated using the North Carolina Oil and Gas Wells Map, obtained from the NC DEQ Oil and Gas Program website, <https://deq.nc.gov/about/divisions/energy-mineral-land-resources/energy-group/oil-gas-program> there are no oil or gas wells in the vicinity of the proposed project site. A copy of the map is attached showing the subject property location.

No additional nuisances or hazards were discovered during the environmental research of this proposed site.

Nuisance and Hazard Checklist

for recording impacts considered under Item 28 of HUD-Form 4128

Project Name	Investigator(s)	Site Visit Date
Proposed Love Mill Apts.	Ryan Kramer	October 6, 2021

Check those features that were observed on or adjacent to the property at the time of the visit.

NATURAL HAZARDS			
No	Faults, fractures	No	Fire hazard materials
↓	Cliffs, bluffs, crevices	↓	Wind/sand storm concerns
↓	Slope-failures from rains	↓	Poisonous plants, insects, animals
↓	Unprotected water bodies	↓	Hazardous terrain features
BUILT HAZARDS & NUISANCES			
No	Hazardous street	No	Inadequate screened drainage catchments
↓	Dangerous intersection	↓	Hazards in vacant lots
↓	Through traffic	↓	Chemical tank-car terminal
↓	Inadequate separation of pedestrian/vehicle traffic	↓	Other hazardous chemical storage
↓	Play areas next to freeway or other highway traffic	↓	High pressure gas or liquid petroleum transmission lines on site
↓	Inadequate street lighting	↓	Overhead transmission lines
↓	Quarries or other excavations	↓	Hazardous cargo transportation routes
↓	Dumps/sanitary landfills or mining	↓	Oil or gas wells
↓	Railroad crossing	↓	Industrial operations
NUISANCES			
No	Gas, smoke, fumes	No	Unsightly land uses
↓	Odors	↓	Front lawn parking
↓	Vibration	↓	Abandoned vehicle
↓	Glare from parking area	↓	Vermin infestation
↓	Vacant/boarded up buildings	↓	Industrial nuisances
↓	Other (Specify)	↓	Other (Specify)

Were any nuisances or hazards observed?

Yes No

If yes, list mitigation strategies below.



 Lead Investigator's Signature

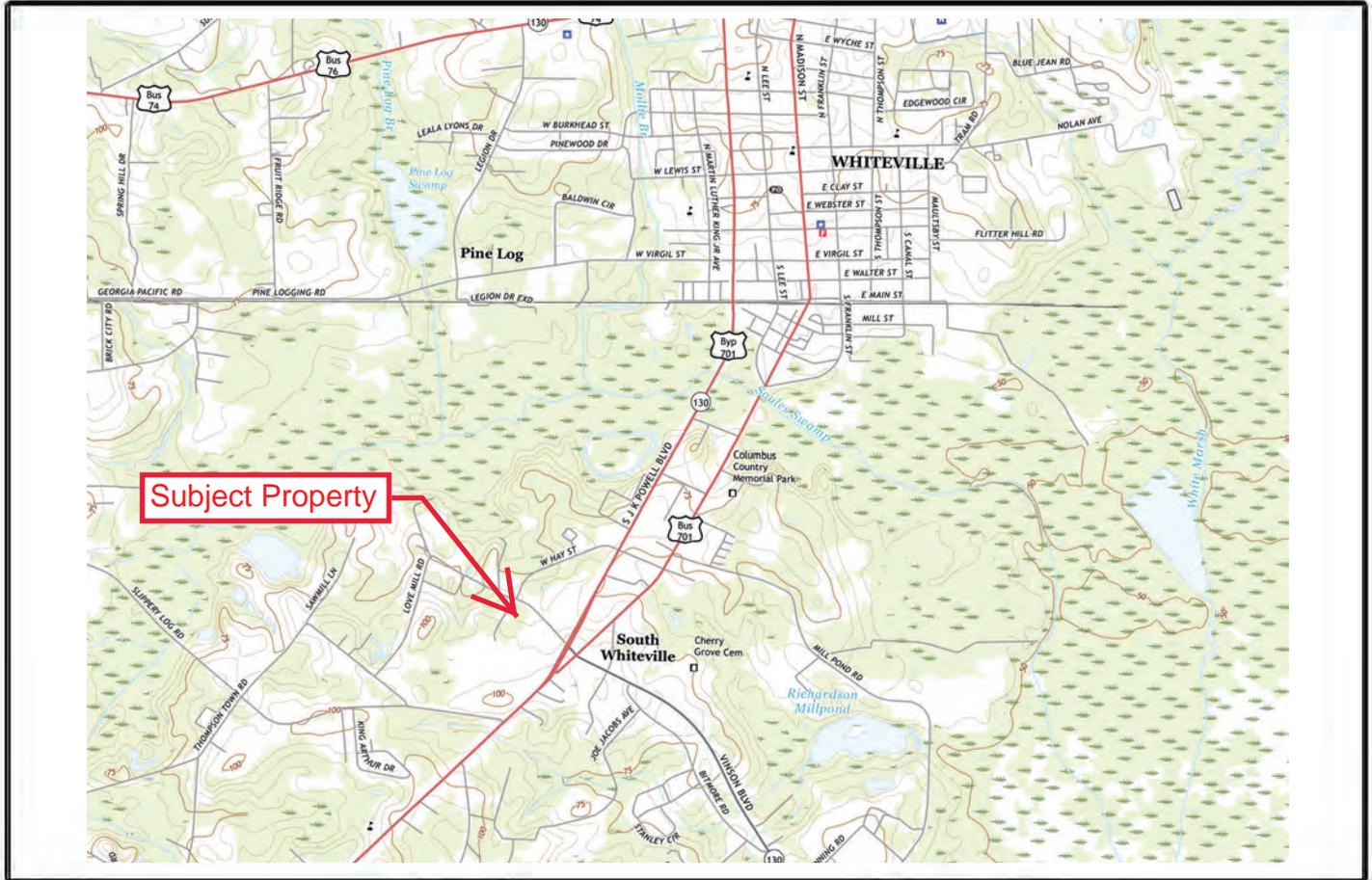
October 6, 2021

 Date

USGS TOPOGRAPHIC MAP

SITE: Love Mill Apartments

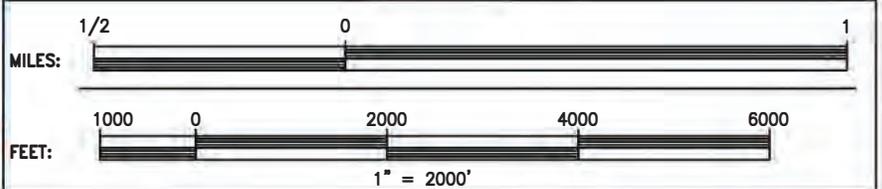
LOCATION: 181 W. Love Mill Rd., Whiteville, NC



USGS IDENTIFICATION

SCALES

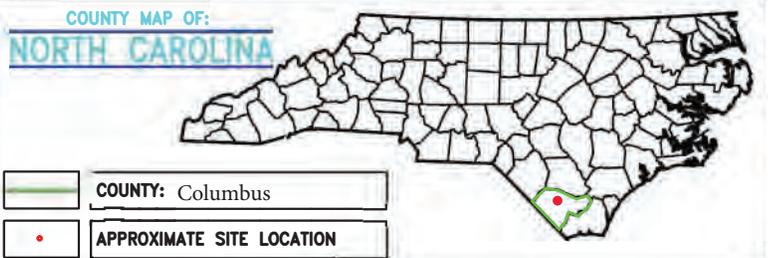
USGS 7.5 MINUTE MAP	Whiteville, NC
ORIGINAL DATE:	2019
PHOTOREVISION DATE:	N/A



	PRIMARY HIGHWAY, HARD SURFACE
	SECONDARY HIGHWAY, HARD SURFACE
	LIGHT-DUTY ROAD HARD OR IMPROVED SURFACE
	UNIMPROVED ROAD
	STATE ROAD
	U.S. ROUTE
	INTERSTATE ROUTE

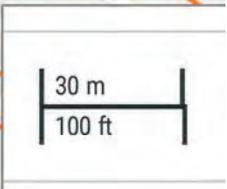
NOTES: ► TOPOGRAPHICAL CONTOUR INTERVAL = 20 FEET
 ► PHOTOREVISIONS DENOTED IN PURPLE

MAGNETIC NORTH

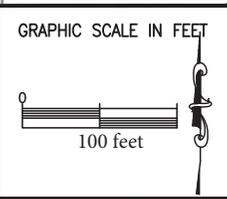


CLIENT: Flatiron Partners	SCALE: 1" = 2,000'	DRAWN BY: TC
PROJECT NAME: Love Mill Apts. - 181 W. Love Mill Rd.	DATE: 9/14/21	CHECK BY: RK
CITY: Whiteville STATE: North Carolina	JOB NO.: 2021-266	TYPE: PHASE I
TITLE: Topographic Map	DRAWING NAME: USGSTOPO	FIGURE NUMBER: 1

NOTES
TOPOGRAPHIC MAP USED IN THIS GRAPHIC IS MAPPED, EDITED, AND PUBLISHED BY THE UNITED STATES GEOLOGIC SURVEY, DEPARTMENT OF THE INTERIOR, RESTON, VIRGINIA.
THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.



CLIENT	Flatiron Partners		COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.		TAX-ID	#5751 & 77993
CITY	Whiteville	STATE	North Carolina	Tax-Map
TITLE	Tax Map		L-NO	2021-266
			FIGURE	2



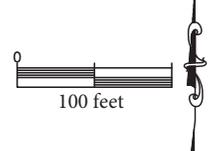


PYRAMID

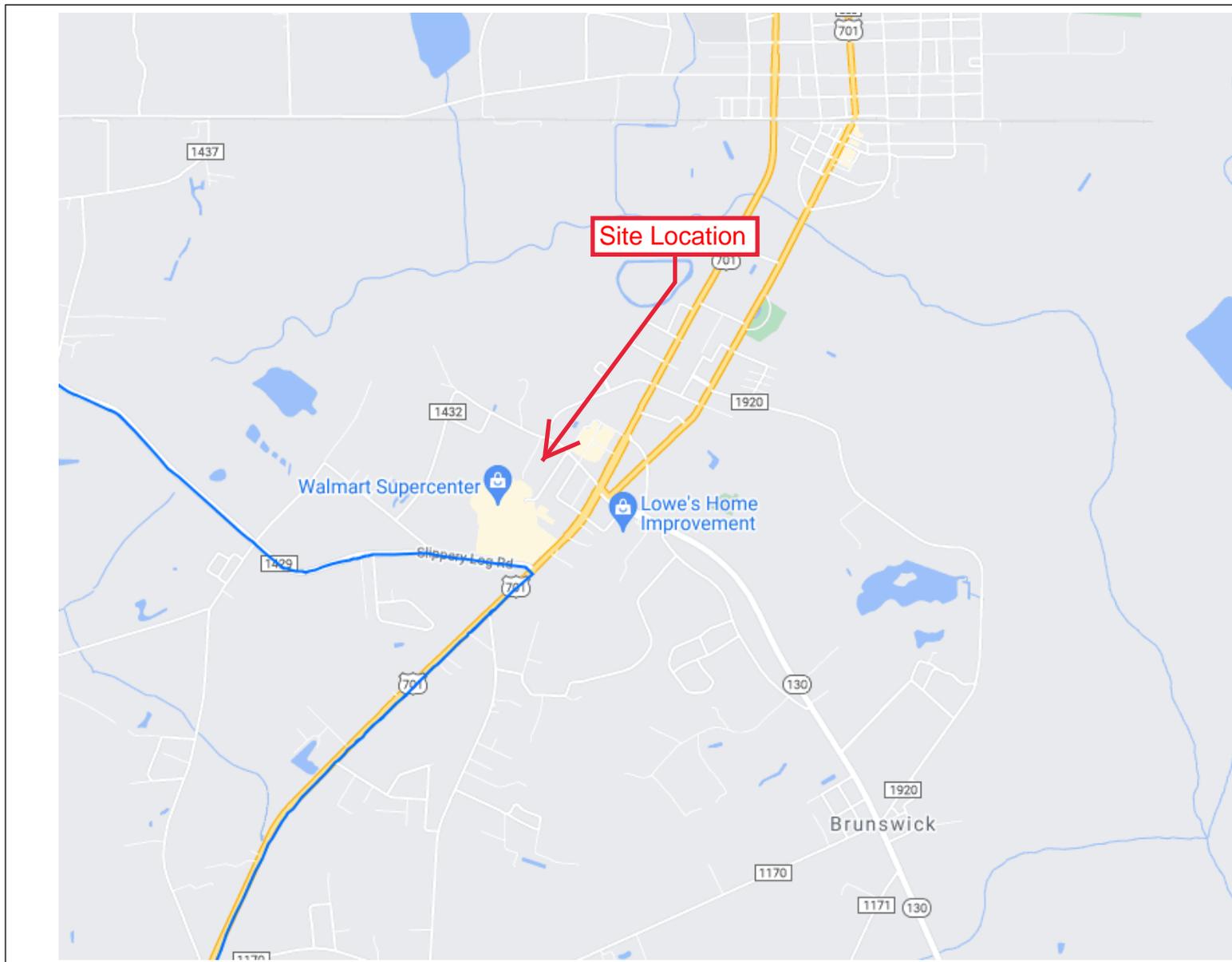
ENVIRONMENTAL & ENGINEERING, P.C.

CLIENT	Flatiron Partners	COUNTY	Columbus
SITE	Love Mill Apts. - 181 W. Love Mill Rd.	DATE	9/14/2021
CITY	Whiteville	STATE	North Carolina
TITLE	2020 Aerial Photograph	FIGURE	Figure 3

GRAPHIC SCALE IN FEET

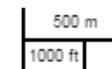


NATIONAL PIPELINE MAPPING SYSTEM



Legend

- Accidents (Liquid)
- Incidents (Gas)
- LNG Plants
- Breakout Tanks
- Gas Transmission Pipelines
- Hazardous Liquid Pipelines



Pipelines depicted on this map represent gas transmission and hazardous liquid lines only. Gas gathering and gas distribution systems are not represented.

This map should never be used as a substitute for contacting a one-call center prior to excavation activities. Please call 811 before any digging occurs.

Questions regarding this map or its contents can be directed to npms@dot.gov.

Projection: Geographic

Datum: NAD83

Map produced by the Public Viewer application at www.npms.phmsa.dot.gov

Date Printed: Oct 21, 2021



ATTACHMENT S

Transportation and Accessibility

Login (<https://columbusco.org/Login?returnurl=%2fDepartments%2fPublic-Transportation>)

Departments (<https://columbusco.org/Departments>) > Public Transportation (<https://columbusco.org/Departments/Public-Transportation>)

COLUMBUS COUNTY TRANSPORTATION IS
PROVIDING **FREE RIDES** TO GET YOUR COVID-19
VACCINATION.

ONCE YOU SCHEDULE YOUR APPOINTMENT FOR YOUR
VACCINATION CONTACT US AT **910-642-7201** TO
SCHEDULE YOUR RIDE TO YOUR VACCINATION SITE.



Due to the COVID 19 virus we are cleaning our vehicles more often trying to make them as safe as possible for all of our passengers. If you have or have had any fever, cough, shortness of breath, sore throat, or any symptoms of respiratory infection we ask that you stay home. We will not be transporting individuals with any of these symptoms. You are also required to wear a mask while riding on public transportation vehicles. This is to protect your health as well as the health of others.



Thank you so much for your continued cooperation during these unusual times.

Columbus County Transportation

Fares

\$ 3.00 (per person per one-way trip) for Whiteville & Brunswick Townships. Available weekdays, from 6:00 am to 6:00 pm.

\$10.00 (per person per one-way trip) for anywhere else in Columbus County. Available weekdays, from 6:00 am to 6:00 pm.

Greyhound Fares & Booking (<http://www.greyhound.com/>)

The Rural Public Transportation System offers:

General Public Transportation of anyone to anywhere in the county. This is a state funded program where anyone can have transportation to destinations in the county.

Medical Transportation for clients of Columbus County's governmental agencies (funded by Health Department, Department of Mental Health-Developmental Disabilities-Substance Abuse Services, Department of Social Services, and Department of Aging)

Monarch Columbus Industries Transportation (funded by Department of Mental Health- Developmental Disabilities-Substance Abuse Services)

Child Care Medical Transportation

Free Medical transportation for children less than 6 years old and pregnant mothers. Funded by Columbus County Partnership for Children..

Out-of-County Medical Transportation

Community transportation may be available at no or low cost for eligible persons to most counties in eastern North Carolina if funded by a human service agency.

Veterans Transportation

Transportation to the Veterans Administration (VA) Hospital in Fayetteville, Wilmington and Pembroke NC is now available for Columbus County Veterans.

Transportation is available on Tuesdays and Thursdays to the Fayetteville VA, Wednesdays and Thursdays to the Wilmington VA and to the VA clinic in Pembroke on Mondays.

Veterans will be asked to make their appointments between 9:00 am and 12:00 pm on the appropriate day for each VA facility. Veterans will be asked to meet at the Columbus County Transportation facility at 290 Legion Dr., Whiteville, NC by 7:20 am. The van will be leaving from the VA Hospital or Clinic at approximately 1:00 pm for the return trip to Whiteville.

Veterans will be asked to contribute \$6 for the roundtrip. If they are unable to pay we will try to accommodate them anyway, if funding is available. They may have a caregiver accompany them at no charge if space is available on the van. Dispatch will need to be notified at the time they schedule their trip if a caregiver will be going with them.

Veterans should call 642-7201 to reserve space on the van. A two or three day advance notice is appreciated, but no less than a 24-hour notice is required.

If a van with a wheelchair lift is needed, please let us know.

This program may be discontinued if funds become exhausted or unavailable.

PURPOSE

To provide low-cost, reliable public transportation for qualifying citizens of Columbus County.

OPERATIONS

The County contracts with a private company, First Group Inc., to manage the daily operations and maintain the vehicles. First Group Inc. pays all salaries, insurance, gas, and maintenance. They are also required to have an effective Drug & Alcohol Testing Program, a Preventive Maintenance Program, and an active and effective Safety Program. The drivers have special training to work with children, geriatric and disabled citizens.

The transportation director, a state-paid county employee, oversees the contract, writes all the grant proposals (state and private), does the paperwork to ensure reimbursements from the state, and markets the services.

FUNDING

The North Carolina Department of Transportation (NCDOT) provides state and federal funds to operate a coordinated system. If funds become depleted then transportation services may have to be modified or suspended temporarily. State and local government agencies are encouraged and sometimes required to meet the transportation needs of their clients by scheduling trips through the county system.

Historically, the Columbus County system has the lowest operational cost of any rural public transportation system in North Carolina. Since the system is completely funded by the federal and state governments, no county funds are required.

Contact Us

Hours of Operation

Monday through Friday
6:00 am to 6:00 pm

Joy Jacobs, Director

joy.jacobs@columbusco.org (mailto:joy.jacobs@columbusco.org)
290 Legion Drive
Whiteville, NC 28472
(910) 641 3929 voice
(910) 642 6338 fax

Scheduling and Dispatching

(910) 642-7201

North Carolina Public Transportation Division (<http://www.ncdot.gov/nctransit/>)

Happenings in Transportation

2019 Global Award (<http://www2.columbusco.org/transportation/2019Award.pdf>)

Letter from SCC (<http://www2.columbusco.org/transportation/scletter.pdf>)

June 15 2017 Article (<http://www2.columbusco.org/transportation/2017-06-15Article.pdf>)

Advisory Board

- Members (<http://www2.columbusco.org/transportation/TABM.pdf>)
- Meetings (<http://www2.columbusco.org/transportation/meetings.pdf>)

Board Minutes

- 2018-08-13 (<http://www2.columbusco.org/transportation/2018-08-13.pdf>)
- 2018-05-21 (<http://www2.columbusco.org/transportation/2018-05-21.pdf>)
- 2018-02-12 (<http://www2.columbusco.org/transportation/2018-02-12.pdf>)
- 2017-11-13 (<http://www2.columbusco.org/transportation/2017-11-13.pdf>)

Strategic Plan



(<https://www.ncdot.gov/nctransit/strategicplan/>)

The N.C. Department of Transportation is developing the Public Transportation Statewide Strategic Plan to improve bus, rail, and paratransit services across the state by better matching transit services to the needs of North Carolinians. Stakeholders and the public are invited to provide input at community workshops across the state as part of the North Carolina Public Transportation Statewide Strategic Plan. The workshops are free and open to the public. No registration is necessary to attend. Community workshop dates, times, and locations are available on the project website -

<https://www.ncdot.gov/nctransit/strategicplan/>

(<http://www.columbusco.org/Departments/The%20N.C.%20Department%20of%20Transportation%20is%20developing%20the%20Public%20Transportation%20Statewide%20Strategic%20Plan%20to%20improve%20bus,%20rail,%20and%20paratransit%20services%20across%20the%20state%20by%20better%20matching%20transit%20services%20to%20the%20needs%20of%20North%20Carolinians.%20Stakeholders%20and%20the%20public%20are%20invited%20to%20provide%20input%20at%20community%20workshops%20across%20the%20state%20as%20part%20of%20the%20North%20Carolina%20Public%20Transportation%20Statewide%20Strategic%20Plan.%20The%20workshops%20are%20free%20and%20open%20to%20the%20public.%20No%20registration%20is%20necessary%20to%20attend.%20Community%20workshop%20dates,%20times,%20and%20locations%20are%20available%20on%20the%20project%20website%20->

<https://www.ncdot.gov/nctransit/strategicplan/>)

EEO Statement

It is the policy of The Columbus County Transportation to provide equal opportunity to all people who are admitted to, participate in, or are the recipients of CCT services.

Procedures:

As a recipient of Federal financial assistance, CCT does not exclude, deny benefits to, or otherwise discriminate against any person on the grounds of race, color, religion, sex, national origin, or on the basis of disability or age in admission to, participation in, or receipt of the services and benefits of any of its programs and activities or in employment therein, whether carried out by CCT directly or through a contractor or any other entity with whom CCT arranges to carryout its programs and activities.

This statement is in accordance with the provisions of Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, the Age Discrimination Act of 1975, Americans with Disabilities Act of 1990, and Regulations of the U.S. Department of Health and Human Services issued pursuant to the acts, Title 45 Code of Federal Regulations Part 80, 84, and 91. (Other Federal Laws and Regulations provide similar protection against discrimination on grounds of sex and creed.)

In case of questions concerning this policy, or in the event of a desire to file a complaint alleging violations of the above, please contact the Human Resources Office of Columbus County Government at 910-914-4119.

*Complaints must be filed in writing or in person no later than 180 days after the alleged act of discrimination occurred to 111 Washington St., Whiteville, NC 28472.

Notifying the Public of Nondiscrimination Rights (Title VI Policy)

- Columbus County Transportation operates its programs and services without regard to **race, color, national origin, sex, religion, age, and disability** in accordance with Title VI of the Civil Rights Act and related statutes. Any person who believes she or he has been aggrieved by any unlawful discriminatory practice may file a complaint with Columbus County Human Resources.
- For more information on Columbus County Transportation's civil rights program, and the procedures to file a complaint, contact 910-641-3929; email

joy.jacobs@columbusco.org; or visit our office at 290 Legion Dr, Whiteville, NC 28472.
For more information, visit columbusco.org.

- If information is needed in another language, contact 910-640-6615.

Click here to view the Title VI Program Plan of the Civil Rights Act
(<http://www2.columbusco.org/transportation/TitleVI.pdf>)

Hit Counter

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STATE OF NORTH CAROLINA
DEPARTMENT OF ADMINISTRATION

Roy Cooper
GOVERNOR

Pamela B. Cashwell
Secretary

February 15, 2022

Andrea Gievers
Love Mill Apartments
c/o NC Department of Public Safety
Office of Recovery and Resiliency
Durham, NC 27709-

Re: SCH File # 22-E-4600-0150 Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The bu

Dear Andrea Gievers:

The above referenced environmental impact information has been submitted to the State Clearinghouse under the provisions of the National Environmental Policy Act. According to G.S. 113A-10, when a state agency is required to prepare an environmental document under the provisions of federal law, the environmental document meets the provisions of the State Environmental Policy Act. Attached to this letter for your consideration are comments made by the agencies in the review of this document.

If any further environmental review documents are prepared for this project, they should be forwarded to this office for intergovernmental review.

Should you have any questions, please do not hesitate to call.

Sincerely,

CRYSTAL BEST
State Environmental Review Clearinghouse

Attachments

Mailing Address:
NC DEPARTMENT OF ADMINISTRATION
1301 MAIL SERVICE CENTER
RALEIGH, NC 27699-1301

Telephone: (919)807-2425
Fax: (919)733-9571
COURIER: #51-01-00
Email: state.clearinghouse@doa.nc.gov
Website: www.ncadmin.nc.gov

Location:
116 WEST JONES STREET
RALEIGH, NORTH CAROLINA

Control No.: 22-E-4600-0150

Date Received: 1/13/2022

County.: COLUMBUS

Agency Response: 2/14/2022

Review Closed: 2/14/2022

LYN HARDISON
CLEARINGHOUSE COORDINATOR
DEPT OF ENVIRONMENTAL QUALITY

Project Information

Type: National Environmental Policy Act Environmental Assessment/Finding of No Significant Impact

Applicant: Love Mill Apartments

Project Desc.: Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: LYN HARDISON

Date: 2/14/2022



NORTH CAROLINA
Environmental Quality

ROY COOPER
Governor

ELIZABETH S. BISER
Secretary

To: Crystal Best
State Clearinghouse
NC Department of Administration

From: Lyn Hardison
Division of Environmental Assistance and Customer Service
Washington Regional Office

RE: 22-0150
Environmental Assessment/Finding of No Significant Impact
Proposed project is for the construction of Love Mill Apartments
which will consists of two 3-story residential apartments buildings
with 60 units and a one-story clubhouse, multipurpose room,
exercise room, playground, covered picnic area, resident computer
center and parking.
Columbus County

Date: February 14, 2022

The Department of Environment Quality has reviewed the proposal for the referenced project. Based on the information provided, one (1) contamination site was identified within one mile of the project site. In addition, several of our agencies have identified permits that may be required and offered some valuable guidance. The comments are attached for the applicant's review.

The Department will continue to be available to assist the applicant with any question or concerns.

Thank you for the opportunity to respond.

Attachments



North Carolina Department of Environmental Quality
217 West Jones Street | 1601 Mail Service Center | Raleigh, North Carolina 27699-1601
919.707.8600

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director



NORTH CAROLINA
Environmental Quality

MEMORANDUM

TO: Michael Scott, Division Director through Sharon Brinkley

FROM: Drew Hammonds, Eastern District Supervisor - Solid Waste Section

DATE: February 2, 2022

SUBJECT: Review: SW 22-0150 Columbus County (EA/FONSI – Love Mill Apartments/HUD - Proposed project is for the construction of Love Mill Apartments)

The Division of Waste Management, Solid Waste Section (Section) has reviewed the documents submitted for the subject project in Columbus County, NC. Based on the information provided in these documents, the Section at this time does not see an adverse impact on the surrounding communities and likewise knows of no situations in the communities, which would affect this project.

As always for any planned or proposed projects, it is recommended that during any land clearing, demolition, and construction, Love Mill NC LLC and/or its contractors would make every feasible effort to minimize the generation of waste, to recycle materials for which viable markets exist, and to use recycled products and materials in the development of this project where suitable. **Any waste generated by and of the projects that cannot be beneficially reused or recycled must be disposed of at a solid waste management facility permitted by the Division. The Section strongly recommends that Love Mill NC LLC require all contractors to provide proof of proper disposal for all generated waste to permitted facilities.**

Permitted solid waste management facilities are listed on the Division of Waste Management, Solid Waste Section portal site at: <https://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/solid-waste-management-annual-reports/solid-waste-permitted-facility-list>

Questions regarding solid waste management for this project should be directed to Ms. Liz Patterson, Environmental Senior Specialist, Solid Waste Section, at (910) 796-7506.

cc: Liz Patterson, Environmental Senior Specialist



State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: WIRO
 Project Number: 22-0150 Due Date: 02/09/2022
 County: Columbus

After review of this project it has been determined that the DEQ permit(s) and/or approvals indicated may need to be obtained in order for this project to comply with North Carolina Law. Questions regarding these permits should be addressed to the Regional Office indicated on the reverse of the form. All applications, information and guidelines relative to these plans and permits are available from the same Regional Office.

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Permit to construct & operate wastewater treatment facilities, non-standard sewer system extensions & sewer systems that do not discharge into state surface waters.	Application 90 days before begins construction or award of construction contracts. On-site inspection may be required. Post-application technical conference usual.	30 days (90 days)
<input type="checkbox"/>	Permit to construct & operate, sewer extensions involving gravity sewers, pump stations and force mains discharging into a sewer collection system	Fast-Track Permitting program consists of the submittal of an application and an engineer's certification that the project meets all applicable State rules and Division Minimum Design Criteria.	30 days (N/A)
<input type="checkbox"/>	NPDES - permit to discharge into surface water and/or permit to operate and construct wastewater facilities discharging into state surface waters.	Application 180 days before begins activity. On-site inspection. Pre-application conference usual. Additionally, obtain permit to construct wastewater treatment facility-granted after NPDES. Reply time, 30 days after receipt of plans or issue of NPDES permit-whichever is later.	90-120 days (N/A)
<input type="checkbox"/>	Water Use Permit	Pre-application technical conference usually necessary.	30 days (N/A)
<input type="checkbox"/>	Well Construction Permit	Complete application must be received and permit issued prior to the installation of a groundwater monitoring well located on property not owned by the applicant, and for a large capacity (>100,000 gallons per day) water supply well.	7 days (15 days)
<input type="checkbox"/>	Dredge and Fill Permit	Application copy must be served on each adjacent riparian property owner. On-site inspection. Pre-application conference usual. Filling may require Easement to Fill from N.C. Department of Administration and Federal Dredge and Fill Permit.	55 days (90 days)
<input type="checkbox"/>	Permit to construct & operate Air Pollution Abatement facilities and/or Emission Sources as per 15 A NCAC (2Q.0100 thru 2Q.0300)	Application must be submitted and permit received prior to construction and operation of the source. If a permit is required in an area without local zoning, then there are additional requirements and timelines (2Q.0113).	90 days
<input checked="" type="checkbox"/>	Any open burning associated with subject proposal must be in compliance with 15 A NCAC 2D.1900	N/A	60 days (90 days)
<input checked="" type="checkbox"/>	Demolition or renovations of structures containing asbestos material must be in compliance with 15 A NCAC 20.1110 (a) (1) which requires notification and removal prior to demolition. Contact Asbestos Control Group 919-707-5950	Please Note - The Health Hazards Control Unit (HHCU) of the N.C. Department of Health and Human Services, must be notified of plans to demolish a building, including residences for commercial or industrial expansion, even if no asbestos is present in the building.	60 days (90 days)
<input checked="" type="checkbox"/>	The Sedimentation Pollution Control Act of 1973 must be properly addressed for any land disturbing activity. An erosion & sedimentation control plan will be required if one or more acres are to be disturbed. Plan must be filed with and approved by applicable Regional Office (Land Quality Section) at least 30 days before beginning activity. A NPDES Construction Stormwater permit (NCG010000) is also usually issued should design features meet minimum requirements. A fee of \$65 for the first acre or any part of an acre. An express review option is available with additional fees.		20 days (30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with NCDOT's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		(30 days)
<input type="checkbox"/>	Sedimentation and erosion control must be addressed in accordance with _____ Local Government's approved program. Particular attention should be given to design and installation of appropriate perimeter sediment trapping devices as well as stable Stormwater conveyances and outlets.		Based on Local Program
<input type="checkbox"/>	Compliance with 15A NCAC 2H .0126 - NPDES Stormwater Program which regulates three types of activities: Industrial, Municipal Separate Storm Sewer System & Construction activities that disturb ≥1 acre.		30-60 days (90 days)
<input type="checkbox"/>	Compliance with 15A NCAC 2H 1000 -State Stormwater Permitting Programs regulate site development and post-construction stormwater runoff control. Areas subject to these permit programs include all 20 coastal counties, and various other counties and watersheds throughout the state.		45 days (90 days)

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: WIRO
 Project Number: 22-0150 Due Date: 02/09/2022
 County: Columbus

	PERMITS	SPECIAL APPLICATION PROCEDURES or REQUIREMENTS	Normal Process Time (statutory time limit)
<input type="checkbox"/>	Mining Permit	On-site inspection usual. Surety bond filed with DEQ Bond amount varies with type mine and number of acres of affected land. Affected area greater than one acre must be permitted. The appropriate bond must be received before the permit can be issued.	30 days (60 days)
<input type="checkbox"/>	Dam Safety Permit	If permit required, application 60 days before begin construction. Applicant must hire N.C. qualified engineer to: prepare plans, inspect construction, and certify construction is according to DEQ approved plans. May also require a permit under mosquito control program. And a 404 permit from Corps of Engineers. An inspection of site is necessary to verify Hazard Classification. A minimum fee of \$200.00 must accompany the application. An additional processing fee based on a percentage or the total project cost will be required upon completion.	30 days (60 days)
<input type="checkbox"/>	Oil Refining Facilities	N/A	90-120 days (N/A)
<input type="checkbox"/>	Permit to drill exploratory oil or gas well	File surety bond of \$5,000 with DEQ running to State of NC conditional that any well opened by drill operator shall, upon abandonment, be plugged according to DEQ rules and regulations.	10 days N/A
<input type="checkbox"/>	Geophysical Exploration Permit	Application filed with DEQ at least 10 days prior to issue of permit. Application by letter. No standard application form.	10 days N/A
<input type="checkbox"/>	State Lakes Construction Permit	Application fee based on structure size is charged. Must include descriptions & drawings of structure & proof of ownership of riparian property	15-20 days N/A
<input checked="" type="checkbox"/>	401 Water Quality Certification	Compliance with the T15A 02H .0500 Certifications are required whenever construction or operation of facilities will result in a discharge into navigable water as described in 33 CFR part 323.	60 days (130 days)
<input type="checkbox"/>	Compliance with Catawba, Goose Creek, Jordan Lake, Randleman, Tar Pamlico or Neuse Riparian Buffer Rules is required. Buffer requirements: http://deq.nc.gov/about/divisions/water-resources/water-resources-permits/wastewater-branch/401-wetlands-buffer-permits/401-riparian-buffer-protection-program		
<input type="checkbox"/>	Nutrient Offset: Loading requirements for nitrogen and phosphorus in the Neuse and Tar-Pamlico River basins, and in the Jordan and Falls Lake watersheds, as part of the nutrient-management strategies in these areas. DWR nutrient offset information: http://deq.nc.gov/about/divisions/water-resources/planning/nonpoint-source-management/nutrient-offset-information		
<input type="checkbox"/>	CAMA Permit for MAJOR development	\$250.00 - \$475.00 fee must accompany application	75 days (150 days)
<input type="checkbox"/>	CAMA Permit for MINOR development	\$100.00 fee must accompany application	22 days (25 days)
<input type="checkbox"/>	Abandonment of any wells, if required must be in accordance with Title 15A. Subchapter 2C.0100.		
<input type="checkbox"/>	Notification of the proper regional office is requested if "orphan" underground storage tanks (USTS) are discovered during any excavation operation.		
<input checked="" type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of a public water system must be approved by the Division of Water Resources/Public Water Supply Section prior to the award of a contract or the initiation of construction as per 15A NCAC 18C .0300 et. seq., Plans and specifications should be submitted to 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. All public water supply systems must comply with state and federal drinking water monitoring requirements. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	If existing water lines will be relocated during the construction, plans for the water line relocation must be submitted to the Division of Water Resources/Public Water Supply Section at 1634 Mail Service Center, Raleigh, North Carolina 27699-1634. For more information, contact the Public Water Supply Section, (919) 707-9100.		30 days
<input type="checkbox"/>	Plans and specifications for the construction, expansion, or alteration of the _____ water system must be approved through the _____ delegated plan approval authority. Please contact them at _____ for further information.		

State of North Carolina Department of Environmental Quality
 INTERGOVERNMENTAL REVIEW PROJECT COMMENTS

Reviewing Regional Office: WIRO
 Project Number: 22-0150 Due Date: 02/09/2022
 County: Columbus

Other Comments (attach additional pages as necessary, being certain to comment authority)

Division	Initials	No comment	Comments	Date Review
DAQ	DAC	<input checked="" type="checkbox"/>		2/7/2022
DWR-WQROS (Aquifer & Surface)	&	<input type="checkbox"/>	See checked box above & It is recommended to schedule a site visit with 401 Water quality staff to discuss the proposal and to ensure compliance will be maintained per 401 surface Water requirements, and surface water standards. If wetland, riparian buffers or stream impacts are proposed, this project will need to comply with/secure a 404 permit from the USACE, obtain a 401 Water Quality Certification authorization.	/ /
DWR-PWS	HLC	<input type="checkbox"/>	see above comment	2/7/22
DEMLR (LQ & SW)		<input type="checkbox"/>	See checked box above	/ /
DWM – UST	LEP	<input type="checkbox"/>	As per a search of the UST Section databases, no reported petroleum releases are known to exist at this location, nor are there any records of registered USTs at this location. To view/find other petroleum related incidents in the area please use the LINK TO UST Section GIS MAP: http://deq.nc.gov/about/divisions/waste-management/waste-management-rules-data/waste-management-gis-maps	2/8/2022
Other Comments		<input type="checkbox"/>		/ /

REGIONAL OFFICES

Questions regarding these permits should be addressed to the Regional Office marked below.

- | | | |
|---|---|---|
| <input type="checkbox"/> Asheville Regional Office
2090 U.S. 70 Highway
Swannanoa, NC 28778-8211
Phone: 828-296-4500
Fax: 828-299-7043 | <input type="checkbox"/> Fayetteville Regional Office
225 Green Street, Suite 714,
Fayetteville, NC 28301-5043
Phone: 910-433-3300
Fax: 910-486-0707 | <input type="checkbox"/> Mooreville Regional Office
610 East Center Avenue, Suite 301,
Mooreville, NC 28115
Phone: 704-663-1699
Fax: 704-663-6040 |
| <input type="checkbox"/> Raleigh Regional Office
3800 Barrett Drive,
Raleigh, NC 27609
Phone: 919-791-4200
Fax: 919-571-4718 | <input type="checkbox"/> Washington Regional Office
943 Washington Square Mall,
Washington, NC 27889
Phone: 252-946-6481
Fax: 252-975-3716 | <input checked="" type="checkbox"/> Wilmington Regional Office
127 Cardinal Drive Ext.,
Wilmington, NC 28405
Phone: 910-796-7215
Fax: 910-350-2004 |
| | <input type="checkbox"/> Winston-Salem Regional Office
450 Hanes Mill Road, Suite 300,
Winston-Salem, NC 27105
Phone: 336-776-9800
Fax: 336-776-9797 | |



NORTH CAROLINA
Environmental Quality

ROY COOPER

Governor

ELIZABETH S. BISER

Secretary

MICHAEL SCOTT

Director

Date: February 7, 2022

To: Michael Scott, Director
Division of Waste Management

Through: Janet Macdonald
Inactive Hazardous Sites Branch – Special Projects Unit

From: Bonnie S. Ware
Inactive Hazardous Sites Branch

Subject: NEPA Project # 22-0150, Love Mill Apartments/HUD, Columbus County, North Carolina

The Superfund Section has reviewed the proximity of sites under its jurisdiction to the Love Mill Apartments/HUD project. Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.

One Superfund Section site was identified within one mile of the project as shown on the attached report. The Superfund Section recommends that site files be reviewed to ensure that appropriate precautions are incorporated into any construction activities that encounter potentially contaminated soil or groundwater. Superfund Section files can be viewed at: <http://deq.nc.gov/waste-management-laserfiche>.

Please contact Janet Macdonald at 919.707.8349 if you have any questions concerning the Superfund Section review portion of this SEPA/NEPA inquiry.



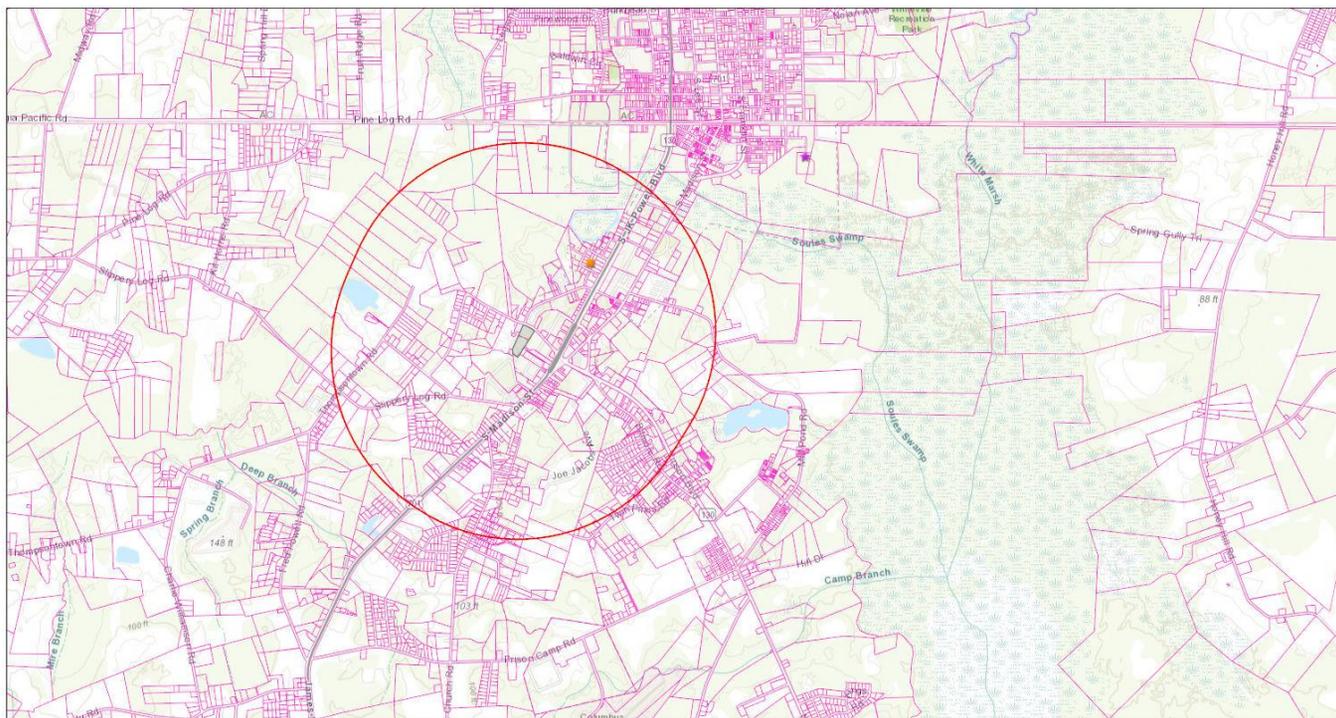
North Carolina Department of Environmental Quality | Division of Waste Management
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646
919.707.8200

SUPERFUND SECTION SITES ONLY : SEPA/NEPA

Area of Interest (AOI) Information

Area : 2,301.99 acres

Feb 7 2022 10:19:20 Eastern Standard Time



- ★ Pre Regulatory Landfill Sites
- Inactive Hazardous Sites
- ▭ Parcels (Polygons) - Parcels



State of North Carolina DOT, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, METI/NASA, EPA, USDA

Superfund Section Sites Only : 22-0150 Columbus County

Summary

Name	Count	Area(acres)	Length(mi)
Certified DSCA Sites	0	N/A	N/A
Federal Remediation Branch Sites	0	N/A	N/A
Inactive Hazardous Sites	1	N/A	N/A
Pre-Regulatory Landfill Sites	0	N/A	N/A
Brownfields Program Sites	0	N/A	N/A

Inactive Hazardous Sites

#	EPAID	SITENAME	Count
1	NONCD0001178	PACKER PROPERTY	1

Department of Environmental Quality

Project Review Form

Project Number: 22-0150

County: Columbus

Date Received: 1-13-2022

Due Date: 2-9-2022

Project Description: *Environmental Assessment/Finding of No Significant Impact - Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife <u>Gabriela</u>
<input checked="" type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: 2/8/22	In-House Reviewer/Agency: Melodi Deaver, Hazardous Waste Section
--------------------------	-----------------	---

Response (check all applicable)

No objection to project as proposed.
 No Comment

Insufficient information to complete review
 Other (specify or attach comments)

If you have any questions, please contact:

Lyn Hardison at lyn.hardison@ncdenr.gov or (252) 948-3842
943 Washington Square Mall Washington NC 27889
Courier No. 16-04-01

Department of Environmental Quality Project Review Form

Project Number: 22-0150

County: Columbus

Date Received: 1-13-2022

Due Date: 2-9-2022

Project Description: *Environmental Assessment/Finding of No Significant Impact - Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.*

This Project is being reviewed as indicated below:

Regional Office	Regional Office Area	In-House Review	
<input type="checkbox"/> Asheville	<input checked="" type="checkbox"/> Air	<input type="checkbox"/> Air Quality	<input type="checkbox"/> Coastal Management
<input type="checkbox"/> Fayetteville	<input checked="" type="checkbox"/> DWR	<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Marine Fisheries
<input type="checkbox"/> Mooresville	<input checked="" type="checkbox"/> DWR - Public Water	<input checked="" type="checkbox"/> Waste Mgmt	<input type="checkbox"/> Military Affairs
<input type="checkbox"/> Raleigh	<input checked="" type="checkbox"/> DEMLR (LQ & SW)	<input type="checkbox"/> Water Resources Mgmt (Public Water, Planning & Water Quality Program)	<input type="checkbox"/> DMF-Shellfish Sanitation
<input type="checkbox"/> Washington	<input checked="" type="checkbox"/> DWM	<input type="checkbox"/> DWR-Transportation Unit	<input checked="" type="checkbox"/> Wildlife <u>Gabriela</u>
<input checked="" type="checkbox"/> Wilmington			<input type="checkbox"/> Wildlife/DOT
<input type="checkbox"/> Winston-Salem			

Manager Sign-Off/Region:	Date: February 9, 2022	In-House Reviewer/Agency: Gabriela Garrison/NCWRC
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Response (check all applicable)

No objection to project as proposed.
 No Comment

Insufficient information to complete review
 Other (specify or attach comments)

If you have any questions, please contact:

Lyn Hardison at lyn.hardison@ncdenr.gov or (252) 948-3842
943 Washington Square Mall Washington NC 27889
Courier No. 16-04-01

Control No.: 22-E-4600-0150

Date Received: 1/13/2022

County.: COLUMBUS

Agency Response: 2/14/2022

Review Closed: 2/14/2022

JEANNE STONE
CLEARINGHOUSE COORDINATOR
DEPT OF TRANSPORTATION

Project Information

Type: National Environmental Policy Act ironmental Assessment/Finding of No Significant Impact

Applicant: Love Mill Apartments

Project Desc.: Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JEANNE STONE

Date: 1/18/2022

Stone, Jeanne B

From: Sarder, Nazia
Sent: Tuesday, January 18, 2022 2:32 PM
To: Stone, Jeanne B
Cc: Norowzi, Behshad M
Subject: Clearinghouse 22-E-4600-0150 Review
Attachments: STPB26789422011323370.pdf

Thank you for the additional information. I have refined my comments below:

1. Should an EA (Environmental Assessment) be provided with this proposal? For HUD?
2. What is the project scope and proposal? Building a new apartment complex?
3. What is the project purpose and need?
4. What are the existing conditions?
5. Refer to the Draft Columbus County Comprehensive Transportation Plan (CTP) on the NCDOT Planning page.
6. US 701/NC 130 is being proposed to upgrade to boulevard standards in the CTP.
7. A small portion of Leslie Newsome Ave is being proposed to be upgraded to major thoroughfare standards.
8. There is a proposed bus route along US 701/NC 130 and US 701 Bus and it also goes into the Walmart Plaza right off US 701/NC 130.
9. There is a needs improvement proposal for bicycle lanes/routes along US 701/NC 130, US 701 Bus and W Hay Street.
10. There are recommended sidewalks being proposed along US 701/NC 130, US 701 Bus and W Hay Street.

Clearinghouse 22-E-4600-0150 Love Mill Apartments Proposed project is for the construction of Love Mill Apartments in Columbus County, NC.

Thank you,

Nazia Sarder
Transportation Engineer III
Transportation Planning Division
North Carolina Department of Transportation

919 707 0980 office
919 274 5349 cell
nsarder@ncdot.gov

1554 Mail Service Center
Raleigh, NC 27699

-----Original Message-----

From: Stone, Jeanne B <jbstone@ncdot.gov>
Sent: Friday, January 14, 2022 10:10 AM
To: Norowzi, Behshad M <bmnorowzi@ncdot.gov>; Sarder, Nazia <nsarder@ncdot.gov>
Subject: FW: Message from TPB267894 150

-----Original Message-----

Control No.: 22-E-4600-0150

Date Received: 1/13/2022

County.: COLUMBUS

Agency Response: 2/14/2022

Review Closed: 2/14/2022

JINTAO WEN
CLEARINGHOUSE COORDINATOR
DPS - DIV OF EMERGENCY MANAGEMENT

Project Information

Type: National Environmental Policy Act Environmental Assessment/Finding of No Significant Impact

Applicant: Love Mill Apartments

Project Desc.: Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: JINTAO WEN

Date: 2/11/2022

Control No.: 22-E-4600-0150

Date Received: 1/13/2022

County.: COLUMBUS

Agency Response: 2/14/2022

Review Closed: 2/14/2022

DEVON BORGARDT
CLEARINGHOUSE COORDINATOR
DEPT OF NATURAL & CULTURAL
RESOURCE

Project Information

Type: National Environmental Policy Act ironmental Assessment/Finding of No Significant Impact

Applicant: Love Mill Apartments

Project Desc.: Proposed project is for the construction of Love Mill Apartments. Project consists of two 3-story residential apartments buildings with 60 units and a one-story clubhouse. Amenities will include a multipurpose room, exercise room, playground, covered picnic area and resident computer center. The buildings will be heated and cooled via electric HVAC systems and have 105 parking spaces for residents.

As a result of this review the following is submitted:

No Comment

Comments Below

Documents Attached

Reviewed By: DEVON BORGARDT

Date: 2/1/2022